



NEGATIVE DECLARATION & NOTICE OF DETERMINATION

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Promoting the Wise Use of Land • Helping to Build Great Communities

ENVIRONMENTAL DETERMINATION NO. ED11-155

DATE: 8/02/12

PROJECT/ENTITLEMENT: Horsetail Ranch Grading Permit (PMT2011-01714)

APPLICANT NAME: Kirk Consulting for Benjamin Efrain

ADDRESS: 8830 Morro Road

CONTACT PERSON: Kirk Consulting

Telephone: 805-461-5765

PROPOSED USES/INTENT: Request for a major grading permit for two primary single-family residences, swimming pool, and driveway improvements, which will result in the disturbance of approximately 3.2 acres, including approximately 5,200 cubic yards of cut and 5,200 cubic yards of fill on a 148 acre parcel.

LOCATION: The proposed project and is located on the west side of O'Donovan Road at 7040 O'Donovan Road, approximately 1.5 miles south of the Village of Creston. The site is located within the Agriculture land use category and in the El Pomar/Estrella planning area.

LEAD AGENCY: County of San Luis Obispo
Dept of Planning & Building
976 Osos Street, Rm. 200
San Luis Obispo, CA 93408-2040

Website: <http://www.sloplanning.org>

OTHER POTENTIAL PERMITTING AGENCIES:

STATE CLEARINGHOUSE REVIEW: YES NO

ADDITIONAL INFORMATION: Additional information pertaining to this environmental Determination may be obtained by contacting the above Lead Agency address of (805)781-5600.

COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT4:30 p.m. 8/16/12

30-DAY PUBLIC REVIEW PERIOD begins at the time of public notification

Notice of Determination

State Clearinghouse No. _____

This is to advise that the San Luis Obispo County _____ as *Lead Agency*
 Responsible Agency approved/denied the above described project on _____, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures and monitoring were made a condition of approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at the 'Lead Agency' address above.

Holly Phipps

County of San Luis Obispo

Signature

Project Manager Name

Date

Public Agency



Initial Study Summary – Environmental Checklist

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Promoting the Wise Use of Land • Helping to Build Great Communities

(ver 3.4) Using Form

Project Title & No. Efrain (Horsetail Ranch) Grading Permit / PMT2011-01714 / ED11-155

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

<input checked="" type="checkbox"/> Aesthetics	<input checked="" type="checkbox"/> Geology and Soils	<input type="checkbox"/> Recreation
<input type="checkbox"/> Agricultural Resources	<input type="checkbox"/> Hazards/Hazardous Materials	<input type="checkbox"/> Transportation/Circulation
<input type="checkbox"/> Air Quality	<input type="checkbox"/> Noise	<input type="checkbox"/> Wastewater
<input checked="" type="checkbox"/> Biological Resources	<input type="checkbox"/> Population/Housing	<input checked="" type="checkbox"/> Water
<input type="checkbox"/> Cultural Resources	<input checked="" type="checkbox"/> Public Services/Utilities	<input type="checkbox"/> Land Use

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Holly Phipps *by Karen B Hall* July 25, 2012
 Prepared by (Print) Signature Date

Ellen Carroll Ellen Carroll, 7.25.2012
 Reviewed by (Print) Signature (for) Date

Project Environmental Analysis

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, 976 Osos Street, Rm. 200, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

A. PROJECT

DESCRIPTION: Request by Benjamin Efraim to grade for two primary single-family residences, swimming pool, and driveway improvements, which will result in the disturbance of approximately 3.2 acres, including approximately 5,200 cubic yards of cut and 5,200 cubic yards of fill on a 148 acre parcel. The proposed project is located within the Agriculture land use category and is located on the west side of O'Donovan Road, approximately 1.5 miles south of the Village of Creston The project is located in the El Pomar/Estrella planning area.

The existing single-family will be converted to a Farm Support quarter prior to final inspection of the second primary single-family dwelling. A farm support quarter's covenant and a qualifying amount of agricultural crops will need to be in place prior to the final inspection of the second primary dwelling.

ASSESSOR PARCEL NUMBER(S): 043-232-021

Latitude: 35 degrees 29' 41" N Longitude: 120 degrees 30' 51" W SUPERVISORIAL DISTRICT # 5

B. EXISTING SETTING

PLANNING AREA: El Pomar/Estrella,

LAND USE CATEGORY: Agriculture

COMBINING DESIGNATION(S): Flood Hazard

EXISTING USES: Single-family residence, two agriculture barns

TOPOGRAPHY: Gently sloping to moderately sloping

VEGETATION: Grasses , oak woodland

PARCEL SIZE: 148.40 acres

SURROUNDING LAND USE CATEGORIES AND USES:

<i>North:</i> Agriculture; undeveloped	<i>East:</i> Agriculture; single-family residence(s)
<i>South:</i> Agriculture; undeveloped	<i>West:</i> Agriculture; undeveloped

C. ENVIRONMENTAL ANALYSIS

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

**COUNTY OF SAN LUIS OBISPO
INITIAL STUDY CHECKLIST**

1. AESTHETICS - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Create an aesthetically incompatible site open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Introduce a use within a scenic view open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Change the visual character of an area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Create glare or night lighting, which may affect surrounding areas?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Impact unique geological or physical features?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is located on the west side of O'Donovan Road, approximately 1.5 miles south of the Village of Creston. The area is characterized by rolling hills and scattered oak trees. The proposed project includes grading for two primary single-family residences and driveway improvements

Impact: A Visual Assessment was conducted to assess the visual impacts of the proposed project. Both residences were strategically located on the western side of the ridge on the opposite of O'Donovan Road. One primary house called the "Cottage Residence" will not be visible from O'Donovan Road and will not be visible from any major public roadway or silhouette against any ridgelines as viewed from public roadways. The project is considered compatible with the surrounding uses. No mitigation measures are required for this house.

The second primary residence called the "Efraim Residence" will be partially visible from O'Donovan Road. The roof line of the proposed residence will be visible from a few locations along O'Donovan Road.

The applicant has proposed to install landscaping to screen the roof line of the "Efraim Residence" from O'Donovan Road. The applicant has also proposed to incorporate darker colors and natural materials which will ensure the residence blends into the natural environment.

The proposed single family residences and accessory structures are similar to the existing residential development in the vicinity of the project site. However, based on the location of the proposed "Efraim" residence the project has the potential to impact the night sky by introducing an additional

visible source of light into a rural area. Domestic water tanks could have the potential to silhouette against the skyline as viewed from public areas.

Mitigation/Conclusion. To minimize visual impacts associated with the proposed project, the applicant has agreed to incorporate the following measures into the project:

- Implementation of a lighting plan that provides for screening of visible lighting elements through shielding, hoods or directed lighting;
- Implementation of a landscaping / screening plan for the water tanks and “Efrain” residence; and
- Implementation of colors and materials using earth tones.

Incorporation of the mitigation measures listed above and described in detail in Exhibit B Mitigation Summary Table, will mitigated potential aesthetic impacts to a less than significant level.

2. AGRICULTURAL RESOURCES

- *Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Convert prime agricultural land to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The property currently consists of an existing ranch access road, one residence, and two existing agricultural barns. The property is not in a Williamson Act Contract. The parcel is surrounded by agriculture grazing activities and dry farming. Parcel sizes in this area range from 20 to 400 acres in size. The site is gently sloping to moderately sloping with approximately 5 percent of the property in oak woodland.

The owners are working towards developing the property with a variety of agricultural crops, including lavender (that is in the process of being planted), vineyards, olive orchards, and possibly some limited row crops.

The project is proposing to construct two primary single-family dwellings. The Agriculture Land Use Category allows two primary dwellings on parcels 20 acres or larger. Additional dwellings are allowed subject to the Farm Support provisions of Title 22, Section 22.30.480.

Project Elements. The following area-specific elements relate to the property's importance for agricultural production:

Land Use Category: Agriculture

Historic/Existing Commercial Crops: Field-rotational

State Classification: Not prime farmland, Farmland of Statewide Importance, Prime Farmland if irrigated

In Agricultural Preserve? Yes – El Pomar AG Preserve Area

Under Williamson Act contract? No

The soil type(s) and characteristics on the subject property include: *[list soil types]*

Arbuckle-Positas complex (15 - 30 % slope).

Arbuckle. This moderately to steeply sloping coarse loamy soil is considered moderately drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Positas. This moderately to steeply sloping coarse loamy soil is considered very poorly drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Arbuckle-Positas complex, (30 - 50 % slope) .

Arbuckle. This steeply sloping soil is considered moderately drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Positas. This steeply sloping soil is considered very poorly drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Elder loam (0 - 2% slope). This nearly level to gently sloping soil is considered moderately drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: slow percolation. The soil is considered Class IV without irrigation and Class I when irrigated.

Elder loam (2 - 9% slope). This gently sloping soil is considered moderately drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: slow percolation. The soil is considered Class IV without irrigation and Class II when irrigated.

Metz loamy sand (0 - 5 % slope). This nearly level to gently sloping sandy bottom soil is considered well drained. The soil has low erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: flooding. The soil is considered Class IV without irrigation and Class III when irrigated.

Xerofluvents-Riverwash association. This variably sloping soil's drainage is not rated. The soil's erodibility and shrink-swell characteristics are not rated, as well as having potential septic system constraints due to: is not rated. The soil is considered Class VIII without irrigation and Class is not rated when irrigated.

Impact. The proposed project is to construct two single-family residences. The existing single-family will be converted to a Farm Support quarter prior to final inspection of the second primary single-family dwelling. A farm support quarter's covenant and a qualifying amount of agricultural crops will

need to be in place prior to the final inspection of the second primary dwelling.

The new proposed residences will be located outside the area of Prime or Farmland of Statewide Importance. No impacts to agricultural resources are anticipated.

Mitigation/Conclusion. No significant impacts to agricultural resources are anticipated. No mitigation measures are necessary.

3. AIR QUALITY - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Expose any sensitive receptor to substantial air pollutant concentrations?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create or subject individuals to objectionable odors?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be inconsistent with the District's Clean Air Plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The Air Pollution Control District (APCD) has developed the 2009 CEQA Air Quality Handbook to evaluate project specific impacts and help determine if air quality mitigation measures are needed, or if potentially significant impacts could result. To evaluate long-term emissions, cumulative effects, and establish countywide programs to reach acceptable air quality levels, a Clean Air Plan has been adopted (prepared by APCD).

Impact. As proposed, the project will result in the disturbance of approximately 3.2 acres. This will result in the creation of construction dust, as well as short- and long-term vehicle emissions.

This will result in the creation of construction dust, as well as short- and long-term vehicle emissions. As identified by the APCD, air quality impacts during construction include: the creation of fugitive dust (PM₁₀), the potential release of asbestos during re-location of structures, un-permitted developmental burning, un-permitted use of equipment. In addition, wood-burning devices shall be approved by the APCD.

Mitigation/Conclusion. The applicant will be required to implement dust control measures as required by Section 22.52.160C which will reduce potential air quality impacts associated with construction activities. No mitigation measures are necessary beyond ordinance requirements.

4. BIOLOGICAL RESOURCES - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
--	-------------------------	--------------------------------	----------------------	----------------

4. BIOLOGICAL RESOURCES -
Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a loss of unique or special status species or their habitats?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce the extent, diversity or quality of native or other important vegetation?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Impact wetland or riparian habitat?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Introduce barriers to movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The following are existing elements on or near the proposed project relating to potential biological concerns:

On-site Vegetation: grassland with scattered blue oaks and coastal oak woodland

Name and distance from blue line creek(s): The East Branch Huerhuero Creek runs through the easternmost side of the property

Habitat(s): Coast Live Oak Woodland, Native Grasslands, Vernal Pool Habitat

Site's tree canopy coverage: Approximately 5 %.

The project is within the following combining designation(s), which identifies this general area as biologically sensitive: Stream and Riparian Vegetation Area (SRVA).

Vernal Pool Region

The project site occurs within the Carrizo Vernal Pool Region designated by the California Department of Fish and Game. Furthermore, the project site is in an area designated as critical habitat for the vernal pool fairy shrimp (*Branchinecta lynchi*), a small aquatic crustacean that is listed as a federal threatened species and is associated with vernal pool habitat.

Vernal pool habitat consists of seasonal wetlands (i.e. areas that pond water during the wet season and dry up during the remainder of the year).

The Natural Diversity Database also identified this area as important habitat for the San Joaquin Kit Fox, a federally listed endangered species and a state listed threatened species.

Within a one mile radius, 1 biological report was completed - There were no findings associated with the Huerhuero Mine Bio Report.

The Natural Diversity Database (or other biological references) identified the following species potentially existing within approximately one mile of the proposed project:

Santa Margarita manzanita (*Arctostaphylos pilosula* ssp. *pilosula*) List 1B

Santa Margarita manzanita (*Arctostaphylos pilosula* ssp. *pilosula*) has been found about 1 mile to the south. This evergreen shrub is found on shale soils in closed-cone coniferous forest, chaparral; and cismontane woodland areas between the 170 and 1,100-meter elevations (555 to 3,600 feet). The typical blooming period is December-March. Santa Margarita manzanita is

considered rare by CNPS (List 1B, RED 3-2-3).

A Botanical Resource Assessment Report was prepared by SWCA Environmental Consultants. A fresh water marsh is the only sensitive habitat that was identified within the proposed project area. Based on development plans, no impacts to this sensitive habitat is anticipated. No federal or state listed plant were observed on the property within the proposed development area, and no vernal pool habitat was noted.

Impact: A site visit of the project site was made on April 12, 2012, by staff to inspect the project site's topography for the potential to support vernal pool habitat (e.g., low-elevation areas, depressions, natural or man-made ponded areas, etc.). At this time, no evidence of vernal pools or potential areas for ponded water was observed in areas that would be affected by the proposed project. The topography in the project area is such that water would not pool in a manner consistent with the characteristics of vernal pools or seasonal wetlands. Therefore, there was no indication of habitat suitable for supporting fairy shrimp, or sensitive aquatic animal or plant species associated with vernal pools.

The San Joaquin Kit Fox. The Kit Fox Evaluation, which was completed for project Efraim Grading Permit, PMT2011-01714 on June 6, 2012 by Mike McGovern, indicates the project will impact 3.2 acres of San Joaquin kit fox habitat. The evaluation form was reviewed by Brandon Sanderson of the California Department of Fish and Game on June 13, 2012. The evaluation, complete with Mr. Brandon's changes, resulted in a score of 61 which requires that all impacts to kit fox habitat be mitigated at a ratio of 2 acre conserved for each acre impacted 2:1. Total compensatory mitigation required for the project is 6.4 acres, based on 2 times 3.2 acres impacted. The mitigation options identified in BR-1 through BR-11 apply to the proposed project only; should the project change, the mitigation obligation may also change, and a reevaluation of the mitigation measures would be required.

Oak Trees. the access driveway was realigned to avoid the removal of any oak trees. However, several oak trees may be impacted as a result of the grading activities. In order to address impacts of oak trees, the applicant shall replace in kind of impacted oak trees and a 2:1 ratio. It is anticipated that 6 oak trees will be impacted.

Mitigation/Conclusion. With regards to the San Joaquin Kit Fox, the applicant will be required to mitigate the loss of 3.2 acres of kit fox habitat by one of the following ways:

- ✓ Deposit of funds to an approved in-lieu fee program;
- ✓ provide for the protection of kit foxes in perpetuity through acquisition of fee or conservation easement of suitable habitat in the kit fox corridor area; or
- ✓ purchase credits in an approved conservation bank.

To prevent inadvertent harm to kit fox, the applicant has agreed to retain a biologist for a pre-construction survey, a pre-construction briefing for contractors, and monitoring activities in addition to implementing cautionary construction measures. These mitigation measures are listed in detail in Exhibit B Mitigation Summary Table.

In order to address impacts of oak trees, the applicant shall replace in kind all impacted oak trees at a 2:1 ratio. Additionally, construction activities in close proximity to oak trees could potentially disturb raptor nesting habitat protected under the Migratory Bird Treaty Act. Vegetative clearance and modification requirements administered by CALFIRE/County Fire could further require removal and/or heavy trimming of oaks.

The applicant shall be required to implement oak tree mitigation measures, as specified in Exhibit B-Mitigation Summary Table (please refer to the end of this document for details). With the incorporation of these measures impacts upon biological resources will be reduced to a less than significant level.

5. CULTURAL RESOURCES - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Disturb pre-historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Disturb historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Disturb paleontological resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is located in an area historically occupied by the Salinan & Chumash . No historic structures are present and no paleontological resources are known to exist in the area.

The project is within 300 feet of a blue line creek. Potential for the presence or regular activities of the Native American increases in close proximity to reliable water sources. An archaeological surface survey (Heritage Discoveries Inc., Thor Conway, Feb. 17, 2011) of the project site did not find archaeological materials. The literature search and records review also suggest that this area did not have geographical features, or special food resource concentrations, to attract prehistoric settlement. The closest nearby archaeological sites have been found west of the study area.

Impact. No evidence of cultural materials was noted on the property. Impacts to historical or paleontological resources are not expected.

Mitigation/Conclusion. No significant cultural resource impacts are expected to occur, and no mitigation measures are necessary.

6. GEOLOGY AND SOILS - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a California Geological Survey "Alquist-Priolo" Earthquake Fault Zone"?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. GEOLOGY AND SOILS -
Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting

GEOLOGY - The following relates to the project's geologic aspects or conditions:

Topography: Gently rolling to moderately sloping

Within County's Geologic Study Area?: No

Landslide Risk Potential: Low to moderate

Liquefaction Potential: Low

Nearby potentially active faults?: No Distance? Not applicable

Due to the distance of any known fault (at least three miles away) or serpentine rock outcrop (at least three miles away), it is not expected that any naturally occurring asbestos would be encountered during any earthmoving activities.

Area known to contain serpentine or ultramafic rock or soils?: No

Shrink/Swell potential of soil: Moderate

Other notable geologic features? None

DRAINAGE – The following relates to the project's drainage aspects:

Within the 100-year Flood Hazard designation? Yes

Closest creek? East Branch Huerhuero Creek Distance? Runs through the project site

Soil drainage characteristics: Moderately drained to well drained

For areas where drainage is identified as a potential issue, the Land Use Ordinance (LUO Sec. 22.52.080) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

SEDIMENTATION AND EROSION – Soil type, amount of disturbance and slopes are key aspects to analyzing potential sedimentation and erosion issues. The project's soil types and descriptions are listed in the previous Agriculture section under "Setting". As described in the NRCS Soil Survey, the the project's soil erodibility is as follows:

Soil erodibility: Low

When highly erosive conditions exist, a sedimentation and erosion control plan is required (LUO Sec. 22.52.090) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

Impact. As proposed, the project will result in the disturbance of approximately 3.2 acres. Earth disturbing activities have the potential to result in sedimentation and erosion impacts if not adequately addressed.

Mitigation/Conclusion. The applicant shall submit a drainage plan and an erosion control plan which will be implemented as a part of the project. There is no evidence that any additional measures beyond a drainage plan and erosion control plan will already be required by ordinance or codes are needed.

7. HAZARDS & HAZARDOUS MATERIALS - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Interfere with an emergency response or evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people to safety risk associated with airport flight pattern?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Increase fire hazard risk or expose people or structures to high fire hazard conditions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

7. HAZARDS & HAZARDOUS MATERIALS - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) <i>Create any other health hazard or potential hazard?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is not located in an area of known hazardous material contamination. With regards to potential fire hazards, the subject project is within a high Fire Hazard Severity Zone(s). Based on the County's fire response time map, it will take approximately 15 to 20 minutes to respond to a call regarding fire or life safety. Refer to the Public Services section for further discussion on Fire Safety impacts. The project is not within the Airport Review area. Although the subject project is within the 100-year Flood Hazard Combining designation (FH), the residential dwellings are not located within this area. Only a small portion of the driveway will need to cross through the Flood Hazard area.

Impact. The project does not propose the use of hazardous materials. The project does not present a significant fire safety risk. The project is not expected to conflict with any regional evacuation plan.

Mitigation/Conclusion. The applicant shall submit a drainage plan and an erosion control plan which will be implemented as a part of the project, refer to Section 6, Geology.

No significant impacts as a result of hazards or hazardous materials are anticipated, and no mitigation measures are necessary. There is no evidence that any additional measures beyond a drainage plan and erosion control plan already be required by ordinance or codes are needed.

8. NOISE - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Expose people to noise levels that exceed the County Noise Element thresholds?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Generate increases in the ambient noise levels for adjoining areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to severe noise or vibration?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting. The project is not within close proximity of loud noise sources, and will not conflict with any sensitive noise receptors (e.g., residences). Based on the Noise Element's projected future noise generation from known stationary and vehicle-generated noise sources, the project is within an acceptable threshold area.

Impact. The project is not expected to generate loud noises, nor conflict with the surrounding uses.

Mitigation/Conclusion. No significant noise impacts are anticipated, and no mitigation measures are necessary.

9. POPULATION/HOUSING - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Displace existing housing or people, requiring construction of replacement housing elsewhere?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create the need for substantial new housing in the area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Use substantial amount of fuel or energy?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting In its efforts to provide for affordable housing, the county currently administers the Home Investment Partnerships (HOME) Program and the Community Development Block Grant (CDBG) program, which provides limited financing to projects relating to affordable housing throughout the county. The County's Inclusionary Housing Ordinance requires provision of new affordable housing in conjunction with both residential and nonresidential development and subdivisions.

Impact. The project will not result in a need for a significant amount of new housing, and will not displace existing housing.

Mitigation/Conclusion. No significant population and housing impacts are anticipated. The project will mitigate its cumulative impact to the shortage of affordable housing stock by providing affordable housing unit(s) either on-site and/or by payment of the in-lieu fee (residential projects), or housing impact fee (commercial projects). No mitigation measures are necessary.

(SUBDIVISIONS ONLY) Prior to map recordation, the applicant will pay an affordable housing in-lieu fee consistent with the applicable fee ordinance.

10. PUBLIC SERVICES/UTILITIES - <i>Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Fire protection?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Police protection (e.g., Sheriff, CHP)?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Schools?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Roads?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

10. PUBLIC SERVICES/UTILITIES -
Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
e) Solid Wastes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting. The project area is served by the following public services/facilities:

Police: County Sheriff Location: Enter location (Approximately 12 miles to the northeast)
Fire: Cal Fire (formerly CDF) Hazard Severity: High Response Time: 15-20 minutes
 Location: Approximately 1.5 miles to the north
School District: Atascadero Unified School District.

Impact. No significant project-specific impacts to utilities or public services were identified. This project, along with others in the area, will have a cumulative effect on police and fire protection, and schools. The project's direct and cumulative impacts are within the general assumptions of allowed use for the subject property that was used to estimate the fees in place.

Mitigation/Conclusion. Regarding cumulative effects, public facility (County) and school (State Government Code 65995 et seq.) fee programs have been adopted to address this impact, and will reduce the cumulative impacts to less than significant levels.

11. RECREATION - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Increase the use or demand for parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect the access to trails, parks or other recreation opportunities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The County's Parks and Recreation Element does not show that a potential trail goes through the proposed project. The project is not proposed in a location that will affect any trail, park, recreational resource, coastal access, and/or Natural Area.

Impact. The proposed project will not create a significant need for additional park, Natural Area, and/or recreational resources.

Mitigation/Conclusion. No significant recreation impacts are anticipated, and no mitigation measures are necessary.

**12. TRANSPORTATION/
CIRCULATION - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Increase vehicle trips to local or areawide circulation system?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Reduce existing "Levels of Service" on public roadway(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Provide for adequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate internal traffic circulation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in a change in air traffic patterns that may result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting. Future development will access onto the following public road(s): O'Donovan Road. The identified roadway is operating at acceptable levels. Referrals were sent to Public Works/Caltrans. No significant traffic-related concerns were identified.

Impact. The proposed project is estimated to generate about 20 trips per day, based on the Institute of Traffic Engineer's manual of 10/unit. This small amount of additional traffic will not result in a significant change to the existing road service or traffic safety levels.

Mitigation/Conclusion. No significant traffic impacts were identified, and no mitigation measures are necessary.

13. WASTEWATER - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Change the quality of surface or ground water (e.g., nitrogen-loading, day-lighting)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

13. WASTEWATER - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
c) Adversely affect community wastewater service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. Regulations and guidelines on proper wastewater system design and criteria are found within the County's Plumbing Code (hereafter CPC; see Chapter 7 of the Building and Construction Ordinance [Title 19]), the "Water Quality Control Plan, Central Coast Basin" (Regional Water Quality Control Board [RWQCB] hereafter referred to as the "Basin Plan"), and the California Plumbing Code. These regulations include specific requirements for both on-site and community wastewater systems. These regulations are applied to all new wastewater systems.

For on-site septic systems, there are several key factors to consider for a system to operate successfully, including the following:

- ✓ Sufficient land area (refer to County's Land Use Ordinance or Plumbing Code) – depending on water source, parcel size minimums will range from one acre to 2.5 acres;
- ✓ The soil's ability to percolate or "filter" effluent before reaching groundwater supplies (30 to 120 minutes per inch is ideal);
- ✓ The soil's depth (there needs to be adequate separation from bottom of leach line to bedrock [at least 10 feet] or high groundwater [5 feet to 50 feet depending on perc rates]);
- ✓ The soil's slope on which the system is placed (surface areas too steep creates potential for daylighting of effluent);
- ✓ Potential for surface flooding (e.g., within 100-year flood hazard area);
- ✓ Distance from existing or proposed wells (between 100 and 250 feet depending on circumstances);
- ✓ Distance from creeks and water bodies (100-foot minimum).

To assure a successful system can meet existing regulation criteria, proper conditions are critical. Above-ground conditions are typically straight-forward and most easily addressed. Below ground criteria may require additional analysis or engineering when one or more factors exist:

- ✓ the ability of the soil to "filter" effluent is either too fast (percolation rate is faster or less than 30 minutes per inch and has "poor filtering" characteristics) or is too slow (slower or more than 120 minutes per inch);
- ✓ the topography on which a system is placed is steep enough to potentially allow "daylighting" of effluent downslope; or
- ✓ the separation between the bottom of the leach line to bedrock or high groundwater is inadequate.

Based on Natural Resource Conservation Service (NRCS) Soil Survey map, the soil type(s) for the project is provided in the listed in the previous Agricultural Resource section. The main limitation(s) of this soil for wastewater effluent include:

- steep slopes**, where portions of the soil unit contain slopes steep enough to result in potential daylighting of wastewater effluent. In this case, the proposed leach lines are on or located within close proximity of steep slopes where some potential of effluent daylighting exists. A

registered civil engineer familiar with wastewater systems, shall prepare an analysis that shows the location and depth of the leach lines will have no potential for daylighting of effluent.

--**slow percolation**, where fluids will percolate too slowly through the soil for the natural processes to effectively break down the effluent into harmless components. The Basin Plan identifies the percolation rate should be greater than 30 and less than 120 minutes per inch

Impacts/Mitigation. Based on the following project conditions or design features, wastewater impacts are considered less than significant:

- ✓ The project has sufficient land area per the County's Land Use Ordinance to support an on-site system;
- ✓ The soil's slope is less than 20%; The leach lines are outside of the 100-year flood hazard area;
- ✓ There is adequate distance between proposed leach lines and existing or proposed wells;
- ✓ The leach lines are at least 100 feet from creeks and water bodies.

Based on the above discussion and information provided, the site appears to be able to design an on-site system that will meet CPC/Basin Plan requirements. Prior to building permit issuance and/or final inspection of the wastewater system, the applicant will need to show to the county compliance with the County Plumbing Code/ Central Coast Basin Plan, including any above-discussed information relating to potential constraints. Therefore, based on the project being able to comply with these regulations, potential groundwater quality impacts are considered less than significant.

14. WATER - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any water quality standards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Change the quantity or movement of available surface or ground water?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Adversely affect community water service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project proposes to use (an on-site well) as its water source. Based on available information, the proposed water source is not known to have any significant availability or quality problems.

The topography of the project is moderately sloping to steeply sloping. A creek, East Branch

Huerhuero Creek, runs through the east side of the property. As described in the NRCS Soil Survey, the soil surface is considered to have low erodibility.

Projects involving more than one acre of disturbance are subject to preparing a Storm Water Pollution Prevention Plan (SWPPP) to minimize on-site sedimentation and erosion. The County's Land Use Ordinance requires an Erosion and Sedimentation Control Plan be prepared for all construction and grading projects. This plan requires temporary sedimentation and erosion control measures to be installed during the rainy season.

The subject property is within the Paso Robles Ground Water Basin. The Paso Robles Ground Water Basin (PRGWB) Resource Capacity Study (RCS) has found that the PRGWB demand is approaching its safe yield. The RCS has also found that groundwater levels are dropping throughout the basin resulting in dry wells and causing property owners to drill wells deeper into the basin. The Board of Supervisors has directed several actions in order to address the continuing groundwater problems. These actions seek to arrest the creation of additional rural parcels that will raise the demand for water in the basin; require discretionary land uses to offset new pumping from the basin; develop a special landscape irrigation ordinance for the basin area; and establish special growth rates in the basin. The Board determined that ministerial development such as construction of single family residences will not require special attention to water use beyond what is required in the building ordinance and existing land use ordinance requirements. However, the Paso Robles Ground Water Management Plan that is being developed will oversee single family residences and will put into place a water management plan to help reduce water consumption.

Impact. On water use, based on the project description, as shown below, a reasonable "worst case" indoor water usage would likely be about 0.35 acre feet/year (AFY). Based on the project description, as calculated on the County's water usage worksheet, the project's water usage is estimated as follows:

Residential:	0.35 AFY
Landscaping:	0.3 AFY
Total Use:	0.65 AFY

Sources used for this estimate include one or more of the following references: County's Land Use Ordinance, 2000 Census data, Pacific Institute studies (2003), City of Santa Barbara Water Demand Factor & Conservation Study 'User Guide' (1989).

Regarding surface water quality, as proposed, the project will result in the disturbance of approximately 3.2 acres. The improvements for realignment of existing driveway and to the existing driveway may result in impacts to the creek due to sedimentation and erosion.

Mitigation/Conclusion. The applicant will be required to provide a drainage and erosion and sedimentation control plan (see "Geology/Soils" section). No specific measures above the measures required in the Geology/Soils section and the standard requirements have been determined necessary. Standard drainage and erosion control measures will be required for the proposed project and will reduce impacts to surface water quality to less than significant levels.

The applicant shall implement at least two Low Impact Development design measures to help promote groundwater re-charge. Such as, roof runoff should be directed to landscape areas (rain gardens) and / or vegetated drainage swales. Runoff should not be allowed to cross surfaces that have the potential to contain pollutants such as parking areas.

Standard drainage and erosion control measures will be required for the proposed project along with the measures listed in Exhibit B – Mitigation Summary Table will provide sufficient measures to adequately protect surface and groundwater quality.

The applicant shall also obtain necessary State and Federal permits for the construction and improvements for the access roads to insure that deposition of materials into the creek does not occur. Refer to Exhibit B, Mitigation Summary Table.

15. LAND USE - Will the project:	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be potentially inconsistent with any habitat or community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be potentially incompatible with surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Setting/Impact. Surrounding uses are identified on Page 2 of the Initial Study. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance (LUO), etc.). Referrals were sent to outside agencies to review for policy consistencies (e.g., CAL FIRE for Fire Code, APCD for Clean Air Plan, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used).

The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study.

Mitigation/Conclusion. No inconsistencies were identified and therefore no additional measures above what will already be required were determined necessary.

16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
--	-------------------------	--------------------------------	----------------------	----------------

a) Have the potential to degrade the quality of the environment, substantially

reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

b) *Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)*

c) *Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?*

For further information on CEQA or the county's environmental review process, please visit the County's web site at "www.sloplanning.org" under "Environmental Information", or the California Environmental Resources Evaluation System at: http://www.ceres.ca.gov/topic/env_law/ceqa/guidelines for information about the California Environmental Quality Act.

Exhibit A - Initial Study References and Agency Contacts

The County Planning or Environmental Divisions have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an ☒) and when a response was made, it is either attached or in the application file:

<u>Contacted</u>	<u>Agency</u>	<u>Response</u>
<input type="checkbox"/>	County Public Works Department	Not Applicable
<input type="checkbox"/>	County Environmental Health Division	Not Applicable
<input type="checkbox"/>	County Agricultural Commissioner's Office	Not Applicable
<input type="checkbox"/>	County Airport Manager	Not Applicable
<input type="checkbox"/>	Airport Land Use Commission	Not Applicable
<input type="checkbox"/>	Air Pollution Control District	Not Applicable
<input type="checkbox"/>	County Sheriff's Department	Not Applicable
<input type="checkbox"/>	Regional Water Quality Control Board	Not Applicable
<input type="checkbox"/>	CA Coastal Commission	Not Applicable
<input checked="" type="checkbox"/>	CA Department of Fish and Game	In File**
<input type="checkbox"/>	CA Department of Forestry (Cal Fire)	Not Applicable
<input type="checkbox"/>	CA Department of Transportation	Not Applicable
<input type="checkbox"/>	Community Service District	Not Applicable
<input type="checkbox"/>	Other _____	Not Applicable
<input type="checkbox"/>	Other _____	Not Applicable

** "No comment" or "No concerns"-type responses are usually not attached

The following checked ("☒") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

- | | |
|---|---|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Project File for the Subject Application <u>County documents</u> <input type="checkbox"/> Airport Land Use Plans <input checked="" type="checkbox"/> Annual Resource Summary Report <input type="checkbox"/> Building and Construction Ordinance <input type="checkbox"/> Coastal Policies <input checked="" type="checkbox"/> Framework for Planning (Coastal/Inland) <input checked="" type="checkbox"/> General Plan (Inland/Coastal), including all maps & elements; more pertinent elements considered include: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Agriculture Element <input checked="" type="checkbox"/> Conservation & Open Space Element (includes Energy, Conservation) <input checked="" type="checkbox"/> Housing Element <input checked="" type="checkbox"/> Noise Element <input type="checkbox"/> Parks & Recreation Element <input checked="" type="checkbox"/> Safety Element <input checked="" type="checkbox"/> Land Use Ordinance <input type="checkbox"/> Real Property Division Ordinance <input type="checkbox"/> Solid Waste Management Plan <input type="checkbox"/> Circulation Study | <ul style="list-style-type: none"> <input checked="" type="checkbox"/> El Pomar/Estrella Area Plan and Update EIR <u>Other documents</u> <input checked="" type="checkbox"/> Archaeological Resources Map <input checked="" type="checkbox"/> Area of Critical Concerns Map <input checked="" type="checkbox"/> Areas of Special Biological Importance Map <input checked="" type="checkbox"/> California Natural Species Diversity Database <input checked="" type="checkbox"/> Clean Air Plan <input checked="" type="checkbox"/> Fire Hazard Severity Map <input checked="" type="checkbox"/> Flood Hazard Maps <input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County <input checked="" type="checkbox"/> Regional Transportation Plan <input checked="" type="checkbox"/> Uniform Fire Code <input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3) <input checked="" type="checkbox"/> GIS mapping layers (e.g., Biology, geology, streams, slope, fire, hazards, transportation, water, etc.) <input type="checkbox"/> Other _____ |
|---|---|

In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

Botanical Resources Assessment Report for Horsetail Ranch, Creston, SWCA Environmental Consultants, 2011.

Archaeological Surface Survey for Horsetail Ranch by Heritage Discoveries Inc., Thor Conway, Feb. 17, 2011.

Exhibit B - Mitigation Summary Table

Visual

VS-1 At the time of application for construction permits, the applicant shall submit architectural elevations of all proposed structures associated with the "Efraim Residence" and not the "Cottage Residence" to the Department of Planning and Building for review and approval in consultation with the Environmental Coordinator. The elevations shall show exterior finish materials, colors, and height above the existing natural ground surface. Colors shall minimize the structure massing of new development by reducing the contrast between the proposed development and the surrounding environment. Colors shall be compatible with the natural colors of the surrounding environment, including vegetation, rock outcrops, etc.. Darker, non-reflective, earth tone colors shall be selected for walls, chimneys etc. and darker green, grey, slate blue, or brown colors for the roof structures. The following colors/materials, or darker, shall be used: Roof - (color/material); Exterior walls - (color/material); Trim - (color/material). (All color selections shall fall within a "chroma" and "value" of 6 or less, as described in the Munsell Book of Color (review copy available at County, or go to internet website on topic such as:

<http://www.it.lut.fi/ip/research/color/demonstration/demonstration.html>.)

VS-2 At the time of application for construction permits, the applicant shall clearly delineate on the project plans the location and visual treatment of any new water tank(s). All water tanks shall be located in the least visually prominent location feasible when viewed from O'Donovan Road. Screening with topographic features, existing vegetation or existing structures shall be used as feasible. If the tank(s) cannot be fully screened with existing elements, then the tank(s) shall be a neutral or dark, non-contrasting color, and landscape screening shall be provided. The applicant shall provide evidence that the proposed tank(s) are as low profile as is possible, given the site conditions. Landscape material must be shown to do well in existing soils and conditions, be fast-growing, evergreen and drought tolerant and use drip irrigation for watering purposes. Shape and size of landscape material shall be in scale with proposed tank(s) and surrounding native vegetation. Plans shall show how plants will be watered and what watering schedule will be applied to ensure successful and vigorous growth.

VS-3 At the time of application for construction permits, the applicant shall provide an exterior lighting plan for "Efraim Residence" not the "Cottage Residence". The plan shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp or the related reflector interior surface is visible from O'Donovan Road. Security lighting shall be shielded so as not to create glare when viewed from O'Donovan Road. All lighting poles, fixtures, and hoods shall be dark colored. This plan shall be implemented **prior to final inspection or occupancy, whichever occurs first**.

VS-4 Prior to occupancy or final inspection, whichever occurs first, the applicant shall implement the approved color board, showing exterior finish materials, colors, and height above the existing natural ground surface and the approved landscape / screening plan.

Biological Resources

San Joaquin Kit Fox

Efrain Grading Permit, PMT2011-01714 on June 6, 2012 by Mike McGovern, indicates the project will impact 3.2 acres of San Joaquin kit fox habitat. The evaluation form was reviewed by Brandon Sanderson of the California Department of Fish and Game on June 13, 2012. The evaluation, complete with Mr. Sanderson's changes, resulted in a score of 61, which requires that all impacts to kit fox habitat be mitigated at a ratio of 2 acre conserved for each acre impacted 2:1. Total compensatory mitigation required for the project is 6.4 acres, based on 2 times 3.2 acres impacted. The mitigation options identified in BR-1 through BR-11 apply to the proposed project only; should the project change, the mitigation obligation may also change, and a reevaluation of the mitigation measures would be required.

BR-1 Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the County of San Luis Obispo, Department of Planning and Building, Environmental and Resource Management Division (County) (see contact information below) that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:

- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of 6.4 acres of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Game (Department) and the County.

This mitigation alternative (a.), requires that all aspects of this program must be in place before County permit issuance or initiation of any ground disturbing activities.

- b. Purchase 6.4 credits in a Department-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (b) above, can be completed by purchasing credits from the Palo Prieto Conservation Bank (see contact information below). The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total **\$16,000**. This fee is calculated based on the current cost-per-credit of \$2500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to County permit issuance and initiation of any ground disturbing activities.

BR-2 Prior to issuance of grading and/or construction permits, the applicant shall provide evidence that they have retained a qualified biologist acceptable to the County Division of Environmental and Resource Management. The retained biologist shall perform the following monitoring activities:

- a. **Prior to issuance of grading and/or construction permits and within 30 days prior to initiation of site disturbance and/or construction**, the biologist shall conduct a pre-activity (i.e. pre-construction) survey for known or potential kit fox dens and submit a letter to the

County reporting the date the survey was conducted, the survey protocol, survey results, and what measures were necessary (and completed), as applicable, to address any kit fox activity within the project limits.

- b. The qualified biologist shall conduct weekly site visits during site-disturbance activities (i.e. grading, disking, excavation, stock piling of dirt or gravel, etc.) that proceed longer than 14 days, for the purpose of monitoring compliance with required Mitigation Measures BR-3 through BR11. Site- disturbance activities lasting up to 14 days do not require weekly monitoring by the biologist unless observations of kit fox or their dens are made on-site or the qualified biologist recommends monitoring for some other reason (see BR-2-c3). When weekly monitoring is required, the biologist shall submit weekly monitoring reports to the County.
- c. **Prior to or during project activities**, if any observations are made of San Joaquin Kit fox, or any known or potential San Joaquin kit fox dens are discovered within the project limits, the qualified biologist shall re-assess the probability of incidental take (e.g. harm or death) to kit fox. At the time a den is discovered, the qualified biologist shall contact the U.S. Fish and Wildlife Service and the Department for guidance on possible additional kit fox protection measures to implement and whether or not a Federal and/or State incidental take permit is needed. If a potential den is encountered during construction, work shall stop until such time the U.S. Fish and Wildlife Service/Department determine it is appropriate to resume work.

If incidental take of kit fox during project activities is possible, **before project activities commence**, the applicant must consult with the U.S. Fish and Wildlife Service and the Department (see contact information below). The results of this consultation may require the applicant to obtain a Federal and/or State permit for incidental take during project activities. The applicant should be aware that the presence of kit foxes or known or potential kit fox dens at the project site could result in further delays of project activities.

In addition, the qualified biologist shall implement the following measures:

1. **Within 30 days prior to initiation of site disturbance and/or construction**, fenced exclusion zones shall be established around all known and potential kit fox dens. Exclusion zone fencing shall consist of either large flagged stakes connected by rope or cord, or survey laths or wooden stakes prominently flagged with survey ribbon. Each exclusion zone shall be roughly circular in configuration with a radius of the following distance measured outward from the den or burrow entrances:
 - a) Potential kit fox den: 50 feet
 - b) Known or active kit fox den: 100 feet
 - c) Kit fox pupping den: 150 feet
2. All foot and vehicle traffic, as well as all construction activities, including storage of supplies and equipment, shall remain **outside** of exclusion zones. Exclusion zones shall be maintained until all project-related disturbances have been terminated, and then shall be removed.
3. If kit foxes or known or potential kit fox dens are found on site, daily monitoring during ground disturbing activities shall be required by a qualified biologist.

BR-3 Prior to issuance of grading and/or construction permits, the applicant shall clearly delineate as a note on the project plans, that: *"Speed signs of 25 mph (or lower) shall be posted for all construction traffic to minimize the probability of road mortality of the San Joaquin kit fox"*. Speed

limit signs shall be installed on the project site **within 30 days prior to initiation of site disturbance and/or construction**,

In addition, **prior to permit issuance and initiation of any ground disturbing activities**, conditions BR-3 through BR-11 of the Developer's Statement/Conditions of Approval shall be clearly delineated on project plans.

BR-4 During the site disturbance and/or construction phase, grading and construction activities after dusk shall be prohibited unless coordinated through the County, during which additional kit fox mitigation measures may be required.

BR-5 Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program, conducted by a qualified biologist, to avoid or reduce impacts on sensitive biological resources (i.e. San Joaquin kit fox). At a minimum, as the program relates to the kit fox, the training shall include the kit fox's life history, all mitigation measures specified by the county, as well as any related biological report(s) prepared for the project. The applicant shall notify the County shortly prior to this meeting. A kit fox fact sheet shall also be developed prior to the training program, and distributed at the training program to all contractors, employers and other personnel involved with the construction of the project.

BR-6 During the site-disturbance and/or construction phase, to prevent entrapment of the San Joaquin kit fox, all excavation, steep-walled holes or trenches in excess of two feet in depth shall be covered at the close of each working day by plywood or similar materials, or provided with one or more escape ramps constructed of earth fill or wooden planks. Trenches shall also be inspected for entrapped kit fox each morning prior to onset of field activities and immediately prior to covering with plywood at the end of each working day. Before such holes or trenches are filled, they shall be thoroughly inspected for entrapped kit fox. Any kit fox so discovered shall be allowed to escape before field activities resume, or removed from the trench or hole by a qualified biologist and allowed to escape unimpeded.

BR-7 During the site-disturbance and/or construction phase, any pipes, culverts, or similar structures with a diameter of four inches or greater, stored overnight at the project site shall be thoroughly inspected for trapped San Joaquin kit foxes before the subject pipe is subsequently buried, capped, or otherwise used or moved in any way. If during the construction phase a kit fox is discovered inside a pipe, that section of pipe will not be moved, or if necessary, be moved only once to remove it from the path of activity, until the kit fox has escaped.

BR-8 During the site-disturbance and/or construction phase, all food-related trash items such as wrappers, cans, bottles, and food scraps generated shall be disposed of in closed containers only and regularly removed from the site. Food items may attract San Joaquin kit foxes onto the project site, consequently exposing such animals to increased risk of injury or mortality. No deliberate feeding of wildlife shall be allowed.

BR-9 Prior to, during and after the site-disturbance and/or construction phase, use of pesticides or herbicides shall be in compliance with all local, state and federal regulations. This is necessary to minimize the probability of primary or secondary poisoning of endangered species utilizing adjacent habitats, and the depletion of prey upon which San Joaquin kit foxes depend.

BR-10 During the site-disturbance and/or construction phase, any contractor or employee that inadvertently kills or injures a San Joaquin kit fox or who finds any such animal either dead, injured, or entrapped shall be required to report the incident immediately to the applicant and County. In the event that any observations are made of injured or dead kit fox, the applicant shall immediately notify

the U.S. Fish and Wildlife Service and the Department by telephone (see contact information below). In addition, formal notification shall be provided in writing within three working days of the finding of any such animal(s). Notification shall include the date, time, location and circumstances of the incident. Any threatened or endangered species found dead or injured shall be turned over immediately to the Department for care, analysis, or disposition.

BR-11 Prior to final inspection, or occupancy, whichever comes first, should any long internal or perimeter fencing be proposed or installed, the applicant shall do the following to provide for kit fox passage:

- a. If a wire strand/pole design is used, the lowest strand shall be no closer to the ground than 12".
- b. If a more solid wire mesh fence is used, 8" x 12" openings near the ground shall be provided every 100 yards.

Upon fence installation, the applicant shall notify the County to verify proper installation. Any fencing constructed after issuance of a final permit shall follow the above guidelines.

Oak Trees

BR-12 Prior to issuance of construction and/or grading permits, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline). Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities. Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

BR-13 Prior to issuance of construction and/or grading permit, the applicant shall provide a tree replacement plan for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a) Number of Trees – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio (It is anticipated that no oak trees will be removed). Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
- b) Species – Trees shall be of the same species of the trees proposed for impact or removal. The species shall be clearly specified on the plans.
- c) Planting – Replanting shall be completed as soon as it is feasible (e.g. irrigation water is available, grading done in replant area). Replant areas shall be either in native topsoil or areas where native topsoil has been reapplied. If the latter, top soil shall be carefully removed and stockpiled for spreading over graded areas to be replanted (set aside enough for 6-12" layer). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.
- d) Maintenance – Newly planted trees shall be maintained until successfully established. This shall include protection (e.g. tree shelters, caging) from animals

(e.g., deer, rodents), regular weeding of at least a three foot radius out from the planting, and adequate watering (e.g., drip-irrigation system). Hand removal of weeds shall be kept up on a regular basis at least once in late spring (April) and once in early winter (December).

- e) Irrigation/Watering – Irrigation details shall be clearly shown on the plans. Watering should be controlled so only enough is used to initially establish the tree, and reducing to zero over a three year period.

BR-14 Prior to commencement of any tree removal, to avoid conflicts with nesting raptors, construction activities shall not be allowed during to the nesting season (March to July), unless a county-approved, qualified biologist has surveyed the impact zone and determined that no nesting activities will be adversely impacted. At such time, if any evidence of nesting activities are found, the biologist will determine if any construction activities can occur during the nesting period and to what extent. The results of the surveys will be passed immediately to the County Environmental Division, possibly with recommendations for variable buffer zones, as needed, around individual nests. The applicant agrees to incorporate those recommendations approved by the county.

BR-15 Prior to final inspections or occupancy, whichever occurs first, replacement trees shall be installed or bonded for in compliance with the approved tree replacement plan. If bonded for, installation shall be completed within 60 days of bonding.

BR-16 All oak trees identified to remain shall not be removed. Unless previously approved by the county, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

Water

W-1 Any disturbed areas shall be restored as soon as possible, and prior to final inspection. A compatible native seed mix shall be used to revegetate the restored area (see following list). The same revegetation treatment shall apply for any areas to be left undisturbed for greater than 30 days.

"RIPARIAN" SEED MIX

<u>Species</u>	<u># plants/ac</u>	<u>Source</u>
<i>Cornus stolonifera</i> (redtwig dogwood)	10	seeds, mostly cuttings
<i>Heteromeles arbutifolia</i> (toyon)	5	seeds, cuttings
<i>Lonicera involucrata</i> (honeysuckle)	10	seeds, mostly cuttings
<i>Mimulus guttatus</i> (common monkeyflower)	10	seeds, mostly cuttings
<i>Myrica californica</i> (Pacific wax myrtle)	5	seeds, mostly cuttings
<i>Platanus racemosa</i> (California sycamore)	10	seeds, mostly cuttings
<i>Populus trichocarpa</i> (black cottonwood)	10	seeds, mostly cuttings
<i>Pteridium aquilinum</i> (bracken fern)	10	cuttings
<i>Quercus agrifolia</i> (coast live oak)	5	seeds, cuttings
<i>Ribes menziesii</i> (canyon gooseberry)	6	seeds, mostly cuttings
<i>Rosa californica</i> (California rose)	6	seeds, cuttings
<i>Rubus ursinus</i> (California blackberry)	15	seeds, cuttings
<i>Salix lasiolepis</i> (arroyo willow)	20	mostly cuttings
<i>Salvia spathecea</i> (pitcher sage)	12	seeds
<i>Sambucus mexicana</i> (blue elderberry)	5	seeds, mostly cuttings

- (1) This seed mix is intended to provide general guidelines when revegetating within riparian habitat. Variations of the mix may be appropriate, as recommended by the County Planning and Building Department or county-approved qualified individual, where unique biological conditions exist or seed availabilities are limited. When ordering, local seed stock should be specified and used whenever available.

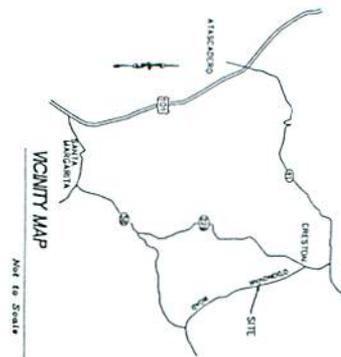
W-2 Prior to any work beginning on the project site, should the project need to span a riparian corridor, or disturb any riparian habitat, the applicant understands that they will need to contact the following agencies to determine the need for other state or federal permits: California Department of Fish and Game, U.S. Fish & Wildlife Service, National Marine Fisheries Service, Army Corps of Engineers. Evidence that these agencies have been contacted shall be supplied to the Department of Planning and Building **prior to issuance of grading and/or construction permits.**

W-3 At the time of application for construction permits, the applicant shall show 3 stormwater runoff reduction measures. Such measures include but not limited to:

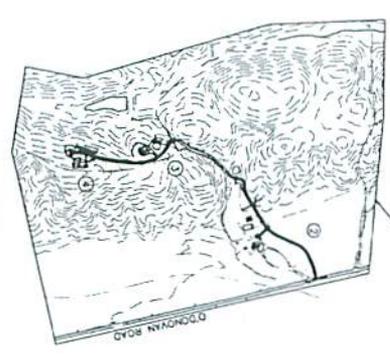
- o Rain gardens;
- o Porous paving system;
- o Vegetative swales;
- o Pavement disconnection or;
- o Other, as approved by the County Planning Department in consultation with Public Works.

This measures shall be implemented **prior to final inspection or occupancy, whichever occurs first.**

W-4 Prior to approval of construction permit, to minimize potential sedimentation within the creek, a sedimentation and erosion control plan shall be prepared that minimizes project sediment from reaching the creek. At a minimum, straw wattles (or comparably effective devices shall be placed on the **down** slope sides of the proposed work which would direct flows into temporary sedimentation basins.



COUNTY MAP
NOT TO SCALE



SITE MAP
1" = 200'

- SHEET INDEX**
- 1. THIS SHEET
 - 2. ROAD IMPROVEMENTS - STA 0+00 TO 8+00
 - 3. ROAD IMPROVEMENTS - STA 8+00 TO 11+00
 - 4. ROAD IMPROVEMENTS - STA 11+00 TO 28+25
 - 5. BUILDING SITE GRADING PLAN

LEGAL DESCRIPTION

LOT 108, ALSO KNOWN AS SECTION 108, T. 48 N. R. 118 W.

OWNERS

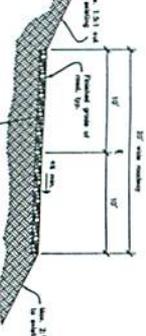
John & Mary Smith
123 Main Street
Cheston, CA 93822
Phone 543-1234

EROSION CONTROL NOTES

1. Erosion control measures shall be installed and maintained in accordance with the following specifications:
2. All erosion control measures shall be installed prior to the start of construction.
3. Erosion control measures shall be maintained throughout the construction period.
4. Erosion control measures shall be removed only after the final grading has been completed and the area has been stabilized.
5. Erosion control measures shall be installed in accordance with the following specifications:
6. Erosion control measures shall be installed in accordance with the following specifications:
7. Erosion control measures shall be installed in accordance with the following specifications:
8. Erosion control measures shall be installed in accordance with the following specifications:
9. Erosion control measures shall be installed in accordance with the following specifications:
10. Erosion control measures shall be installed in accordance with the following specifications:

THREE PROTECTION NOTES

1. The first protection note shall be installed in accordance with the following specifications:
2. The second protection note shall be installed in accordance with the following specifications:
3. The third protection note shall be installed in accordance with the following specifications:



TYPICAL GRAVEL ROAD SECTION
12' ROAD WIDTH
18" GRAVEL
12" COMPACTED BASE

SPECIAL INSPECTIONS

1. All special inspections shall be performed in accordance with the following specifications:
2. All special inspections shall be performed in accordance with the following specifications:
3. All special inspections shall be performed in accordance with the following specifications:
4. All special inspections shall be performed in accordance with the following specifications:
5. All special inspections shall be performed in accordance with the following specifications:
6. All special inspections shall be performed in accordance with the following specifications:
7. All special inspections shall be performed in accordance with the following specifications:
8. All special inspections shall be performed in accordance with the following specifications:
9. All special inspections shall be performed in accordance with the following specifications:
10. All special inspections shall be performed in accordance with the following specifications:

EROSION CONTROL + INSPECTIONS

1. Erosion control measures shall be installed in accordance with the following specifications:
2. Erosion control measures shall be installed in accordance with the following specifications:
3. Erosion control measures shall be installed in accordance with the following specifications:
4. Erosion control measures shall be installed in accordance with the following specifications:
5. Erosion control measures shall be installed in accordance with the following specifications:
6. Erosion control measures shall be installed in accordance with the following specifications:
7. Erosion control measures shall be installed in accordance with the following specifications:
8. Erosion control measures shall be installed in accordance with the following specifications:
9. Erosion control measures shall be installed in accordance with the following specifications:
10. Erosion control measures shall be installed in accordance with the following specifications:

PROJECT STATISTICS

Cal. 5300 FTA, 10 5300 FTA, 1044 10400 FTA
Mileage: 8.1, Mile: 2.5, 11
Average 10' 10" (10' 10" x 1.2) (1.2)

APPLICABLE CODES

- 1. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 2. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 3. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 4. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 5. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 6. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 7. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 8. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 9. California Building Code, Title 24, Part 2, Chapter 2, Section 20200
- 10. California Building Code, Title 24, Part 2, Chapter 2, Section 20200

GENERAL COUNTY NOTES

1. All construction shall be in accordance with the following specifications:
2. All construction shall be in accordance with the following specifications:
3. All construction shall be in accordance with the following specifications:
4. All construction shall be in accordance with the following specifications:
5. All construction shall be in accordance with the following specifications:
6. All construction shall be in accordance with the following specifications:
7. All construction shall be in accordance with the following specifications:
8. All construction shall be in accordance with the following specifications:
9. All construction shall be in accordance with the following specifications:
10. All construction shall be in accordance with the following specifications:

GRADING NOTES

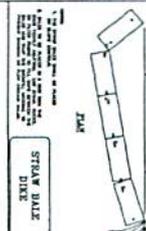
1. All grading shall be in accordance with the following specifications:
2. All grading shall be in accordance with the following specifications:
3. All grading shall be in accordance with the following specifications:
4. All grading shall be in accordance with the following specifications:
5. All grading shall be in accordance with the following specifications:
6. All grading shall be in accordance with the following specifications:
7. All grading shall be in accordance with the following specifications:
8. All grading shall be in accordance with the following specifications:
9. All grading shall be in accordance with the following specifications:
10. All grading shall be in accordance with the following specifications:



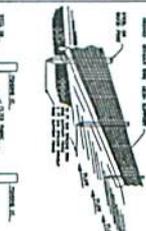
STRAW BALE DIKE



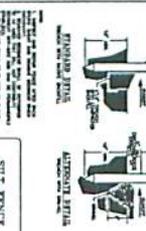
SILT FENCE



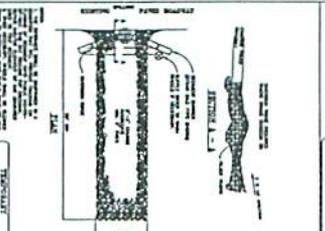
STRAW BALE DIKE WITH SILT FENCE



STRAW BALE DIKE WITH SILT FENCE AND STRAW BALE DIKE



STRAW BALE DIKE WITH SILT FENCE AND STRAW BALE DIKE



STRAW BALE DIKE WITH SILT FENCE AND STRAW BALE DIKE

RECORD DRAWINGS

NO.	DATE	DESCRIPTION
1	10/11/11	REVISION
2	10/11/11	REVISION
3	10/11/11	REVISION
4	10/11/11	REVISION
5	10/11/11	REVISION
6	10/11/11	REVISION
7	10/11/11	REVISION
8	10/11/11	REVISION
9	10/11/11	REVISION
10	10/11/11	REVISION

ROBERTS ENGINEERING, INC.

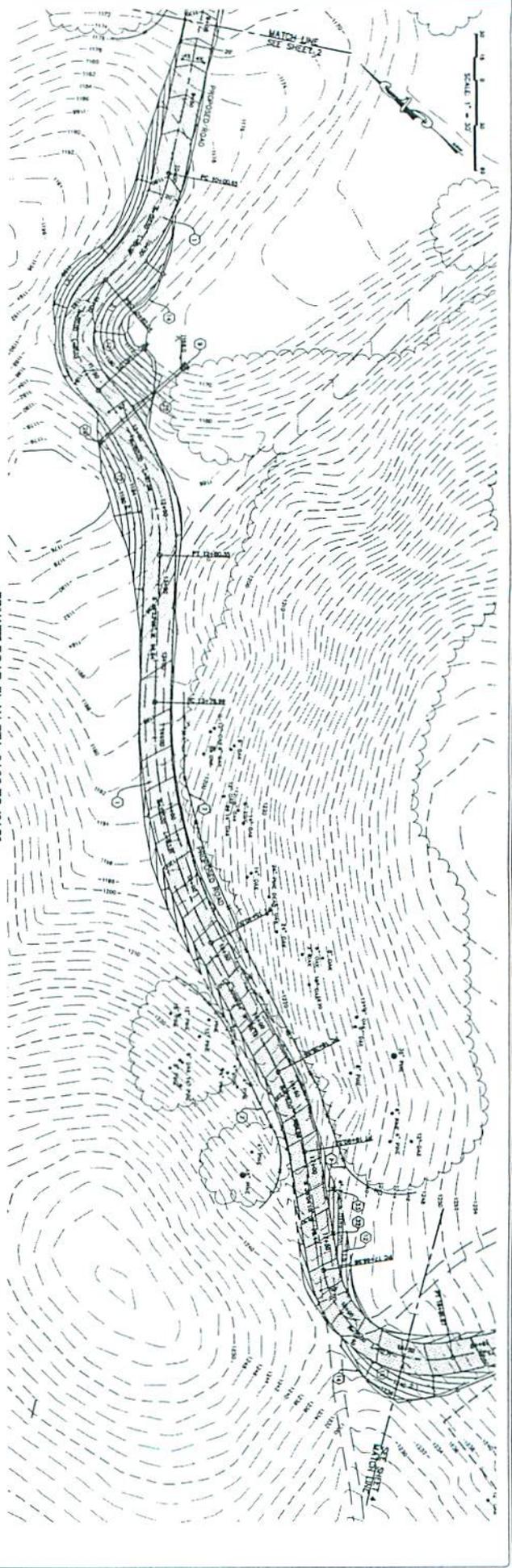
Roberts Engineering, Inc.
123 Main Street
Cheston, CA 93822
Phone 543-1234
Email: roberts@robertseng.com

PHYSICAL ROAD IMPROVEMENTS - GRADING PLAN

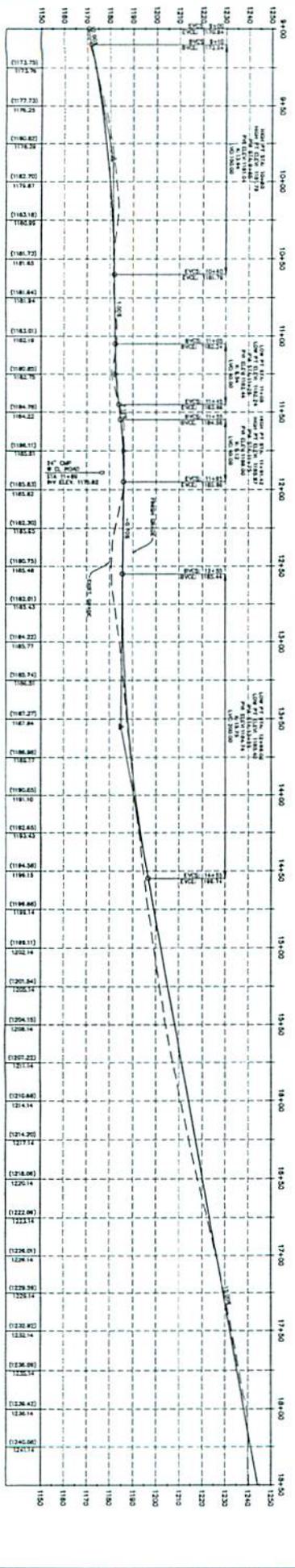
PHYSICAL ROAD IMPROVEMENTS - GRADING PLAN
123 Main Street
Cheston, CA 93822
Phone 543-1234
Email: roberts@robertseng.com

CONSTRUCTION CONSTRAINTS/EXIT

CONSTRUCTION CONSTRAINTS/EXIT
123 Main Street
Cheston, CA 93822
Phone 543-1234
Email: roberts@robertseng.com



PRIVATE ROAD PLAN STA. 9+00 TO 19+50
SCALE 1"=20'



PRIVATE ROAD PROFILE STA. 9+00 TO 19+50
HORIZ. SCALE 1"=20'
VERT. SCALE 1"=20'

CONSTRUCTION NOTES

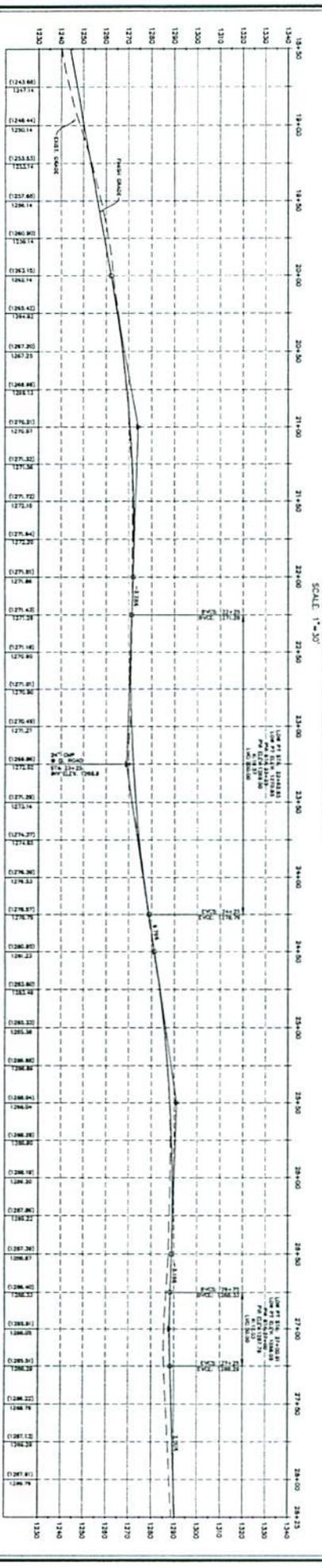
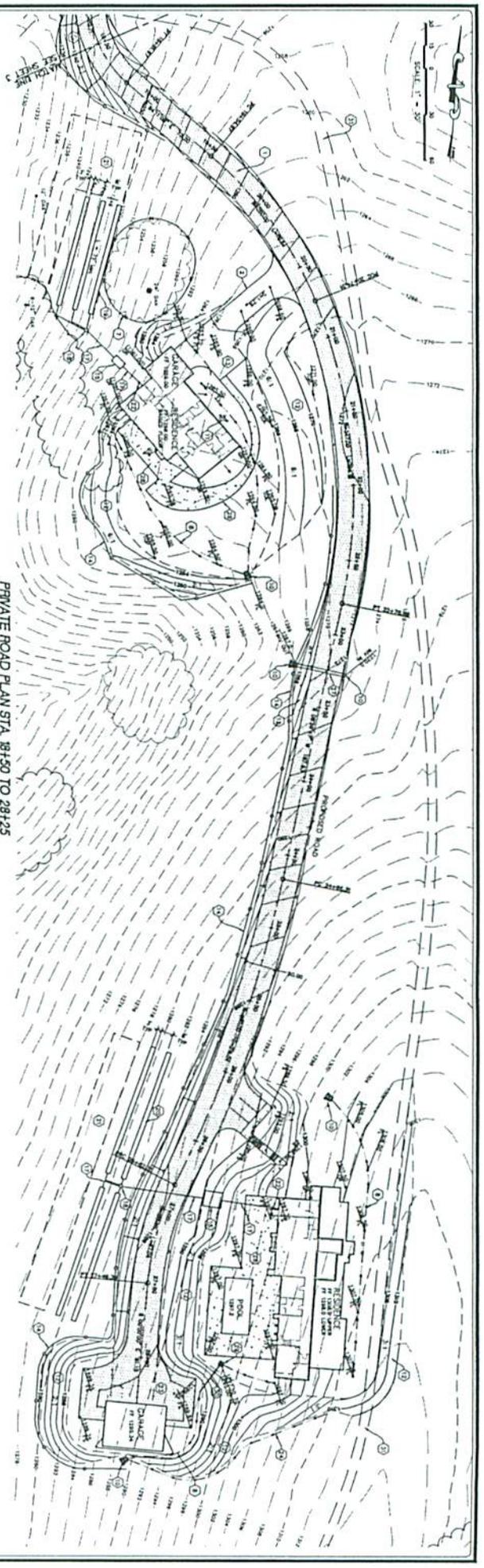
- 1) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 2) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 3) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 4) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 5) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 6) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 7) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 8) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 9) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 10) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 11) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 12) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 13) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 14) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 15) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 16) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 17) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 18) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 19) Proposed 20' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.
- 20) Proposed 10' wide driveway shall be constructed per Section 10.01 of the Standard Specifications for Road and Bridge Construction.



Roberts Engineering
Timothy P. Roberts
Civil Engineer - ELEC 25356
2015 State of Texas
Phone: (956) 238-6664
Fax: (956) 238-6664
www.roberts-engineering.com

Record Drawings
Project No. 2015-01
Drawing No. 3
Date: 10/20/15

Roberts Engineering, Inc.
ERRAM - HORSETAIL RANCH
Private Road Improvements -
Grading Plan
Sheet No. 3 of 4



PRIVATE ROAD PROFILE STA. 18+50 TO 28+25
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 20'

- CONSTRUCTION NOTES**
1. Construct 12" thick concrete base course per Section 702.
 2. Construct 12" thick decorative base course.
 3. Stone and concrete retaining walls.
 4. Construct existing foundation to 1' above approach.
 5. Existing utility post to remain.
 6. Existing well.
 7. Install new production facility at 18+50 to 18+75.
 8. Install new drainage system at 18+75 to 18+85.
 9. Install 12" concrete curb and 12" concrete base course at 18+85 to 18+95.
 10. Install 12" concrete curb and 12" concrete base course at 18+95 to 19+05.
 11. Install 12" concrete curb and 12" concrete base course at 19+05 to 19+15.
 12. Install 12" concrete curb and 12" concrete base course at 19+15 to 19+25.
 13. Install 12" concrete curb and 12" concrete base course at 19+25 to 19+35.
 14. Install 12" concrete curb and 12" concrete base course at 19+35 to 19+45.
 15. Install 12" concrete curb and 12" concrete base course at 19+45 to 19+55.
 16. Install 12" concrete curb and 12" concrete base course at 19+55 to 19+65.
 17. Install 12" concrete curb and 12" concrete base course at 19+65 to 19+75.
 18. Install 12" concrete curb and 12" concrete base course at 19+75 to 19+85.
 19. Install 12" concrete curb and 12" concrete base course at 19+85 to 19+95.
 20. Install 12" concrete curb and 12" concrete base course at 19+95 to 20+05.
 21. Install 12" concrete curb and 12" concrete base course at 20+05 to 20+15.
 22. Install 12" concrete curb and 12" concrete base course at 20+15 to 20+25.
 23. Install 12" concrete curb and 12" concrete base course at 20+25 to 20+35.
 24. Install 12" concrete curb and 12" concrete base course at 20+35 to 20+45.
 25. Install 12" concrete curb and 12" concrete base course at 20+45 to 20+55.
 26. Install 12" concrete curb and 12" concrete base course at 20+55 to 20+65.
 27. Install 12" concrete curb and 12" concrete base course at 20+65 to 20+75.
 28. Install 12" concrete curb and 12" concrete base course at 20+75 to 20+85.
 29. Install 12" concrete curb and 12" concrete base course at 20+85 to 20+95.
 30. Install 12" concrete curb and 12" concrete base course at 20+95 to 21+05.
 31. Install 12" concrete curb and 12" concrete base course at 21+05 to 21+15.
 32. Install 12" concrete curb and 12" concrete base course at 21+15 to 21+25.
 33. Install 12" concrete curb and 12" concrete base course at 21+25 to 21+35.
 34. Install 12" concrete curb and 12" concrete base course at 21+35 to 21+45.
 35. Install 12" concrete curb and 12" concrete base course at 21+45 to 21+55.
 36. Install 12" concrete curb and 12" concrete base course at 21+55 to 21+65.
 37. Install 12" concrete curb and 12" concrete base course at 21+65 to 21+75.
 38. Install 12" concrete curb and 12" concrete base course at 21+75 to 21+85.
 39. Install 12" concrete curb and 12" concrete base course at 21+85 to 21+95.
 40. Install 12" concrete curb and 12" concrete base course at 21+95 to 22+05.
 41. Install 12" concrete curb and 12" concrete base course at 22+05 to 22+15.
 42. Install 12" concrete curb and 12" concrete base course at 22+15 to 22+25.
 43. Install 12" concrete curb and 12" concrete base course at 22+25 to 22+35.
 44. Install 12" concrete curb and 12" concrete base course at 22+35 to 22+45.
 45. Install 12" concrete curb and 12" concrete base course at 22+45 to 22+55.
 46. Install 12" concrete curb and 12" concrete base course at 22+55 to 22+65.
 47. Install 12" concrete curb and 12" concrete base course at 22+65 to 22+75.
 48. Install 12" concrete curb and 12" concrete base course at 22+75 to 22+85.
 49. Install 12" concrete curb and 12" concrete base course at 22+85 to 22+95.
 50. Install 12" concrete curb and 12" concrete base course at 22+95 to 23+05.
 51. Install 12" concrete curb and 12" concrete base course at 23+05 to 23+15.
 52. Install 12" concrete curb and 12" concrete base course at 23+15 to 23+25.
 53. Install 12" concrete curb and 12" concrete base course at 23+25 to 23+35.
 54. Install 12" concrete curb and 12" concrete base course at 23+35 to 23+45.
 55. Install 12" concrete curb and 12" concrete base course at 23+45 to 23+55.
 56. Install 12" concrete curb and 12" concrete base course at 23+55 to 23+65.
 57. Install 12" concrete curb and 12" concrete base course at 23+65 to 23+75.
 58. Install 12" concrete curb and 12" concrete base course at 23+75 to 23+85.
 59. Install 12" concrete curb and 12" concrete base course at 23+85 to 23+95.
 60. Install 12" concrete curb and 12" concrete base course at 23+95 to 24+05.
 61. Install 12" concrete curb and 12" concrete base course at 24+05 to 24+15.
 62. Install 12" concrete curb and 12" concrete base course at 24+15 to 24+25.
 63. Install 12" concrete curb and 12" concrete base course at 24+25 to 24+35.
 64. Install 12" concrete curb and 12" concrete base course at 24+35 to 24+45.
 65. Install 12" concrete curb and 12" concrete base course at 24+45 to 24+55.
 66. Install 12" concrete curb and 12" concrete base course at 24+55 to 24+65.
 67. Install 12" concrete curb and 12" concrete base course at 24+65 to 24+75.
 68. Install 12" concrete curb and 12" concrete base course at 24+75 to 24+85.
 69. Install 12" concrete curb and 12" concrete base course at 24+85 to 24+95.
 70. Install 12" concrete curb and 12" concrete base course at 24+95 to 25+05.
 71. Install 12" concrete curb and 12" concrete base course at 25+05 to 25+15.
 72. Install 12" concrete curb and 12" concrete base course at 25+15 to 25+25.
 73. Install 12" concrete curb and 12" concrete base course at 25+25 to 25+35.
 74. Install 12" concrete curb and 12" concrete base course at 25+35 to 25+45.
 75. Install 12" concrete curb and 12" concrete base course at 25+45 to 25+55.
 76. Install 12" concrete curb and 12" concrete base course at 25+55 to 25+65.
 77. Install 12" concrete curb and 12" concrete base course at 25+65 to 25+75.
 78. Install 12" concrete curb and 12" concrete base course at 25+75 to 25+85.
 79. Install 12" concrete curb and 12" concrete base course at 25+85 to 25+95.
 80. Install 12" concrete curb and 12" concrete base course at 25+95 to 26+05.
 81. Install 12" concrete curb and 12" concrete base course at 26+05 to 26+15.
 82. Install 12" concrete curb and 12" concrete base course at 26+15 to 26+25.
 83. Install 12" concrete curb and 12" concrete base course at 26+25 to 26+35.
 84. Install 12" concrete curb and 12" concrete base course at 26+35 to 26+45.
 85. Install 12" concrete curb and 12" concrete base course at 26+45 to 26+55.
 86. Install 12" concrete curb and 12" concrete base course at 26+55 to 26+65.
 87. Install 12" concrete curb and 12" concrete base course at 26+65 to 26+75.
 88. Install 12" concrete curb and 12" concrete base course at 26+75 to 26+85.
 89. Install 12" concrete curb and 12" concrete base course at 26+85 to 26+95.
 90. Install 12" concrete curb and 12" concrete base course at 26+95 to 27+05.
 91. Install 12" concrete curb and 12" concrete base course at 27+05 to 27+15.
 92. Install 12" concrete curb and 12" concrete base course at 27+15 to 27+25.
 93. Install 12" concrete curb and 12" concrete base course at 27+25 to 27+35.
 94. Install 12" concrete curb and 12" concrete base course at 27+35 to 27+45.
 95. Install 12" concrete curb and 12" concrete base course at 27+45 to 27+55.
 96. Install 12" concrete curb and 12" concrete base course at 27+55 to 27+65.
 97. Install 12" concrete curb and 12" concrete base course at 27+65 to 27+75.
 98. Install 12" concrete curb and 12" concrete base course at 27+75 to 27+85.
 99. Install 12" concrete curb and 12" concrete base course at 27+85 to 27+95.
 100. Install 12" concrete curb and 12" concrete base course at 27+95 to 28+05.
 101. Install 12" concrete curb and 12" concrete base course at 28+05 to 28+15.
 102. Install 12" concrete curb and 12" concrete base course at 28+15 to 28+25.

Roberts Engineering
 Timothy P. Roberts
 Civil Engineer - NCE 35166
 2015 Van de Ven Ave
 Torrance, CA 90505
 Tel: (310) 234-4118
 Email: timothy@robertseng.com

Record Drawing

Project Name: **Private Road Improvements - EFRAM - HORSEFALL DANCY**

Project Location: **Grading Plan**

Scale: **1" = 30'**

Author: **Timothy P. Roberts**

Check: **Timothy P. Roberts**

Date: **2017/1/10**

Sheet No. **4** of **4**

Date: July 9, 2012

**DEVELOPER'S STATEMENT FOR
EFRAIM GRADING PERMIT
PMT2011-01714**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

Note: The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

The following mitigation measures address impacts that may occur as a result of the development of the project.

Visual

VS-1 At the time of application for construction permits, the applicant shall submit architectural elevations of all proposed structures associated with the "Efraim Residence" and not the "Cottage Residence" to the Department of Planning and Building for review and approval in consultation with the Environmental Coordinator. The elevations shall show exterior finish materials, colors, and height above the existing natural ground surface. Colors shall minimize the structure massing of new development by reducing the contrast between the proposed development and the surrounding environment. Colors shall be compatible with the natural colors of the surrounding environment, including vegetation, rock outcrops, etc.. Darker, non-reflective, earth tone colors shall be selected for walls, chimneys etc. and darker green, grey, slate blue, or brown colors for the roof structures. The following colors/materials, or darker, shall be used: Roof - (color/material); Exterior walls - (color/material); Trim - (color/material). (All color selections shall fall within a "chroma" and "value" of 6 or less, as described in the Munsell Book of Color (review copy available at County, or go to internet website on topic such as:

<http://www.it.lut.fi/ip/research/color/demonstration/demonstration.html>.)

VS-2 At the time of application for construction permits, the applicant shall clearly delineate on the project plans the location and visual treatment of any new water tank(s). All water tanks shall be located in the least visually prominent location feasible when viewed from O'Donovan Road. Screening with topographic features, existing vegetation or existing structures shall be used as feasible. If the tank(s) cannot be fully screened with existing elements, then the tank(s) shall be a neutral or dark, non-contrasting color, and landscape screening shall be provided. The applicant shall provide evidence that the proposed tank(s) are as low profile as is possible, given the site conditions. Landscape material must be shown to do well in existing soils and conditions, be fast-growing, evergreen and drought tolerant and use drip irrigation for watering purposes. Shape and size of landscape material shall be in scale

with proposed tank(s) and surrounding native vegetation. Plans shall show how plants will be watered and what watering schedule will be applied to ensure successful and vigorous growth.

VS-3 At the time of application for construction permits, the applicant shall provide an exterior lighting plan for "Efraim Residence" not the "Cottage Residence". The plan shall include the height, location, and intensity of all exterior lighting. All lighting fixtures shall be shielded so that neither the lamp or the related reflector interior surface is visible from O'Donovan Road. Security lighting shall be shielded so as not to create glare when viewed from O'Donovan Road. All lighting poles, fixtures, and hoods shall be dark colored. This plan shall be implemented **prior to final inspection or occupancy, whichever occurs first.**

VS-4 Prior to occupancy or final inspection, whichever occurs first, the applicant shall implement the approved color board, showing exterior finish materials, colors, and height above the existing natural ground surface and the approved landscape / screening plan.

Biological Resources

San Joaquin Kit Fox

Efraim Grading Permit, PMT2011-01714 on June 6, 2012 by Mike McGovern, indicates the project will impact 3.2 acres of San Joaquin kit fox habitat. The evaluation form was reviewed by Brandon Sanderson of the California Department of Fish and Game on June 13, 2012. The evaluation, complete with Mr. Sanderson's changes, resulted in a score of 61, which requires that all impacts to kit fox habitat be mitigated at a ratio of 2 acre conserved for each acre impacted 2:1. Total compensatory mitigation required for the project is 6.4 acres, based on 2 times 3.2 acres impacted. The mitigation options identified in BR-1 through BR-11 apply to the proposed project only; should the project change, the mitigation obligation may also change, and a reevaluation of the mitigation measures would be required.

BR-1 Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the County of San Luis Obispo, Department of Planning and Building, Environmental and Resource Management Division (County) (see contact information below) that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:

- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of 6.4 acres of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Game (Department) and the County.

This mitigation alternative (a.), requires that all aspects of this program must be in place before County permit issuance or initiation of any ground disturbing activities.

- b. Purchase 6.4 credits in a Department-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (b) above, can be completed by purchasing credits from the Palo Prieto Conservation Bank (see contact information below). The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total \$16,000. This fee is calculated based on the current cost-per-credit of \$2500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to County permit issuance and initiation of any ground disturbing activities.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Division of Environmental and Resource Management.

BR-2 Prior to issuance of grading and/or construction permits, the applicant shall provide evidence that they have retained a qualified biologist acceptable to the County Division of Environmental and Resource Management. The retained biologist shall perform the following monitoring activities:

- a. **Prior to issuance of grading and/or construction permits and within 30 days prior to initiation of site disturbance and/or construction,** the biologist shall conduct a pre-activity (i.e. pre-construction) survey for known or potential kit fox dens and submit a letter to the County reporting the date the survey was conducted, the survey protocol, survey results, and what measures were necessary (and completed), as applicable, to address any kit fox activity within the project limits.
- b. The qualified biologist shall conduct weekly site visits during site-disturbance activities (i.e. grading, diskings, excavation, stock piling of dirt or gravel, etc.) that proceed longer than 14 days, for the purpose of monitoring compliance with required Mitigation Measures BR-3 through BR11. Site-disturbance activities lasting up to 14 days do not require weekly monitoring by the biologist unless observations of kit fox or their dens are made on-site or the qualified biologist recommends monitoring for some other reason (see BR-2-c3). When weekly monitoring is required, the biologist shall submit weekly monitoring reports to the County.
- c. **Prior to or during project activities,** if any observations are made of San Joaquin Kit fox, or any known or potential San Joaquin kit fox dens are discovered within the project limits, the qualified biologist shall re-assess the probability of incidental take (e.g. harm or death) to kit fox. At the time a den is discovered, the qualified biologist shall contact the U.S. Fish and Wildlife Service and the Department for guidance on possible additional kit fox protection measures to implement and whether or not a Federal and/or State incidental take permit is needed. If a potential den is encountered during

construction, work shall stop until such time the U.S. Fish and Wildlife Service/Department determine it is appropriate to resume work.

If incidental take of kit fox during project activities is possible, **before project activities commence**, the applicant must consult with the U.S. Fish and Wildlife Service and the Department (see contact information below). The results of this consultation may require the applicant to obtain a Federal and/or State permit for incidental take during project activities. The applicant should be aware that the presence of kit foxes or known or potential kit fox dens at the project site could result in further delays of project activities.

In addition, the qualified biologist shall implement the following measures:

1. **Within 30 days prior to initiation of site disturbance and/or construction**, fenced exclusion zones shall be established around all known and potential kit fox dens. Exclusion zone fencing shall consist of either large flagged stakes connected by rope or cord, or survey laths or wooden stakes prominently flagged with survey ribbon. Each exclusion zone shall be roughly circular in configuration with a radius of the following distance measured outward from the den or burrow entrances:
 - a) Potential kit fox den: 50 feet
 - b) Known or active kit fox den: 100 feet
 - c) Kit fox pupping den: 150 feet
2. All foot and vehicle traffic, as well as all construction activities, including storage of supplies and equipment, shall remain **outside** of exclusion zones. Exclusion zones shall be maintained until all project-related disturbances have been terminated, and then shall be removed.
3. If kit foxes or known or potential kit fox dens are found on site, daily monitoring during ground disturbing activities shall be required by a qualified biologist.

Monitoring: Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the County Division of Environmental and Resource Management.

BR-3 Prior to issuance of grading and/or construction permits, the applicant shall clearly delineate as a note on the project plans, that: "*Speed signs of 25 mph (or lower) shall be posted for all construction traffic to minimize the probability of road mortality of the San Joaquin kit fox*". Speed limit signs shall be installed on the project site **within 30 days prior to initiation of site disturbance and/or construction**,

In addition, **prior to permit issuance and initiation of any ground disturbing activities**, conditions BR-3 through BR-11 of the Developer's Statement/Conditions of Approval shall be clearly delineated on project plans.

BR-4 During the site disturbance and/or construction phase, grading and construction activities after dusk shall be prohibited unless coordinated through the County, during which additional kit fox mitigation measures may be required.

BR-5 Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program, conducted by a qualified biologist, to avoid or reduce impacts on sensitive biological resources (i.e. San Joaquin kit fox). At a minimum, as the program relates to the kit fox, the training shall include the kit fox's life history, all mitigation measures specified by the county, as well as any related biological report(s) prepared for the project. The applicant shall notify the County shortly prior to this meeting. A kit fox fact sheet shall also be developed prior to the training program, and distributed at the training program to all contractors, employers and other personnel involved with the construction of the project.

BR-6 During the site-disturbance and/or construction phase, to prevent entrapment of the San Joaquin kit fox, all excavation, steep-walled holes or trenches in excess of two feet in depth shall be covered at the close of each working day by plywood or similar materials, or provided with one or more escape ramps constructed of earth fill or wooden planks. Trenches shall also be inspected for entrapped kit fox each morning prior to onset of field activities and immediately prior to covering with plywood at the end of each working day. Before such holes or trenches are filled, they shall be thoroughly inspected for entrapped kit fox. Any kit fox so discovered shall be allowed to escape before field activities resume, or removed from the trench or hole by a qualified biologist and allowed to escape unimpeded.

BR-7 During the site-disturbance and/or construction phase, any pipes, culverts, or similar structures with a diameter of four inches or greater, stored overnight at the project site shall be thoroughly inspected for trapped San Joaquin kit foxes before the subject pipe is subsequently buried, capped, or otherwise used or moved in any way. If during the construction phase a kit fox is discovered inside a pipe, that section of pipe will not be moved, or if necessary, be moved only once to remove it from the path of activity, until the kit fox has escaped.

BR-8 During the site-disturbance and/or construction phase, all food-related trash items such as wrappers, cans, bottles, and food scraps generated shall be disposed of in closed containers only and regularly removed from the site. Food items may attract San Joaquin kit foxes onto the project site, consequently exposing such animals to increased risk of injury or mortality. No deliberate feeding of wildlife shall be allowed.

BR-9 Prior to, during and after the site-disturbance and/or construction phase, use of pesticides or herbicides shall be in compliance with all local, state and federal regulations. This is necessary to minimize the probability of primary or secondary poisoning of endangered species utilizing adjacent habitats, and the depletion of prey upon which San Joaquin kit foxes depend.

BR-10 During the site-disturbance and/or construction phase, any contractor or employee that inadvertently kills or injures a San Joaquin kit fox or who finds any such animal either dead, injured, or entrapped shall be required to report the incident immediately to the applicant and County. In the event that any observations are made of injured or dead kit fox, the applicant shall immediately notify the U.S. Fish and Wildlife Service and the Department by telephone (see contact information below). In addition, formal notification shall be provided in writing within three working days of the finding of any such animal(s). Notification shall include the date, time, location and circumstances of the incident. Any threatened or endangered species found dead or injured shall be turned over immediately to the Department for care, analysis, or disposition.

BR-11 Prior to final inspection, or occupancy, whichever comes first, should any long internal or perimeter fencing be proposed or installed, the applicant shall do the following to provide for kit fox passage:

- a. If a wire strand/pole design is used, the lowest strand shall be no closer to the ground than 12".
- b. If a more solid wire mesh fence is used, 8" x 12" openings near the ground shall be provided every 100 yards.

Upon fence installation, the applicant shall notify the County to verify proper installation. Any fencing constructed after issuance of a final permit shall follow the above guidelines.

Monitoring (San Joaquin Kit Fox Measures BR-3 – BR-11): Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the California Department of Fish and Game. As applicable, each of these measures shall be included on construction plans.

Oak Trees

BR-12 Prior to issuance of construction and/or grading permits, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline). Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities. Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

BR-13 Prior to issuance of construction and/or grading permit, the applicant shall provide a tree replacement plan for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a) **Number of Trees** – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio (It is anticipated that no oak trees will be removed). Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
- b) **Species** – Trees shall be of the same species of the trees proposed for impact or removal. The species shall be clearly specified on the plans.
- c) **Planting** – Replanting shall be completed as soon as it is feasible (e.g. irrigation water is available, grading done in replant area). Replant areas shall

be either in native topsoil or areas where native topsoil has been reapplied. If the latter, top soil shall be carefully removed and stockpiled for spreading over graded areas to be replanted (set aside enough for 6-12" layer). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.

- d) Maintenance – Newly planted trees shall be maintained until successfully established. This shall include protection (e.g. tree shelters, caging) from animals (e.g., deer, rodents), regular weeding of at least a three foot radius out from the planting, and adequate watering (e.g., drip-irrigation system). Hand removal of weeds shall be kept up on a regular basis at least once in late spring (April) and once in early winter (December).
- e) Irrigation/Watering – Irrigation details shall be clearly shown on the plans. Watering should be controlled so only enough is used to initially establish the tree, and reducing to zero over a three year period.

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

BR-14 Prior to commencement of any tree removal, to avoid conflicts with nesting raptors, construction activities shall not be allowed during to the nesting season (March to July), unless a county-approved, qualified biologist has surveyed the impact zone and determined that no nesting activities will be adversely impacted. At such time, if any evidence of nesting activities are found, the biologist will determine if any construction activities can occur during the nesting period and to what extent. The results of the surveys will be passed immediately to the County Environmental Division, possibly with recommendations for variable buffer zones, as needed, around individual nests. The applicant agrees to incorporate those recommendations approved by the county.

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

BR-15 Prior to final inspections or occupancy, whichever occurs first, replacement trees shall be installed or bonded for in compliance with the approved tree replacement plan. If bonded for, installation shall be completed within 60 days of bonding.

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

BR-16 All oak trees identified to remain shall not be removed. Unless previously approved by the county, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

Water

W-1 Any disturbed areas shall be restored as soon as possible, and prior to final inspection. A compatible native seed mix shall be used to revegetate the restored area (see following list). The same revegetation treatment shall apply for any areas to be left undisturbed for greater than 30 days.

"RIPARIAN" SEED MIX

Species	# plants/ac	Source
<i>Cornus stolonifera</i> (redtwig dogwood)	10	seeds, mostly cuttings
<i>Heteromeles arbutifolia</i> (toyon)	5	seeds, cuttings
<i>Lonicera involucrata</i> (honeysuckle)	10	seeds, mostly cuttings
<i>Mimulus guttatus</i> (common monkeyflower)	10	seeds, mostly cuttings
<i>Myrica californica</i> (Pacific wax myrtle)	5	seeds, mostly cuttings
<i>Platanus racemosa</i> (California sycamore)	10	seeds, mostly cuttings
<i>Populus trichocarpa</i> (black cottonwood)	10	seeds, mostly cuttings
<i>Pteridium aquilinum</i> (bracken fern)	10	cuttings
<i>Quercus agrifolia</i> (coast live oak)	5	seeds, cuttings
<i>Ribes menziesii</i> (canyon gooseberry)	6	seeds, mostly cuttings
<i>Rosa californica</i> (California rose)	6	seeds, cuttings
<i>Rubus ursinus</i> (California blackberry)	15	seeds, cuttings
<i>Salix lasiolepis</i> (arroyo willow)	20	mostly cuttings
<i>Salvia spathecea</i> (pitcher sage)	12	seeds
<i>Sambucus mexicana</i> (blue elderberry)	5	seeds, mostly cuttings

- (1) This seed mix is intended to provide general guidelines when revegetating within riparian habitat. Variations of the mix may be appropriate, as recommended by the County Planning and Building Department or county-approved qualified individual, where unique biological conditions exist or seed availabilities are limited. When ordering, local seed stock should be specified and used whenever available.

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

W-2 Prior to any work beginning on the project site, should the project need to span a riparian corridor, or disturb any riparian habitat, the applicant understands that they will need to contact the following agencies to determine the need for other state or federal permits: California Department of Fish and Game, U.S. Fish & Wildlife Service, National Marine Fisheries Service, Army Corps of Engineers. Evidence that these agencies have been contacted shall be supplied to the Department of Planning and Building **prior to issuance of grading and/or construction permits.**

Monitoring: Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

W-3 At the time of application for construction permits, the applicant shall show 3 stormwater runoff reduction measures. Such measures include but not limited to:

- Rain gardens;
- Porous paving system;
- Vegetative swales;
- Pavement disconnection or;
- Other, as approved by the County Planning Department in consultation with Public Works.

This measures shall be implemented **prior to final inspection or occupancy, whichever occurs first.**

Monitoring: Compliance will be verified by Planning Department in coordination with the Building Department.

W-4 Prior to approval of construction permit, to minimize potential sedimentation within the creek, a sedimentation and erosion control plan shall be prepared that minimizes project sediment from reaching the creek. At a minimum, straw wattles (or comparably effective devices shall be placed on the **down** slope sides of the proposed work which would direct flows into temporary sedimentation basins.

Monitoring: Compliance will be verified by Planning Department in coordination with the Building Department.

Contact Information Regarding Kit Fox

County of San Luis Obispo
Department of Planning and Building
Division of Environmental & Resource Mgmt
County Government Center, Room 300
San Luis Obispo, CA 93408
ATTN: Mr. Murry Wilson
(805) 781-5029
E-mail: mwilson@co.slo.ca.us

California Department of Fish and Game
Central Region
1234 East Shaw Avenue
Fresno, CA 93710
(559) 243-4005
FAX (559) 243-4022
(805) 772-4318

The Nature Conservancy
ATTN: Tonja Glenn
201 Mission Street, 4th Floor
San Francisco, CA 94105
(415) 281-0483

Palo Prieto Conservation Bank
c/o Dan Meade
Althouse & Meade, Inc.
1875 Wellsona Road
Paso Robles, CA 93446
(805) 467-1041
FAX (805) 467-1021
E-mail: dan@alt-me.com

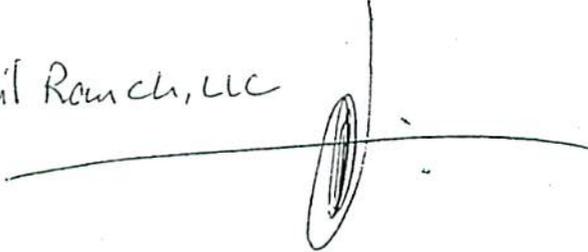
U.S. Fish and Wildlife Service
Ventura Field Office
P.O. Box 47
Ventura, CA 93003
(805) 644-1766

The applicant understands that any changes made to the project description subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

Signature of Owner(s) Date

Name (Print)

Horseshoe Ranch, LLC

A handwritten signature in black ink, consisting of a long horizontal line that ends in a large, circular scribble.

BY: BERTAL, INC. - manager

BY: Benjamin E. Efrain - president.