



# NEGATIVE DECLARATION & NOTICE OF DETERMINATION

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING  
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

*Promoting the Wise Use of Land • Helping to Build Great Communities*

**ENVIRONMENTAL DETERMINATION NO.** ED11-115

**DATE:** August 23, 2012

**PROJECT/ENTITLEMENT:** Tillman Bob & Lynn Minor Use Permit (DRC2011-00045)

**APPLICANT NAME:** Bob and Lynn Tillman  
**ADDRESS:** 2725 Adelaida Road, Paso Robles  
**CONTACT PERSON:** Mr. Kim Hatch c/o Steven D Pults AIA & Assoc. **Telephone:** 805-541-5604 X16

**PROPOSED USES/INTENT:** Request for an approximate 14,000 sf winery with tasting room and caves. The project will result in the disturbance of 2.5 acres of a 21 acre parcel. The project includes a request for six special events with no more than 80 attendees in addition to industry-wide events allowed by ordinance. Case production initially proposed is 2,000 cases with a maximum of 10,000 cases produced from grapes grown on-site.

**LOCATION:** The project is located at 2725 Adelaida Road, in the community of Paso Robles, in the Adelaida planning area.

**LEAD AGENCY:** County of San Luis Obispo  
Dept of Planning & Building  
976 Osos Street, Rm. 200  
San Luis Obispo, CA 93408-2040  
Website: <http://www.sloplanning.org>

**OTHER POTENTIAL PERMITTING AGENCIES:**

**STATE CLEARINGHOUSE REVIEW:** YES  NO

**ADDITIONAL INFORMATION:** Additional information pertaining to this environmental Determination may be obtained by contacting the above Lead Agency address of (805)781-5600.

**COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT .....4:30 p.m. September 6, 2012**

**30-DAY PUBLIC REVIEW PERIOD begins at the time of public notification**

<b>Notice of Determination</b>		<b>State Clearinghouse No.</b> _____	
This is to advise that the San Luis Obispo County _____ as <input type="checkbox"/> <i>Lead Agency</i>			
<input type="checkbox"/> <i>Responsible Agency</i> approved/denied the above described project on _____, and has made the following determinations regarding the above described project:			
The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures and monitoring were made a condition of approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.			
This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at the 'Lead Agency' address above.			
<b>Signature</b>	Holly Phipps	<b>Date</b>	County of San Luis Obispo
	<b>Project Manager Name</b>		<b>Public Agency</b>



# Initial Study Summary – Environmental Checklist

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING

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Project Title & No. Tillman Minor Use Permit ED11-115 (DRC2011-00045)

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:** The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Aesthetics                        | <input type="checkbox"/> Geology and Soils           | <input type="checkbox"/> Recreation                 |
| <input checked="" type="checkbox"/> Agricultural Resources | <input type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Transportation/Circulation |
| <input checked="" type="checkbox"/> Air Quality            | <input type="checkbox"/> Noise                       | <input type="checkbox"/> Wastewater                 |
| <input checked="" type="checkbox"/> Biological Resources   | <input type="checkbox"/> Population/Housing          | <input type="checkbox"/> Water                      |
| <input type="checkbox"/> Cultural Resources                | <input type="checkbox"/> Public Services/Utilities   | <input type="checkbox"/> Land Use                   |

**DETERMINATION:** (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Holly Phipps  
Prepared by (Print)

*by Karen B. Hall*  
Signature

*8/10/12*  
Date

*Ellen Carroll*  
Reviewed by (Print)

Signature

Ellen Carroll,  
Environmental Coordinator (for)

*8/10/12*  
Date

**Project Environmental Analysis**

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, 976 Osos Street, Rm. 200, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

**A. PROJECT**

DESCRIPTION: Request by Bob and Lynn Tillman for a Minor Use Permit to allow for the construction of a two story, approximate 14,000 sf winery with tasting room. The proposed project would include the following: 1,112 square foot (sf) tasting room, 2,254 sf administration area, 4,455 sf caves; 1,825 sf tank room, 1,629 sf case good storage room, and 2,773 barrel storage room. The project will result in the disturbance of 2.5 acres of a 21 acre parcel that will include 18,035 cubic yards of cut and 10,815 cubic yards of fill with an additional 1,000 cubic yards of material from the cave excavation. The project includes a request for six special events with no more than 80 attendees in addition to industry-wide events allowed by ordinance. Case production initially proposed is 2,000 cases and will grow annually to 10,000 cases which will be produced from grapes grown on-site. The project is located at 2725 Adelaida Road, approximately 2.5 miles west of the City of Paso Robles, within the Adelaida planning area.

ASSESSOR PARCEL NUMBER(S): 026-231-080

Latitude: 35 degrees 39 ' 0 " N Longitude: 120 degrees 44' 43" W SUPERVISORIAL DISTRICT # 1

**B. EXISTING SETTING**

PLANNING AREA: Adelaida, Rural

LAND USE CATEGORY: Rural Lands

COMBINING DESIGNATION(S): None

EXISTING USES: Undeveloped

TOPOGRAPHY: Gently sloping (at project site), to steeply sloping

VEGETATION: Grasses , oak woodland

PARCEL SIZE: +/- 21 acres

SURROUNDING LAND USE CATEGORIES AND USES:

<i>North:</i> Agriculture; agricultural uses (grazing)	<i>East:</i> Rural Lands; agricultural uses (winery)
<i>South:</i> Rural Lands; agricultural uses (vineyards)	<i>West:</i> Rural Lands; residential

**C. ENVIRONMENTAL ANALYSIS**

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

**COUNTY OF SAN LUIS OBISPO  
INITIAL STUDY CHECKLIST**

1. <b>AESTHETICS - Will the project:</b>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Create an aesthetically incompatible site open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Introduce a use within a scenic view open to public view?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Change the visual character of an area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Create glare or night lighting, which may affect surrounding areas?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Impact unique geological or physical features?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The project site and area surrounding the site is characterized by rolling hills covered in grasses and oak woodlands. Various agricultural uses on surrounding parcels. The project will not be visible from any major public roadway (Adelaide Road) or silhouette against any ridgelines as viewed from public roadways. The project is considered compatible with the surrounding uses.

**Impact.** Standard county regulations require shielding of exterior lighting to minimize glare. Based on the location, size and design, the project will be considered compatible with the surrounding area. As required by the ordinance, the project will be conditioned for an exterior lighting plan prior to issuance of construction permits to ensure that the project will not create off-site glare. As required by the ordinance, landscape screening for the winery and parking areas shall provide screening as viewed from public roads (Adelaide Road).

**Mitigation/Conclusion.** The proposed project is not anticipated to result in any significant visual impacts. Therefore no mitigations beyond ordinance requirements are required. All ordinance requirements will still be included as conditions of approval for the proposed project to ensure compliance and to also ensure that visual impacts are less than significant.

**2. AGRICULTURAL RESOURCES**  
*- Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Convert prime agricultural land to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The 21 acre project site is located within the Rural Lands land use category and predominately covered by oak woodlands. Agricultural uses in the area consist of wine grape vineyards, nut orchards, field crop, and cattle production.

The proposed project is consist with Agriculture Policy AGP 6, because the project is beneficial to the local agriculture industry, and the visitor use is clearly secondary and incidental to the winery production. The project is sited adjacent to existing roads and is compatible with ongoing agriculture activities.

**Project Elements.** The following area-specific elements relate to the property's importance for agricultural production:

Land Use Category: Rural

Historic/Existing Commercial Crops: None

State Classification: Not prime farmland

In Agricultural Preserve? No

Under Williamson Act contract? No

The soil type(s) and characteristics on the subject property include:

Nacimiento silty clay loam (9 - 30 % slope). This moderately sloping, fine loamy soil is considered not well drained. The soil has moderate erodibility and moderate shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Santa Lucia-Gazos complex (50 - 75 % slope).

Santa Lucia. This very steeply sloping, gravelly fine loamy soil is considered not well drained. The soil has low erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock. The soil is considered Class VII without irrigation and Class is not rated when irrigated.

Gazos. This steeply to very steeply sloping, gravelly fine loamy soil is considered not well drained. The soil has moderate erodibility and moderate shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock, slow percolation. The soil is considered Class VII without irrigation and Class is not rated when irrigated.

Santa Lucia-Lopez complex (15 -50 % slope).

Santa Lucia. This moderately to steeply sloping soil is considered not well drained. The soil has low erodibility and low shrink-swell characteristics, as well as having potential septic system

constraints due to: steep slopes, shallow depth to bedrock. The soil is considered Class IV without irrigation and Class is not rated when irrigated.

Lopez. This steeply to steeply sloping soil is considered very poorly drained. The soil has low erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock. The soil is considered Class IV without irrigation and Class is not rated when irrigated.

**Impact.** The proposed development would result in construction of a winery, with a tasting room, and special events program on approximately 2.5 acres. No significant impacts to agricultural resources are anticipated.

The Agriculture Department's review (February 23, 2012, Lynda L. Auchinachie) found that the proposed project will have a less than significant impact to agriculture resources and is consistent with the County agricultural policies. To ensure that the project avoids impacts to ground water , the Agriculture Department recommends the following:

- Preclude lawn/turf areas associated with the winery to minimize or avoid irrigated landscaping, and require all landscaping areas to be drip irrigated. This measure minimizes non-agricultural water use and helps to protect groundwater resources for agricultural production.
- Maximize the use of pervious and semi-pervious areas in order to promote groundwater recharge, minimize erosion and sedimentation and protect farmland for agricultural use.
- Incorporate best management practices for water conservation purposes (Refer to Section 14 for water conservation mitigations).

**Mitigation/Conclusion.** At the time of application for construction permits, the applicant shall submit plans incorporating pervious and semi-pervious areas along with Low Impact Designs to promote groundwater recharge.

At the time of application for construction permits, the applicant shall submit a final landscape plan prepared by a qualified individual (e.g., arborist, landscape architect/ contractor, or nurseryman), incorporating the use of drought-tolerant, low-water use species consistent with the surrounding natural vegetation and the use of drip irrigation. The Landscape plan shall preclude lawn/turf areas associated with the winery.

The implementation of the above measures will mitigate agricultural resource impacts to less than significant levels. These mitigation measures are listed in detail in Exhibit B - Mitigation Summary Table.

<b>3. AIR QUALITY - <i>Will the project:</i></b>	<b>Potentially Significant</b>	<b>Impact can &amp; will be mitigated</b>	<b>Insignificant Impact</b>	<b>Not Applicable</b>
a) <i>Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

3. AIR QUALITY - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
b) Expose any sensitive receptor to substantial air pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Create or subject individuals to objectionable odors?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be inconsistent with the District's Clean Air Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The Air Pollution Control District (APCD) has developed the 2009 CEQA Air Quality Handbook to evaluate project specific impacts and help determine if air quality mitigation measures are needed, or if potentially significant impacts could result. To evaluate long-term emissions, cumulative effects, and establish countywide programs to reach acceptable air quality levels, a Clean Air Plan has been adopted (prepared by APCD). The project proposes to disturb soils that have been given a wind erodibility rating of 7, which is considered "high".

**Impact.** As proposed, the project will result in the disturbance of approximately of 2.5 acres that will include 18,035 cubic yards of cut and 10, 815 cubic yards of fill cubic yards with an additional 1,000 cubic yards from cave excavation. This will result in the creation of construction dust, as well as short- and long-term vehicle emissions. Based on Table 1-1 of the CEQA Air Quality Handbook, the project will result in less than 10 lbs./day of pollutants, which is below thresholds warranting any mitigation. The project is consistent with the general level of development anticipated and projected in the Clean Air Plan.

This will result in the creation of construction dust, as well as short- and long-term vehicle emissions. As identified by the APCD, air quality impacts during construction include: the creation of fugitive dust (PM<sub>10</sub>), the potential release of naturally occurring asbestos during grading, and unpermitted developmental burning.

Fugitive Dust (PM<sub>10</sub>). Implementation of the proposed project would result in the generation of dust, potentially affecting local residents and businesses in close proximity to the project site. Dust complaints could result in violation of the APCD's nuisance rules, a potentially significant air quality impact.

Developmental Burning. On February 5, 2000, the APCD prohibited developmental burning of vegetative material within San Luis Obispo County; however, in certain situations where no technically feasible alternative is available, limited burning under restrictions may be allowed. Unregulated burning would result in a potentially significant air quality impact.

**Mitigation/Conclusion.** To mitigate for potential air quality impacts, the applicant has agreed to implement the following measures.

Fugitive Dust (PM<sub>10</sub>). To minimize nuisance dust impacts, the applicant is required to implement APCD fugitive dust mitigation measures including reducing the amount of disturbed area where possible, the use of water trucks or sprinkler systems to water down airborne dust, daily spraying of dirt stock-pile areas, paving of applicable surfaces as soon as possible after grading, laying of building pads as soon as possible.

Developmental Burning. To minimize the effects of vegetative burning on regional air quality, the applicant is required by regulation to avoid burning, or if no alternative is available, obtain a burn permit from the APCD and County Fire/CALFIRE, and comply with all conditions required by these agencies.

Implementation of the mitigation measures described above and listed in Exhibit B would mitigate all identified air quality impacts to less than significant levels.

4. <b>BIOLOGICAL RESOURCES -</b> <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a loss of unique or special status species or their habitats?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce the extent, diversity or quality of native or other important vegetation?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Impact wetland or riparian habitat?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Introduce barriers to movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The property is in an area containing open space, woodlands, wineries, and other agricultural lands. A biological study was prepared in July 2011 by Terra Verde Environmental Consulting, LLC. The subject parcel is dominated by coast live oak woodland (14+acres) and includes some anthropogenic areas (approx. 6 acres). No other sensitive vegetation communities, plant species, or wildlife species were observed on the property. However, there is the potential for one sensitive mammal, one sensitive bird species, and one sensitive reptile species to occur on the property (Woodland woollythread, California Horned Lark, and Hoary Bat).

The following are existing elements on or near the proposed project relating to potential biological concerns:

On-site Vegetation: coast live oak, manzanita

Name and distance from blue line creek(s): An unnamed blue line tributary of Mustard Creek is located 85 feet north of the project site, across Adelaida Road.

Habitat(s): none

Site's tree canopy coverage: Approximately 10-33%.

The Natural Diversity Database (or other biological references) identified the following species potentially existing within approximately one mile of the proposed project:

None

**Impact.** The project site is located within the near vicinity of an unnamed blue line tributary of Mustard Creek. However, the tributary is located on the other side of Adelaida Road, and the project will not have an impact on any biological resources associated with the creek.

The portion of the 21 acre parcel proposed for the project is primarily open and is utilized for storage of stacking bins, and farm equipment. This area contains the identified anthropogenic area and is unlikely to impact biological resources, however there is a limited possibility that horned lark may use this area including for nesting. Grading activities to create the driveway, parking lot and the building pad would impact some of the oak woodland area.

Oak trees. Approximately, 50,000 square feet of oak woodland would be impacted. This is less than 10% if the oak woodland area on the site and does not constitute a significant impact to oak woodlands requiring mitigation consistent with SB1334 (Kuehl). However, the cumulative impact of oak tree removal is considered potentially significant.

This work is expected to result in the removal of 23 Coast Live oak trees and 2 valley oaks with diameters greater than 6 inches and disturbance in the root zone of an additional 19 Valley Oak trees (Biological Report, June 2012, Althouse and Meade, Inc.). Loss of oak trees due to removal and/or harm from disturbance in the root zone contributes to countywide oak tree loss.

In addition, removal of oak trees could have an impact to nesting birds or roosting bats.

Mitigation measures are offered below in order to reduce potential impacts to oak trees, special-status species and nesting birds.

**Mitigation/Conclusion.** To protect sensitive bird species (and other wildlife in the area) and those species protected by the Migratory Bird Treaty Act and/or the Fish and Game Code, the applicant shall incorporate mitigation measures to reduce any future impacts to less than significance. These included but are not limited to: pre-construction surveys within 30 days prior to construction, vegetation clearing shall be avoided during typical nesting season.

Oak trees. The site is covered in oak woodlands but less than 10 percent of oak woodlands is being impacted. Grading activities to create the driveway, parking lot and the building pad would occur in an oak woodland area. This work is expected to result in the removal of 23 Coast Live oak trees and 2 valley oaks with diameters greater than 6 inches and disturbance in the root zone of an additional 19 Valley Oak trees (Biological Report, June 2012, Althouse and Meade, Inc.). Loss of oak trees due to removal and/or harm from disturbance in the root zone could potentially degrade the quality of the overall oak tree habitat. The applicant shall prior to final inspection replace oak trees that were impacted and removed as listed in detail in Exhibit B. Mitigation Summary Table.

The oak tree removal plan shows ground disturbance occurring in the root zone of additional oaks. The applicant shall also ensure the safety of all the existing oak trees within the project area during all construction phases.

The applicant shall be required to mitigate for impacts to oak trees as summarized below:

- Show replacement, in kind, of removed oaks at a 4:1 ratio (25 removed: 100 replaced) with 1 gallon saplings, (Biological Report, June 2012, Althouse and Meade, Inc.)
- Show replacement, in kind, of impacted oaks at a 2:1 ratio (19 impacted: 38 replaced) with 1 gallon saplings, (Biological Report, June 2012, Althouse and Meade, Inc.).
- Designate the location, size, and species of the replacement plants on the plans. Planting density is to be similar to the density of existing trees on the site.
- Show irrigation details for planted trees.
- Discuss maintenance details, including watering routines, weeding procedures, etc.
- Show weed matting and deer fencing details for replacement trees.
- Show the location of fencing for trees not to be removed. Impacted trees are to be fenced at the root zone and/or limits of grading. Trees not identified for impact or removal are to be

fenced at the root zone (1.5 times the dripline area).

- Oak tree survival to be monitored to ensure planting success.

The implementation of the above measures will mitigate will avoid or minimize impacts to nesting birds and potential special status species should they become present during construction. Mitigation measures are listed in detail in Exhibit B - Mitigation Summary Table.

The applicant shall be required to implement the above mentioned oak tree mitigation measures, as specified in Exhibit B-Mitigation Summary Table (please refer to the end of this document for details).

<b>5. CULTURAL RESOURCES -</b> <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Disturb pre-historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Disturb historic resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Disturb paleontological resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The project is located in an area historically occupied by the Salinan and Chumash Native Americans. No historic structures are present and no paleontological resources are known to exist in the area. The project is within 300 feet of a blue line creek. Potential for the presence or regular activities of the Native American increases in close proximity to reliable water sources.

**Impact.** No specific archaeological reports have been prepared within ¼ mile of the subject property. The project is within approximately 85 feet of an unnamed tributary of Mustard Creek. The watercourse in this area is an ephemeral drainage runs into a small pond approximately 1.5 miles south of the property. The proposed project is in the upper reaches of the creeks where water is not present year round and the tributary is ephemeral. This would make cultural association with these streams unlikely.

**Mitigation/Conclusion.** No significant cultural resource impacts are expected to occur, and no mitigation measures are necessary.

<b>6. GEOLOGY AND SOILS -</b> <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a California Geological Survey "Alquist-Priolo" Earthquake Fault Zone"?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**6. GEOLOGY AND SOILS -**  
*Will the project:*

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting**

GEOLOGY - The following relates to the project's geologic aspects or conditions:

Topography: Gently sloping at the site of winery site with moderate slopes behind the winery site

Within County's Geologic Study Area?: No

Landslide Risk Potential: High

Liquefaction Potential: Low

Nearby potentially active faults?: No Distance? Not applicable

Area known to contain serpentine or ultramafic rock or soils?: No

Shrink/Swell potential of soil: Low to moderate

Other notable geologic features? None

The project is not within a Geologic Study area designation but is located within a "high" landslide. The project is subject to the preparation of a geological report per the County's Land Use Ordinance. A GeoTechnical Engineering Report report (September 12, 2011) and a Geologic Hazard Report (July 17, 2012) were prepared on by Beacon Geotechnical, Inc. and both concluded that the landslides potential are low at this site. The County Geologist (B. Paparello) reviewed the proposed document (July 27, 2012) and concurred with the findings.

DRAINAGE – The following relates to the project’s drainage aspects:

Within the 100-year Flood Hazard designation? No

Closest creek? An unnamed tributary Distance? Approximately 85 feet north

Soil drainage characteristics: Not well drained

For areas where drainage is identified as a potential issue, the Land Use Ordinance (LUO Sec. 22.52.080) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

SEDIMENTATION AND EROSION – Soil type, amount of disturbance and slopes are key aspects to analyzing potential sedimentation and erosion issues. The project’s soil types and descriptions are listed in the previous Agriculture section under “Setting”. As described in the NRCS Soil Survey, the the project’s soil erodibility is as follows:

Soil erodibility: Low to moderate

When highly erosive conditions exist, a sedimentation and erosion control plan is required (LUO Sec. 22.52.090) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

**Impact.** As proposed, the project will result in the disturbance of approximately 2.5 acres. Overall the potential for slope stability, landslides, erosion, fault rupture, seismic design and ground shaking, and liquefaction are low. As proposed the project will impact From a geologic standpoint, there are no significant geologic hazards or conditions that would preclude development of the proposed winery

**Mitigation/Conclusion.** There is no evidence that measures above what will already be required by ordinance or codes are needed.

**7. HAZARDS & HAZARDOUS MATERIALS - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Interfere with an emergency response or evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people to safety risk associated with airport flight pattern?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Increase fire hazard risk or expose people or structures to high fire hazard conditions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create any other health hazard or potential hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**7. HAZARDS & HAZARDOUS MATERIALS - Will the project:**

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

f) Other: \_\_\_\_\_

**Setting.** With regards to potential fire hazards, the subject project is within the "very high" Fire Hazard Severity Zone(s). Based on the County's fire response time map, it will take approximately 15-20 minutes to respond to a call regarding fire or life safety.— The project is not within the Airport Review area.

**Impact.** The project does not propose the use of hazardous materials. The project is not expected to conflict with any regional evacuation plan. The proposed project was referred to CAL FIRE for review. No significant fire hazard impacts were identified. The applicant is required to comply with the California Fire Code, California Building Code, the Public Resources Code, and any other applicable fire laws (Commercial Fire Plan Review/Fire Safety Plan, Clint Bullard, January 24, 2012).

**Mitigation/Conclusion.** With the implementation of the Fire Safety Plan required by ordinance, no significant impacts as a result of hazards or hazardous materials are anticipated, and no additional measures are necessary.

**8. NOISE - Will the project:**

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a) Expose people to noise levels that exceed the County Noise Element thresholds?

b) Generate increases in the ambient noise levels for adjoining areas?

c) Expose people to severe noise or vibration?

d) Other: \_\_\_\_\_

**Setting.** The project is not within close proximity of loud noise sources, and will not conflict with any sensitive noise receptors (e.g., residences). Based on the Noise Element's projected future noise generation from known stationary and vehicle-generated noise sources, the project is within an acceptable threshold area.

**Impact.** The proposed project would include public tasting and six special events with up to 80 guests. The applicant is not proposing any special events with amplified music.

The project is not expected to generate loud noises, nor conflict with the surrounding uses.

**Mitigation/Conclusion.** No significant noise impacts are anticipated, and no mitigation measures are necessary.

**9. POPULATION/HOUSING -**

*Will the project:*

Potentially Significant      Impact can & will be mitigated      Insignificant Impact      Not Applicable

- a) *Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?*
- b) *Displace existing housing or people, requiring construction of replacement housing elsewhere?*
- c) *Create the need for substantial new housing in the area?*
- d) *Use substantial amount of fuel or energy?*
- e) *Other:* \_\_\_\_\_

**Setting** In its efforts to provide for affordable housing, the county currently administers the Home Investment Partnerships (HOME) Program and the Community Development Block Grant (CDBG) program, which provides limited financing to projects relating to affordable housing throughout the county. The County's Inclusionary Housing Ordinance requires provision of new affordable housing in conjunction with both residential and nonresidential development and subdivisions.

**Impact.** The project will not result in a need for a significant amount of new housing, and will not displace existing housing. Commercial development of 5,000 sq. ft. or more of floor area for commercial use requires the payment of a housing impact fee or construction of Inclusionary housing units.

**Mitigation/Conclusion.** The project is consistent with the County's Housing Element. Prior to issuance of the Building Permit, the applicant shall pay applicable Inclusionary Housing fees pursuant to Section 22.12.080.

**10. PUBLIC SERVICES/UTILITIES -**

*Will the project have an effect upon, or result in the need for new or altered public services in any of the following areas:*

Potentially Significant      Impact can & will be mitigated      Insignificant Impact      Not Applicable

- a) *Fire protection?*
- b) *Police protection (e.g., Sheriff, CHP)?*
- c) *Schools?*
- d) *Roads?*
- e) *Solid Wastes?*
- f) *Other public facilities?*
- g) *Other:* \_\_\_\_\_



**12. TRANSPORTATION/  
CIRCULATION - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
c) Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Provide for adequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate internal traffic circulation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in a change in air traffic patterns that may result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The County has established the acceptable Level of Service (LOS) on roads for this rural area as "C" or better. The existing road network in the area, Adelaida Road, a collector road is operating at acceptable levels. Based on existing road speeds and configuration (vertical and horizontal road curves), sight distance is considered acceptable.

Public Works review of the project stated that the collision rate on Adelaida Road is below the County average. Per Resolution 2008-152 a Roadway Safety Analysis is not required. Additionally, the estimated trip generation does not trigger frontage improvements.

Public Works recommends (referral response dated December 21, 2011) that the standard improvements (tapers and widening) be made to the primary driveway approach. Large trucks that deliver grapes to the processing facility have the potential to impact traffic flows along Adelaida Road if adequate space is not available between the road and any future entrance gate.

**Impact.** The proposed project is estimated to generate about 314 truck trips per year, or 0.87 truck trips per day, on average, 20 daily car trips, and 2 bottling truck trips annually. This small amount of additional traffic will not result in a significant change to the existing road service or traffic safety levels.

**Mitigation/Conclusion.** Prior to occupancy or final inspection, applicant must comply with conditions listed in Public Works' letter dated December 21, 2011 also contained in Exhibit - B. These measures include appropriate site distance and adequate space between Adelaida Road and any future gate to ensure traffic flows are not impacted by trucks entering the winery. Winery parking for patrons shall be in compliance with LUO Section 22.18.060. Parking for Special Events and Industry-wide events can be provided along the secondary access driveway while still leaving room for cars to pass. Parking shall be in compliance with LUO Section 22.30.610.

No significant traffic impacts were identified, and no mitigation measures above what are already required by ordinance are necessary.

13. WASTEWATER - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Change the quality of surface or ground water (e.g., nitrogen-loading, day-lighting)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Adversely affect community wastewater service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** Regulations and guidelines on proper wastewater system design and criteria are found within the County’s Plumbing Code (hereafter CPC; see Chapter 7 of the Building and Construction Ordinance [Title 19]), the “Water Quality Control Plan, Central Coast Basin” (Regional Water Quality Control Board [RWQCB] hereafter referred to as the “Basin Plan” ), and the California Plumbing Code. These regulations include specific requirements for both on-site and community wastewater systems. These regulations are applied to all new wastewater systems.

For on-site septic systems, there are several key factors to consider for a system to operate successfully, including the following:

- ✓ Sufficient land area (refer to County’s Land Use Ordinance or Plumbing Code) – depending on water source, parcel size minimums will range from one acre to 2.5 acres;
- ✓ The soil’s ability to percolate or “filter” effluent before reaching groundwater supplies (30 to 120 minutes per inch is ideal);
- ✓ The soil’s depth (there needs to be adequate separation from bottom of leach line to bedrock [at least 10 feet] or high groundwater [5 feet to 50 feet depending on perc rates]);
- ✓ The soil’s slope on which the system is placed (surface areas too steep creates potential for daylighting of effluent);
- ✓ Potential for surface flooding (e.g., within 100-year flood hazard area);
- ✓ Distance from existing or proposed wells (between 100 and 250 feet depending on circumstances);
- ✓ Distance from creeks and water bodies (100-foot minimum).

To assure a successful system can meet existing regulation criteria, proper conditions are critical. Above-ground conditions are typically straight-forward and most easily addressed. Below ground criteria may require additional analysis or engineering when one or more factors exist:

- ✓ the ability of the soil to “filter” effluent is either too fast (percolation rate is faster or less than 30 minutes per inch and has “poor filtering” characteristics) or is too slow (slower or more than 120 minutes per inch);
- ✓ the topography on which a system is placed is steep enough to potentially allow “daylighting”

of effluent downslope; or

- ✓ the separation between the bottom of the leach line to bedrock or high groundwater is inadequate.

Based on Natural Resource Conservation Service (NRCS) Soil Survey map, the soil type(s) for the project is provided in the listed in the previous Agricultural Resource section. The main limitation(s) of this soil for wastewater effluent include:

--**shallow depth to bedrock**, which is an indication that there may not be sufficient soil depth to provide adequate soil filtering of effluent before reaching bedrock. Once effluent reaches bedrock, the chances increase for the effluent to infiltrate cracks that could lead directly to groundwater source or surrounding wells without adequate filtering, or allow for daylighting of effluent where bedrock is exposed to the earth's surface. In this case, due to limited availability of information relating to the shallow depth to bedrock characteristic, the following additional information will be needed prior to issuance of a building permit: soil borings at leach line location(s) showing that there is adequate distance to bedrock. If adequate distance cannot be shown, a county-approved plan for an engineered wastewater system showing how the basin plan criteria can be met will be required.

--**steep slopes**, where portions of the soil unit contain slopes steep enough to result in potential daylighting of wastewater effluent.

--**slow percolation**, where fluids will percolate too slowly through the soil for the natural processes to effectively break down the effluent into harmless components. The Basin Plan identifies the percolation rate should be greater than 30 and less than 120 minutes per inch.

The percolation rate for the subject property is very fast, which requires greater soil depth to provide for adequate filtering. Therefore, prior to issuance of a building permit, provide the county evidence of adequate soil separation to groundwater per CPC, or plans prepared by a qualified individual for an engineered septic system that meets CPC/Basin Plan criteria.

**Impacts/Mitigation.** The project is proposing an on-site septic system for domestic wastewater. Winery wastewater will be pumped from the processing area into treatment storage tanks where it will be treated. Winery wastewater will be recycled and land applied when needed.

Based on the following project conditions or design features, wastewater impacts are considered less than significant:

- ✓ The project has sufficient land area per the County's Land Use Ordinance to support an on-site system;
- ✓ The leach lines are outside of the 100-year flood hazard area;
- ✓ There is adequate distance between proposed leach lines and existing or proposed wells;

Based on the above discussion and information provided, the site appears to be able to design an on-site system that will meet CPC/Basin Plan requirements. Prior to building permit issuance and/or final inspection of the wastewater system, the applicant will need to show to the county compliance with the County Plumbing Code/ Central Coast Basin Plan, including any above-discussed information relating to potential constraints. Therefore, based on the project being able to comply with these regulations, potential groundwater quality impacts are considered less than significant.

#### 14. WATER - Will the project:

Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
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**14. WATER - Will the project:**

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any water quality standards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Change the quantity or movement of available surface or ground water?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Adversely affect community water service provider?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting.** The project proposes to use (an on-site well) as its water source. Based on available information, the proposed water source is not known to have any significant availability or quality problems.

The topography of the project is moderately sloping. The closest creek from the proposed development is approximately 85 feet north. As described in the NRCS Soil Survey, the soil surface is considered to have low to moderate erodibility.

Projects involving more than one acre of disturbance are subject to preparing a Storm Water Pollution Prevention Plan (SWPPP) to minimize on-site sedimentation and erosion. County Ordinance also requires that temporary sedimentation and erosion control measures be installed. The project is also required to include at least two Low Impact Design (LID) measures.

**Impact.** Based on the project description, the winery proposes to produce 10,000 cases which would require 1,800 gallons per day during peak production. Winery wastewater will be pumped from the processing area into treatment storage tanks where it will be treated. Winery wastewater will be recycled and land applied when needed. This will help with ground water recharge.

Regarding surface water quality, as proposed, the project will result in the disturbance of approximately 2.5 acres.

**Mitigation/Conclusion.** Since no potentially significant water quantity or quality impacts were identified, no specific measures above standard requirements have been determined necessary. Standard drainage and erosion control measures will be required for the proposed project and will provide sufficient measures to adequately protect surface water quality.

<b>15. LAND USE - Will the project:</b>	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) <i>Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Be potentially inconsistent with any habitat or community conservation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Setting/Impact.** Surrounding uses are identified on Page 2 of the Initial Study. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance (LUO), Local Coastal Plan (CZLUO), etc.). Referrals were sent to outside agencies to review for policy consistencies (e.g., CAL FIRE for Fire Code, APCD for Clean Air Plan, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used).

The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study.

**Mitigation/Conclusion.** No inconsistencies were identified and therefore no additional measures above what will already be required were determined necessary.

<b>16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:</b>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

b) *Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)*

c) *Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?*

For further information on CEQA or the county's environmental review process, please visit the County's web site at "[www.sloplanning.org](http://www.sloplanning.org)" under "Environmental Information", or the California Environmental Resources Evaluation System at: [http://www.ceres.ca.gov/topic/env\\_law/ceqa/guidelines](http://www.ceres.ca.gov/topic/env_law/ceqa/guidelines) for information about the California Environmental Quality Act.

**Exhibit A - Initial Study References and Agency Contacts**

The County Planning or Environmental Divisions have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an ) and when a response was made, it is either attached or in the application file:

<u>Contacted</u>	<u>Agency</u>	<u>Response</u>
<input checked="" type="checkbox"/>	County Public Works Department	Attached
<input checked="" type="checkbox"/>	County Environmental Health Division	Attached
<input checked="" type="checkbox"/>	County Agricultural Commissioner's Office	Attached
<input type="checkbox"/>	County Airport Manager	Not Applicable
<input type="checkbox"/>	Airport Land Use Commission	Not Applicable
<input checked="" type="checkbox"/>	Air Pollution Control District	None
<input type="checkbox"/>	County Sheriff's Department	Not Applicable
<input type="checkbox"/>	Regional Water Quality Control Board	Not Applicable
<input type="checkbox"/>	CA Coastal Commission	Not Applicable
<input type="checkbox"/>	CA Department of Fish and Game	Not Applicable
<input checked="" type="checkbox"/>	CA Department of Forestry (Cal Fire)	Attached
<input type="checkbox"/>	CA Department of Transportation	Not Applicable
<input type="checkbox"/>	Community Service District	Not Applicable
<input type="checkbox"/>	Other _____	Not Applicable
<input type="checkbox"/>	Other _____	Not Applicable

*\*\* "No comment" or "No concerns"-type responses are usually not attached*

The following checked ("") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Project File for the Subject Application</li> <li><u>County documents</u></li> <li><input type="checkbox"/> Airport Land Use Plans</li> <li><input checked="" type="checkbox"/> Annual Resource Summary Report</li> <li><input type="checkbox"/> Building and Construction Ordinance</li> <li><input type="checkbox"/> Coastal Policies</li> <li><input checked="" type="checkbox"/> Framework for Planning (Coastal/Inland)</li> <li><input checked="" type="checkbox"/> General Plan (Inland/Coastal), including all maps &amp; elements; more pertinent elements considered include:             <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Agriculture Element</li> <li><input checked="" type="checkbox"/> Conservation &amp; Open Space Element (includes Energy, Conservation)</li> <li><input checked="" type="checkbox"/> Housing Element</li> <li><input checked="" type="checkbox"/> Noise Element</li> <li><input type="checkbox"/> Parks &amp; Recreation Element</li> <li><input checked="" type="checkbox"/> Safety Element</li> </ul> </li> <li><input checked="" type="checkbox"/> Land Use Ordinance</li> <li><input type="checkbox"/> Real Property Division Ordinance</li> <li><input type="checkbox"/> Solid Waste Management Plan</li> <li><input type="checkbox"/> Circulation Study</li> </ul> | <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Adelaida Area Plan and Update EIR</li> <li><u>Other documents</u></li> <li><input checked="" type="checkbox"/> Archaeological Resources Map</li> <li><input checked="" type="checkbox"/> Area of Critical Concerns Map</li> <li><input checked="" type="checkbox"/> Areas of Special Biological Importance Map</li> <li><input checked="" type="checkbox"/> California Natural Species Diversity Database</li> <li><input checked="" type="checkbox"/> Clean Air Plan</li> <li><input checked="" type="checkbox"/> Fire Hazard Severity Map</li> <li><input checked="" type="checkbox"/> Flood Hazard Maps</li> <li><input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County</li> <li><input checked="" type="checkbox"/> Regional Transportation Plan</li> <li><input checked="" type="checkbox"/> Uniform Fire Code</li> <li><input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3)</li> <li><input checked="" type="checkbox"/> GIS mapping layers (e.g., Biology, geology, streams, slope, fire, hazards, transportation, water, etc.)</li> <li><input type="checkbox"/> Other _____</li> </ul> |
|---|--|

In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

Biological Report, by Terra Verde Environmental Consulting, LLC., July 2011.

Geotechnical Report, by Beacon Geotechnical, Inc. September 12, 2011.

Geologic Hazard Report, by Beacon Geotechnical, Inc. July 17, 2012

Tree Report, by Althouse and Meade, Inc., June 2012.

## Exhibit B - Mitigation Summary Table

### Agriculture

AG-1 At the time of application for construction permits, the applicant shall submit a final landscape plan prepared by a qualified individual (e.g., arborist, landscape architect/ contractor, nurseryman), incorporating the use of drought-tolerant, low-water use species consistent with the surrounding natural vegetation that will use of drip irrigation or better water saving techniques. The Landscape plan shall preclude lawn/turf areas associated with the winery.

AG-2 At the time of application for construction permits, the applicant shall submit plans incorporating pervious and semi-pervious areas along with Low Impact Designs to promote groundwater recharge.

### Air Quality

AQ-1 The following measures shall be incorporated into the construction phase of the project and shown on all applicable plans **prior to issuance of construction permits**:

- a. Reduce the amount of disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- c. All dirt stock-pile areas should be sprayed daily as needed;
- d. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- e. All of these fugitive dust mitigation measures shall be shown on grading and building plans; and,
- f. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.

AQ-2 During construction, prior to operation of the following list of equipment (or similar equipment), the applicant shall contact the APCD to determine if an operating permit is necessary:

- a. Power screens, conveyors, diesel engines, and/or crushers
- b. Portable generators and equipment with engines that are 50 horsepower (hp) or greater
- c. IC engines
- d. Tub grinders

AQ-3 As of February 25, 2000, the APCD prohibits developmental burning of vegetative material within San Luis Obispo County.

However, under certain circumstances where no technically feasible alternatives are available, limited developmental burning under restrictions may be allowed. Any such exception must complete the following prior to any burning: APCD approval; payment of fee to APCD based on the size of the project; and issuance of a burn permit by the APCD and the local fire department authority. As a part of APCD approval, the applicant shall furnish them with the study of technical feasibility (which includes costs and other constraints) at the time of application. For any questions regarding these requirements, Karen Brooks of APCD's Enforcement Division may be contacted (805/781-5912).

AQ-4 Upon application for construction permits for the wastewater treatment system and wine processing facility, the applicant shall submit plans incorporating the use of methods to minimize the creation of objectionable odors, which can occur due to anaerobic processes that mix with ambient air upon discharge of wastewater and handling of grape skins.

- a. New wineries or expanding wineries with the capacity of 26,000 gallons per year or more require a Permit to Operate for fermentation and storage of wine;
- b. Portable generators and equipment with engines that are 50 hp or greater;
- c. Electrical generation plants or the use of standby generator;
- d. Boilers;
- e. Internal combustion engines;
- f. Cogeneration facilities;

AQ-5 For the life of the project, the applicant shall implement one of the following for the project driveway and parking lot area:

- a. Pave and maintain with chip seal; or,
- b. Maintain with a fugitive dust emission control suppressant as approved by APCD.

AQ-6 Prior to commencement of construction activities, the applicant shall notify the APCD, by letter and submit a copy to the Department of Planning and Building, that the above air quality mitigation measures have been applied.

AQ-7 Prior to construction permit issuance, in order to reduce greenhouse gas (GHG) emissions, the project shall include measures to mitigate construction equipment emissions, the applicant has agreed to implement measures from the California Air Pollution Control Officer Association's (CAPCOA) in consultation with APCD.

## **Biological**

BR-1 To protect sensitive bird species and those species protected by the Migratory Bird Treaty Act and/or the Fish and Game Code, the Owners should avoid vegetation clearing and earth disturbance during the typical nesting season (February 15 – August 31). If avoiding construction during this season is not feasible, a qualified biologist shall survey the area one week prior to activity beginning on the site. If nesting birds are located, they shall be avoided until they have successfully fledged. A buffer zone of 50 feet will be placed around all non-sensitive bird species, a 500-foot buffer zone for raptors, and all activity will remain outside of that buffer until a County approved biologist has determined that the young have fledged. If special-status bird species are located, no work will begin until an appropriate buffer is determined by consultation with the County, the local California Department of Fish and Game biologist, and/or the U. S. Fish and Wildlife Service.

BR-2 In order to determine if bats are present in the vicinity of the proposed project, a qualified biologist shall conduct presence/absence

surveys. If bats are found to be using nearby trees, the type of use shall be determined (day roost, night roost).

BR-3 A qualified biologist shall survey the area for California horned larks one week prior to activities beginning on the site if construction is slated to occur during the typical nesting season (February 15 – August 31). If California horned larks are noted as nesting on the property during construction activities, any work that could disturb or affect the birds will be ceased until the Owner can coordinate with the County of San Luis Obispo and the California Department of Fish and Game.

**Oak Tree Impacts**

Tree Type	# Removed (4:1 replacement)	# Impacted (2:1 replacement)	Replacement Total Required
25 Oak trees (23 Coast Live Oaks; 2 Valley Oaks)	25 (100)		
19 Oak trees (19 Valley Oaks)		19 (38)	
			138

BR-4 **Prior to issuance of construction and/or grading permits**, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline). Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities.

- a) The applicant shall prepare a **tree protection map and plan** (Tree Report, by Althouse and Meade, Inc., June 2012) with accurate and complete tree locations, tag numbers, Critical Root Zones, edge of canopy, and tree protection measures. The project engineers shall work with the biological consultants to develop a tree protection plan sheet that indicates all tagged trees, with corresponding tag numbers, edge of canopy and CRZ's within 50 feet of disturbance. Tree protection measures such as construction fencing shall be show on the map. All trees shall to be fully protected shall be clearly shown on the grading and drainage plans.
- b) Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

BR-5

**Prior to issuance of construction and/or grading permit**, the applicant shall provide a **tree replacement plan** for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a) **Number of Trees** – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio. Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
- i) A environmental monitor would keep the running tally of the total number of trees impacted and removed. A final mitigation obligation determination would be provided to the Project Manager and the County Planning Department.
- b) **Location/Density** – The location shall be clearly shown on the plans. Trees shall be planted at no greater a density than the average density in the existing oak woodland area on the site. Location of newly planted trees should adhere to the following, whenever possible: on the north side of and at the canopy/dripline edge of existing mature native trees; on north-facing slopes; within drainage swales (except when riparian habitat present); where topsoil is present; and away from continuously wet areas (e.g. lawns, leach lines).
- c) **Species** – Trees shall be of the same species of the trees proposed for impact or removal. The species shall be clearly specified on the plans.
- d) **Size** – Replacement oak trees shall be from either vertical tubes or deep, one-gallon container sizes.
- e) **Planting** – Replanting shall be completed as soon as it is feasible (e.g. irrigation water is available, grading done in replant area). Replant areas shall be either in native topsoil or areas where native topsoil has been reapplied. If the latter, top soil shall be carefully removed and stockpiled for spreading over graded areas to be replanted (set aside enough for 6-12" layer). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.
- f) **Maintenance** – Newly planted trees shall be maintained until successfully established. This shall include protection (e.g. tree shelters, caging) from animals (e.g., deer, rodents), regular weeding of at least a three foot radius out from the planting, and adequate watering (e.g., drip-irrigation system). Hand removal of weeds shall be kept up on a regular basis at least once in late spring (April) and once in early winter (December).
- g) **Irrigation/Watering** – Irrigation details shall be clearly shown on the plans. Watering should be controlled so only enough is used to initially establish the tree, and reducing to zero over a three year period.

BR-6

**Prior to commencement of any tree removal**, to avoid conflicts with nesting raptors, construction activities shall not be allowed during the nesting season (March to July), unless a county-approved, qualified biologist has surveyed the impact zone and determined that no nesting activities will be adversely impacted. At such time, if any evidence of nesting activities are found, the biologist will determine if any construction activities can occur during the nesting period and to what extent. The results of the surveys will be passed immediately to the County Environmental Division, possibly with recommendations for variable buffer zones, as needed, around individual nests. The applicant agrees to incorporate those recommendations approved by the county.

- BR-7 Once trees have been planted, the applicant shall retain a qualified individual (e.g., landscape contractor, arborist, nurseryman, botanist) to prepare a letter stating how and when the above planting and protection measures have been completed. This letter shall be submitted to the Department of Planning and Building.
- BR-8 Prior to final inspections or occupancy, whichever occurs first, replacement trees shall be installed or bonded for in compliance with the approved tree replacement plan. If bonded for, installation shall be completed within 60 days of bonding.
- BR-9 Prior to final inspections, or prior to release of bonding (if applicable), the applicant shall have completed the following as it relates to weed removal around newly planted vegetation: 1) no herbicides shall have been used; 2) either installation of a securely staked "weed mat" (covering at least a three-foot radius from center of plant), or hand removal of weeds (covering at least a 3' radius from center of plant) shall be completed for each new plant. Use of weed-free mulch (at least 3 inches deep) with regular replenishment may be substituted for the weed-mat.
- BR-10 To guarantee the success of the new trees, the applicant shall retain a qualified individual (e.g., arborist, landscape architect/contractor, nurseryman) to monitor the new trees' survivability and vigor until the trees are successfully established, and prepare monitoring reports, **on an annual basis**, for no less than five years. Based on the submittal of the initial planting letter, the first report shall be submitted to the County Environmental Coordinator **one year after the initial planting** and thereafter **on an annual basis** until the monitor, in consultation with the County, has determined that the initially-required vegetation is successfully established. Additional monitoring will be necessary if initially-required vegetation is not considered successfully established. The applicant, and successors-in-interest, agrees to complete any necessary remedial measures identified in the report(s) to maintain the population of initially planted vegetation and approved by the Environmental Coordinator.
- BR-11 The applicant recognizes that trimming of oaks can be detrimental in the following respects and agrees to minimize trimming of the remaining oaks: removal of larger lower branches should be minimized to 1) avoid making tree top heavy and more susceptible to "blow-overs", 2) reduce having larger limb cuts that take longer to heal and are much more susceptible to disease and infestation, 3) retain the wildlife that is found only in the lower branches, 4) retains shade to keep summer temperatures cooler (retains higher soil moisture, greater passive solar potential, provides better conditions for oak seedling volunteers) and 5) retain the natural shape of the tree. Limit the amount of trimming (roots or canopy) done in anyone season as much as possible to limit tree stress/shock (10% or less is best, 25% maximum). Excessive and careless trimming not only reduces the potential life of the tree, but can also reduce property values if the tree dies prematurely or has an unnatural appearance. If trimming is necessary, the applicant agrees to either use a skilled arborist or apply accepted arborist's techniques when removing limbs. Unless a hazardous or unsafe situation exists, trimming shall be done only during the winter for deciduous species.
- BR-12 Smaller trees (smaller than 5 inches in diameter at four feet above the ground) within the project area are considered to be of high importance, and when possible, shall be given similar consideration as larger trees.
- BR-13 All oak trees identified to remain shall not be removed. Unless previously approved by the county, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

BR-14 Grading, utility trenching, compaction of soil, or placement of fill shall be avoided within the fenced areas. If grading in the root zone cannot be avoided, retaining walls shall be constructed to minimize cut and fill impacts. Care shall be taken to avoid surface roots within the top 18 inches of soil. If any roots must be removed or exposed, they shall be cleanly cut and not left exposed above the ground surface.

Br-15 Oak trees not identified for removal on an approved tree removal plan shall not be removed. Unless previously approved by the county, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

BR-16 To minimize impacts to the sensitive oak woodland understory habitat (e.g. maritime chaparral, coastal scrub), the applicant agrees to the following during construction/ tract improvements and for the life of the project:

- a) All native vegetation removal shall be shown on all applicable grading/ construction plans, and reviewed/ approved by the County (Planning and Building Dept.) **before any work begins.**
- b) Vegetation removal of native habitat shall be limited to what is shown on the county-approved grading/construction plans.
- c) Vegetation clearance for fire safety purposes shall be limited to the minimum setbacks required by CDF/County Fire. Where feasible, all efforts will be made to retain as much of this vegetation within the setback as possible (e.g. remove/trim only enough vegetation to create non-contiguous islands of native vegetation).

BR-17 Prior to issuance of grading permits, the applicant shall prepare a tree protection map (Tree Report, by Althouse and Meade, Inc., June 2012) with accurate and complete tree locations, tag numbers, Critical Root Zones, edge of canopy, and tree protection measures. The project engineers shall work with the biological consultants to develop a tree protection plan sheet that indicates all tagged trees, with corresponding tag numbers, edge of canopy and CRZ's within 50 feet of disturbance. Tree protection measures such as construction fencing shall be show on the map. All trees shall to be fully protected shall be clearly shown on the grading and drainage plans.

Date: August 7, 2012

**DEVELOPER'S STATEMENT FOR  
TILLMAN MINOR USE PERMIT  
DRC2011-00045**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

**Note:** The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

The following mitigation measures address impacts that may occur as a result of the development of the project.

#### **Agriculture**

AG-1 At the time of application for construction permits, the applicant shall submit a final landscape plan prepared by a qualified individual (e.g., arborist, landscape architect/contractor, nurseryman), incorporating the use of drought-tolerant, low-water use species consistent with the surrounding natural vegetation that will use of drip irrigation or better water saving techniques. The Landscape plan shall preclude lawn/turf areas associated with the winery.

AG-2 At the time of application for construction permits, the applicant shall submit plans incorporating pervious and semi-pervious areas along with Low Impact Designs to promote groundwater recharge.

**Monitoring:** Required prior to issuance of a grading and/or construction permit. Compliance will be verified by the Current Planning Division of Department of Planning and Building.

#### **Air Quality**

AQ-1 The following measures shall be incorporated into the construction phase of the project and shown on all applicable plans **prior to issuance of construction permits:**

- a. Reduce the amount of disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- c. All dirt stock-pile areas should be sprayed daily as needed;
- d. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;

- e. All of these fugitive dust mitigation measures shall be shown on grading and building plans;  
and,
  - f. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress.
- AQ-2 During construction, prior to operation of the following list of equipment (or similar equipment), the applicant shall contact the APCD to determine if an operating permit is necessary:
- a. Power screens, conveyors, diesel engines, and/or crushers
  - b. Portable generators and equipment with engines that are 50 horsepower (hp) or greater
  - c. IC engines
  - d. Tub grinders
- AQ-3 As of February 25, 2000, the APCD prohibits developmental burning of vegetative material within San Luis Obispo County. However, under certain circumstances where no technically feasible alternatives are available, limited developmental burning under restrictions may be allowed. Any such exception must complete the following prior to any burning: APCD approval; payment of fee to APCD based on the size of the project; and issuance of a burn permit by the APCD and the local fire department authority. As a part of APCD approval, the applicant shall furnish them with the study of technical feasibility (which includes costs and other constraints) at the time of application. For any questions regarding these requirements, Karen Brooks of APCD's Enforcement Division may be contacted (805/781-5912).
- AQ-4 Upon application for construction permits for the wastewater treatment system and wine processing facility, the applicant shall submit plans incorporating the use of methods to minimize the creation of objectionable odors, which can occur due to anaerobic processes that mix with ambient air upon discharge of wastewater and handling of grape skins.
- a. New wineries or expanding wineries with the capacity of 26,000 gallons per year or more require a Permit to Operate for fermentation and storage of wine;
  - b. Portable generators and equipment with engines that are 50 hp or greater;
  - c. Electrical generation plants or the use of standby generator;
  - d. Boilers;
  - e. Internal combustion engines;
  - f. Cogeneration facilities;
- AQ-5 For the life of the project, the applicant shall implement one of the following for the project driveway and parking lot area:
- a. Pave and maintain with chip seal; or,
  - b. Maintain with a fugitive dust emission control suppressant as approved by APCD.
- AQ-6 Prior to commencement of construction activities, the applicant shall notify the APCD, by letter and submit a copy to the Department of Planning and Building, that the above air quality mitigation measures have been applied.
- AQ-7 Prior to construction permit issuance, in order to reduce greenhouse gas (GHG)

emissions, the project shall include measures to mitigate construction equipment emissions, the applicant has agreed to implement measures from the California Air Pollution Control Officer Association's (CAPCOA) in consultation with APCD.

**Monitoring:** Required prior to issuance of a grading and/or construction permit, during construction and for the life of the project. Compliance will be verified by the Air Pollution Control District in consultation with the Current Planning Division of the Department of Planning and Building.

**Biological**

- BR-1 To protect sensitive bird species and those species protected by the Migratory Bird Treaty Act and/or the Fish and Game Code, the Owners should avoid vegetation clearing and earth disturbance during the typical nesting season (February 15 – August 31). If avoiding construction during this season is not feasible, a qualified biologist shall survey the area one week prior to activity beginning on the site. If nesting birds are located, they shall be avoided until they have successfully fledged. A buffer zone of 50 feet will be placed around all non-sensitive bird species, a 500-foot buffer zone for raptors, and all activity will remain outside of that buffer until a County approved biologist has determined that the young have fledged. If special-status bird species are located, no work will begin until an appropriate buffer is determined by consultation with the County, the local California Department of Fish and Game biologist, and/or the U. S. Fish and Wildlife Service.
  
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**Monitoring:** Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.

Oak Tree Impacts

Tree Type	# Removed (4:1 replacement)	# Impacted (2:1 replacement)	Replacement Total Required
25 Oak trees (23 Coast Live Oaks; 2 Valley Oaks)	25 (100)		
19 Oak trees (19 Valley Oaks)		19 (38)	
			138

BR-4 **Prior to issuance of construction and/or grading permits**, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline). Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities.

- a) The applicant shall prepare a **tree protection map and plan** (Tree Report, by Althouse and Meade, Inc., June 2012) with accurate and complete tree locations, tag numbers, Critical Root Zones, edge of canopy, and tree protection measures. The project engineers shall work with the biological consultants to develop a tree protection plan sheet that indicates all tagged trees, with corresponding tag numbers, edge of canopy and CRZ's within 50 feet of disturbance. Tree protection measures such as construction fencing shall be show on the map. All trees shall to be fully protected shall be clearly shown on the grading and drainage plans.
- b) Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

<p><b>Monitoring:</b> Compliance will be verified by the County Division of Environmental and Resource Management in consultation with the Planning Department.</p>
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BR-5 **Prior to issuance of construction and/or grading permit**, the applicant shall provide a **tree replacement plan** for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a) Number of Trees – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio. Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
  - i) A environmental monitor would keep the running tally of the total number of trees impacted and removed. A final mitigation obligation determination would be provided to the Project Manager and the County Planning Department.
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**Monitoring:** Compliance will be verified by Planning Department in coordination with the Building Department.

- BR-16 To minimize impacts to the sensitive oak woodland understory habitat (e.g. maritime chaparral, coastal scrub), the applicant agrees to the following during construction/ tract improvements and for the life of the project:
- a) All native vegetation removal shall be shown on all applicable grading/ construction plans, and reviewed/ approved by the County (Planning and Building Dept.) **before any work begins.**
  - b) Vegetation removal of native habitat shall be limited to what is shown on the county-approved grading/construction plans.
  - c) Vegetation clearance for fire safety purposes shall be limited to the minimum setbacks required by Cal FIRE. Where feasible, all efforts will be made to retain as much of this vegetation within the setback as possible (e.g. remove/trim only enough vegetation to create non-contiguous islands of native vegetation).

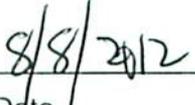
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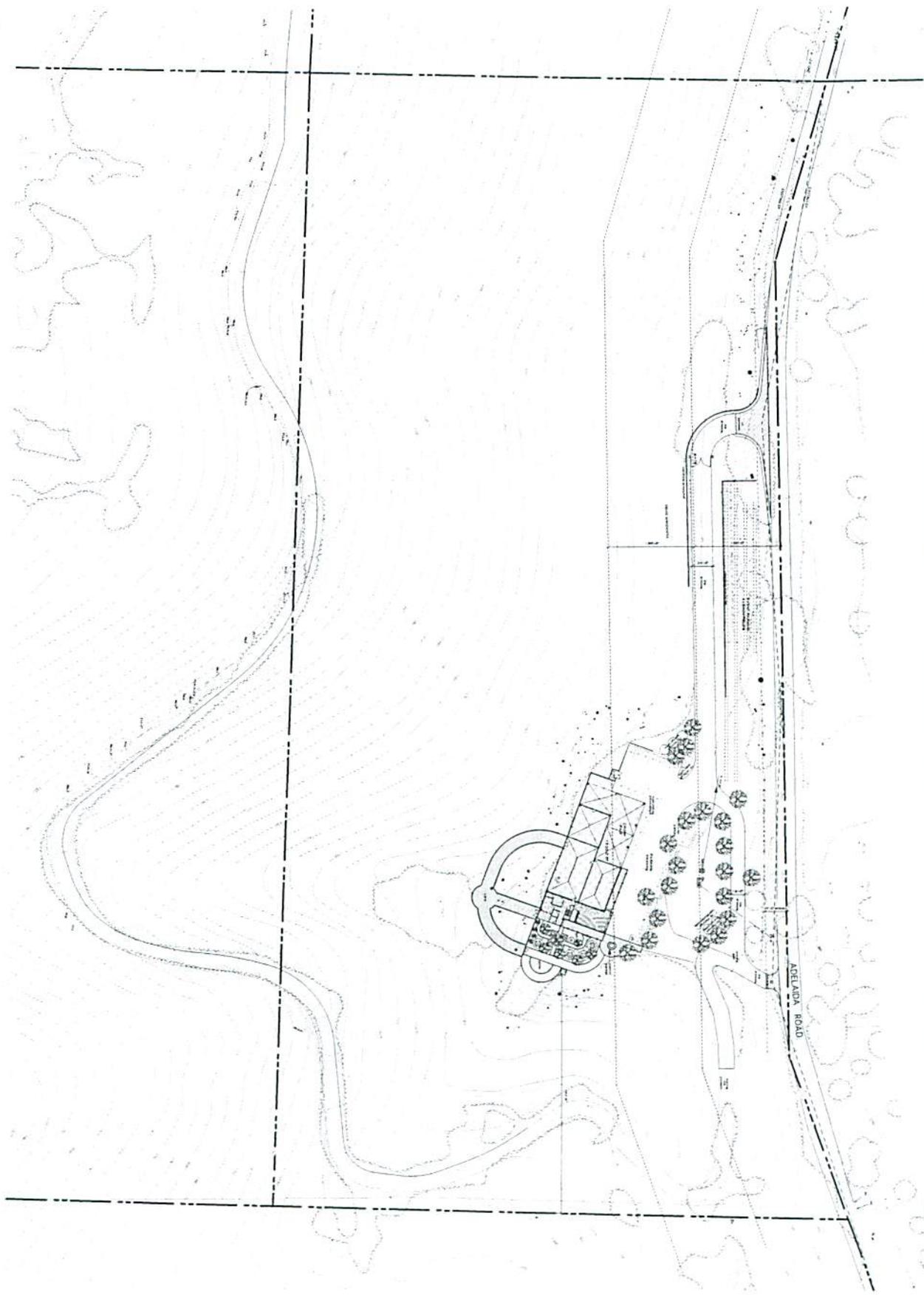
The applicant understands that any changes made to the project description subsequent to this environmental determination must be reviewed by the Environmental Coordinator and may require a new environmental determination for the project. By signing this agreement, the owner(s) agrees to and accepts the incorporation of the above measures into the proposed project description.

  
\_\_\_\_\_  
Signature of Owner(s)

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Name (Print)

**OVERALL SITE PLAN**  
1" = 50'-0"



**PULLITS**  
Steven D. Pullits, AIA & Associates, LLP

**Architect: Planning & Graphics**  
AIA & Associates, LLP  
12000 Wilshire Blvd., Suite 1000  
Beverly Hills, CA 90210  
(310) 274-1111

*Alta Colina*

**2775 ADELINA ROAD  
PASADENA, CA 91366**

**BOB & LYNN  
TILLMAN**

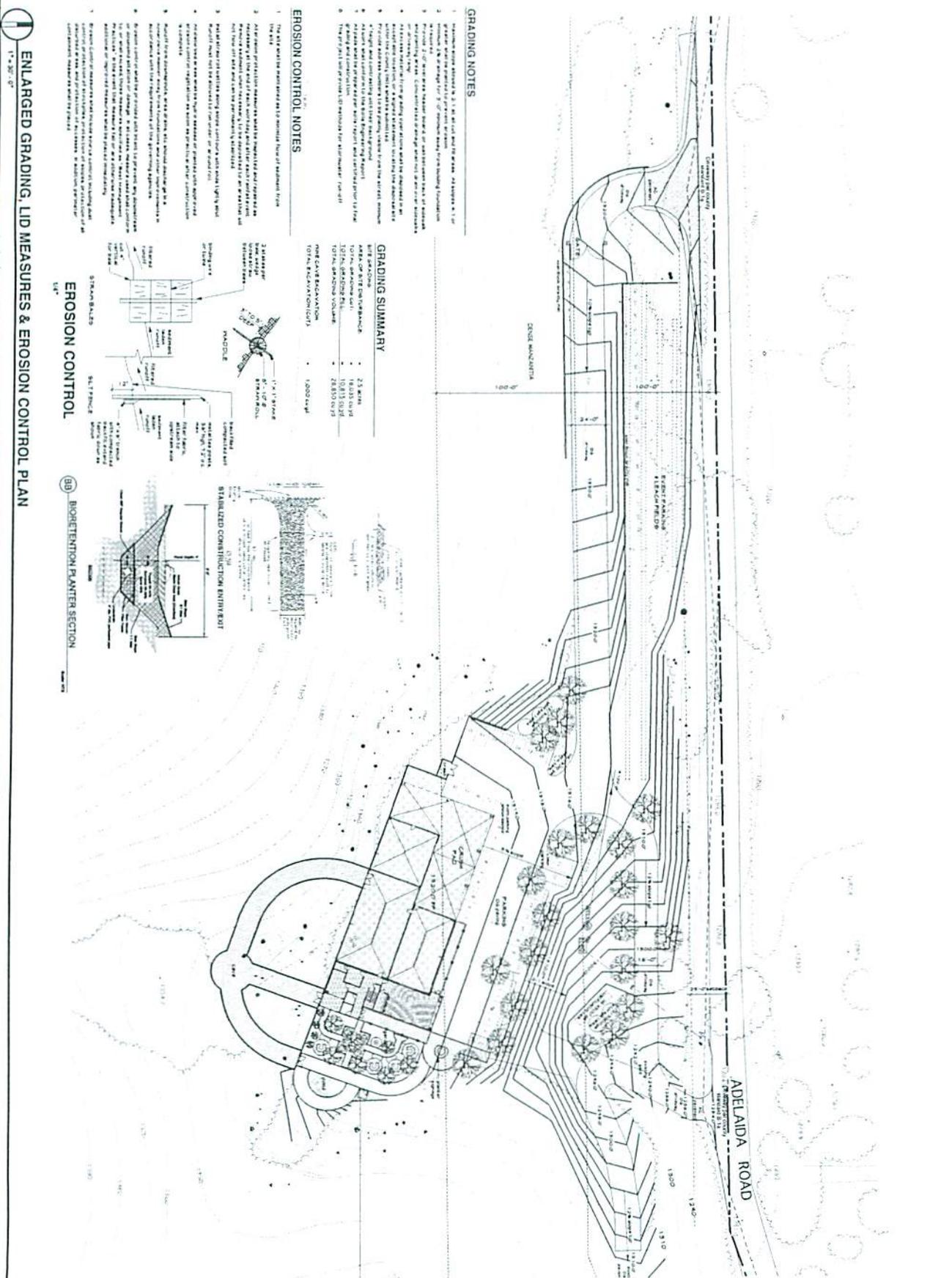
**600 BOX 1044  
SANTA LUCIA  
CA 93108  
(805) 345-9723**



**DATE:** OCT 2011  
**REVISION:**

**SCALE:** 1/8" = 1'-0"

**PROJECT:** AC - 1



**GRADING NOTES**

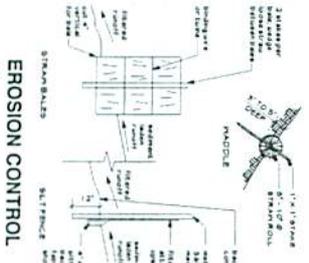
1. Maximum slope shall be 3:1 for all areas not shown.
2. All areas shall be graded to meet the minimum 2% slope for drainage.
3. All areas shall be graded to meet the minimum 1% slope for drainage.
4. All areas shall be graded to meet the minimum 0.5% slope for drainage.
5. All areas shall be graded to meet the minimum 0.2% slope for drainage.
6. All areas shall be graded to meet the minimum 0.1% slope for drainage.
7. All areas shall be graded to meet the minimum 0.05% slope for drainage.
8. All areas shall be graded to meet the minimum 0.02% slope for drainage.
9. All areas shall be graded to meet the minimum 0.01% slope for drainage.
10. All areas shall be graded to meet the minimum 0.005% slope for drainage.
11. All areas shall be graded to meet the minimum 0.002% slope for drainage.
12. All areas shall be graded to meet the minimum 0.001% slope for drainage.

**EROSION CONTROL NOTES**

1. The site shall be graded and finished to meet the minimum 2% slope for drainage.
2. All areas shall be graded to meet the minimum 1% slope for drainage.
3. All areas shall be graded to meet the minimum 0.5% slope for drainage.
4. All areas shall be graded to meet the minimum 0.2% slope for drainage.
5. All areas shall be graded to meet the minimum 0.1% slope for drainage.
6. All areas shall be graded to meet the minimum 0.05% slope for drainage.
7. All areas shall be graded to meet the minimum 0.02% slope for drainage.
8. All areas shall be graded to meet the minimum 0.01% slope for drainage.
9. All areas shall be graded to meet the minimum 0.005% slope for drainage.
10. All areas shall be graded to meet the minimum 0.002% slope for drainage.
11. All areas shall be graded to meet the minimum 0.001% slope for drainage.
12. All areas shall be graded to meet the minimum 0.0005% slope for drainage.

**GRADING SUMMARY**

AREA TO BE GRADDED	2.1 ACRES
TOTAL GRADING VOLUME	18,838 CU YD
TOTAL GRADING VOLUME	28,855 CU YD
TOTAL GRADING VOLUME	1,000 CU YD



**ENLARGED GRADING, LID MEASURES & EROSION CONTROL PLAN**

**AC - 2**

DATE: OCT 2011

REVISION: 1123

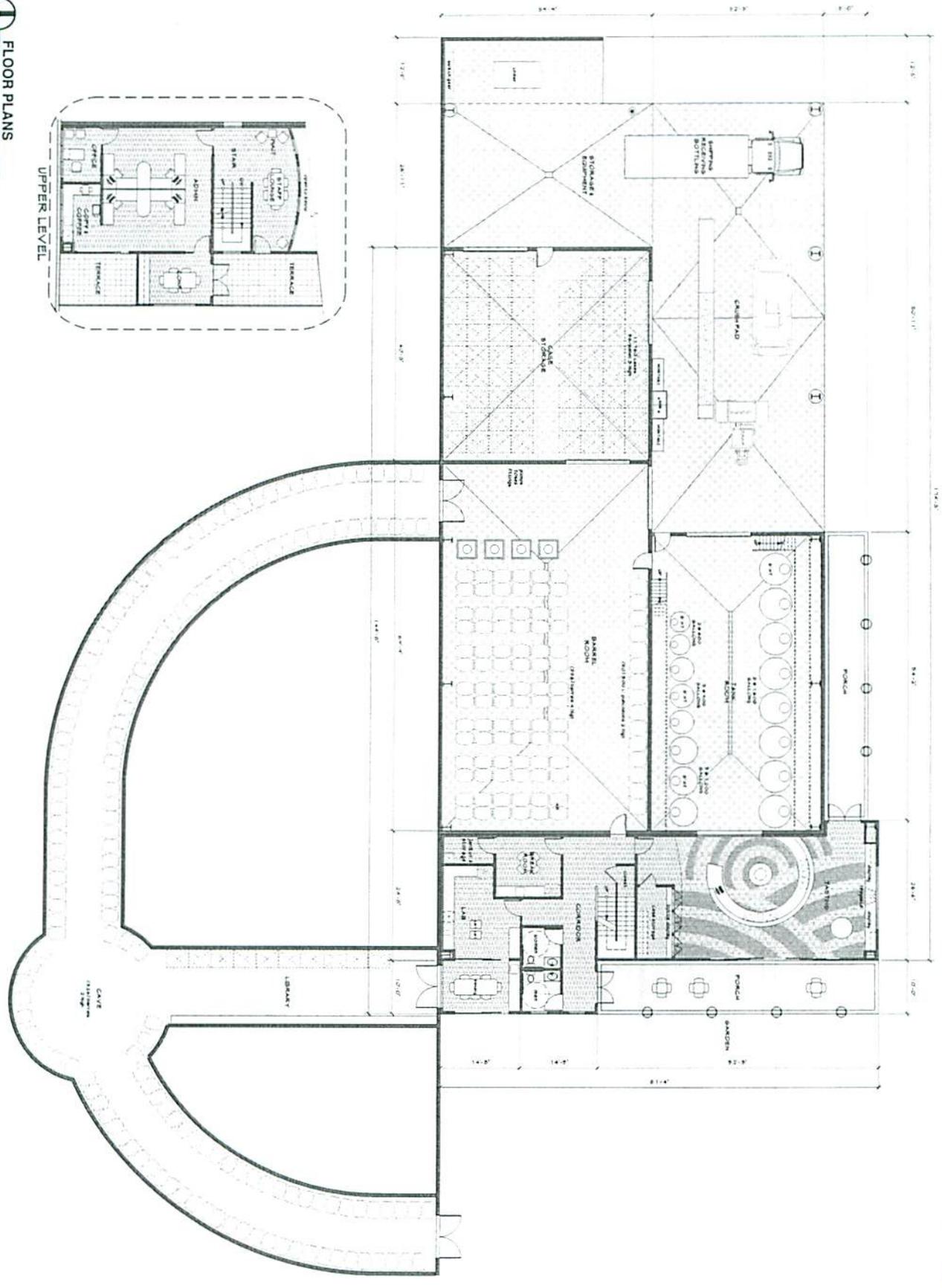
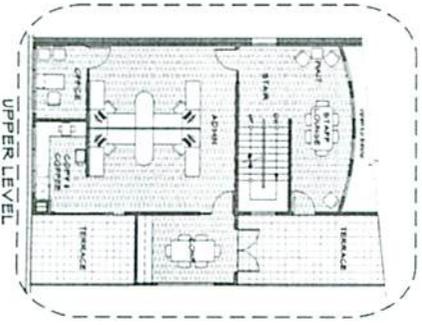
**PULLTS**  
Steven D. Pullts, AIA & Associates, LLP

3799 ADELaida ROAD  
PASADENA, CA 91368

BOB ALYNN  
TILKMAN

P.O. BOX 8341  
SAN LUIS OBISPO  
CA 93408  
(805) 545-0773

**FLOOR PLANS**  
1/8" = 1'-0"



**PULLITS**  
Steven D. Pullits, AIA & Associates, LLP

Project: 2725 ADELSON ROAD  
SAN LEANDRO, CALIFORNIA 94588  
3015 W. 50th Ave.  
San Leandro, California 94588  
925.541.8317 Fax  
925.541.8312 E-mail

*Alta*  
Calkins

2725 ADELSON ROAD  
SAN LEANDRO, CA 94588

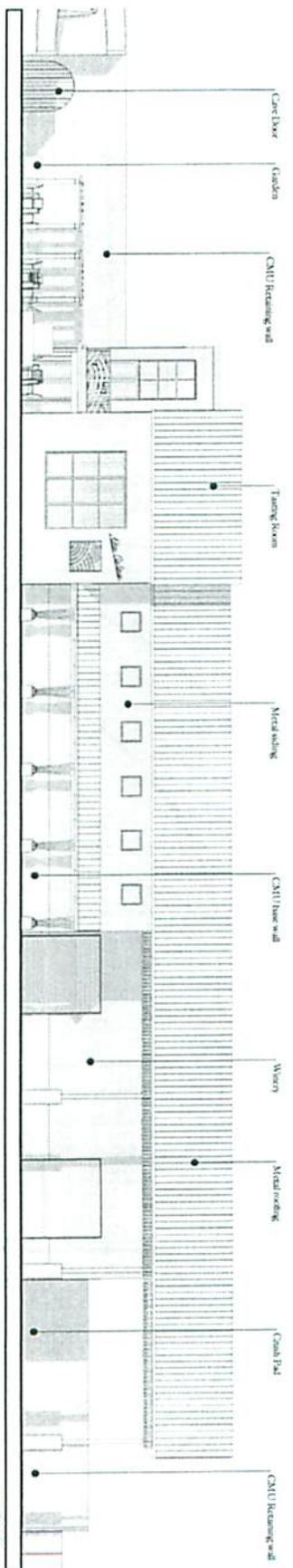
BOB A LYNN  
TELMANN

P.O. BOX 12141  
SAN LEANDRO, CA 94588  
(925) 545-0729

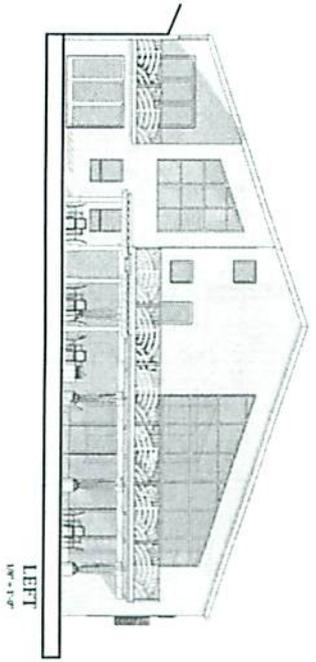
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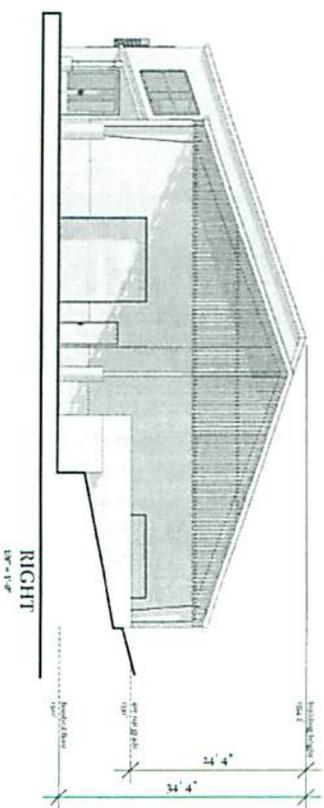
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FRONT  
1/8" = 1'-0"



LEFT  
1/8" = 1'-0"



RIGHT  
1/8" = 1'-0"

**PULLITS**  
Steven D. Pullts, AIA & Associates, LLP

Architect: *Steven D. Pullts, AIA & Associates, LLP*  
 2725 ADELGARD ROAD  
 SAN LUIS OBISPO  
 CA 93405  
 (805) 545-0773

*ALC*

BOB ALYNN  
TILMANN

P.O. BOX 1241  
SAN LUIS OBISPO  
CA 93405  
(805) 545-0773



Job No: 11526  
 Date: OCT 2011  
 Sheet: A-2



COUNTY OF SAN LUIS OBISPO

**Department of Agriculture/Weights and Measures**

2156 SIERRA WAY, SUITE A • SAN LUIS OBISPO, CALIFORNIA 93401-4556

(805) 781-5910 • FAX (805) 781-1035

[www.slocounty.ca.gov/agcomm](http://www.slocounty.ca.gov/agcomm)

[AgCommSLO@co.slo.ca.us](mailto:AgCommSLO@co.slo.ca.us)

**DATE:** February 23, 2012  
**TO:** Holly Phipps, Project Manager  
**FROM:** Lynda L. Auchinachie, Agriculture Department *YLA*  
**SUBJECT:** Tillman Minor Use Permit DRC2011-00045 (1621)

The Agriculture Department's review finds that the proposed Tillman Minor Use Permit for a winery, tasting room, and special events program will have less than significant impacts to agricultural resources or operations. The Department recommends the following conditions to maximize the availability of water for agricultural production, to minimize runoff, and to maximize groundwater recharge:

- Preclude lawn/turf areas associated with the winery facility, minimize or avoid irrigated landscaping, and require all landscaped areas to be drip irrigated. This measure minimizes non-agricultural water use and helps to protect groundwater resources for agricultural production.
- Incorporate best management practices for water conservation purposes throughout winery facility.
- Maximize the use of pervious and semi-pervious areas in order to promote groundwater recharge, minimize erosion and sedimentation and protect farmland for agricultural use.

Comments and recommendations are based on policies in the San Luis Obispo County Agriculture Element, Conservation and Open Space Element, the Land Use Ordinance, the California Environmental Quality Act (CEQA), and on current departmental policy to conserve agricultural resources and to provide for public health, safety and welfare while mitigating to the extent feasible the negative impacts of development to agriculture.

If you have questions, please call 781-5914.

### **Project Description and Agricultural Setting**

The project site is located at 2725 Adelaide Road, west of Paso Robles. The 21 acre site is located within the Rural Lands land use category and is predominately covered by oak woodlands. Agricultural uses in the area consist of wine grape vineyards, nut orchards, and field crop and cattle production. The subject property includes Nacimiento silty clay loam 9-30 percent slope and Santa Lucia-Lopez complex 15-50 percent slope, both Important Agricultural Soils as identified in the Conservation and Open Space Element, and Santa Lucia-Gazos complex 50-75 percent slope.

The proposal includes approximately 17,000 square feet of winery production facilities (including caves), 7,200 square feet of tasting room and garden terrace area, and associated access and parking. Consistent with Agriculture Element AGP 6, the proposal is beneficial to the local agricultural industry, the visitor serving uses are clearly secondary to winery production, and the facilities are sited adjacent to existing roads and are compatible with ongoing agricultural activities.

### **Impacts to Agricultural Resources**

The proposed development would result in development of a winery, tasting room, and special events program on approximately 2.5 acres. Impacts to agricultural resources will be less than significant; however, the Department recommends the following conditions to maximize the availability of water for agricultural production, to minimize runoff, and to maximize groundwater recharge:

- Preclude lawn/turf areas associated with the winery facility, minimize or avoid irrigated landscaping, and require all landscaped areas to be drip irrigated. This measure minimizes non-agricultural water use and helps to protect groundwater resources for agricultural production.
- Incorporate best management practices for water conservation purposes throughout winery facility.
- Maximize the use of pervious and semi-pervious areas in order to promote groundwater recharge, minimize erosion and sedimentation and protect farmland for agricultural use.



SAN LUIS OBISPO COUNTY  
DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 12/13/2011

TO: EM. Heath

FROM: Holly Phipps, North County Team



**PROJECT DESCRIPTION:** DRC2011-00045 TILLMAN- Minor use permit for a new 10,000 sf winery building and tasting room and 4,500 sf of caves. 21 acre site located off Adelaide Road in Paso Robles. APN: 026-231-080.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Please see attached - thank you!

1/3/12  
Date

[Signature]  
Name

x5551  
Phone

# SAN LUIS OBISPO COUNTY HEALTH AGENCY

---



## *Public Health Department*

2191 Johnson Avenue  
San Luis Obispo, California 93401  
805-781-5500 • FAX 805-781-5543

*Jeff Hamm*  
Health Agency Director

*Penny Borenstein, M.D., M.P.H.*  
Health Officer

December 29, 2011

To: Holly Phipps, North County Team  
Department of Planning and Building

From: Environmental Health  
Leslie Terry

Project Description: DRC2011-00045 TILLMAN MUP, APN: 026-231-080  
Alta Colina Winery

Recommend applicant verify water supply potability as needed for proposed use.  
Testing should include Inorganic Chemicals (IOC's).

Applicant to return attached Hazardous Materials Business Plan Implementation Flowchart to this office. Threshold levels are 55 gallons, 500 pounds or 200 cubic feet and common materials include (but are not limited to): fuel, paint, lubricants, pesticides, pool chemicals and compressed gases. Contact Linnea Faulkner in this office with any questions regarding this form.

If plan review for cross connection determines a device is necessary, then an annual device test requirement shall be added as a condition of this MUP.

Crackers may be served without a health permit. Please contact this office if in the future additional food will be provided to the public. Use only licensed caterers for wine industry events where food may be served.

Sheet AC – 1.1 indicate that the Leach Field is common with Event Parking. In general a septic drainfield should not be located below a driveway or parking area. Driving or parking on a drainfield will prevent proper drainfield operation due to soil compaction and also due to loss of proper evaporation of moisture through the surface. Heavy vehicles may actually crush buried leach field lines leading to failures. Paving over a drainfield, or installing patio stones or any other material that blocks proper soil transpiration interrupts the evaporation of moisture from the drainfield, interfering with its ability to dispose of effluent. Furthermore covering a drainfield may result in inadequate oxygen uptake in the soil, thus inadequate bacterial action, leading to inadequate treatment of septic effluent. This in turn risks ground water contamination. Applicant to provide information on future Leach Field / Parking scenario.



**CAL FIRE**  
**San Luis Obispo**  
**County Fire Department**

635 N. Santa Rosa • San Luis Obispo, CA 93405  
Phone: 805-543-4244 • Fax: 805-543-4248  
www.calfireslo.org



Robert Lewin, Fire Chief

## COMMERCIAL FIRE PLAN REVIEW

January 24, 2012

County of San Luis Obispo  
Department of Planning & Building  
County Government Center  
San Luis Obispo, CA. 93408

Subject: DRC2011-00045 (Tillman/Alta Colina Winery)

Ms. Phipps,

I have reviewed the Fire Safety Plan Application and New Project Referral submitted for the proposed winery facility, tasting room and underground caves project located at 2725 Adelaida Road near Paso Robles, CA. The project is in State Responsibility Area (SRA) for wildland fire purposes and within a **“Very High”** Fire Hazard Severity Zone. The proposed project is located approximately **12-15** minutes from the nearest County Fire Station (#30-Paso Robles). The project and applicant shall comply with the 2010 California Fire Code (CFC), the 2010 California Building Code (CBC), the Public Resources Code (PRC) and any other applicable fire laws.

**Concerns:**

*The cumulative effects of these types of commercial operations within **“Very High”** Fire Hazard Severity Zones having extensive fire department response times continue to place significant challenges upon the ability of CAL FIRE/County Fire to provide emergency services within rural areas.*

*The proposed wine cave structure presents specific concerns relative to CAL FIRE/County Fire’s ability to provide for the fire/life safety of those individuals entering the cave.*

**Roof Coverings:**

The roof type for all structures involved with the proposed project will have to be consistent with the requirements of Chapter 7A and Chapter 15 of the 2010 California Building Code (CBC) and no less than a **Class “A”** roofing assembly.

**Roof Access:**

- All buildings over 18 feet in height will have fixed laddering at two exterior remote locations or provide landscaping which reduces the ladder access height to 18 feet. The exception to this requirement is if the building has a protected stairway to the roof.
- Buildings must have a protected stairway access to the roof if the building is over 25 feet in height and the building is over 5,000 square feet in area. The stairwell must be accessible from the exterior of the

- building and at a location approved by the Fire Department. A permanently attached sign must be posted stating "Roof Access".  
Exception: Roof access is not required if the roof has a slope steeper than 6 units vertical and 12 units horizontal (50%).
- Buildings over 20,000 square feet in area and over 18 feet in height will have a dry or wet 2-1/2 inch standpipe system which includes a 2-1/2 inch outlet on the roof near the roof access in an approved location. The standpipe fire department connection (FDC) must be labeled and located at a fire department approved location.
- All buildings that are greater than 12,000 square feet in area and that will be used for high piled storage, and buildings of undetermined use capable of high piled storage, will be required to have a smoke and heat removal system as required in Chapter 32 of the 2010 California Fire Code, for Commodity Classifications I-IV.

### **Water Supply Connection(s):**

Pressurized fire hydrants are to be located as outlined in Chapter 5 & Appendix C of the 2010 California Fire Code (CFC). Plans shall be submitted to the County Fire Department for approval of the distribution system and hydrant locations. Fire hydrants shall have two, 2 1/2 inch outlets with National Standard Fire threads and one 4-inch suction outlet with National Standard Fire threads and comply with San Luis Obispo County Public Improvement Standard W-2 (August 2006). Each hydrant shall be identified by a blue reflective dot located on a non-skid surface located just off of center on the fire hydrant side. Hydrants must be protected from vehicle impact with the use of curbing or bollards.

### **Fire Flow Requirements outside Community Water Systems:**

**A Registered Fire Protection Engineer will be required to determine the amount of water required in storage dedicated to fire suppression purposes.**

*The required commercial fire sprinkler system (NFPA 13) will be the primary factor utilized in determining the amount of water storage required to be dedicated to fire suppression purposes.*

Water storage tank(s) shall have a sight gauge and fill automatically. Several pressurized fire hydrants will be required to be properly located on site. "Poly" style water storage tanks will not be allowed on this project due to the "Very High" Fire Hazard Severity Zone designation. Water storage tanks and fire pumps must be designed and installed in accordance with N.F.P.A. 20 and 22.

### **Fire Protection Systems:**

A Fire Alarm System is **required**. The alarm system shall comply with NFPA 72. The alarm system shall terminate at a 24-hour monitoring point (CFC Section 907). Three sets of plans shall be submitted to the County Fire Department for approval.

### **THIS PROJECT WILL REQUIRE THE INSTALLATION OF A COMMERCIAL FIRE SPRINKLER SYSTEM WITHIN ALL STRUCTURES INCLUDING THE WINE CAVE.**

The proposed cave structure must be designed, built and operated in accordance with the 2010 California Building Code Section 436 (Winery Caves). The project applicant/agent is required to provide a detailed set of plans for the cave structure. This set of plans shall include the proposed use(s) of the structure (Type 1, 2 or 3).

The design criteria and system demands of the required commercial fire sprinkler system will depend on the occupancy type of the structures and must comply with NFPA 13, 20, 22 and 1142. The applicant will have to identify what Hazard Class the project is for review by the fire department (exp. Ordinary Hazard Class II), for each of the buildings in the project. Three sets of plans and calculations shall be submitted for functional review and approval to the County Fire Department. The contractor shall be licensed by the State of California, CFC 903. A licensed alarm company shall monitor the fire sprinkler and alarm system. The fire department connection (FDC) supporting the sprinkler systems shall be located within 20 feet of a County standard hydrant and visible on fire engine approach to the building. A letter from the monitoring company shall be submitted to the County Fire Department verifying service.

### **Technical Report:**

A Fire Protection Engineer is required to design the Fire Protection Systems for this project. A list of Fire Protection Engineers is available on our website at <http://www.calfireslo.org>. The Fire Protection Engineer will require that you provide working plans as outlined in NFPA 13, 14.1 (2002). The Fire Protection Engineer will be required to send an original letter of their project review when completed, including all changes needed.

### **Portable Fire Extinguishers:**

Portable fire extinguishers shall be installed in all the occupancies in compliance with the California Fire Code Section 906 and Title 19. The contractor shall be licensed by the State Fire Marshal.

### **Exiting:**

All egress and exiting requirements shall comply with the *Chapter 10 – Means of Egress* of the 2010 California Building Code to provide egress from the building to the public way.

### **Building Set Backs:**

A minimum 30-foot setback shall be provided from all property lines, PRC 4290, Section 1276.01.

**Note: Setbacks are subject to County Planning Department approval.**

### **Commercial Access Road:**

- A commercial access road must be 24 feet wide.
- Parking is only allowed where an additional 8 feet of width is added for each side of the road that has parking.
- "No Parking - Fire Lane" signs will be required.
- Fire lanes shall be provided as set forth in the California Fire Code Section 503.
- Fire access shall be provided within 150 feet of the outside building perimeter.
- Must be an all weather non-skid paved surface.
- All roads must be able to support a fire engine weighing 40,000 pounds.
- Vertical clearance of 13'6" is required.

### **Gates:**

- Must be setback from the road a minimum of 30 feet from the intersection.
1. *San Luis Obispo County Dept. of Public Works may require a greater setback distance. Given the average speed of traffic on this section of Adelaida Road, CAL FIRE/County Fire strongly urges the applicant to increase the setback distance for gates on this site.*
- Must automatically open with no special knowledge.
  - Must have a KNOX key box or switch for fire department access. Call the Prevention Bureau for an order form at (805) 543-4244.
  - Gate shall have an approved means of emergency operation at all times.
  - Gate must be 2 feet wider than the road on each side.
  - Gates must have a turnaround located at each gate.

### **Addressing:**

Address numbers must be legible from the roadway and on all buildings. They shall be on a contrasting background and a minimum of 8 inches high with a 1/2" stroke for commercial and 10 inches high for industrial. All occupancies shall have a distinct address. A monument sign displaying the location of all buildings in the complex must be displayed in a prominent location at the entrance to the facility (California Fire Code Section 505).

### **Emergency Access:**

All commercial buildings shall install a Knox key box for fire department emergency access. The box shall be installed prior to final inspection of the building. An order form is available from the Prevention Bureau, call for more information at (805) 543-4244.

**Defensible Space and Construction Type:**

Each building site will be built with a "Defensible Space." Public Resource Code 4291 requires all structures to provide a 100 foot clearance free of flammable vegetation around all structures.

This project must comply with the 2010 California Building Code Chapter 7A "Materials and Construction Methods for Exterior Wildfire Exposure." Building sites should be located so that the structure is not directly above or below a topographic "chimney." All landscaping should be of fire resistive plants, preferably natives.

**A Wildland Fire/Vegetation Management Plan must be developed by the applicant and approved by CAL FIRE/San Luis Obispo County Fire Department.**

**Building Signage:** All interior & exterior doors providing access to fire protection or building systems shall be labeled. Examples: electrical, fire alarm control panel, fire riser, standpipes, test valves, roof access etc. The signs shall be a minimum size of 12" x 12" with characters at least 1-inch high in block lettering with a minimum of 1/4" stroke. The lettering shall be of a contrasting color to the sign background.

**Fire Safety during Construction:**

Prior to construction, an operational water supply system and established access roads must be installed. California Fire Code (CFC) Section 501, 503 and 507. During construction all applicable Public Resources Codes must be complied with to prevent a wildfire. These will include the use of spark arresters, adequate clearance around welding operations, smoking restrictions and having extinguishers on site. The Industrial Operations Fire Prevention Field Guide will assist the applicant.

**Special Events:**

All special events (if approved through the permitting process) shall be approved by the County Fire Department 30 days in advance. A list of Special Events should be submitted each year. The applicant must submit a site plan, a description of the events, the number of anticipated participants, measures taken to mitigate the impact of the events on public safety and a written emergency plan for medical aids, injuries, structure fires, wildland fires and other emergencies. The buildings which will be used for special events must be identified during plan review as they may impact the occupancy classification, thus changing the building requirements. No special events will be allowed in buildings designed for other uses, such as stables and barns unless the building is in full compliance of all requirements for assembly occupancy type. The County Fire Department will review the submitted plans and make comments and necessary requirements.

*The approval of Special Events will require secondary access. The proposed access points connecting to Adelaida Road (Overall Site Plan-Oct. 2011/Pults & Associates) may not meet the secondary access road requirement.*

**Emergency Plans:**

A written emergency plan will be developed and written for medical aids, structure fires, wildland fires and other types of emergencies. This plan should include an inventory of equipment and its location, trained personnel and their responsibilities, evacuation procedures of buildings, trails and other facilities, identification of safe refuge areas, facility evacuation and any other pertinent information. The plan should include a site map. NFPA 1620 and California Fire Code (CFC) Chapter 10.

If I can provide additional information or assistance on this mater, please don't hesitate to contact me at (805) 543-4244, extension 3425.

Sincerely,

  
Clinton I. Bullard  
Fire Inspector

C: Pults & Associates, Agent



# SAN LUIS OBISPO COUNTY DEPARTMENT OF PUBLIC WORKS

Paavo Ogren, Director

---

County Government Center, Room 207 • San Luis Obispo CA 93408 • (805) 781-5252  
Fax (805) 781-1229 email address: [pwd@co.slo.ca.us](mailto:pwd@co.slo.ca.us)

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## MEMORANDUM

Date: January 25, 2011 (rev)

To: Holly Phipps, North County Team Planner

From: Glenn Marshall, Development Services Engineer

**Subject: Public Works Project Re-referral for DRC2011-00045 – Tillman, MUP for a 10ksf winery with tasting, caves and events (6@80 persons). Adelaide Rd, Paso Robles APN 026-231-080**

Thank you for the opportunity to provide information on the proposed subject project. It has been reviewed by several divisions of Public Works, and this represents our consolidated response.

### Public Works Comments:

- A. The proposed public serving project site is **not** located further than 1-mile from a collector or arterial (22.30.070D2a). Adelaide Road is designated a collector.
- B. Adelaide Road collision rate is currently below the County average. Per Resolution 2008-152 a Roadway Safety Analysis not required. Additionally, the estimated trip generation does not trigger frontage improvements.
- C. The primary driveway shall be constructed to B-1e driveway approach (high speed) standards. The secondary driveway shall be constructed to a B-1 rural standard. The all gates shall be located a minimum of 75-feet from the nearest edge of pavement along Adelaide Road.
- D. Sheet AC-4 shows the trees to be removed as part of the project. The project Planner should note that tree removal must be approved as a part of the project in order to secure an encroachment permit from public works to allow their removal within the Adelaide Road right-of-way.
- E. All site access roads shall be improved to Cal Fire standards
- F. Project site is not located in Flood Hazard area however there exists a blue line stream adjacent to Adelaide Road.
- G. A drainage plan is required and it will be reviewed at the time of Building Permit submittal. The applicant should review Chapter 22.52 of the Land Use Ordinance prior to plan submittal.
- H. Sedimentation and erosion control plan required with submittal of application for grading permit
- I. The project site is not located in a Road Improvement Fee Area
- J. The project appears to meet the applicability criteria outlined in Title 22.10.155 or Title 23.04.450 for Stormwater Management; therefore, the project may be subject to the NPDES General Permit Attachment 4 Design Standards.

## Recommended Project Conditions of Approval:

### Roads

1. **At the time of application for construction permits**, the applicant shall submit plans to the Department of Public Works to secure an Encroachment Permit to improve the site access driveways in accordance with the County's Public Improvement Standards, B-1 series drawings for rural driveways. At a minimum the plans shall include:
  - a. Construction of a new rural high volume primary driveway designed in accordance with Drawing B-1e and A-5 series sight distance standards, modified as approved by the Department to accommodate the design vehicle turning movements. Proposed gates shall meet Cal Fire requirements and be setback a minimum of 75-feet from the nearest edge of pavement of Adelaida Road.
  - b. Construction of a new rural secondary driveway designed in accordance with the Drawing B-1 and A-5 series sight distance standards. Proposed gates shall meet Cal Fire requirements.
  - c. Tree removal/retention plan for trees to be removed and retained associated with the required public improvements. The plan shall be approved jointly with the Department of Planning and Building.
  - d. Drainage ditches, culverts, and other structures (if drainage calculations require) to accommodate the existing roadside drainage.
  - e. Provide evidence satisfactory to Public Works that the Army Corps of Engineers and the California Department of Fish and Game environmental permits have either been secured or that the regulatory agency has determined that their permit is not required for the driveway and sight distance improvements fronting Adelaida Road.
2. **Prior to occupancy or final inspection**, the Adelaida Road driveway approaches shall be improved to the satisfaction of the Department of Public Works encroachment inspector.
3. **At the time of application for construction permits**, the applicant shall provide evidence to the Department of Planning and Building that all onsite roads and pavement structural sections have been designed and shall be constructed in conformance with Cal Fire requirements back to the nearest public maintained roadway.
4. **On-going condition of approval (valid for the life of the project)**, and in accordance with County Code Section 13.08, no activities associated with this permit shall be allowed to occur within the public right-of-way including, but not limited to, project signage; tree planting; fences; etc without a valid Encroachment Permit issued by the Department of Public Works.
5. **On-going condition of approval (valid for the life of the project):**
  - a. Any gate constructed on a driveway where off-site grapes are delivered and/or product is exported from the site shall be a minimum of 75-feet from the nearest edge of pavement of any road open to public traffic.

### Drainage

6. **At the time of application for construction permits**, the applicant shall submit complete drainage calculations for review and approval in accordance with Sections 22.52.110 (Drainage Plan Required) of the Land Use Ordinance.

7. **At the time of application for construction permits**, the applicant shall submit complete erosion and sedimentation control plan for review and approval in accordance with 22.52.120.
8. **At the time of application for construction permits**, the applicant shall demonstrate that the project construction plans are in conformance with the Source Control BMP's as identified for project incorporation in the applicant's *Stormwater Quality Plan Application for Priority Projects*, a copy which is on file with the Department of Planning & Building.
9. **Prior to occupancy or final inspection**, the shall record with the County Clerk a mitigation agreement which establishes an annual BMP maintenance reporting requirements to the Department of Planning and Building in accordance with 22.10.155(G)(7).
10. **On-going condition of approval (valid for the life of the project)**, the project shall comply with the requirements of the National Pollutant Discharge Elimination System Phase I and / or Phase II storm water program and the County's Storm Water Pollution Control and Discharge Ordinance, Title 8, Section 8.68 et sec.

#### Recycling

11. **On-going condition of approval (valid for the life of the project)**, the applicants shall provide recycling opportunities to all facility users at all events in accordance with Ordinance 2008-3 of the San Luis Obispo County Integrated Waste Management Authority.

V:\DEVSErv Referrals\Land Use Permits\Minor Use Permits\DRC11-00045 Tillman, Adelaide Rd, PR.doc