



NEGATIVE DECLARATION & NOTICE OF DETERMINATION

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Promoting the Wise Use of Land • Helping to Build Great Communities

ENVIRONMENTAL DETERMINATION NO. ED11-086

DATE: May 30, 2013

PROJECT/ENTITLEMENT: Cantinas Ranch Organizational Camp / Conditional Use Permit / DRC2011-00037 ;

APPLICANT NAME: Cantinas Ranch Foundation

ADDRESS: 22917 PCH, Suite 300, Malibu, CA, 90265

CONTACT PERSON: Rachel Kovessi

Telephone: 805-461-5765

PROPOSED USES/INTENT: To allow for the phased construction of an organizational camp with multiple buildings (that would total approximately 95,000 sf). The proposed project will result in the disturbance of 24.5 acres including 45,960 cubic yards of cut and 22,040 cubic yards of fill on a 560 acre project site. The project also includes a request to reduce the minimum setback requirements set forth in Section 22.30.250.A.5 of the Land Use Ordinance for organizational camps.

LOCATION: Located on Lynch Canyon Road and the site is bordered by Oak Shores Village Reserve line to the east and is located ~ 30 miles northwest of the City of Paso Robles.

LEAD AGENCY: County of San Luis Obispo
Dept of Planning & Building
976 Osos Street, Rm. 200
San Luis Obispo, CA 93408-2040

Website: <http://www.sloplanning.org>

OTHER POTENTIAL PERMITTING AGENCIES: Air Pollution Control District
California Department of Fish and Game Regional Water Quality Control Board

STATE CLEARINGHOUSE REVIEW: YES NO

ADDITIONAL INFORMATION: Additional information pertaining to this environmental Determination may be obtained by contacting the above Lead Agency address of (805)781-5600.

COUNTY "REQUEST FOR REVIEW" PERIOD ENDS AT 4:30 p.m. (2 wks from above DATE)

30-DAY PUBLIC REVIEW PERIOD begins at the time of public notification

Notice of Determination

State Clearinghouse No. _____

This is to advise that the San Luis Obispo County _____ as *Lead Agency*
 Responsible Agency approved/denied the above described project on _____, and has made the following determinations regarding the above described project:

The project will not have a significant effect on the environment. A Negative Declaration was prepared for this project pursuant to the provisions of CEQA. Mitigation measures and monitoring were made a condition of approval of the project. A Statement of Overriding Considerations was not adopted for this project. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Negative Declaration with comments and responses and record of project approval is available to the General Public at the 'Lead Agency' address above.

Holly Phipps

County of San Luis Obispo

Signature

Project Manager Name

Date

Public Agency



Initial Study Summary – Environmental Checklist

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

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(ver 3.4) Using Form

Project Title & No. **Cantinas Ranch Organization Camp / Conditional Use Permit / DRC2011-00037 (ED11-086)**

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED: The proposed project could have a "Potentially Significant Impact" for at least one of the environmental factors checked below. Please refer to the attached pages for discussion on mitigation measures or project revisions to either reduce these impacts to less than significant levels or require further study.

<input checked="" type="checkbox"/> Aesthetics	<input checked="" type="checkbox"/> Geology and Soils	<input type="checkbox"/> Recreation
<input checked="" type="checkbox"/> Agricultural Resources	<input checked="" type="checkbox"/> Hazards/Hazardous Materials	<input type="checkbox"/> Transportation/Circulation
<input checked="" type="checkbox"/> Air Quality	<input type="checkbox"/> Noise	<input type="checkbox"/> Wastewater
<input checked="" type="checkbox"/> Biological Resources	<input type="checkbox"/> Population/Housing	<input checked="" type="checkbox"/> Water
<input checked="" type="checkbox"/> Cultural Resources	<input checked="" type="checkbox"/> Public Services/Utilities	<input type="checkbox"/> Land Use

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation, the Environmental Coordinator finds that:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Holly Phipps
Prepared by (Print)

Holly Phipps
Signature

5/21/13
Date

Murry Wilson

Murry Wilson

Ellen Carroll,
Environmental Coordinator 5/21/2013

Project Environmental Analysis

The County's environmental review process incorporates all of the requirements for completing the Initial Study as required by the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The Initial Study includes staff's on-site inspection of the project site and surroundings and a detailed review of the information in the file for the project. In addition, available background information is reviewed for each project. Relevant information regarding soil types and characteristics, geologic information, significant vegetation and/or wildlife resources, water availability, wastewater disposal services, existing land uses and surrounding land use categories and other information relevant to the environmental review process are evaluated for each project. Exhibit A includes the references used, as well as the agencies or groups that were contacted as a part of the Initial Study. The Environmental Division uses the checklist to summarize the results of the research accomplished during the initial environmental review of the project.

Persons, agencies or organizations interested in obtaining more information regarding the environmental review process for a project should contact the County of San Luis Obispo Environmental Division, 976 Osos Street, Rm. 200, San Luis Obispo, CA, 93408-2040 or call (805) 781-5600.

A. PROJECT

DESCRIPTION: Request by Cantinas Ranch Foundation for a Conditional Use Permit to allow for the phased construction of an organizational camp with multiple buildings. The proposed project will result in the disturbance of 24.5 acres including 45,960 cubic yards of cut and 22,040 cubic yards of fill on a 560 acre project site. The project also includes a request to reduce the minimum setback requirements set forth in Section 22.30.250.A.5 of the Land Use Ordinance for organizational camps. The proposed project is within the Rural Lands land use category and is located on Lynch Canyon Road. The site is bordered by Oak Shores Village Reserve line to the east and is located approximately 30 miles northwest of the City of Paso Robles. The site is in the Nacimiento planning area.

ADDITIONAL DISCUSSION:

The proposed project (internal roads, parking, and building pads) will result in the disturbance of approximately 20.4 acres including 43,000 cubic yards of cut and 20,400 cubic yards of fill. Improvements to Lynch Canyon will result in the disturbance of approximately 1.5 acres and 600 cubic yards of cut and 1,000 cubic yards of fill. Improvements required for the emergency access road will result in the disturbance of approximately 2.6 acres including 2,360 cubic yards of cut and 640 cubic yards of fill. Foundation design and finish grade design in landscape areas will be refined to balance overall earthwork of 23,460 cubic yards (15 % shrink compacted) will be applied. All cut materials will be kept on-site and placed with the identified development area. The total square footage associated with the proposed project is approximately 95,000 square feet (sf) for the various buildings and uses including the following:

Buildings	Enclosed SF	Porches / Parking SF	Total SF
Mission	31,318	5,570	36,888
Chapel	4,288	496	4,784
Art Buildings:			
Ensemble	1,482	312	1,794
Dance	2,556	96	2,652
Café/Studio	1,696	735	2,431
Theater	2,860	0	2,860
BLK Box/ST	2,736	1,296	4,032
Stage	0	1,900	1,900
TV Studio	1,728	1,584	3,312
	Sub-total: 13,058	Sub-total: 5,923	Sub-total: 18,981

Buildings	Enclosed SF	Porches / Parking SF	Total SF
Camper Lodging	8 x (1,276 sf) = 10,208 8 x (1,412 sf) = 11, 296 Sub-total: 21,504	256 256 Sub-total: 512	10,464 11,552 Sub-total: 22,016
Staff Lodging	15 x (336 sf) = 5,040	960	5,376
Security Entrance Building	1,276	28	1,304
Mill Barn/Lake Café			
Mill Barn	8,064	1,440	9,504
Lake Café	1,000	400	1,400
Pool Bath/Storage	720	288	1,008
	Sub-total: 9,784	Sub-total: 2,128	Sub-total: 11,912
Equestrian Barns			
Feed Barn	3,053	0	3,053
Tractor Barn	1,504	0	1,504
	Sub-total: 4,557		Sub-total: 4,593
Staff Parking Area:			
Van Shelter Barn	2,688	0	2,688
24 parking spaces	0	21,000 (parking lot)	21,000
Fuel pad area	0	1,000 (outside area)	1,000
	Sub-total: 2,688	Sub-total: 22,000	Sub-total: 23,688
Trash Enclosure	1,450	0	1,450
TOTALS:	94,963	37,617	131,956

ASSESSOR PARCEL NUMBER(S): 080-011-011, 080-062-022, 023, -024, -038, -039, 012-211-057, -058, -059

Latitude: 35 degrees 45 ' 35" N Longitude: 121 degrees 0' 46" W SUPERVISORIAL DISTRICT # 1

B. EXISTING SETTING

PLANNING AREA: Nacimiento, Rural

LAND USE CATEGORY: Rural Lands

COMBINING DESIGNATION(S): Flood Hazard

EXISTING USES: Vacant

TOPOGRAPHY: Gently sloping to steeply sloping

VEGETATION: Grasses , oak woodland, chaparral

PARCEL SIZE: +/- 560 acres

SURROUNDING LAND USE CATEGORIES AND USES:

<i>North:</i> Agriculture; Grazing	<i>East:</i> Residential Single Family; Oak Shores Village Reserve uses include Residential Single-Family, Recreation, Commercial Retail, and Open Space
<i>South:</i> Lake Nacimiento; undeveloped	<i>West:</i> Rural Lands; Recreational Campground/Mobile Home Park (called Christmas Cove)

C. ENVIRONMENTAL ANALYSIS

During the Initial Study process, several issues were identified as having potentially significant environmental effects (see following Initial Study). Those potentially significant items associated with the proposed uses can be minimized to less than significant levels.

**COUNTY OF SAN LUIS OBISPO
INITIAL STUDY CHECKLIST**

1. AESTHETICS - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Create an aesthetically incompatible site open to public view?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Introduce a use within a scenic view open to public view?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Change the visual character of an area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create glare or night lighting, which may affect surrounding areas?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Impact unique geological or physical features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project site is located in the rural Nacimiento Planning Area which is characterized by steep slopes, remoteness and heavy chaparral. Some of these areas are used for grazing activities and in general, parcels remain in large ownership. The project site borders the Oak Shore Village Reserve Line to the east (which is zoned Residential Single-Family, Recreation, Open Space, and Commercial Retail), Lake Nacimiento is located to the south, and both Rural Lands and Agriculture land use categories are located to the north of the project site. The Community of Christmas Cove (recreational camp and mobile home park) is located to the west of the camp property. As viewed from different vantage points along the property of Cantinas Ranch, several Oak Shores' homes can be seen.

The proposed site for the Cantinas Ranch organization camp is an approximately 560 acre parcel located on Lynch Canyon Road. The property is bisected by Lynch Canyon Road and the southern and eastern property lines border Lake Nacimiento. Elevations on the project site range from 800 feet to approximately 1,400 feet above sea level. The property consists of oak woodlands, chaparral, and grassland habitats on gentle to steep terrain. The project site contains numerous drainage features which lead to Lake Nacimiento and include Cantinas Creek and Kavanaugh Creek which converge at the eastern boundary of the property.

The project site is located in the vicinity of the Lake Nacimiento Drive – Interlake Road which is a Sensitive Resource Area (SRA) but the project site is not subject to the standards of the SRA because the project will not be visible from Lake Nacimiento Drive or Interlake Road. Portions of the proposed project will however be visible along some segments of Lake Nacimiento, Lynch Canyon Road and Oak Shores Drive.

Impact. The applicant proposes approximately 25 acres of grading to construct the project including approximately 43,000 cubic yards of cut and 20,400 cubic yards of fill. This will include improvements to Lynch Canyon Road as well as improvements associated with the emergency access road (which is located on the northeastern property boundary, where primary access is taken to the organizational camp). Landforms will be modified using contour grading rather than abrupt and uniform cut and fill slopes. The lighter color of disturbed earth would increase the noticeability of the project. Visibility of the buildings and access roads will generally be low as seen from public viewing areas after completion of project. Visual impacts have been minimized through the clustering of proposed project elements into portions of the site where natural landforms of the site can shield views of the proposed development. By designing the proposed structures with consideration given to the natural terrain, ground disturbance and mass earthwork activities have been minimized.

The majority of the buildings proposed follow an architectural style that would be characterized as Spanish Colonial and Mission Revival design. Design features of these buildings include simple massing and roof lines with solid and massive walls, piers and buttresses, broad unadorned plaster wall surfaces with low-pitched clay roof tiles, small punched door and window openings with larger rhythmic arcades of details including terracotta ornaments and decorative ironwork.

The remaining buildings reflect architecture from the early American settlement of California during the gold rush and ranching periods. These buildings will have an agrarian / ranch style with wood siding and metal roofing, barn doors, broad covered porches and simulated silo features. The staff housing is intended to blend into their unique setting using similar materials with a modified barn style.

A Visual Assessment was prepared (Firma Landscape Architects, June 19, 2012) to help analyze the visual impacts associated with the proposed project. Portions of the proposed organizational camp buildings will be visible when viewed from various vantage points. As viewed from Oak Shores Drive at the crest of the road looking southwest approximately 1.3 miles, the Mission, Chapel, Camper Lodging and Parking Barn would be seen. The Mission and Chapel will be the most visible components from this vantage point as you approach the proposed camp. While the parking barn may be visible on a distant ridgeline, from this vantage point identified in the visual assessment, the distance is so great that the barn looks like trees.

None of the proposed structures will silhouette against the skyline as viewed from the identified vantage points along Oak Shores Drive.

As viewed from Lynch Canyon Road (a County Maintained Road), looking south, approximately 1,200 feet from the proposed project, the Mission and Chapel will be visible. The Arts Buildings and the Camper Lodging is more subdued due to screening provided by existing vegetation. From Lynch Canyon Road, looking south at approximately 750 feet, the proposed Mill Barn will be visible along the road. None of the structures are anticipated to silhouette against the skyline as viewed from the identified vantage points along Lynch Canyon Road.

As viewed from Lake Nacimiento, looking northwest from the Narrows (approximately 0.75 miles), the proposed Lake House and Mill Barn will be slightly visible. As viewed looking north from the lake at approximately 800 feet, the Lake House will be visible but will not silhouette against the skyline. Existing scattered oak trees will minimize and screen views of the Mill Barn and depending on the viewing location, some of the Lake House will be screened.

Various buildings associated with the camp would be visible as discussed above and as shown in the chart below.

Table 1: Summary of Visual Assessment: June 19, 2012

Buildings	Viewing Position 1: Visibility Oak Shores Dr. at 1.3 miles away	Viewing Position 2: Visibility Oak Shores Dr. at 0.95 miles away	Viewing Position 3: Visibility Lake at 0.75 miles away	Viewing Position 4: Visibility Lake at 800 feet away	Viewing Position 5: Visibility Lynch Canyon Rd. 1,200 feet away	Viewing Position 6: Visibility Lynch Canyon Rd. at 750 feet away
Mission	Yes	Yes	No	No	Yes	No
Chapel	Yes	Yes, barely	No	No	Yes	No
Art Buildings	Yes, barely	Yes, barely	No	No	No	No
Staff Lodging	No	No	No	No	No	No
Camper Lodging	Yes, barely	No	No	No	Yes	No
Parking Barn	Yes, barely	Yes, barely	No	No	No	No
Lake House	No	No	Yes	Yes	No	No
Mill Barn	No	No	Yes	Yes	No	Yes
Equestrian Barn	No	No	No	No	No	No

Viewing Position 1: Oak Shores Drive at Crest looking Southwest, ~ 1.3 miles

Viewing Position 2: Oak Shores Drive, looking Southwest, ~ 0.95 miles

Viewing Position 3: Lake Nacimiento, looking Northwest at entrance of Narrows, distance ~ 0.75 miles

Viewing Position 4: Lake Nacimiento, looking North, ~ 800 feet away

Viewing Position 5: Lynch Canyon Rd., looking South, ~ 1,200 feet

Viewing Position 6: Lynch Canyon Rd., looking South 750 feet away

Note: Equestrian Barn was not viewed from above locations but can be seen from Lynch Canyon Rd.

Note: Security Building not included in above Visual Assessment and cannot not be seen from Lynch Canyon Rd. nor from Lake Nacimiento.

Due to the rural nature of the area, the existing night sky has very little light pollution. Exterior lighting would be utilized during operation of the camp and would be located throughout the improved area of the camp. Because of the remote location of the project, any increase in night lighting associated with the project would result in a long term significant visual impact.

As development increases in this region and along Lake Nacimiento, each project will result in some degree to the alteration of the landscape and rural setting. The unavoidable noticeability of the proposed project will result in a negative visual effect on the rural character and cumulative short and long term visual impacts.

Mitigation/Conclusion. The applicant proposes to construct and organization camp with structures that would total approximately 95,000 square feet. The aesthetics impacts of the development have been minimized by clustering of proposed project elements in the least visually sensitive portion of the project site. The site was designed around the natural terrain so that ground disturbance and tree removal could be minimized (additional discussion on tree removal is provided in Section 4 – Biological Resources). In areas where transitional grading is required, landforms will be modified using contour grading rather than abrupt and uniform cut and fill slopes.

To limit impacts to oak trees and their root zones, retaining walls have been proposed on the project plans which will also minimize impacts to aesthetic resources by helping to screen the proposed structures from public views to retain the existing trees near the proposed development.

To mitigate the remaining visual impacts that would result from the proposed project, the following

measures have been included to reduce the impacts to a level of insignificance. These measures include: 1) implementation of landscape plans for all structures and improvements; 2) the use of colors and materials showing the use of dark and muted earth-tone colors for buildings and roofing (Exterior colors no brighter than 6 in chroma and value of the Munsell Color Scale); 3) restoration and replanting of disturbed cut and fill slopes; and 4) implementation of an exterior lighting plan.

Implementation of these measures (refer to Exhibit B) would mitigate both project-specific and cumulative aesthetic resource impacts to less than significant.

2. AGRICULTURAL RESOURCES

- Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Convert prime agricultural land to non-agricultural use?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) <i>Impair agricultural use of other property or result in conversion to other uses?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Conflict with existing zoning or Williamson Act program?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting.

Project Elements. The following area-specific elements relate to the property's importance for agricultural production:

Land Use Category: Agriculture

Historic/Existing Commercial Crops: None

State Classification: Not prime farmland

In Agricultural Preserve? Yes, Nacimiento AG Preserve Area

Under Williamson Act contract? No

The project site is all located within the Rural Lands land use category. Historically some grazing has occurred on site and on the property to the north. The site borders Oak Shores Village Reserve Line to the east which has several zoning designations: Residential Single-Family, Recreation, Open Space, Commercial Retail, and Public Facility. Zoning to the west is Rural Lands, while Lake Nacimiento is to the south with no specific land use and zoning to the north is Agriculture.

The project is located in the Nacimiento Agricultural preserve which encompasses much of the planning area. The intent of this designation is to support continuing availability of these areas for production of food and fiber. As Land Conservation Act contracts are terminated, landowners may request to remove their properties from an agricultural preserve and to change the land use category from Agriculture to another category, consistent with the *Rules of Procedure to Implement the California Land Conservation Act of 1965*. This property is not enrolled in a Land Conservation Act contract.

The soil type(s) and characteristics on the subject property include:

Arbuckle-Positas complex (50 - 75 % slope).

Arbuckle. This very steeply sloping soil is considered moderately drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Positas. This very steeply sloping soil is considered very poorly drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Gaviota-Rock outcrop complex (30 -75 % slope). This steeply to very steeply sloping soil is considered very poorly drained. The soil's erodibility is not rated and has low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock. The soil is considered Class VIII without irrigation and Class is not rated when irrigated.

Ryer clay loam, (2 - 9% slope) . This gently sloping fine loamy bottom soil is considered not well drained. The soil has moderate erodibility and moderate shrink-swell characteristics, as well as having potential septic system constraints due to: slow percolation. The soil is considered Class IV without irrigation and Class II when irrigated.

Shimmon loam (15 - 30 % slope). This moderately sloping loamy soil is considered not well drained. The soil has low erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock, slow percolation. The soil is considered Class IV without irrigation and Class IV when irrigated.

Shimmon-Dibble association, very steep.

Shimmon. This very steeply sloping loamy soil is considered not well drained. The soil has moderate erodibility and low shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock, slow percolation. The soil is considered Class VII without irrigation and Class is not rated when irrigated.

Dibble. This very steeply sloping loamy soil is considered not well drained. The soil has high erodibility and high shrink-swell characteristics, as well as having potential septic system constraints due to: steep slopes, shallow depth to bedrock, slow percolation. The soil is considered Class VII without irrigation and Class is not rated when irrigated.

Impact. The applicant proposes to construct an approximate 95,000 square foot organizational camp facility with multiple structures and uses in the Rural Lands land use category (which is an allowed use). A referral was sent to the Agriculture Commissioner's office regarding the proposed project and there office concluded that an organizational camp on a 560 acre project site within Rural Lands category will have less than significant impacts to agricultural resources or operations.

The closest building (Entrance Security Building) to surrounding (northern) property lines is over 800 feet and the majority of the camp facilities are located beyond this point. Based on the referral response provided by the Agricultural Commissioner and the distance between surrounding uses and property boundaries, conflicts with surrounding agricultural uses are not anticipated; however the Agriculture Commissioner's office recommended the establishment and implementation of guidelines to avoid any future land incompatibilities.

Mitigation/Conclusion. The proposed project will have less than a significant impact to agriculture resources and/or operations with the inclusion of the recommended guidelines to avoid potential land

incompatibilities. The applicant has agreed to establish and implement avoidance measures to minimize potential incompatibilities with neighboring agricultural operations due to camp activities such as hiking and biking. These measures include but are not limited to: providing a camper orientation briefing upon arrival stating locations of camp boundaries and trails to be used, or posting signs to direct campers to their appropriate locations. Therefore, impacts to agricultural resources are less than significant after implementation of the above avoidance measures.

3. AIR QUALITY - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Violate any state or federal ambient air quality standard, or exceed air quality emission thresholds as established by County Air Pollution Control District?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Expose any sensitive receptor to substantial air pollutant concentrations?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Create or subject individuals to objectionable odors?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be inconsistent with the District's Clean Air Plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The Air Pollution Control District (APCD) has developed the 2012 CEQA Air Quality Handbook to evaluate project specific impacts and help determine if air quality mitigation measures are needed, or if potentially significant impacts could result. To evaluate long-term emissions, cumulative effects, and establish countywide programs to reach acceptable air quality levels, a Clean Air Plan has been adopted (prepared by APCD).

The Air Pollution Control District (APCD) estimates that automobiles currently generate about 40% of the pollutants responsible for ozone formation. Nitrous oxides (NOx) and reactive organic gasses (ROG) pollutants (vehicle emission components) are common contributors towards this chemical transformation into ozone. Dust, or particulate matter less than ten microns (PM10) that become airborne and which find their way into the lower atmosphere, can act as the catalyst in this chemical transformation to harmful ozone. In part, the land use controls currently in place for new development relating to ROG and NOx (e.g., application of the 2012CEQA Air Quality Handbook) have helped reduce the formation of ozone.

The proposed project was referred to the County of San Luis Obispo Air Pollution Control District (APCD) for review and determination of any air quality impacts potentially resulting during both the construction and operational phases of the proposed project.

Impact. The proposed project will result in the creation of construction dust, as well as short- and long-term vehicle emissions. As identified by the APCD, air quality impacts during construction include: the creation of reactive organic gasses (ROG), nitrogen oxides (NO_x), and particulate matter potentially exceeding APCD thresholds; the creation of fugitive dust; the potential release of naturally occurring asbestos during grading; un-permitted developmental burning; and, operation of equipment 50 horsepower (hp) or greater (Andy Mutziger, November 15, 2012).

The APCD determined that the proposed project's construction phase impacts will likely be less than the APCD's significance threshold values of 137 lbs/day or ROG + NOx and/or 2.5 tons/quarter of ROG + Nox 7 lbs/day and/or 0.13 tons/quarter of DPM or 2.5 tons/quarter of fugitive dust. APCD will be requiring mitigation for the construction phase impacts described below:

Fugitive Dust (PM₁₀). Implementation of the proposed project would result in the generation of dust, potentially affecting local residents and / or other sensitive receptors in close proximity to the project site. Projects that will result in grading area of greater than 4 acres are required to implement mitigation measures to manage fugitive dust emissions such that they do not exceed the APCD 20% opacity limit or prompt nuisance violations. This project will result in the overall disturbance of approximately 25 acres.

Naturally-Occurring Asbestos. According to the APCD, the project site is located in an area potentially containing naturally occurring asbestos, serpentine or ultramafic rock. The State Air Resources Board considers asbestos a toxic air contaminant. If asbestos is present within the soil underlying the project site, future grading and site disturbance activities would release the asbestos into the air, resulting in a potentially significant air quality impact. The project will result in the disturbance of approximately 25 acres of land which has the potential to contain natural occurring asbestos, serpentine or ultramafic rock.

Developmental Burning. On February 5, 2000, the APCD prohibited developmental burning of vegetative material within San Luis Obispo County; however, in certain situations where no technically feasible alternative is available, limited burning under restrictions may be allowed. Unregulated burning would result in a potentially significant air quality impact.

Equestrian Facility. Another potential source of fugitive dust can come from equestrian facility which may be a nuisance to local residents.

Additionally, the APCD has identified potential operational phase impacts associated with the proposed project as described below:

Operational Phase Emissions. Vehicle travel, fuel use and the resulting emissions related to the project's land uses has the potential to exceed the APCD's CEQA significance threshold value of 25 lbs/day of fugitive particulate matter (PM₁₀). The applicant has proposed to implement a Transportation Management Plan which includes measures to reduce potential impacts.

Mitigation/Conclusion. To mitigate for potential air quality impacts and to reduce the identified impacts to a less than significant level, the applicant has agreed to implement the following measures identified by APCD (refer to Exhibit B for a detailed discussion of the required mitigation measures):

Fugitive Dust (PM₁₀). To minimize nuisance dust impacts, the applicant is required to implement APCD fugitive dust mitigation measures including reducing the amount of disturbed area where possible, the use of water trucks or sprinkler systems to water down airborne dust, daily spraying of dirt stock-pile areas during the construction phase, paving of applicable surfaces as soon as possible after grading, and laying of building pads as soon as possible.

Naturally-Occurring Asbestos. Prior to grading or site disturbance, the applicant has agreed to retain a qualified individual to conduct a geologic investigation for naturally-occurring asbestos. If asbestos is present, the applicant would comply with Asbestos Air Toxin Control Measures for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements include, but are not limited to implementation of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program.

Developmental Burning. To minimize the effects of vegetative burning on regional air quality, the applicant is required by regulation to avoid burning, or if no alternative is available, obtain a burn permit from the APCD and County Fire/California Department of Forestry, and comply with all conditions required by these agencies.

Equestrian Facility. To minimize the potential for fugitive dust impacts, the applicant has agreed to reduce the amount of disturbed areas associated with the construction of the equestrian facility, use water trucks or sprinkler systems to prevent airborne emissions from exceeding the APCD's 20 % opacity limit during on-going use of the facility, and disturbed areas shall be stabilized after completion of construction, and to provide a dust monitor.

Operational Phase Impacts. To minimize the potential for operational phase impacts, the applicant has agreed to pave and maintain the roads, driveways, and parking areas (including the use of permeable paving materials where feasible) for the life of the project, and to maintain the unpaved areas with an approved dust suppressant.

Implementation of the mitigation measures described above and listed in Exhibit B would mitigate all identified air quality impacts to less than significant levels.

4. BIOLOGICAL RESOURCES - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in a loss of unique or special status species or their habitats?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce the extent, diversity or quality of native or other important vegetation?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Impact wetland or riparian habitat?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Introduce barriers to movement of resident or migratory fish or wildlife species, or factors, which could hinder the normal activities of wildlife?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The following are existing elements on or near the proposed project relating to potential biological concerns:

On-site Vegetation: Coastal Oak, Blue Oak, grassland, foothill woodland, chaparral and scrub, riparian, wetland, and lacustrine.

Name and distance from blue line creek(s): Several unnamed tributaries of the Nacimiento River course through the property.

Habitat(s): Valley Oak Woodland

Historically, the valley oak (*Quercus lobata*) was a prominent species in the Central Valley, but the most impressive displays are now found in valleys of the coast ranges, including the upper Salinas River drainage. Valley oaks, one of the "white oaks", are central to this habitat and are the monarch of California oaks by virtue of size, age and beauty, and may be the largest North American oak. The tree prefers rich bottomland and requires plenty of water, nutrients and

deep, rich soils to thrive. Threats to this habitat are agricultural and residential conversion, as well as groundwater pumping that has lowered higher groundwater areas. Preferable elevations are below 2,000 feet, but it can be found as high as 5,600 feet.

The CNDDDB and the CNPS on-line Inventory of Rare and Endangered Plants of California contain records for 83 special status species within the designated search area. The search included nine surrounding USGS 7.5 minute quadrangles. Appropriate habitat and soil conditions are present on the Property for 27 special status plants and 19 special status animals.

Biological surveys have been completed on the property (December 2006, September 2007, and October 2011, Althouse and Meade, Inc.). The Property consists of six general habitat types: grassland, foothill woodland, chaparral and scrub, riparian, wetland, and lacustrine. The habitats form a complex mosaic of vegetation communities on mountainous terrain on the north shore of Lake Nacimiento. Field studies conducted in 2006, 2007, 2011, and 2012 identified several special status animals on the property.

Impact. Biological constraints mapped in 2006 were determined to be substantially the same in 2007, 2011, and 2012 with the exception of valley needlegrass grassland. At the west end of the property, the proposed pool area, mill barn, lake café, and 20-foot wide service road are situated partially in a grassland area defined as valley needlegrass grassland a sensitive natural community type. A staff parking lot and equine barn are proposed north of the mill barn area on the east and west side of Lynch Canyon Rd. These proposed development sites area situated partially in valley needlegrass grassland habitat.

The following impacts to special status plants and animals were identified based on the various surveys that have been conducted on the project site:

A sensitive natural community type - Valley needlegrass grassland. Valley needlegrass grassland is designated as a sensitive natural community by the California Department Fish and Wildlife. Impacts to sensitive natural communities require consideration under CEQA. Potential impacts to this species can be mitigated by creating new needlegrass grassland habitat. These mitigation measures would reduce impacts of this sensitive natural community type.

Special Status Plant Species. No special status plant species were present with the proposed project area; therefore no mitigations are required.

Special Status Animal Species. Bald eagles are not currently nesting, as of the 2011-2012 nesting season, on the property or within a half mile of the property boundary; however bald eagles do utilize trees and woodland habitat on the property for roosting and hunting. There are no occupied or unoccupied bald eagle nests on the property. Foothill pine trees with appropriate structure to support a bald eagle nest are present on the project site. Proposed development on the property could reduce the potential for bald eagles to nest on the property in the future, as the local breeding population is continuing to expand. The highest quality nesting habitat is located in remote areas of the ranch near the lake shore that are not visible from the proposed project areas. Peer review of the biological report (April 12, 2012, Trevor Keith) concluded that due to the status of the bald eagle as a fully protected species, a pre-construction survey and buffers should be developed within the project area. CDFW should be contacted to determine the appropriate bald eagle buffer. These measures would reduce potential impacts to the identified protected species.

Other special status birds. Golden eagle, Cooper's hawk, sharp-shinned hawk, white-tailed kite, grasshopper sparrow, and great blue heron were not found to be nesting on the property in 2006,

2007, and 2011, but were observed during the non-breeding season. Ferruginous hawk and merlin, which could occur on the property in winter, were not observed during the winter surveys conducted in 2006. Disturbance and/or take could occur if any of these species nest in proposed project areas in the future. Impacts to or take of special status bird species can be avoided with appropriate mitigation.

California silvery legless lizard. This species was identified on the property beneath a coast live oak tree at the south end of the property near the main body of Lake Nacimiento. Earth-moving activities conducted beneath oak trees or in chaparral and coastal scrub habitats with friable soils could potentially impact legless lizards. Potential impacts to this species can be mitigated by preconstruction survey that shall be conducted by a qualified biologist familiar with legless lizard ecology and survey methods in attempt to capture and relocate as many legless lizards as possible before construction.

Coast horned lizard. Project activities that disturb chaparral or rocky habitats with open ground could affect coast horned lizard by removing habitat or by directly taking lizards. Potential impacts to this species can be mitigated by pre-construction monitoring that shall be required for all new ground-breaking activities located within the mapped potential horned lizard habitat. Construction monitors shall capture and relocate horned lizards.

San Joaquin whipsnake. This species is declining in abundance due to conversion of suitable habitat to cropland or urban development that threatens its food base. Moderately dry grassland habitat, rodent burrows, and vegetation that provide shade are present on the property. These habitat characteristics provide potential habitat for the species. Activities associated with the proposed project have the potential to impact the species during construction and ground disturbing activities. Implementation of appropriate minimization measures would reduce potential impacts to San Joaquin whipsnake.

Special status bats. Removal of mature trees with trunk cavities or loose bark as well as demolition of old buildings near the proposed lake house could potentially impact roosting bats and/or maternal bat colonies. No bat roosts were identified during reconnaissance level inspections. To assure avoidance of potential impacts to special status bats, the applicant shall obtain a County approved biologist to conduct a survey prior to removal of any trees over 20 inches in dbh to determine if any of the trees proposed for removal harbor sensitive bat species or maternal bat colonies.

Western pond turtle. Pond turtles are residents in Lake Nacimiento, and were observed in the Cantinas Creek- Kavanaugh Creek confluence and within the lake in 2007. Proposed development areas are generally in upland grass and wooded habitats. Turtle nesting habitat is likely to be present in densely vegetated hillsides immediately adjacent to the lake. The proposed project would be very unlikely to affect pond turtles or pond turtle nesting habitat due to the distance of construction areas from aquatic habitats. Peer review of the biological report (April 12, 2012, Trevor Keith) concluded that impacts to this specie would be less than significant. To assure avoidance and potential impacts, the applicant shall conduct pre-activity surveys with provisions for relocating pond turtles to nearby suitable habitat.

Monterey dusky-footed woodrat. Woodrat nests were observed occasionally in dense chaparral and oak woodland understory on the property. Development in foothill woodland habitat could potentially affect this species. Potential impacts to this species can be mitigated by conducting preconstruction surveys to locate nest within 50 feet of project areas. If a woodrat nest is located in a construction zone, the project biologist may dismantle the nest using hand tools in such a manner as to allow any inhabitants to escape into adjacent open space areas.

Salinas pocket mouse. Small mammal trapping was not conducted as part of the studies conducted for the proposed project. The Salinas pocket mouse is unlikely to occur on the property due to the habitat types present on the site. The Salinas pocket mouse typically occurs in open grassland and desert-shrub communities on alluvial sandy and wind drifted sands therefore no mitigation is required.

Western spadefoot toad. Moderately appropriate habitat for Western spadefoot toads is present in stock ponds on the property. Aquatic surveys did not locate this species on the property. The currently proposed project is over 650 feet from any potential habitat and is therefore not likely to impact this species due to the distance from the proposed improvements. Peer review of the biological report (April 12, 2012, Trevor Keith) concluded that impacts to this species would be less than significant. To assure avoidance and potential future impacts, the applicant shall conduct pre-activity surveys with provisions for relocating Western spadefoot toad to nearby suitable habitat.

California red-legged frog. Habitats on the property are generally very poorly suited to sustaining a breeding population of California red-legged frogs. California red-legged frogs were not observed on the property during general aquatic surveys. A protocol survey for redlegged frogs was not conducted as part of the biological reports performed on the property. Proposed development on the property would be very unlikely to result in the take of the California red-legged frog due to the lack of sightings or known occurrences in the vicinity of the project and the low quality of onsite habitat. The closest reported sighting to the property is 13 miles to the south. The consulting biologist expects that the proposed project would be very unlikely to affect the California red-legged frog. It was concluded, based on the above discussion that no further surveys for this species are necessary and no mitigation is required.

American Badger. The proposed project would permanently develop approximately 15 acres of open grassland, which is suitable badger denning and foraging habitat. The impacted area is contiguous with large areas of suitable open grassland habitat. Loss of 15 acres of suitable badger habitat would have a negligible effect on the population of American badger in this region. It is expected that badger and other wildlife will continue to occupy open spaces on the property near the development sites. No mitigation is recommended for loss of badger habitat (October 2011, Althouse and Meade, Inc.). However, mitigation measures shall be conducted on the property to locate American badger dens within 100 feet of project areas. Appropriate preconstruction surveys and implementation of construction setbacks from occupied dens would reduce potential impacts to the America Badger.

Oak Tree Impacts for Project Site (Building Pad Areas, Internal Circulation, Parking Areas, etc.): Construction improvements to the project site will require the removal of 18 oak trees while impacting 199 oak trees (e.g. disturbance within 1 and ½ times the dripline of the tree canopy).

Lynch Canyon Road Oak Tree Impacts: Improvements to Lynch Canyon Road will not require the removal of any oak trees but will result in impacts to an additional 54 oak trees.

Emergency Access Road Oak Tree Impacts: Improvements required for the emergency road will not require the removal of any oak trees but will potentially impact an additional 30 oak trees. Actual number of impacted oak trees is anticipated to be much lower once actual road alignments occur and construction occurs. The applicant shall quantify the final number of oak trees to be impacted and removed prior to issuance of construction permits. No more than 30 oak trees shall be impacted as a result of the improvements to the emergency access.

Mitigation/Conclusion. To protect sensitive bird species and all other special status species discussed above (including Bald Eagles) including those species protected by the Migratory Bird Treaty Act and/or the Fish and Wildlife Code, the applicant has agreed to incorporate mitigation measures to reduce any potential impacts to a less than significant level. These include but are not limited to: pre-construction surveys within 30 days prior to construction, avoiding vegetation clearing

during typical nesting seasons. Additionally, the applicant will be required to relocate whip snakes, legless lizards, coast horned lizards.

A tree replacement plan shall be provided for the replacement, in kind, of removed oak trees at a 4:1 ratio and at a 2:1 ratio for impacted oak trees.

The implementation of the above summarized measures will avoid and mitigate biological resource impacts to less than significant levels. A detailed description of the required mitigation measures are listed in Exhibit B - Mitigation Summary Table.

5. CULTURAL RESOURCES - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Disturb pre-historic resources?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Disturb historic resources?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) <i>Disturb paleontological resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is located in an area historically occupied by the Salinan.

The site contains features that are typically associated with prehistoric occupation therefore additional information was requested as a part of the proposed project. In September 2006, Cultural Resource Management Services (CRMS) archaeological staff conducted a pre-field records search and a Phase I archaeological survey of the project site. Review of nearby archaeological survey and excavation reports in areas within and surrounding the project site revealed no prior surveys or known cultural sites within the study area.

Surveys for cultural resources were previously conducted on adjacent and nearby properties including areas within the community of Oak Shores, as well as terrain north and southwest of the study parcel that is associated with the Nacimiento River corridor. These areas indicated that documented prehistoric and archaeological sites range in from spars lithic scatters to intensively used habitation sites.

Impact. Surface examination on all of the property owned by Cantinas Ranch Foundation revealed isolated cultural materials or features as well as two prehistoric archaeological sites and one potential historic site. Based on the pre-field archival review of the previously identified cultural sites, it was expected that field personnel would likely encounter these resources. When identified, cultural items were photographed and locations specified through Geographic Positioning System (GPS).

Virtually, the entire site was accessible for cultural resource inventory and field inspections that resulted in the identification of three isolated artifacts and two prehistoric cultural sites.

Potential historic resources associated with an abandoned homestead will not be impacted by the proposed project based on the location of the proposed project. Development of the proposed project is not located near these mapped sensitive areas therefore impacts to prehistoric resources are not expected to occur.

Mitigation/Conclusion. Impacts to paleontological resources are not expected based on the underlying geologic formations. Impacts to prehistoric and historic resources are not anticipated based on the location of the proposed development and the location of the known resources.

Based on the location of known resources and the location of the proposed development, no impacts to cultural resources are anticipated. If the proposed project is modified where future development would occur within or near the mapped sites, the applicant shall complete a thorough examination (September 2006, CRMS). Any ground disturbance within 50 feet of an identified archaeological resource, the applicant shall delineate the archaeological site(s) as Environmentally Sensitive Area(s) on the project plans. All new development (e.g. access roads, driveways, camp housing, sheds, utility trenches, etc.) shall be located outside the environmentally sensitive area(s).

Section 22.94.020 states that in the event archaeological resources are found on site, construction activities shall cease, and the Environmental Coordinator and Planning Department shall be notified so that the extent and location of discovered material may be recorded by a qualified archaeologist and artifacts may be preserved in accordance with state and federal law. In the event archaeological resources are found to include human remains, the County Coroner shall be notified.

Since the proposed project is not anticipated to impact cultural resources, implementation of the measures summarized above and listed in detail in Exhibit B – Mitigation Summary, would mitigate impacts to a less than a significant level.

6. GEOLOGY AND SOILS -
Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Result in exposure to or production of unstable earth conditions, such as landslides, earthquakes, liquefaction, ground failure, land subsidence or other similar hazards?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Be within a California Geological Survey "Alquist-Priolo" Earthquake Fault Zone"?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) <i>Result in soil erosion, topographic changes, loss of topsoil or unstable soil conditions from project-related improvements, such as vegetation removal, grading, excavation, or fill?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) <i>Change rates of soil absorption, or amount or direction of surface runoff?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) <i>Include structures located on expansive soils?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Change the drainage patterns where substantial on- or off-site sedimentation/ erosion or flooding may occur?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. GEOLOGY AND SOILS -

Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
g) <i>Involve activities within the 100-year flood zone?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Be inconsistent with the goals and policies of the County's Safety Element relating to Geologic and Seismic Hazards?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) <i>Preclude the future extraction of valuable mineral resources?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting

GEOLOGY - The following relates to the project's geologic aspects or conditions:

Topography: Gently sloping to steeply sloping

Within County's Geologic Study Area?: No

Landslide Risk Potential: Moderate to high

Liquefaction Potential: Low

Nearby potentially active faults?: No Distance? Not applicable

Area known to contain serpentine or ultramafic rock or soils?: Yes

Shrink/Swell potential of soil: Moderate

Other notable geologic features? None

The project is within a moderate to high landslide area, and is subject to the preparation of a geological report per the County's Land Use Ordinance LUO section 22.14.070 (c), to evaluate the area's geological stability.

A geological report was conducted for the project (GeoSolutions, Inc., January 2011). Based on the report, proposed building sites associated with the proposed development appear geologically suitable provided that the recommendations provided within the report are implemented into the project. The report was peer reviewed by the County Geologist (Brian Papurello, October 26, 2012) and it was found that the site's geologic conditions are reasonably modeled and represented. The County's findings are congruent with the conclusions and recommendations of the revised report prepared by Geosolutions, Inc., dated January 2011.

DRAINAGE – The following relates to the project's drainage aspects:

Within the 100-year Flood Hazard designation? Yes.

Closest creek? Cantinas Creek, Kavanaugh Creek Nacimiento River Distance? Several unnamed blue line tributaries course through the property

Soil drainage characteristics: Not well drained

For areas where drainage is identified as a potential issue, the Land Use Ordinance (LUO Sec. 22.52.110) includes a provision to prepare a drainage plan to minimize potential drainage impacts. When required, this plan would need to address measures such as: constructing on-site retention or

detention basins, or installing surface water flow dissipaters. This plan would also need to show that the increased surface runoff would have no more impacts than that caused by historic flows.

SEDIMENTATION AND EROSION – Soil type, amount of disturbance and slopes are key aspects to analyzing potential sedimentation and erosion issues. The project's soil types and descriptions are listed in the previous Agriculture section under "Setting". As described in the NRCS Soil Survey, the the project's soil erodibility is as follows:

Soil erodibility: Moderate

When highly erosive conditions exist, a sedimentation and erosion control plan is required (LUO Sec. 22.52.120) to minimize these impacts. When required, the plan is prepared by a civil engineer to address both temporary and long-term sedimentation and erosion impacts. Projects involving more than one acre of disturbance are subject to the preparation of a Storm Water Pollution Prevention Plan (SWPPP), which focuses on controlling storm water runoff. The Regional Water Quality Control Board is the local extension who monitors this program.

The Flood Hazard Area is mapped along Lake Nacimiento and its narrows. Elevations on the site range from 800 feet to 1,400 feet above sea level. Water Surface Elevation documentation (Department of Water Resources dated December 2009) stated: 1) water may be impounded to an Elevation of 800.00 feet; 2) If the reservoir level reaches Elevation of 801.00 feet an operator shall be dispatched to the dam to ensure the gates are fully lowered. This can be equated to a 500-year or even 1,000 year storm event but not in excess of the 100-year storm event as stated by Brent Buche (Monterey County Water Resources Authority).

Impact. As proposed, the project will result in the disturbance of approximately 25 acres. Ground disturbance associated with the proposed project has the potential to result in sedimentation and erosion impacts if proper measures are not implemented.

Interim Low Impact Development (LID) Guidelines is a pilot project sponsored by municipalities in San Luis Obispo County and the Central Coast Regional Water Quality Control Board. This is a joint effort to help reduce on-site stormwater runoff. Any project that creates more than 5,000 sf of increased impervious surface is required to utilize at least (2) LID measures to help reduce stormwater runoff.

The proposed project has already incorporated several LID measures to retain and reduce runoff all of which meet the agencies guidelines. For example, the project has proposed: Stormwater flows from impervious services will be directed to natural, vegetated swales and meadows to promote groundwater recharge.

Along the emergency road, a span bridge will be placed to span a drainage area that ranges in elevation from 802.00 feet to 810.00 feet (on the west side). The bridge is outside of the WSEL 801.0. All improvements associated with the proposed project will be located outside the Flood Hazards area.

Mitigation/Conclusion. Pursuant to County Ordinance, the applicant is required to comply with the submitted geology and drainage reports, and a sedimentation and erosion control plan is required prior to issuance of construction permits. In addition, since soil disturbance would exceed one acre the project will be subject to the National Pollutant Discharge Elimination System (NPDES) program, and a SWPPP is required. Appropriate Best Management Practices (BMP) would be implemented to minimize indirect impacts to offsite drainages and Lake Nacimiento. To minimize the potential for sediment and pollutant discharge into degrading riparian and the lake, the applicant has agreed to prepare an erosion and sedimentation control plan incorporating Best Management Practices (BMPs). Measures shall include delineation of grading limits, use of temporary construction fencing, and use of materials (e.g., silt fencing, wattles, haybales, etc.) to retain soil onsite and to contain incidental spills.

Implementation of ordinance and state-required plans and reports, and the BMPs associated with the above referenced plans would mitigate potential geologic and soils impacts to less than significant. These measures are included in Exhibit B – Mitigation Summary Table.

7. HAZARDS & HAZARDOUS MATERIALS - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Result in a risk of explosion or release of hazardous substances (e.g. oil, pesticides, chemicals, radiation) or exposure of people to hazardous substances?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Interfere with an emergency response or evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people to safety risk associated with airport flight pattern?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Increase fire hazard risk or expose people or structures to high fire hazard conditions?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Create any other health hazard or potential hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is not located in an area of known hazardous material contamination. With regards to potential fire hazards, the subject project is within the “very high” Fire Hazard Severity Zone. Based on the County’s fire response time map, it will take approximately 20 minutes to respond to a call regarding fire or life safety. Refer to the Public Services section for further discussion on Fire Safety impacts. The project is not within the Airport Review area.

Impact. The project does not propose the use of hazardous materials. The project is not expected to conflict with any regional evacuation plan. The proposed project was referred to California Department of Forestry/County Fire (CAL FIRE). No significant fire safety impacts were identified, however, the applicant is required to comply with a series of local and state fire safety regulations and measures, which are enforced by CAL FIRE (Clint Bullard, January 24, 2012).

Mitigation/Conclusion. Standard fire safety measures identified by CAL FIRE include but not limited to defensible space and building setbacks, use of fire-resistant building materials, construction of a fire suppression water system, installation of sprinklers and portable fire extinguishers in buildings, and improvements to the primary and the emergency egress road. The proposed development would be inspected by CAL FIRE prior to operation.

Based on compliance with standard regulations and requirements, no significant impacts as a result of hazards or hazardous materials are anticipated and no additional mitigation measures are necessary.

8. NOISE - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Expose people to noise levels that exceed the County Noise Element thresholds?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Generate increases in the ambient noise levels for adjoining areas?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Expose people to severe noise or vibration?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The project is not within close proximity of loud noise sources, and will not conflict with any sensitive noise receptors (e.g., residences). Based on the Noise Element's projected future noise generation from known stationary and vehicle-generated noise sources, the project is within an acceptable threshold area.

The community of Christmas Cove is situated west of the Camp property and approximately 1,200 feet away from the closest proposed building (The Mill Barn Recreation Complex). The Mill barn would house indoor volleyball, basketball, and square dancing. Outside activities would include swimming in the pool as well as water and sand volleyball.

Impact. Based on the location of the project site and because the project is not expected to generate loud noises, no conflicts with the surrounding uses are anticipated.

Mitigation/Conclusion. No significant noise impacts are anticipated, and no mitigation measures are necessary.

9. POPULATION/HOUSING - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Displace existing housing or people, requiring construction of replacement housing elsewhere?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create the need for substantial new housing in the area?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Use substantial amount of fuel or energy?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

11. RECREATION - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Increase the use or demand for parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Affect the access to trails, parks or other recreation opportunities?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The County's Parks and Recreation Element does not show that a potential trail goes through the proposed project. The project is not proposed in a location that will affect any trail, park, recreational resource, coastal access, and/or Natural Area.

Impact. The proposed project will not create a significant need for additional parks, Natural Areas, and/or recreational resources.

Mitigation/Conclusion. No significant recreation impacts are anticipated, and no mitigation measures are necessary.

12. TRANSPORTATION/ CIRCULATION - <i>Will the project:</i>	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) <i>Increase vehicle trips to local or area wide circulation system?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) <i>Reduce existing "Levels of Service" on public roadway(s)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Create unsafe conditions on public roadways (e.g., limited access, design features, sight distance, slow vehicles)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Provide for adequate emergency access?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Result in inadequate parking capacity?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) <i>Result in inadequate internal traffic circulation?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) <i>Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., pedestrian access, bus turnouts, bicycle racks, etc.)?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) <i>Result in a change in air traffic patterns that may result in substantial safety risks?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. The County has established the acceptable Level of Service (LOS) on roads for this rural area as "C" or better. The existing road network in the area including the project's access road, Lynch Canyon Road (a County maintained gravel road), is operating at an acceptable level. Public Works was contacted to obtain traffic accident data for Lynch Canyon Road (July 13, 2012, Associated Transportation Engineers-ATE). There was one reported traffic accident in the project area in the last 5 years where a car "ran off the road" on Lynch Canyon Road near Oak Shores.

The construction of the proposed organizational camp operating at full capacity will contain 16 camper units and 15 staff units, housing up to 200 campers and 100 faculty and staff members. Camp usage will vary seasonally, with the highest uses expected during summer months.

Each summer camp session will last one to two weeks, with all campers arriving by van. Most staff will reside at the camp for the duration of the camp sessions, thus reducing commute traffic. During winter months, retreats will be scheduled at the camp as requested. It is anticipated that a majority of the staff needed to support winter activities will reside at the camp and remaining staff will commute to the camp as needed.

Cantinas Ranch camp operation envisions a camp with weekly and bi-weekly programs for up to 200 campers. The weekly and bi-weekly programs will begin on Sunday and end on the following Saturday.

Access to the site will be from Lynch Canyon Road, a County maintained road. Campers will gather at off-site locations, where camp vans will the camper at pre-arranged times. The groups will arrive by bus from the various locations in southern and central California and will arrive at pre-determined locations in the Paso Robles area. Then the campers will be picked up by camp vans (15-seat tour vans) on Sunday generally between 12 noon and 4 PM. and then transported to Cantinas Ranch. On Saturday campers will depart the site between 9 AM and 11 AM by van and taken to the respective assembly point.

Originally, before the project was revised, campers were going to arrive on-site via tour buses that seated 52-55 people. Public Works comments on the proposed project led to a major augmentation of the project description. A revised transportation plan and roadway analysis was submitted to Public Works that resulted in vans being used to deliver campers on-site. As a result, road impacts were significantly reduced. Once arriving on site, the vans will be stored in the on-site barn. Parking will be available for limited staff and special needs guests only. The entire camp property will be pedestrian in nature.

Internal roads will be improved per CAL FIRE standards in order to accommodate emergency vehicles, with internal circulation available for emergency and special-needs and service vehicle use only. Roads will be paved only where required by CAL FIRE (slopes greater than 12 percent), with remaining portions improved using a low dust producing all weather base.

Impact. Referrals were sent to Public Works/Caltrans. Caltrans had no significant traffic-related concerns (Chris Shaeffer, November 2011). Public Works Department and County Planning Department has met with the applicant on several occasions to discuss the project and refine the project.

It is anticipated that 15-seat tour vans will be utilized. The Cantinas Foundation plans to purchase 8 to 10 vans to be kept on-site. Vans would depart the Camp on Sunday mornings to pick up new campers and return later that day on Sunday with these campers. The departing campers will leave the site on Saturday, with permanent Camp staff remaining on-site until campers depart.

Most program staff will remain on site throughout the summer season. It has will be assumed that

each week there may be up to 90 non-permanent staff members to be transported to the site. Staffing will be scheduled to provide for departing staff to use the vans that brought the week's campers to the site. Individual vehicle trips will be significantly reduced through a program emphasis on group vans for campers, staff members and the limited on-site parking.

Table 2: Cantinas Camp Trip Generation Estimates – (October 9, 2012, ATE)

Component	Saturday	Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	7-Day Average
Staff	60	60	48	48	48	48	48	51
Camp Vans	40	40	6	6	6	6	6	16
Deliveries	4	4	2	2	2	2	2	3
Total	104	104	56	56	56	56	56	70

The trip generation chart above is an estimate of trips to be made by the camp vans shuttling campers and staff to/from the Paso Robles area (as well as delivery trips).

Emergency (secondary) egress/ingress will be provided via a new clear-span bridge over Kavanaugh Creek east of the Camp property. The bridge connects the Camp property to the Oak Shores community through the existing RV park and onto Oak Shores Drive. This access will only be used during an emergency, if the primary access is unavailable. This emergency access route has been conceptually approved by CAL FIRE and Monterey County Water Resources Agency for location and specifications.

The Cantinas Ranch Foundation owns property within the Oak Shores Community, and has frontage on Oak Shores Drive (APN's 012-211-052 and 012-211-055). Therefore, the Cantinas Ranch Foundation currently has legal access through the Oak Shores gate.

Public Works has reviewed the proposed project (Glenn Marshall, November 30, 2011, August 3, 2012, and December 5, 2012) and stated that the project appears to double the existing average daily traffic and significantly increases truck trips on Lynch Canyon Road. This increase is expected to accelerate road surface deterioration and cause dust issues which may result in increase county road maintenance costs and response to complainants. The proposed project triggers road improvements per Board Policy (Resolution 2008-152). Required widening improvements may result in impacts to existing oak trees along the edges of the road. The project will also have impacts on the County's road maintenance resources, but they are mitigable.

Mitigation/Conclusion.

Level of Service: The applicant proposes one primary access via Lynch Canyon Road and emergency access that will connect onto Oak Shores Drive. Based on the traffic study (July 13, 2012, ATE), the proposed project weekly operations is estimated to generate 70 average daily trips (ADT) during the peak operating period. Saturday and Sunday are the peak volume days to the camp. The highest daily volume on these days is projected at 104 ADT.

Per the traffic study, the existing width and alignment of Lynch Canyon Road can accommodate the 15-passenger vans and will increase the average daily traffic generated by the project (+70 ADT). The Cantinas Camp does not allow the general public to visit the site. All campers will be pre-registered and will be required to utilize the Cantinas Camp shuttle vans for travel to/from the designated assembly points in the Paso Robles area. The majority of Cantinas Camp staff will also utilize the Cantinas Camp vans for transportation. Based on the results of the traffic study, the project would not significantly reduce level of service on any affected roadways.

To mitigate cumulative traffic impacts, road improvements per Board Policy (Resolution 2008-152) will be required. These road improvements and widening improvements will result in impacts to existing oak trees along the road edges as discussed in the Biological Resources section of this document.

The applicant has agreed to enter into a roadway maintenance agreement with San Luis Obispo County to assist in the ongoing maintenance.

Lynch Canyon Road: Improvements to Lynch Canyon Road will result in the disturbance in approximately 1.5 acres of disturbance, 600 cubic yards of cut, and 1,000 cubic yards of fill.

Emergency Access Road: In order to ensure adequate emergency access, the applicant has proposed improvements including an emergency access road which will result in the disturbance in approximately 2.6 acres of disturbance, 2,360 cubic yards of cut, and 640 cubic yards of fill.

The applicant has agreed to implement the road improvements required by Public Works and the improvement requirements will be included as conditions of approval. No additional mitigation measures beyond standard requirements are necessary.

13. WASTEWATER - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate waste discharge requirements or Central Coast Basin Plan criteria for wastewater systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Change the quality of surface or ground water (e.g., nitrogen-loading, day-lighting)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Adversely affect community wastewater service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. Regulations and guidelines on proper wastewater system design and criteria are found within the County's Plumbing Code (hereafter CPC; see Chapter 7 of the Building and Construction Ordinance [Title 19]), the "Water Quality Control Plan, Central Coast Basin" (Regional Water Quality Control Board [RWQCB] hereafter referred to as the "Basin Plan"), and the California Plumbing Code. These regulations include specific requirements for both on-site and community wastewater systems. These regulations are applied to all new wastewater systems.

For on-site septic systems, there are several key factors to consider for a system to operate successfully, including the following:

- ✓ Sufficient land area (refer to County's Land Use Ordinance or Plumbing Code) – depending on water source, parcel size minimums will range from one acre to 2.5 acres;
- ✓ The soil's ability to percolate or "filter" effluent before reaching groundwater supplies (30 to 120 minutes per inch is ideal);
- ✓ The soil's depth (there needs to be adequate separation from bottom of leach line to bedrock [at least 10 feet] or high groundwater [5 feet to 50 feet depending on perc rates]);

- ✓ The soil's slope on which the system is placed (surface areas too steep creates potential for daylighting of effluent);
- ✓ Potential for surface flooding (e.g., within 100-year flood hazard area);
- ✓ Distance from existing or proposed wells (between 100 and 250 feet depending on circumstances);
- ✓ Distance from creeks and water bodies (100-foot minimum).

To assure a successful system can meet existing regulation criteria, proper conditions are critical. Above-ground conditions are typically straight-forward and most easily addressed. Below ground criteria may require additional analysis or engineering when one or more factors exist:

- ✓ the ability of the soil to "filter" effluent is either too fast (percolation rate is faster or less than 30 minutes per inch and has "poor filtering" characteristics) or is too slow (slower or more than 120 minutes per inch);
- ✓ the topography on which a system is placed is steep enough to potentially allow "daylighting" of effluent downslope; or
- ✓ the separation between the bottom of the leach line to bedrock or high groundwater is inadequate.

Based on Natural Resource Conservation Service (NRCS) Soil Survey map, the soil type(s) for the project is provided in the listed in the previous Agricultural Resource section. The main limitation(s) of this soil for wastewater effluent include:

-shallow depth to bedrock, which is an indication that there may not be sufficient soil depth to provide adequate soil filtering of effluent before reaching bedrock. Once effluent reaches bedrock, the chances increase for the effluent to infiltrate cracks that could lead directly to groundwater source or surrounding wells without adequate filtering, or allow for daylighting of effluent where bedrock is exposed to the earth's surface. In this case, due to limited availability of information relating to the shallow depth to bedrock characteristic, the following additional information will be needed prior to issuance of a building permit: soil borings at leach line location(s) showing that there is adequate distance to bedrock. If adequate distance cannot be shown, a county-approved plan for an engineered wastewater system showing how the basin plan criteria can be met will be required.

--steep slopes, where portions of the soil unit contain slopes steep enough to result in potential daylighting of wastewater effluent. In this case, the proposed leach lines are on or located within close proximity of steep slopes where some potential of effluent daylighting exists. A registered civil engineer familiar with wastewater systems, shall prepare an analysis that shows the location and depth of the leach lines will have no potential for daylighting of effluent.

--slow percolation, where fluids will percolate too slowly through the soil for the natural processes to effectively break down the effluent into harmless components. The Basin Plan identifies the percolation rate should be greater than 30 and less than 120 minutes per inch

The percolation rate is considered very slow, and the soils are considered "tight". Without proper engineering, effluent will have a tendency to pond or stagnate, and not filter adequately through the soil to properly break down the effluent into harmless components. Therefore, plans will need to be submitted to the county for approval of an engineered septic system or an acceptable design to the Regional Water Quality Control Board, and which meets the CPC/Basin Plan criteria.

The applicant is proposing to design, build, and operate with a focus of sustainability to the environment. The applicant's project team is working toward Leadership in Environmental and Energy Design (LEED) certification for the larger buildings (Mission, Chapel, and housing).

Stormwater: Collected stormwater is reduced through minimizing impervious services surfaces and using permeable surfaces where possible. Low-impact development strategies proposed include bio-swales and small distributed retention ponds will manage stormwater throughout the site.

In consideration water resources, and the applicant's plan to obtain a LEED certification from the U.S. Green Building Council, the wastewater system has been designed to produce reclaimed wastewater to allow reuse of treated effluent for a variety of uses at the camp. The plan includes the use of a constructed wetland to meet water quality goals and to enhance wildlife habitat on the site. The new on-site wastewater system is planned to serve a majority of the facilities for the camp.

During the summer months the camp is expected to provide facilities for 200 people including staff and guests. To allow future camp growth, the waste water system was calculated for maximum occupancy of 300 people.

The main wastewater system has been designed to produce reclaimed wastewater to allow the reuse of treated effluent for variety of uses at the camp. Site features include the use of a constructed wetland to meet water quality goals, enhance the wildlife habitat on the site, and to obtain additional points under the LEED program. The new on-site wastewater system is planned to serve the majority of the facilities for the camp.

The equestrian facility will be served by a standard septic system due to its remote location and low water use. The collection system will be a Septic Tank Effluent Gravity (STEG) system. The STEG system will be composed of several septic tanks located at various developed sites on the property. The septic tanks will collect wastewater, settle solids, and discharge effluent by gravity to a duplex booster pump system near the meadow. From there effluent will be pumped to the treatment system for secondary and tertiary treatment (Fall Creek Engineering, Inc. Wastewater Improvements, October 2011).

Impacts/Mitigation. Based on the following project conditions or design features, wastewater impacts are considered less than significant:

- ✓ The project has sufficient land area per the County's Land Use Ordinance to support an on-site system;
- ✓ The soil's percolation rate is between 30 to 120 minutes per inch;
- ✓ There is adequate soil separation between the bottom of the leach line to bedrock or high groundwater;
- ✓ The soil's slope is less than 20%; and proposes an engineered system
- ✓ The leach lines are outside of the 100-year flood hazard area;
- ✓ There is adequate distance between proposed leach lines and existing or proposed wells;
- ✓ The leach lines are at least 100 feet from creeks and water bodies.

Based on the above discussion and information provided by the applicant regarding the proposed wastewater system, the site appears to be able to design an on-site system that will meet CPC/Basin Plan requirements. Prior to building permit issuance and/or final inspection of the wastewater system, the applicant will need to show to the county compliance with the County Plumbing Code/ Central Coast Basin Plan, including any above-discussed information relating to potential constraints.

Therefore, based on the project being able to comply with these regulations, potential groundwater quality impacts are considered less than significant.

14. WATER - Will the project:	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
a) Violate any water quality standards?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Discharge into surface waters or otherwise alter surface water quality (e.g., turbidity, temperature, dissolved oxygen, etc.)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Change the quality of groundwater (e.g., saltwater intrusion, nitrogen-loading, etc.)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Change the quantity or movement of available surface or ground water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Adversely affect community water service provider?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Other: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting. Camp facilities will occupy approximately 1.5 percent of the property's 560 acre footprint. A Lake Nacimiento User's Agreement has been approved by the County and recorded for the groundwater supply. This allows Cantinas Ranch to be entitled to 26 acre-foot of water from the DISTRICT's Nacimiento water entitlement for each full water year during the existence of this agreement. Wells on the property produce in excess of one hundred gallons per minute. The proposed project will include new water tanks sufficient for both domestic and fire suppression storage.

Based on available information, the proposed water source is not known to have any significant availability or quality problems.

The topography of the project is gently to steeply sloping. Several unnamed blue line tributaries run through the property. The Nacimiento Reservoir is located on the property. As described in the NRCS Soil Survey, the soil surface is considered to have low to moderate erodibility.

Projects involving more than one acre of disturbance are subject to preparing a Storm Water Pollution Prevention Plan (SWPPP) to minimize on-site sedimentation and erosion. County Ordinance requires that temporary sedimentation and erosion control measures be installed during the rainy season.

Impact. Regarding surface water quality, as proposed, the project will result in the disturbance of approximately 25 acres. The project site contains numerous drainages and blue line stream that lead to Lake Nacimiento.

In order to reduce the project's impact of development to hydrologic process of the site and to maintain the water quality of the runoff leaving the site, this project has incorporated the use of Low Impact Design (LID) principles. Such measures proposed by the applicant include:

- Minimal Irrigation,
- Collected stormwater by minimizing impervious surfaces and semi-pervious where possible,

- Bio-swales,
- Small distributed retention ponds to manage stormwater throughout the site,
- Roads, pathways, and parking will be permeable with asphalt only where required by CAL FIRE or ADA requirements,
- Metered showers and high efficiency appliance and washing systems for kitchens and laundry.

The applicant has proposed to design, build, and operate with a focus on sustainability. The site and all buildings will be developed with green building principles.

The goal of LID is to minimize the impacts of development using the following principles and common practices:

- Reduction of impervious surfaces by using pervious pavements,
- Plan site to follow existing contours of land,
- Reduction of impervious surfaces by constructing taller structures instead of sprawling development,
- Mitigate runoff impacts using natural and engineered infiltration and retention techniques to promote ground water recharge, allow pollutant removal, and maintain existing flow patterns and runoff qualities, and
- Employ vegetate swales, buffers, strips, and other techniques designed to remove pollutants from stormwater.

The proposed wastewater system flows (with peaking factor) is estimated at 30,000 gallons per day. There is sufficient water to meet water supply demand of 50,000 gallons per day or approximately 35 gallons per minute (The Balance Hydrologics report, September 28, 2011. Landscape irrigation water will be drawn exclusively from the treated water tank, so it will not be an additional draw on the groundwater wells.

Mitigation/Conclusion. Since no potentially significant water quantity or quality impacts were identified, no specific measures above standard requirements have been determined necessary. With the inclusion of the applicant's proposed project design that included LID measures, no potentially significant water quantity or quality impacts were identified.

To minimize the potential for sediment and pollutant discharge that has the potential to degrade offsite sources of surface water, the applicant has agreed to prepare an erosion and sedimentation control plan incorporating Best Management Practices (BMPs). Measures shall include delineation of grading limits, use of temporary construction fencing, and use of materials (e.g., silt fencing, wattles, haybales, etc.) to retain soil onsite and contain incidental spills. In addition, pursuant to state and local requirements, a County erosion and sedimentation control plan and SWPPP are required.

Implementation of the measures described above and listed in Exhibit B would mitigate potential water supply and water quality impacts to less than significant.

15. LAND USE - Will the project:

	Inconsistent	Potentially Inconsistent	Consistent	Not Applicable
a) <i>Be potentially inconsistent with land use, policy/regulation (e.g., general plan [county land use element and ordinance], local coastal plan, specific plan, Clean Air Plan, etc.) adopted to avoid or mitigate for environmental effects?</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) <i>Be potentially inconsistent with any habitat or community conservation plan?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) <i>Be potentially inconsistent with adopted agency environmental plans or policies with jurisdiction over the project?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) <i>Be potentially incompatible with surrounding land uses?</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) <i>Other:</i> _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Setting/Impact. Surrounding uses are identified on Page 3 of the Initial Study. The proposed project was reviewed for consistency with policy and/or regulatory documents relating to the environment and appropriate land use (e.g., County Land Use Ordinance (LUO), etc.). Referrals were sent to outside agencies to review for policy consistencies (e.g., CAL FIRE for Fire Code, APCD for Clean Air Plan, etc.). The project was found to be consistent with these documents (refer also to Exhibit A on reference documents used).

The project is not within or adjacent to a Habitat Conservation Plan area. The project is consistent or compatible with the surrounding uses as summarized on page 2 of this Initial Study.

The project is zoned Rural Lands. The project includes a request to reduce the minimum setback requirements set forth in Section 22.30.250.A.5 of the Land Use Ordinance for organization camps.

The applicant is requesting a setback modification to property lines and public roads instead of the required setback. The project is proposing development within a 1,000 feet of the property lines and public roadways (see Setback Table below). The Land Use Ordinance standards require all camping facilities and activities be located no closer than 1,000 feet to a property line or public road.

Table 3: Setbacks

Name of Building	Setback from Road	Setback from Property Line	Required Setback
Equestrian Facility	140 feet	280 feet	1,000 feet
Van Parking Barn	300 feet	1,050 feet	1,000 feet
Mill Barn	260 feet	650 feet	1,000 feet
Lake House	620 feet	370 feet	1,000 feet
Security Entrance	380 feet	960 feet	1,000 feet

Name of Building	Setback from Road	Setback from Property Line	Required Setback
Camper Lodging	460 feet	1,210 feet	1,000 feet
Missions Building	760 feet	850 feet	1,000 feet
Chapel	690 feet	960 feet	1,000 feet
Celebration Arts	1,240 feet	1,070 feet	1,000 feet
Staff Housing	1,490 feet	990 feet	1,000 feet

The existing project site is approximately 560 acres. The proposed project is irregularly shaped and is bisected by a public road. The site also has varied topography with steep slopes which further reduce buildable areas. In addition, the majority of the property borders Lake Nacimiento.

Section 22.30.020.E. of the Land Use Ordinance contains a provision that allows modification to these standards as set forth in Chapter 4. The provisions allow required setback standards to be waived if the standard can be proven to be unnecessary and ineffective.

With the implementation of the 1,000 foot setback, only 36.3 acres of the 560 acre property may be occupied with camp uses. Of that that area, 26.8 acres have site constraints due to slopes, oak trees, and drainage courses. By locating all of the camp into the remaining 9.5 acres of property available for development, this would result in a very dense setting. The applicant believes that a dense setting would not take advantage of the natural features on-site that could help to enhance ones appreciation of nature.

In this case the 1,000 foot setback requirement is unnecessary because the intent of the requirement is to minimize the potential impacts of development on neighboring properties. The property owner (Cantinas Ranch Foundation) owns much of the undeveloped property adjacent to this site. Other parcels border the lake front. Potential conflicts with adjacent parcels is minimized.

An additional goal of the 1,000 foot setback is to ensure the health and safety of the campers by maintaining a safe distance from offsite development. In this case, the standard is both unnecessary and ineffective because the land uses surrounding the site (for several miles in every direction) consists of low density rural residences (approximately 20 residences west of the proposed Camp property on Lynch Canyon Road) and open space areas.

Mitigation/Conclusion. Therefore, no inconsistencies were identified and therefore no additional measures above what will already be required were determined necessary.

16. MANDATORY FINDINGS OF SIGNIFICANCE - Will the project:

	Potentially Significant	Impact can & will be mitigated	Insignificant Impact	Not Applicable
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a) *Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?*

	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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b) *Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project*

are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)

c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

For further information on CEQA or the county's environmental review process, please visit the County's web site at "www.sloplanning.org" under "Environmental Information", or the California Environmental Resources Evaluation System at: http://www.ceres.ca.gov/topic/env_law/ceqa/guidelines for information about the California Environmental Quality Act.

Exhibit A - Initial Study References and Agency Contacts

The County Planning or Environmental Divisions have contacted various agencies for their comments on the proposed project. With respect to the subject application, the following have been contacted (marked with an) and when a response was made, it is either attached or in the application file:

<u>Contacted</u>	<u>Agency</u>	<u>Response</u>
<input checked="" type="checkbox"/>	County Public Works Department	Attached
<input checked="" type="checkbox"/>	County Environmental Health Division	Attached
<input checked="" type="checkbox"/>	County Agricultural Commissioner's Office	Attached
<input type="checkbox"/>	County Airport Manager	Not Applicable
<input type="checkbox"/>	Airport Land Use Commission	Not Applicable
<input checked="" type="checkbox"/>	Air Pollution Control District	Attached
<input type="checkbox"/>	County Sheriff's Department	Not Applicable
<input checked="" type="checkbox"/>	Regional Water Quality Control Board	None
<input type="checkbox"/>	CA Coastal Commission	Not Applicable
<input type="checkbox"/>	CA Department of Fish and Game	Not Applicable
<input checked="" type="checkbox"/>	CA Department of Forestry (Cal Fire)	Attached
<input checked="" type="checkbox"/>	CA Department of Transportation	Attached
<input type="checkbox"/>	Community Service District	Not Applicable
<input checked="" type="checkbox"/>	Other <u>Camp Roberts</u>	None
<input type="checkbox"/>	Other _____	Not Applicable

**** "No comment" or "No concerns"-type responses are usually not attached**

The following checked ("") reference materials have been used in the environmental review for the proposed project and are hereby incorporated by reference into the Initial Study. The following information is available at the County Planning and Building Department.

- | | |
|---|--|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Project File for the Subject Application <u>County documents</u> <input type="checkbox"/> Airport Land Use Plans <input checked="" type="checkbox"/> Annual Resource Summary Report <input type="checkbox"/> Building and Construction Ordinance <input type="checkbox"/> Coastal Policies <input checked="" type="checkbox"/> Framework for Planning (Coastal/Inland) <input checked="" type="checkbox"/> General Plan (Inland/Coastal), including all maps & elements; more pertinent elements considered include: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Agriculture Element <input checked="" type="checkbox"/> Conservation & Open Space Element (includes Energy, Conservation) <input checked="" type="checkbox"/> Housing Element <input checked="" type="checkbox"/> Noise Element <input type="checkbox"/> Parks & Recreation Element <input checked="" type="checkbox"/> Safety Element <input checked="" type="checkbox"/> Land Use Ordinance <input type="checkbox"/> Real Property Division Ordinance <input type="checkbox"/> Solid Waste Management Plan <input type="checkbox"/> Circulation Study | <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Nacimiento Area Plan and Update EIR <u>Other documents</u> <input checked="" type="checkbox"/> Archaeological Resources Map <input checked="" type="checkbox"/> Area of Critical Concerns Map <input checked="" type="checkbox"/> Areas of Special Biological Importance Map <input checked="" type="checkbox"/> California Natural Species Diversity Database <input checked="" type="checkbox"/> Clean Air Plan <input checked="" type="checkbox"/> Fire Hazard Severity Map <input checked="" type="checkbox"/> Flood Hazard Maps <input checked="" type="checkbox"/> Natural Resources Conservation Service Soil Survey for SLO County <input checked="" type="checkbox"/> Regional Transportation Plan <input checked="" type="checkbox"/> Uniform Fire Code <input checked="" type="checkbox"/> Water Quality Control Plan (Central Coast Basin – Region 3) <input checked="" type="checkbox"/> GIS mapping layers (e.g., Biology, geology, streams, slope, fire, hazards, transportation, water, etc.) <input type="checkbox"/> Other _____ |
|---|--|

In addition, the following project specific information and/or reference materials have been considered as a part of the Initial Study:

- State Department of Water Resources Board, December 29, 2009, Lake Nacimiento Water Surface Elevation Documentation, Certificate of Approval.
- GeoSolutions, Inc., January 13, 2011, Engineering Geology Review, Cantinas Ranch, Lynch Canyon Road, Lake Nacimiento Area, Project SL07503-1.
- GeoSolutions, Inc., October 13, 2011 (Revised), Soils Engineering Report, Cantinas Ranch, Lynch Canyon Road, Lake Nacimiento Area, Project SL07503-1.
- Papurello, CEG 226, October 26, 2012, Review of Engineering Geology Report, Brian, File No: 0916-01, SLO Co. File No. DRC2011-00037.
- NCE Hydrology, June, 2012 and April 26, 2012, Lynch Canyon Road, Storm Drain Culvert Review.
- Balance Hydrologics, Inc., September 28, 2011, Groundwater Exploration Program Report for Cantinas Ranch, San Luis Obispo County, CA.
- Firma Landscape Architects, June 19, 2012, Cantinas Ranch Camp Visual Assessment. Associated Transportation Engineers, July 13, 2012, Transportation Management Plan and Roadway Analysis for Cantinas Celebration of the Arts Camp, Lake Nacimiento Area, San Luis Obispo, County.
- Associated Transportation Engineers, October 9, 2012, Celebration of the Arts Camp, P.M. Peak Hour Trip Generation Estimates.
- Associated Transportation Engineers, July 13, 2012, Transportation Management Plan and Roadway Analysis for the Cantinas Celebration of the Arts Camp – Lake Nacimiento Area.
- Cultural Resource Management Services, November 27, 2006, Cultural Resources Study of Parcel on Lynch Canyon Road, Lake Nacimiento, Bradley, San Luis Obispo County, CA.
- Biological Report for the Cantinas Camp, Updated August 2012, Althouse and Meade, Inc.

Exhibit B - Mitigation Summary Table

Agricultural Resources

- AG-1 Prior to final inspection and to assure avoidance of potential impacts, the applicant shall submit a letter to the Planning and Building Department (for review and approval) stating the guidelines that are in place to avoid potential incompatibilities with neighboring agricultural operations due to camp activities such as hiking and biking. These measures include but are not limited to:
- a. Provide a camper orientation briefing upon arrival stating locations of camp boundaries and trails that are to be used or provide directional signs in and around camp to direct campers to their appropriate locations.

Aesthetic Resources

- V-1 Upon application for construction permits for each structure or building cluster, the applicant shall submit a landscape plan to the County Department of Planning and Building for review and approval. The plans shall be developed and signed by a licensed landscape architect and shall show screen planting for the purpose of screening of the structures as follows:
- a. The screen plants shall include trees and shrubs for the purpose of screening the structures as seen from Oak Shores Drive, Lynch Canyon Road and Lake Nacimiento (Mission, Chapel, Camper Lodging, Art Buildings, Parking Barn, Lake House, Mill Barn, Equestrian Barn. Screen planting shall achieve a minimum 50 percent screening of the structures at plant maturity.
 - b. Screen planting shall include evergreen trees capable of growing to a minimum height of 35 feet tall. Trees shall be planted from a minimum fifteen-gallon container size. Shrubs shall be planted among the screen trees. Shrubs shall be planted from five-gallon containers; and
 - c. The screen plants shall ensure that the Parking Barn does not silhouette against the ridgeline as viewed from Oak Shores Drive (see Figures 3 shown on the project visual assessment).
 - d. Trees and shrubs within the screen planting area shall be maintained in perpetuity. Trees and shrubs within the screen planting area that die shall be replaced.
- V-2 Prior to issuance of construction permits for each structure or building cluster, the applicant shall submit a bond to the County of San Luis Obispo for an amount determined by the County to be sufficient to cover the estimated cost of planting and establishing the equivalent of the total number of trees and shrubs described in landscaping mitigation measures. The bond shall be held for a minimum of five years to ensure the successful establishment and maintenance of the mitigation planting.
- V-3 Prior to final inspection of each structure or building cluster, the approved landscape plan shall be implemented, and the applicant shall provide a letter to the San Luis Obispo County Department of Planning and Building for approval demonstrating that the applicant has entered into a contract with a qualified professional for the purpose of monitoring the success of the screen planting area. The monitoring contract shall include a requirement that the monitor conduct at a minimum an annual site visit and assessment of the planting success for five years. At the end of the 5 year monitoring period, the monitoring report shall be submitted to the San Luis Obispo County Department of Planning and Building for approval and shall be

used as a determining factor in assessing the successful establishment of the planting as it relates to the bond posted by the applicant. If it is determined that the success criteria has not been met then the applicant shall submit a supplemental landscape screening plan with additional recommendations to achieve the required screening. The plan shall include additional monitoring requirements (as recommended by the landscape architect) to ensure the required screening is achieved.

- V-4 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit architectural elevations to the County Department of Planning and Building for review and approval. The elevations shall show exterior finish materials and colors, as follows:
- a. Exterior wall colors shall be limited to dark and/or muted earth-tones. Exterior colors shall be no brighter than 6 in chroma and value on the Munsell Color Scale on file in the County Department of Planning and Building.
 - b. Roof colors shall be limited dark and/or muted earth tones, no brighter than 6 in chroma and value on the Munsell Color Scale on file in the County Department of Planning and Building. If natural copper roofing is utilized, it shall be pre-painted in dark brown/ green hues prior to installation. Samples shall be provided to County Planning for review and approval.
- V-5 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit landscape plans to the Department of Planning and Building for review and approval. The plans shall include shrubs planted along all permanent and temporary parking areas for the purpose of screening vehicles.
- V-6 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit an exterior lighting plan for review and approval by the Department of Planning and Building which includes the following:
- a. Direct views of all exterior lighting sources shall be shielded from view from Oak Shores Drive, Lynch Canyon Road, and Lake Nacimiento.
 - b. Exterior lighting shall be designed to not focus illumination onto exterior walls nor the hillside or oak woodland areas adjacent to the buildings.
 - c. Any security lighting installed on the property shall be equipped with motion detectors to prevent the illumination from remaining on.
 - d. If access road lighting is proposed, the luminaires shall be a shielded "bollard-type" and shall be a maximum of 3 feet above the ground.

Prior to final inspection, all lighting installed shall be consistent with the approved exterior lighting plan.

Air Quality Resources

- AQ-1 During construction/ground disturbing activities, the applicant shall implement the following particulate (dust) control measures. These measures shall be shown on the grading and building plans. In addition, the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD prior to commencement of construction.

- a. Reduce the amount of disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- c. All dirt stock-pile areas should be sprayed daily as needed;
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans shall be implemented as soon as possible following completion of any soil disturbing activities;
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading shall be sown with a fast germinating native grass seed and watered until vegetation is established;
- f. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- g. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- h. Vehicle speed for all construction vehicles shall not exceed 15 miles per hour on any unpaved surface at the construction site;
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or shall maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site; and,
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water shall be used where feasible.
- l. All road PM10 mitigation measures required shall be shown on the grading and building plans; and,
- m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading day, earthwork or demolition.

AQ-2 Prior to issuance of construction and/ or grading permits for each structure or building cluster, the applicant shall ensure that a geologic investigation is conducted to determine if Naturally Occurring Asbestos (NOA) is present within the area that would be disturbed. If NOA is not present, an exemption request shall be filed with the Air Pollution Control District (APCD) and submitted to the Planning and Building Department. If NOA is present, the applicant shall work with, and receive approval from the APCD to comply with all requirements outlined in the Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements may include, but are not limited to: 1) an Asbestos Dust Mitigation Plan (which must be approved by the APCD before construction begins) and 2) an Asbestos Health and Safety Program.

AQ-3 During initial grading/scraping, burning shall not be allowed, or if no alternative is available, the applicant shall obtain a burn permit from the APCD and County Fire/California Department of Forestry, and comply with all conditions required by these agencies. Alternatives to burning may include chipping of vegetative materials for ground use as ground cover or other measures approved by the APCD.

AQ-4 For the unpaved portion of the route to access the site (e.g. Lynch Canyon Road from Oak Shores Drive to the camp's facilities), the applicant shall implement one of the following:

- a. For the life of the project, pave and maintain the roads, driveways, and parking areas; or
- b. For the life of the project, maintain the unpaved roads, driveways, and parking areas with a dust suppressant (see Technical Appendix 4.3 of the APCD's CEQA Handbook for a list of APCD approved suppressants) such that fugitive dust emissions do not exceed the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402); and
- c. To improve dust suppressant's long-term efficacy, the applicant shall also implement and maintain design standards to ensure vehicles that use the on-site unpaved road are physically limited (e.g. speed bumps) to a posted speed of 15 mph or less.

AQ-5 To minimize nuisance impacts and to reduce fugitive dust emissions from equestrian facilities the following mitigation measures shall be incorporated into the project:

- a. Reduce the amount of disturbed areas where possible;
- b. Permanent dust control measures shall be implemented as soon as possible following completion of any soil disturbing activities;
- c. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust emissions from exceeding the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402). Increased watering frequency whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water shall be used whenever possible for the life of the equestrian facility;
- d. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD; and
- e. A person or persons shall be designated to monitor for dust and implement additional control measures as necessary to prevent transport of dust offsite. The monitor's duties shall include holiday and weekend. The name and telephone number of such person shall be provided to the APCD prior to operation of the arena.

AQ-6 The applicant shall implement the requirements contained in the Transportation Management Plan dated July 13, 2012.

Biological Resources

Special Status Birds

BR-1 To protect sensitive bird species and those species protected by the Migratory Bird Treaty Act and/or the Fish and Wildlife Code, the Owners shall avoid vegetation clearing and earth disturbance during the typical nesting season (February 15 – August 31). If avoiding

construction during this season is not feasible, a qualified biologist shall survey the area one week prior to activity beginning on the site. If nesting birds are located, they shall be avoided until they have successfully fledged. A buffer zone of 50 feet will be placed around all non-sensitive bird species, a 500-foot buffer zone for raptors, and all activity will remain outside of that buffer until a County approved biologist has determined that the young have fledged. If special-status bird species are located, no work will begin until an appropriate buffer is determined by consultation with the County, the local California Department of Fish and Wildlife biologist, and/or the U. S. Fish and Wildlife Service.

- BR-2 Prior to issuance of construction and/or grading permits, the applicant shall clearly show all occupied nests on project plans, and these nest shall be mapped using GIS or survey equipment. The mapped locations shall be placed on a copy of the grading plans and all other applicable construction documents with a 500-foot buffer indicated. The buffer zone shall be delineated on the ground with orange construction fencing where it overlaps work areas.
- BR-3 Prior to issuance of construction and/or grading permits, occupied nests of special status bird species that are within 500 feet of project work areas shall be monitored bi-monthly through the nesting season to document nest success, check for project compliance with buffer zone maintenance, and to monitor the effectiveness of the buffer.

Oak Tree Impacts

Tree Type	# Removed (4:1 replacement)	# Impacted (2:1 replacement)	Total Replacement
Oak Trees Removed	18 (4x18=72)		72
Oak Trees Impacted		283 (2x283=566)	566
Replacement Oak Trees Required			638
Oak Trees Plantings Proposed by Applicant			910

- BR-4 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline).

No more than “18” oak trees shall be removed and no more than “283” oak trees shall be impacted. Of this total, no more than 30 oak trees shall be impacted as a result of the emergency access. If additional oak trees need to be impacted or removed (no more than 30 additional oak trees) then a revised Tree Plan shall be submitted to the Planning Department for review and approval.

Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities.

- a. The applicant shall prepare a tree protection map and plan (Tree Report, by Althouse and Meade, Inc., June 2012) with accurate and complete tree locations, tag numbers, Critical Root Zones, edge of canopy, and tree protection measures. The project

engineers shall work with the biological consultants to develop a tree protection plan sheet that indicates all tagged trees, with corresponding tag numbers, edge of canopy and CRZ's within 50 feet of disturbance. Tree protection measures such as construction fencing shall be show on the map. All trees shall to be fully protected shall be clearly shown on the grading and drainage plans.

- b. Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

BR-5 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall provide a tree replacement plan for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a. Number of Trees – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio. Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
- b. Location/Density – The location shall be clearly shown on the plans. Trees shall be planted at no greater a density than the average density in the existing oak woodland area on the site. Location of newly planted trees should adhere to the following, whenever possible: on the north side of and at the canopy/dripline edge of existing mature native trees; on north-facing slopes; within drainage swales (except when riparian habitat present); where topsoil is present; and away from continuously wet areas (e.g. lawns, leach lines).
- c. Species – Trees shall be of the same species of the trees proposed for impact or removal. The species shall be clearly specified on the plans.
- d. Size – Replacement oak trees shall be from either vertical tubes or deep, one-gallon container sizes.
- e. Planting – Replanting shall be completed as soon as it is feasible (e.g. irrigation water is available, grading done in replant area). Replant areas shall be either in native topsoil or areas where native topsoil has been reapplied. If the latter, top soil shall be carefully removed and stockpiled for spreading over graded areas to be replanted (set aside enough for 6-12" layer). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.
- f. Maintenance – Newly planted trees shall be maintained until successfully established. This shall include protection (e.g. tree shelters, caging) from animals (e.g., deer, rodents), regular weeding of at least a three foot radius out from the planting, and adequate watering (e.g., drip-irrigation system). Hand removal of weeds shall be kept up on a regular basis at least once in late spring (April) and once in early winter (December).
- g. Irrigation/Watering – Irrigation details shall be clearly shown on the plans. Watering should be controlled so only enough is used to initially establish the tree, and reducing to zero over a three year period.

- BR-6** Prior to commencement of any tree removal, to avoid conflicts with nesting raptors, construction activities shall not be allowed during to the nesting season (March to July), unless a county-approved, qualified biologist has surveyed the impact zone and determined that no nesting activities will be adversely impacted. At such time, if any evidence of nesting activities are found, the biologist will determine if any construction activities can occur during the nesting period and to what extent. The results of the surveys will be passed immediately to the County Environmental Division, possibly with recommendations for variable buffer zones, as needed, around individual nests. The applicant agrees to incorporate those recommendations approved by the County.
- BR-7** Once trees have been planted, the applicant shall retain a qualified individual (e.g., landscape contractor, arborist, nurseryman, botanist) to prepare a letter stating how and when the above planting and protection measures have been completed. This letter shall be submitted to the Department of Planning and Building.
- BR-8** Prior to final inspections or occupancy for each structure or building cluster, whichever occurs first, replacement trees shall be installed or bonded for in compliance with the approved tree replacement plan. If bonded for, installation shall be completed within 60 days of bonding.
- BR-9** Prior to final inspections for each structure or building cluster, or prior to release of bonding (if applicable), the applicant shall have completed the following as it relates to weed removal around newly planted vegetation: 1) no herbicides shall have been used; 2) either installation of a securely staked "weed mat" (covering at least a three-foot radius from center of plant), or hand removal of weeds (covering at least a 3' radius from center of plant) shall be completed for each new plant. Use of weed-free mulch (at least 3 inches deep) with regular replenishment may be substituted for the weed-mat.
- BR-10** To guarantee the success of the new trees, the applicant shall retain a qualified individual (e.g., arborist, landscape architect/ contractor, nurseryman) to monitor the new trees' survivability and vigor until the trees are successfully established, and prepare monitoring reports, on an annual basis, for no less than five years. Based on the submittal of the initial planting letter, the first report shall be submitted to the County Environmental Coordinator one year after the initial planting and thereafter on an annual basis until the monitor, in consultation with the County, has determined that the initially-required vegetation is successfully established. Additional monitoring will be necessary if initially-required vegetation is not considered successfully established. The applicant, and successors-in-interest, agrees to complete any necessary remedial measures identified in the report(s) to maintain the population of initially planted vegetation as approved by the Environmental Coordinator.

The above mentioned qualified individual shall keep the running tally of the total number of trees impacted and removed. A final mitigation obligation determination would be provided to the Project Manager and the County Planning Department.

- BR-11** The applicant recognizes that trimming of oaks can be detrimental in the following respects and agrees to minimize trimming of the remaining oaks: removal of larger lower branches should be minimized to: 1) avoid making tree top heavy and more susceptible to "blow-overs", 2) reduce having larger limb cuts that take longer to heal and are much more susceptible to disease and infestation, 3) retain the wildlife that is found only in the lower branches, 4) retains shade to keep summer temperatures cooler (retains higher soil moisture, greater passive solar potential, provides better conditions for oak seedling volunteers) and 5) retain the natural shape of the tree. Limit the amount of trimming (roots or canopy) done in anyone season as much as possible to limit tree stress/shock (10% or less is best, 25% maximum). Excessive

and careless trimming not only reduces the potential life of the tree, but can also reduce property values if the tree dies prematurely or has an unnatural appearance. If trimming is necessary, the applicant agrees to either use a skilled arborist or apply accepted arborist's techniques when removing limbs. Unless a hazardous or unsafe situation exists, trimming shall be done only during the winter for deciduous species.

BR-12 Smaller trees (smaller than 6 inches in diameter at four feet above the ground) within the project area are considered to be of high importance, and when possible, shall be given similar consideration as larger trees.

BR-13 All oak trees identified to remain shall not be removed. Unless previously approved by the County, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

BR-14 Grading, utility trenching, compaction of soil, or placement of fill shall be avoided within the fenced areas. If grading in the root zone cannot be avoided, retaining walls shall be constructed to minimize cut and fill impacts. Care shall be taken to avoid surface roots within the top 18 inches of soil. If any roots must be removed or exposed, they shall be cleanly cut and not left exposed above the ground surface.

BR-15 To minimize impacts to the sensitive oak woodland understory habitat (e.g. maritime chaparral, coastal scrub), the applicant agrees to the following during construction improvements and for the life of the project:

- a. All native vegetation removal (including vegetation removal to accommodate Cal Fire requirements) shall be shown on all applicable grading/ construction plans, and reviewed/ approved by the County (Planning and Building Dept.) before any work begins.
- b. Vegetation removal of native habitat shall be limited to what is shown on the county-approved grading/construction plans.
- c. Vegetation clearance for fire safety purposes shall be limited to the minimum setbacks required by Cal Fire. Where feasible, all efforts will be made to retain as much of this vegetation within the setback as possible (e.g. remove/trim only enough vegetation to create non-contiguous islands of native vegetation).

California legless lizard

BR-16-Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey (to include hand raking and/or placement of untreated cover boards six months in advance of construction in attempt to capture and relocate as many legless lizards as possible before construction) for legless lizards to be conducted in proposed work areas immediately prior to ground-breaking activities that would affect potentially suitable habitat, as determined by the project biologist. The preconstruction survey shall be conducted by a qualified biologist familiar with legless lizard ecology and survey methods, and with approval from California Department of Fish and Wildlife to relocate legless lizards out of harm's way. The scope of the survey shall be determined by a qualified biologist and shall be sufficient to determine presence or absence in the project areas. If the focused survey results are negative, a letter report shall be submitted

to the County, and no further action shall be required. If legless lizards are found to be present in the proposed work areas the following steps shall be taken:

- a. Legless lizards shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within legless lizard habitat. Construction monitors shall capture and relocate legless lizards as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of legless lizard relocation, or as directed by CDFW.

Coast horned lizard

BR-17 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey for coast horned lizard shall be conducted in proposed work areas immediately prior to ground-breaking activities. The survey should be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife to relocate horned lizards out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If horned lizards are found to be present in the work areas, the following steps shall be taken:

- a. Horned lizards shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential horned lizard habitat. Construction monitors shall capture and relocate horned lizards as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of horned lizard relocation, or as directed by CDFW.

Whipsnakes

BR-18 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey for San Joaquin whipsnake shall be conducted in proposed work areas immediately prior to ground-breaking activities. The survey should be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife (CDFW) to relocate whipsnakes out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If San Joaquin whipsnakes are found to be present in the work areas, the following steps shall be taken:

- a. San Joaquin whipsnakes shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential San Joaquin whipsnake habitat. Construction monitors shall capture and relocate whipsnakes as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of San Joaquin whipsnake relocation, or as directed by CDFW.

Special status bats

BR-19 To assure avoidance of potential impacts, prior to issuance of construction and/or grading permit for each structure or building cluster, and prior to removal of any trees over 20 inches dbh, a survey shall be conducted by a qualified biologist to determine if any of the trees proposed for removal or trimming harbor sensitive bat species or maternal bat colonies. If a non-maternal roost is found, the qualified biologist, with prior approval from California Department of Fish and Wildlife, will install one-way valves or other appropriate passive relocation method. For each occupied roost removed, one bat box shall be installed in similar habitat and should have similar cavity or crevices properties to those which are removed, including access, ventilation, dimensions, height above ground, and thermal conditions. Maternal bat colonies may not be disturbed.

American badger

BR-20 A preconstruction survey shall be conducted on the property to locate occupied American badger dens within 100 feet of project areas. The survey shall be conducted within 15 days of starting any grading, grubbing, or oak tree removal. Orange construction fencing shall be installed under the direction of a project biologist in a manner sufficient to protect the dens from construction equipment. A buffer of 50 feet shall be used for occupied non-maternal dens. A buffer of 150 feet shall be installed if the den is determined to be a maternal pupping den. Construction activities shall not commence within the exclusion area until the badger has moved of its own accord. A preconstruction survey letter report shall be submitted to the lead agency for review within one week after completion of the survey.

Needlegrass grassland

BR-21 To reduce impacts to valley needlegrass grassland habitat, new needlegrass grassland habitat shall be created at a 1 to 1 ratio (area of created habitat to impacted habitat). If greater than 50 percent of the onsite needlegrass grassland habitat would be affected, the mitigation ratio shall be increased to 2:1 (refer to County letter in Appendix F of the botanical assessment).

- a. A mitigation, monitoring and reporting plan shall be prepared according to County guidelines that locates and quantifies the impacts to valley needlegrass grassland habitat on the Property. The plan shall be reviewed and approved by the County Planning Department in Consultation with CDFW prior to implementation.
- b. A mitigation site shall be established on the property, adjacent to and contiguous with existing needlegrass grassland areas.
- c. A conceptual planting plan shall be included in the mitigation, monitoring and reporting plan.
- d. Mitigation implementation and success shall be monitored for a minimum of five years. Annual reports that document the recovery of the site shall be prepared and sent to the County by December 15th of each year.

Bald eagles

BR-22 Prior to issuance of construction and/or grading permits, a pre-construction survey shall be completed by a qualified biologist to determine the presence and/or use by bald eagles in the project area. If bald eagles are located within the area, no work will begin until appropriate measures are developed to avoid disturbance are determined by the County, in consultation with the-California Department of Fish and Wildlife, and/or the U. S. Fish and Wildlife Service.

Western spadefoot toad and western pond turtle

BR-23 Prior to issuance of construction and/or grading permits for each structure or building cluster avoidance measures shall be implemented. A preconstruction survey for western spadefoot toad and western pond turtle shall be conducted in proposed work areas. The survey shall be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife to relocate these species out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If these species are found to be present in the work areas, the following steps shall be taken:

- a. Western spadefoot toad and western pond turtle shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential habitat. Construction monitors shall capture and relocate said species as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of Western spadefoot toad and western pond turtle relocation, or as directed by CDFW.
- d. Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program regarding protected and special status species.

Monterey dusky-footed woodrat

BR-24 Prior to issuance of construction and/or grading permits for each structure or building cluster, a preconstruction survey for the Monterey dusky-footed woodrat shall be conducted on the Property to locate nests within 50 feet of project areas.

- a. The survey shall be conducted within 30 days of starting of any grading, grubbing, or oak tree removal.
- b. Orange construction fencing shall be installed under direction of a project biologist in a manner sufficient to protect nest from construction equipment.
- c. If a woodrat nest is located in a construction zone, the project biologist may dismantle the nest using hand tools in such a manner as to allow any inhabitants to escape into adjacent open space areas.
- d. A preconstruction survey letter shall be submitted to the County for review within one week after survey completion.

Cultural Resources

C-1 At the time of application for construction permits, if any ground disturbance will occur within 50 feet of an identified Environmentally Sensitive Area(s), to avoid future impacts, the applicant shall delineate the archaeological site(s) as Environmentally Sensitive Area(s) on the project plans. All new development (e.g. access roads, driveways, camp housing, sheds, utility trenches, etc) shall be located outside the environmentally sensitive area(s).

Geology and Soils

GS-1 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall submit final plans demonstrating compliance with the Engineering Geology Review (GeoSolutions, 2011), Soils Engineering Report (GeoSolutions, October 13, 2011-

revised), and Review of Engineering Report (Brian Papurello, October 2012).

- GS-2 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall submit an erosion and sedimentation control plan in compliance with County Ordinance Section 22.52.120.
- GS-3 Prior to issuance of construction and/or grading permits, the applicant shall submit a copy of the Stormwater Pollution Prevention Plan (SWPPP) approved by the State Water Resources Control Board.

Water

- W-1 Upon application for construction and/or grading permits for each structure or building cluster, the applicant shall submit a Best Management Practices (BMP) plan, for review and approval by the County Planning and Building Department, in consultation with the Environmental Coordinator. The plan shall be implemented prior to, during, and following construction activities. The plan shall include, but not be limited to, the following elements:
 - a. Identification of all stormwater drainage patterns onsite.
 - b. Identification of grading limits.
 - c. Staking plan for grading limits and proposed staging area(s).
 - d. Use of silt fencing, hay bales, straw wattles, and other measures to ensure sediment retention and avoidance of pollutant discharge outside of the construction area.
 - e. Operational best management practices to prevent incidental discharge of hydrocarbons and other pollutants, which may include installation of hydrocarbon filters at discharge points, storage of a clean-up kit to contain and remove leaked fuels and oils, and other similar measures.
 - f. Long-term restoration plan to stabilize soils and maintain the flow of un-polluted stormwater into the Nacimiento Lake watershed.



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Transmittal Memorandum

Date: April 25, 2013

To: Holly Phipps (County Planner)

From: Sarah Staton

Subject: Cantinas – Signed (Original) Developers Statement – DRC2011-00037

Holly,

Please find attached, the signed (original) Developers Statement from Wayne B. Hughes for Cantinas, DRC2011-00037.

Please feel free to contact Rachel Kovesdi via phone or email if you have any questions or concerns.

Thank you,

Sarah Staton

sarah@kirk-consulting.net

Phone: (805)461-5765, Ext 16

Fax: (805)462-9466

DATE: APRIL 15, 2013
REVISED: April 24, 2013

**DEVELOPER'S STATEMENT FOR CANTINAS RANCH FOUNDATION
ED11-086 / DRC2011-00037**

The applicant agrees to incorporate the following measures into the project. These measures become a part of the project description and therefore become a part of the record of action upon which the environmental determination is based. All development activity must occur in strict compliance with the following mitigation measures. These measures shall be perpetual and run with the land. These measures are binding on all successors in interest of the subject property.

Note: The items contained in the boxes labeled "Monitoring" describe the County procedures to be used to ensure compliance with the mitigation measures.

Agricultural Resources

AG-1 Prior to final inspection and to assure avoidance of potential impacts, the applicant shall submit a letter to the Planning and Building Department (for review and approval) stating the guidelines that are in place to avoid potential incompatibilities with neighboring agricultural operations due to camp activities such as hiking and biking. These measures include but are not limited to:

- a. Provide a camper orientation briefing upon arrival stating locations of camp boundaries and trails that are to be used or provide directional signs in and around camp to direct campers to their appropriate locations.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building.

Aesthetic Resources

V-1 Upon application for each structure or building cluster, construction permits, the applicant shall submit a landscape plan to the County Department of Planning and Building for review and approval. The plans shall be developed and signed by a licensed landscape architect and shall show screen planting for the purpose of screening of the structures as follows:

- a. The screen plants shall include trees and shrubs for the purpose of screening the structures as seen from Oak Shores Drive, Lynch Canyon Road and Lake Nacimiento (Mission, Chapel, Camper Lodging, Art Buildings, Parking Barn, Lake House, Mill Barn, Equestrian Barn. Screen planting shall achieve a minimum 50 percent screening of the structures at plant maturity.



- b. Screen planting shall include evergreen trees capable of growing to a minimum height of 35 feet tall. Trees shall be planted from a minimum fifteen-gallon container size. Shrubs shall be planted among the screen trees. Shrubs shall be planted from five-gallon containers; and
- c. The screen plants shall ensure that the Parking Barn does not silhouette against the ridgeline as viewed from Oak Shores Drive (see Figures 3 shown on the project visual assessment).
- d. Trees and shrubs within the screen planting area shall be maintained in perpetuity. Trees and shrubs within the screen planting area that die shall be replaced.

Monitoring: Required prior to issuance of a construction permit. Compliance will be verified by the County Department of Planning and Building.

- V-2 Prior to issuance of construction permits for each structure or building cluster, the applicant shall submit a bond to the County of San Luis Obispo for an amount determined by the County to be sufficient to cover the estimated cost of planting and establishing the equivalent of the total number of trees and shrubs described in landscaping mitigation measures. The bond shall be held for a minimum of five years to ensure the successful establishment and maintenance of the mitigation planting.

Monitoring: Required prior to issuance of a construction permit. Compliance will be verified by the County Department of Planning and Building.

- V-3 Prior to final inspection of each structure or building cluster, the approved landscape plan shall be implemented, and the applicant shall provide a letter to the San Luis Obispo County Department of Planning and Building for approval demonstrating that the applicant has entered into a contract with a qualified professional for the purpose of monitoring the success of the screen planting area. The monitoring contract shall include a requirement that the monitor conduct at a minimum an annual site visit and assessment of the planting success for five years. At the end of the 5 year monitoring period, the monitoring report shall be submitted to the San Luis Obispo County Department of Planning and Building for approval and shall be used as a determining factor in assessing the successful establishment of the planting as it relates to the bond posted by the applicant. If it is determined that the success criteria has not been met then the applicant shall submit a supplemental landscape screening plan with additional recommendations to achieve the required screening. The plan shall include additional monitoring requirements (as recommended by the landscape architect) to ensure the required screening is achieved.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building.



V-4 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit architectural elevations to the County Department of Planning and Building for review and approval. The elevations shall show exterior finish materials and colors, as follows:

- a. Exterior wall colors shall be limited to dark and/or muted earth-tones. Exterior colors shall be no brighter than 6 in chroma and value on the Munsell Color Scale on file in the County Department of Planning and Building.
- b. Roof colors shall be limited dark and/or muted earth tones, no brighter than 6 in chroma and value on the Munsell Color Scale on file in the County Department of Planning and Building. If natural copper roofing is utilized, it shall be pre-painted in dark brown/ green hues prior to installation. Samples shall be provided to County Planning for review and approval.

Monitoring: Required prior to issuance of a building permit. Compliance will be verified by the County Department of Planning and Building.

V-5 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit landscape plans to the Department of Planning and Building for review and approval. The plans shall include shrubs planted along all permanent and temporary parking areas for the purpose of screening vehicles.

Monitoring: Required prior to issuance of a building permit. Compliance will be verified by the County Department of Planning and Building.

V-6 Prior to issuance of building permits for each structure or building cluster, the applicant shall submit an exterior lighting plan for review and approval by the Department of Planning and Building which includes the following:

- a. Direct views of all exterior lighting sources shall be shielded from view from Oak Shores Drive, Lynch Canyon Road, and Lake Nacimiento.
- b. Exterior lighting shall be designed to not focus illumination onto exterior walls nor the hillside or oak woodland areas adjacent to the buildings.
- c. Any security lighting installed on the property shall be equipped with motion detectors to prevent the illumination from remaining on.
- d. If access road lighting is proposed, the luminaires shall be a shielded "bollard-type" and shall be a maximum of 3 feet above the ground.

Prior to final inspection, all lighting installed shall be consistent with the approved exterior lighting plan.

Monitoring: Required prior to issuance of a building permit. Compliance will be verified by the County Department of Planning and Building.

Air Quality Resources

AQ-1 During construction/ground disturbing activities, the applicant shall implement the following particulate (dust) control measures. These measures shall be shown on the grading and building plans. In addition, the contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust off site. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD prior to commencement of construction.

- a. Reduce the amount of disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible;
- c. All dirt stock-pile areas should be sprayed daily as needed;
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans shall be implemented as soon as possible following completion of any soil disturbing activities;
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading shall be sown with a fast germinating native grass seed and watered until vegetation is established;
- f. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- g. All roadways, driveways, sidewalks, etc. to be paved shall be completed as soon as possible. In addition building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- h. Vehicle speed for all construction vehicles shall not exceed 15 miles per hour on any unpaved surface at the construction site;
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or shall maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site; and,
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water shall be used where feasible.
- l. All road PM10 mitigation measures required shall be shown on the grading and building plans; and,
- m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20%

opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading day, earthwork or demolition.

Monitoring: Required prior to construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building in Consultation with the Air Pollution Control District.

AQ-2 Prior to issuance of construction and/ or grading permits for each structure or building cluster, the applicant shall ensure that a geologic investigation is conducted to determine if Naturally Occurring Asbestos (NOA) is present within the area that would be disturbed. If NOA is not present, an exemption request shall be filed with the Air Pollution Control District (APCD) and submitted to the Planning and Building Department. If NOA is present, the applicant shall work with, and receive approval from the APCD to comply with all requirements outlined in the Asbestos ATCM for Construction, Grading, Quarrying, and Surface Mining Operations. These requirements may include, but are not limited to: 1) an Asbestos Dust Mitigation Plan (which must be approved by the APCD before construction begins) and 2) an Asbestos Health and Safety Program.

Monitoring: Required prior to issuance of a construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building.

AQ-3 During initial grading/scraping, burning shall not be allowed, or if no alternative is available, the applicant shall obtain a burn permit from the APCD and County Fire/California Department of Forestry, and comply with all conditions required by these agencies. Alternatives to burning may include chipping of vegetative materials for ground use as ground cover or other measures approved by the APCD.

Monitoring: Required prior to issuance of a construction permit. Compliance will be verified by the County Department of Planning and Building in Consultation with the Air Pollution Control District.

AQ-4 For the unpaved portion of the route to access the site (e.g. Lynch Canyon Road from Oak Shores Drive to the camp's facilities), the applicant shall implement one of the following:

- a. For the life of the project, pave and maintain the roads, driveways, and parking areas; or
- b. For the life of the project, maintain the unpaved roads, driveways, and parking areas with a dust suppressant (see Technical Appendix 4.3 of the APCD's CEQA Handbook for a list of APCD approved suppressants) such that fugitive dust emissions do not exceed the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402);

and

- c. To improve dust suppressant's long-term efficacy, the applicant shall also implement and maintain design standards to ensure vehicles that use the on-site unpaved road are physically limited (e.g. speed bumps) to a posted speed of 15 mph or less.

Monitoring: Required prior to final inspection and/or operation of camp. Compliance will be verified by the County Department of Planning and Building in Consultation with the Air Pollution Control District.

AQ-5 To minimize nuisance impacts and to reduce fugitive dust emissions from equestrian facilities the following mitigation measures shall be incorporated into the project:

- a. Reduce the amount of disturbed areas where possible;
- b. Permanent dust control measures shall be implemented as soon as possible following completion of any soil disturbing activities;
- c. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust emissions from exceeding the APCD20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402). Increased watering frequency whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water shall be used whenever possible;
- d. All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD; and
- e. A person or persons shall be designated to monitor for dust and implement additional control measures as necessary to prevent transport of dust offsite. The monitor's duties shall include holiday and weekend. The name and telephone number of such person shall be provided to the APCD prior to operation of the arena.

Monitoring: Required prior to final inspection and/or operation of camp. Compliance will be verified by the County Department of Planning and Building in Consultation with the Air Pollution Control District.

AQ-6 The applicant shall implement the requirements contained in the Transportation Management Plan dated July 13, 2012.

Monitoring: Compliance will be verified by the County Department of Planning and Building in Consultation with Public Works.

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Biological Resources

Special Status Birds

BR-1 To protect sensitive bird species and those species protected by the Migratory Bird Treaty Act and/or the Fish and Wildlife Code, the Owners shall avoid vegetation clearing and earth disturbance during the typical nesting season (February 15 – August 31). If avoiding construction during this season is not feasible, a qualified biologist shall survey the area one week prior to activity beginning on the site. If nesting birds are located, they shall be avoided until they have successfully fledged. A buffer zone of 50 feet will be placed around all non-sensitive bird species, a 500-foot buffer zone for raptors, and all activity will remain outside of that buffer until a County approved biologist has determined that the young have fledged. If special-status bird species are located, no work will begin until an appropriate buffer is determined by consultation with the County, the local California Department of Fish and Wildlife biologist, and/or the U. S. Fish and Wildlife Service.

Monitoring: Required prior to issuance of a construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building.

BR-2 Prior to issuance of construction and/or grading permits, the applicant shall clearly show all occupied nests on project plans, and these nest shall be mapped using GIS or survey equipment. The mapped locations shall be placed on a copy of the grading plans and all other applicable construction documents with a 500-foot buffer indicated. The buffer zone shall be delineated on the ground with orange construction fencing where it overlaps work areas.

Monitoring: Required prior to issuance of a construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building.

BR-3 Prior to issuance of construction and/or grading permits, occupied nests of special status bird species that are within 500 feet of project work areas shall be monitored bi-monthly through the nesting season to document nest success, check for project compliance with buffer zone maintenance, and to monitor the effectiveness of the buffer.

Monitoring: Required prior to issuance of a construction permit and/or grading permit. Compliance will be verified by the County Department of Planning and Building.

Oak Tree Impacts

Tree Type	# Removed (4:1 replacement)	# Impacted (2:1 replacement)	Total Replacement
Oak Trees Removed	18 (4x18=72)		72
Oak Trees Impacted		283 (2x283=566)	566
Replacement Oak Trees Required			638
Oak Trees Plantings Proposed by Applicant			910

BR-4 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall clearly show all oak trees within 50 feet of grading activities on the grading plans. In addition to showing the limits of grading, the grading plans shall also designate which oak trees are to be removed and which oak trees will be impacted by grading activities occurring within the root zone (one and one half times the dripline).

No more than "18" oak trees shall be removed and no more than "283" oak trees shall be impacted. Of this total, no more than 30 oak trees shall be impacted as a result of the emergency access. If additional oak trees need to be impacted or removed (no more than 30 additional oak trees) then a revised Tree Plan shall be submitted to the Planning Department for review and approval.

Oak trees within 50 feet of grading activities, which are not designated for removal, shall be fenced and flagged for protection prior to permit issuance. Fencing shall be clearly shown on the grading plans to be located at the root zone for trees not designated for removal. For impacted trees, where grading activities will occur within the root zone, fencing may be placed at the limits of grading activities.

- a. The applicant shall prepare a tree protection map and plan (Tree Report, by Althouse and Meade, Inc., June 2012) with accurate and complete tree locations, tag numbers, Critical Root Zones, edge of canopy, and tree protection measures. The project engineers shall work with the biological consultants to develop a tree protection plan sheet that indicates all tagged trees, with corresponding tag numbers, edge of canopy and CRZ's within 50 feet of disturbance. Tree protection measures such as construction fencing shall be show on the map. All trees shall to be fully protected shall be clearly shown on the grading and drainage plans.
- b. Any tree removal associated with CDF/County Fire vegetative clearance/modification requirements shall also be considered on the plans.

Monitoring: Required prior to issuance of a construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building.

BR-5 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall provide a tree replacement plan for review and approval by the Environmental Coordinator. The replacement plan shall demonstrate compliance with the following measures:

- a. Number of Trees – The tree replacement plan shall provide for the replacement, in kind, of removed oak trees at a 4:1 ratio. Additionally, the tree replacement plan shall provide for the planting, in kind, at a 2:1 ratio for oak trees designated for impact but not removal.
- b. Location/Density – The location shall be clearly shown on the plans. Trees shall be planted at no greater a density than the average density in the existing oak woodland area on the site. Location of newly planted trees should adhere to the following, whenever possible: on the north side of and at the canopy/dripline edge of existing mature native trees; on north-facing slopes; within drainage swales (except when riparian habitat present); where topsoil is present; and away from continuously wet areas (e.g. lawns, leach lines).
- c. Species – Trees shall be of the same species of the trees proposed for impact or removal. The species shall be clearly specified on the plans.
- d. Size – Replacement oak trees shall be from either vertical tubes or deep, one-gallon container sizes.
- e. Planting – Replanting shall be completed as soon as it is feasible (e.g. irrigation water is available, grading done in replant area). Replant areas shall be either in native topsoil or areas where native topsoil has been reapplied. If the latter, top soil shall be carefully removed and stockpiled for spreading over graded areas to be replanted (set aside enough for 6-12" layer). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.
- f. Maintenance – Newly planted trees shall be maintained until successfully established. This shall include protection (e.g. tree shelters, caging) from animals (e.g., deer, rodents), regular weeding of at least a three foot radius out from the planting, and adequate watering (e.g., drip-irrigation system). Hand removal of weeds shall be kept up on a regular basis at least once in late spring (April) and once in early winter (December).
- g. Irrigation/Watering – Irrigation details shall be clearly shown on the plans. Watering should be controlled so only enough is used to initially establish the tree, and reducing to zero over a three year period.

Monitoring: Required to issuance of a construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

- BR-6 Prior to commencement of any tree removal, to avoid conflicts with nesting raptors, construction activities shall not be allowed during the nesting season (March to July), unless a county-approved, qualified biologist has surveyed the impact zone and determined that no nesting activities will be adversely impacted. At such time, if any evidence of nesting activities are found, the biologist will determine if any construction activities can occur during the nesting period and to what extent. The results of the surveys will be passed immediately to the County Environmental Division, possibly with recommendations for variable buffer zones, as needed, around individual nests. The applicant agrees to incorporate those recommendations approved by the County.

Monitoring: Required prior to issuance of a construction and or grading permit. Compliance will be verified by the County Department of Planning and Building.

- BR-7 Once trees have been planted, the applicant shall retain a qualified individual (e.g., landscape contractor, arborist, nurseryman, botanist) to prepare a letter stating how and when the above planting and protection measures have been completed. This letter shall be submitted to the Department of Planning and Building.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building.

- BR-8 Prior to final inspections or occupancy for each structure or building cluster, whichever occurs first, replacement trees shall be installed or bonded for in compliance with the approved tree replacement plan. If bonded for, installation shall be completed within 60 days of bonding.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building.

- BR-9 Prior to final inspections for each structure or building cluster, or prior to release of bonding (if applicable), the applicant shall have completed the following as it relates to weed removal around newly planted vegetation: 1) no herbicides shall have been used; 2) either installation of a securely staked "weed mat" (covering at least a three-foot radius from center of plant), or hand removal of weeds (covering at least a 3' radius from center of plant) shall be completed for each new plant. Use of weed-free mulch (at least 3 inches deep) with regular replenishment may be substituted for the weed-mat.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building.

BR-10 To guarantee the success of the new trees, the applicant shall retain a qualified individual (e.g., arborist, landscape architect/ contractor, nurseryman) to monitor the new trees' survivability and vigor until the trees are successfully established, and prepare monitoring reports, on an annual basis, for no less than five years. Based on the submittal of the initial planting letter, the first report shall be submitted to the County Environmental Coordinator one year after the initial planting and thereafter on an annual basis until the monitor, in consultation with the County, has determined that the initially-required vegetation is successfully established. Additional monitoring will be necessary if initially-required vegetation is not considered successfully established. The applicant, and successors-in-interest, agrees to complete any necessary remedial measures identified in the report(s) to maintain the population of initially planted vegetation as approved by the Environmental Coordinator.

- 1) The above mentioned qualified individual shall keep the running tally of the total number of trees impacted and removed. A final mitigation obligation determination would be provided to the Project Manager and the County Planning Department.

Monitoring: Required prior to final inspection. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

BR-11 The applicant recognizes that trimming of oaks can be detrimental in the following respects and agrees to minimize trimming of the remaining oaks: removal of larger lower branches should be minimized to: 1) avoid making tree top heavy and more susceptible to "blow-overs", 2) reduce having larger limb cuts that take longer to heal and are much more susceptible to disease and infestation, 3) retain the wildlife that is found only in the lower branches, 4) retains shade to keep summer temperatures cooler (retains higher soil moisture, greater passive solar potential, provides better conditions for oak seedling volunteers) and 5) retain the natural shape of the tree. Limit the amount of trimming (roots or canopy) done in anyone season as much as possible to limit tree stress/shock (10% or less is best, 25% maximum). Excessive and careless trimming not only reduces the potential life of the tree, but can also reduce property values if the tree dies prematurely or has an unnatural appearance. If trimming is necessary, the applicant agrees to either use a skilled arborist or apply accepted arborist's techniques when removing limbs. Unless a hazardous or unsafe situation exists, trimming shall be done only during the winter for deciduous species.

Monitoring: Compliance will be verified by the County Department of Planning and Building.

BR-12 Smaller trees (smaller than 6 inches in diameter at four feet above the ground) within the project area are considered to be of high importance, and when possible, shall be given similar consideration as larger trees.

Monitoring: Compliance will be verified by the County Department of Planning and Building.

BR-13 All oak trees identified to remain shall not be removed. Unless previously approved by the County, the following activities are not allowed within the root zone of existing or newly planted oak trees: year-round irrigation (no summer watering, unless "establishing" new tree or native compatible plant(s) for up to 3 years); grading (includes cutting and filling of material); compaction (e.g., regular use of vehicles); placement of impermeable surfaces (e.g., pavement); disturbance of soil that impacts roots (e.g., tilling).

Monitoring: Compliance will be verified by the County Department of Planning and Building.

BR-14 Grading, utility trenching, compaction of soil, or placement of fill shall be avoided within the fenced areas. If grading in the root zone cannot be avoided, retaining walls shall be constructed to minimize cut and fill impacts. Care shall be taken to avoid surface roots within the top 18 inches of soil. If any roots must be removed or exposed, they shall be cleanly cut and not left exposed above the ground surface.

Monitoring: Compliance will be verified by the County Department of Planning and Building.

BR-15 To minimize impacts to the sensitive oak woodland understory habitat (e.g. maritime chaparral, coastal scrub), the applicant agrees to the following during construction improvements and for the life of the project:

- a. All native vegetation removal (including vegetation removal to accommodate Cal Fire requirements) shall be shown on all applicable grading/ construction plans, and reviewed/ approved by the County (Planning and Building Dept.) before any work begins.
- b. Vegetation removal of native habitat shall be limited to what is shown on the county-approved grading/construction plans.
- c. Vegetation clearance for fire safety purposes shall be limited to the minimum setbacks required by Cal Fire. Where feasible, all efforts will be made to retain as much of this vegetation within the setback as possible (e.g. remove/trim only enough vegetation to create non-contiguous islands of native vegetation).

Monitoring: Prior to issuance of construction and/or grading plans. Compliance will be verified by the County Department of Planning and Building.

California legless lizard

BR-16-Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey (to include hand raking and/or placement of untreated cover boards six months in advance of

construction in attempt to capture and relocate as many legless lizards as possible before construction) for legless lizards to be conducted in proposed work areas immediately prior to ground-breaking activities that would affect potentially suitable habitat, as determined by the project biologist. The preconstruction survey shall be conducted by a qualified biologist familiar with legless lizard ecology and survey methods, and with approval from California Department of Fish and Wildlife to relocate legless lizards out of harm's way. The scope of the survey shall be determined by a qualified biologist and shall be sufficient to determine presence or absence in the project areas. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If legless lizards are found to be present in the proposed work areas the following steps shall be taken:

- a. Legless lizards shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within legless lizard habitat. Construction monitors shall capture and relocate legless lizards as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of legless lizard relocation, or as directed by CDFW.

Monitoring: Required prior to issuance of construction and or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Coast horned lizard

BR-17 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey for coast horned lizard shall be conducted in proposed work areas immediately prior to ground-breaking activities. The survey should be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife to relocate horned lizards out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If horned lizards are found to be present in the work areas, the following steps shall be taken:

- a. Horned lizards shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential horned lizard habitat. Construction monitors shall capture and relocate horned lizards as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of horned lizard relocation, or as directed by CDFW.

Monitoring: Required prior to issuance of construction and or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

2

Whipsnakes

BR-18 Prior to issuance of construction and/or grading permit for each structure or building cluster, the applicant shall complete a focused preconstruction survey for San Joaquin whipsnake shall be conducted in proposed work areas immediately prior to ground-breaking activities. The survey should be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife (CDFW) to relocate whipsnakes out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If San Joaquin whipsnakes are found to be present in the work areas, the following steps shall be taken:

- a. San Joaquin whipsnakes shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential San Joaquin whipsnake habitat. Construction monitors shall capture and relocate whipsnakes as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of San Joaquin whipsnake relocation, or as directed by CDFW.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Special status bats

BR-19 To assure avoidance of potential impacts, prior to issuance of construction and/or grading permit for each structure or building cluster, and prior to removal of any trees over 20 inches dbh, a survey shall be conducted by a qualified biologist to determine if any of the trees proposed for removal or trimming harbor sensitive bat species or maternal bat colonies. If a non-maternal roost is found, the qualified biologist, with prior approval from California Department of Fish and Wildlife, will install one-way valves or other appropriate passive relocation method. For each occupied roost removed, one bat box shall be installed in similar habitat and should have similar cavity or crevices properties to those which are removed, including access, ventilation, dimensions, height above ground, and thermal conditions. Maternal bat colonies may not be disturbed.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

American badger

BR-20 A preconstruction survey shall be conducted on the property to locate occupied American badger dens within 100 feet of project areas. The survey shall be conducted within 15 days of starting any grading, grubbing, or oak tree removal. Orange construction fencing shall be installed under the direction of a project biologist in a manner sufficient to protect the dens from construction equipment. A buffer of 50 feet shall be used for occupied non-maternal dens. A buffer of 150 feet shall be installed if

the den is determined to be a maternal pupping den. Construction activities shall not commence within the exclusion area until the badger has moved of its own accord. A preconstruction survey letter report shall be submitted to the lead agency for review within one week after completion of the survey.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Needlegrass grassland

BR-21 To reduce impacts to valley needlegrass grassland habitat, new needlegrass grassland habitat shall be created at a 1 to 1 ratio (area of created habitat to impacted habitat). If greater than 50 percent of the onsite needlegrass grassland habitat would be affected, the mitigation ratio shall be increased to 2:1 (refer to County letter in Appendix F of the botanical assessment).

- a. A mitigation, monitoring and reporting plan shall be prepared according to County guidelines that locates and quantifies the impacts to valley needlegrass grassland habitat on the Property. The plan shall be reviewed and approved by the County Planning Department in Consultation with CDFW prior to implementation.
- b. A mitigation site shall be established on the property, adjacent to and contiguous with existing needlegrass grassland areas.
- c. A conceptual planting plan shall be included in the mitigation, monitoring and reporting plan.
- d. Mitigation implementation and success shall be monitored for a minimum of five years. Annual reports that document the recovery of the site shall be prepared and sent to the County by December 15th of each year.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Bald eagles

BR-22 Prior to issuance of construction and/or grading permits, a pre-construction survey shall be completed by a qualified biologist to determine the presence and/or use by bald eagles in the project area. If bald eagles are located within the area, no work will begin until appropriate measures are developed to avoid disturbance are determined by the County, in consultation with the California Department of Fish and Wildlife, and/or the U. S. Fish and Wildlife Service.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Western spadefoot toad and western pond turtle

BR-23 Prior to issuance of construction and/or grading permits for each structure or building cluster avoidance measures shall be implemented. A preconstruction survey for western spadefoot toad and western pond turtle shall be conducted in proposed work areas. The survey shall be conducted on foot by a qualified biologist with approval from California Department of Fish and Wildlife to relocate these species out of harm's way. If the focused survey results are negative, a letter report shall be submitted to the County, and no further action shall be required. If these species are found to be present in the work areas, the following steps shall be taken:

- a. Western spadefoot toad and western pond turtle shall be captured by hand by the project biologist and relocated to an appropriate location well outside the project areas.
- b. Construction monitoring shall be required for all new ground-breaking activities located within the mapped potential habitat. Construction monitors shall capture and relocate said species as specified above.
- c. A letter report shall be submitted to the County and CDFW within 30 days of Western spadefoot toad and western pond turtle relocation, or as directed by CDFW.
- d. Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program regarding protected and special status species.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Monterey dusky-footed woodrat

BR-24 Prior to issuance of construction and/or grading permits for each structure or building cluster, a preconstruction survey for the Monterey dusky-footed woodrat shall be conducted on the Property to locate nests within 50 feet of project areas.

- a. The survey shall be conducted within 30 days of starting of any grading, grubbing, or oak tree removal.
- b. Orange construction fencing shall be installed under direction of a project biologist in a manner sufficient to protect nest from construction equipment.
- c. If a woodrat nest is located in a construction zone, the project biologist may dismantle the nest using hand tools in such a manner as to allow any inhabitants to escape into adjacent open space areas.
- d. A preconstruction survey letter shall be submitted to the County for review within one week after survey completion.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Cultural Resources

- C-1 At the time of application for construction permits, if any ground disturbance will occur within 50 feet of an identified Environmentally Sensitive Area(s), to avoid future impacts, the applicant shall delineate the archaeological site(s) as Environmentally Sensitive Area(s) on the project plans. All new development (e.g. access roads, driveways, camp housing, sheds, utility trenches, etc) shall be located outside the environmentally sensitive area(s).

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

Geology and Soils

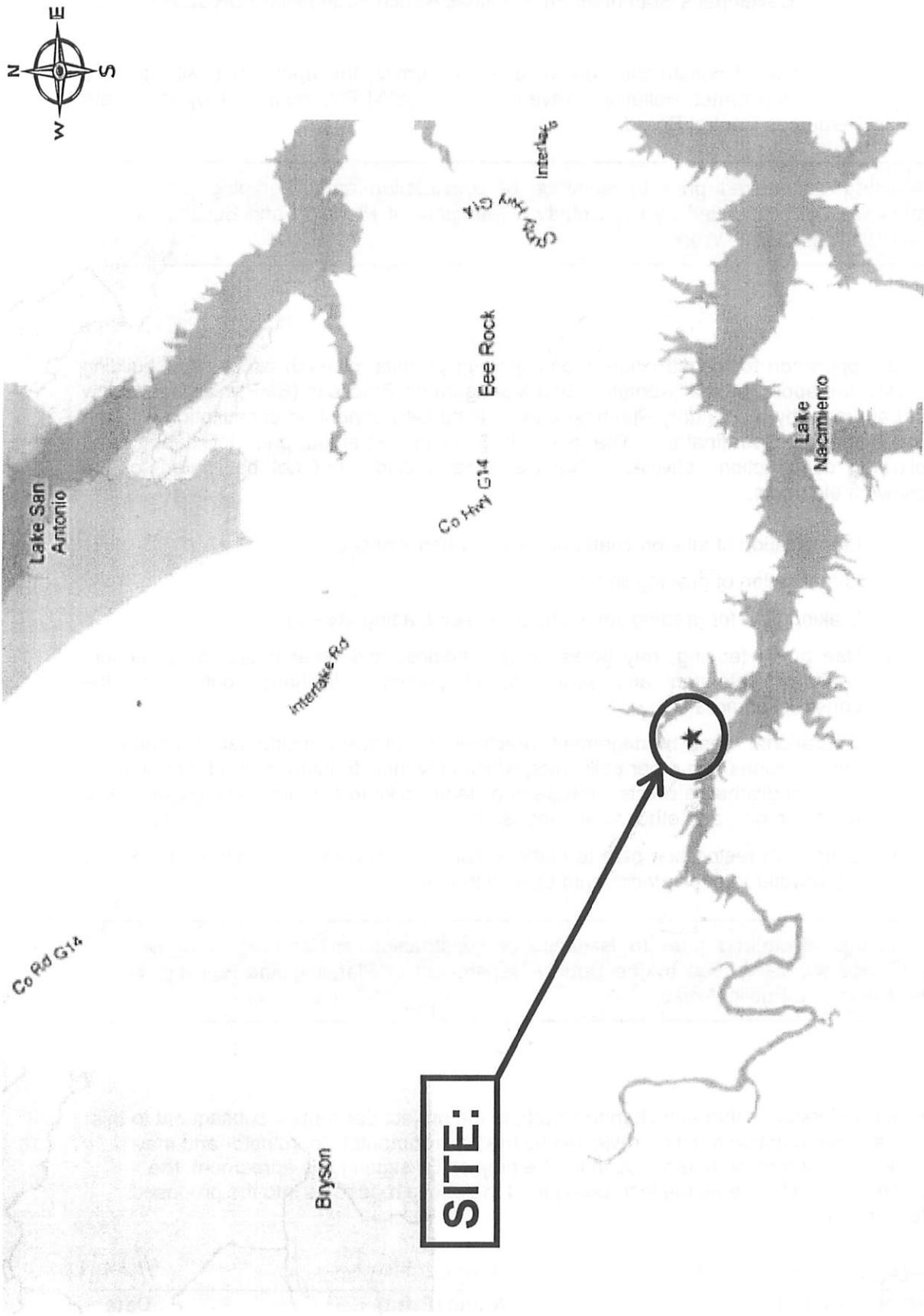
- GS-1 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall submit final plans demonstrating compliance with the Engineering Geology Review (GeoSolutions, 2011), Soils Engineering Report (GeoSolutions, October 13, 2011-revised), and Review of Engineering Report (Brian Papurello, October 2012).

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with the Environmental Coordinator.

- GS-2 Prior to issuance of construction and/or grading permits for each structure or building cluster, the applicant shall submit an erosion and sedimentation control plan in compliance with County Ordinance Section 22.52.120.

Monitoring: Required prior to issuance of construction and/or grading permit. Compliance will be verified by the County Department of Planning and Building, in consultation with Public Works.





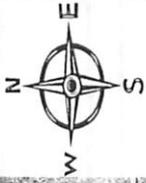
PROJECT

Cantinas Ranch - Organizational Camp
Conditional Use Permit / DRC2011-00037

EXHIBIT

Vicinity Map





PROJECT

Cantinas Ranch - Organizational Camp
Conditional Use Permit / DRC2011-00037

EXHIBIT

Site Plan





LAKE INCUMBENTO

REFERENCE SITE PLAN

TIM DUNN & ASSOCIATES
green by design
ARCHITECTS

AGE
ARCHITECTS

firma
LANDSCAPE ARCHITECTS



Cantinas Ranch Camp
REFERENCE SITE PLAN

A2.0

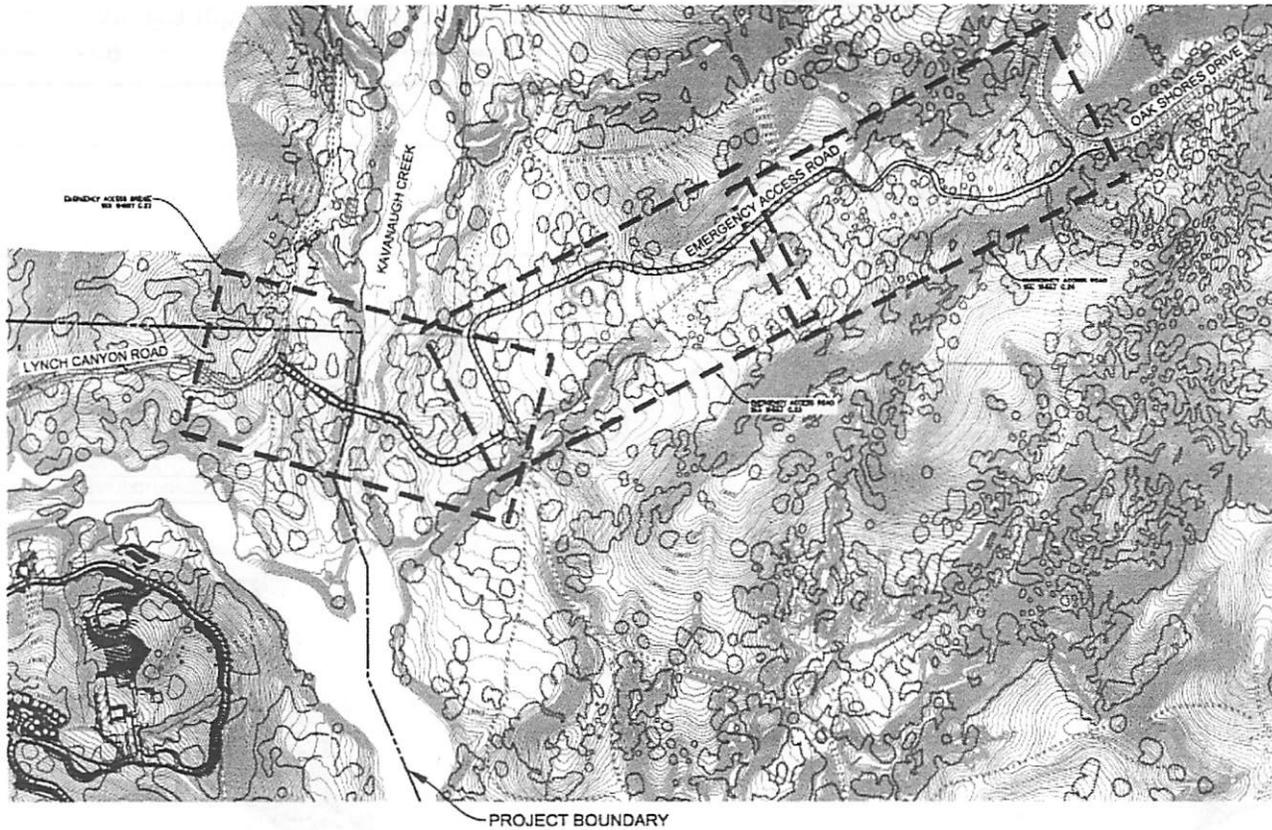
PROJECT

Cantinas Ranch - Organizational Camp
Conditional Use Permit / DRC2011-00037

EXHIBIT

Site Plan





ROAD DEPTH CUT	FT	LS
ROAD DEPTH FILL	FT	LS
AREA OF DISTURBANCE*	SQ. FT.	LS
CARTONING QUANTITIES		
CUT	CU. YD.	2,296
FILL	CU. YD.	846
FILL (90% COMPACTED)	CU. YD.	736

NOTE:
 1. QUANTITIES DO NOT ACCOUNT FOR UTILITY INSTALLATION. UTILITIES WILL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN LUIS OBISPO'S STANDARDS FOR DISTURBANCE IN SITE WORKING.
 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND ON TO 30 DAYS AFTER COMPLETION OF CONSTRUCTION.
 3. FILLER RESTRICTIONS SHALL BE AS SPECIFIED IN THE CITY OF SAN LUIS OBISPO'S STANDARDS FOR DISTURBANCE IN SITE WORKING.



J.W. DUFFY ARCHITECTURE
 green by design

NCE AGRICULTURE & ENVIRONMENTAL DESIGN, INC.
 720 Green Road, Suite B
 Paso Robles, CA 93446
 (805) 235-3127
 (805) 927-8551

firma
 landscape architects



Cantinas Ranch Camp
 EMERGENCY ACCESS ROAD

C.21

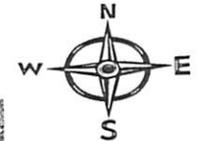
PROJECT
 Cantinas Ranch - Organizational Camp
 Conditional Use Permit / DRC2011-00037



EXHIBIT
 Emergency Access Road

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING

Name of Building	Setback from Road	Setback from Property Line	Required Setback
Equestrian Facility	140 feet	280 feet	1,000 feet
Van Parking Barn	300 feet	1,050 feet	1,000 feet
Mill Barn	260 feet	650 feet	1,000 feet
Lake House	620 feet	370 feet	1,000 feet
Security Entrance Building	380 feet	960 feet	1,000 feet
Camper Lodging	460 feet	1,210 feet	1,000 feet
Missions Building	760 feet	850 feet	1,000 feet
Chapel	690 feet	960 feet	1,000 feet
Celebration Arts	1,240 feet	1,070 feet	1,000 feet
Staff Housing	1,490 feet	990 feet	1,000 feet



PROJECT

Cantinas Ranch - Organizational Camp
 Conditional Use Permit / DRC2011--00037



EXHIBIT

Setbacks

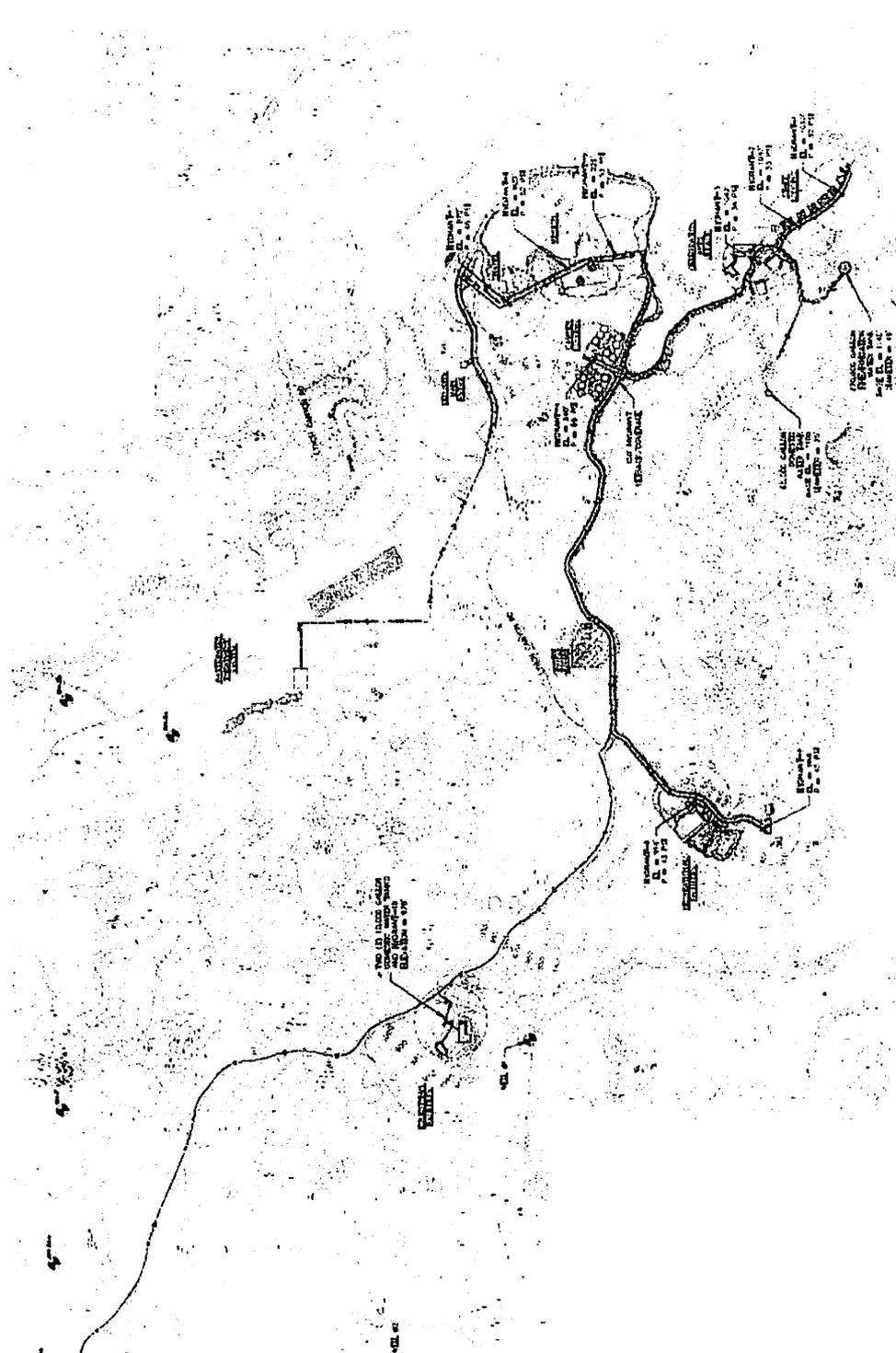
JIM DUFFY ARCHITECTURE
Green by design

NCE
NATIONAL CONSULTING ENGINEERS

THE SAN JOSE ENGINEERS
1000 SAN JOSE AVENUE
SAN JOSE, CA 95128
TEL: (408) 281-1111
WWW.SANJOSEENGINEERS.COM



Cantinas Ranch Camp
PRELIMINARY WATER SYSTEM PLAN



LEGEND

- OFFICE DRAINAGE
- DOMESTIC WATER USE
- PRETREATED WATER USE
- RAW WATER USE
- FIRE HYDRANT
- 48\"/>

WATER SYSTEM LAYOUT 1
1" = 50'

SCALE
1" = 30'

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR WATER SYSTEMS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR WATER SYSTEMS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR WATER SYSTEMS.

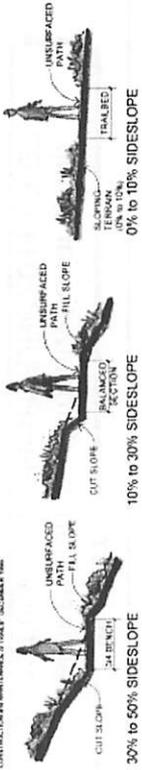
PROJECT
Cantinas Ranch - Organizational Camp
Conditional Use Permit / DRC2011-00037



EXHIBIT

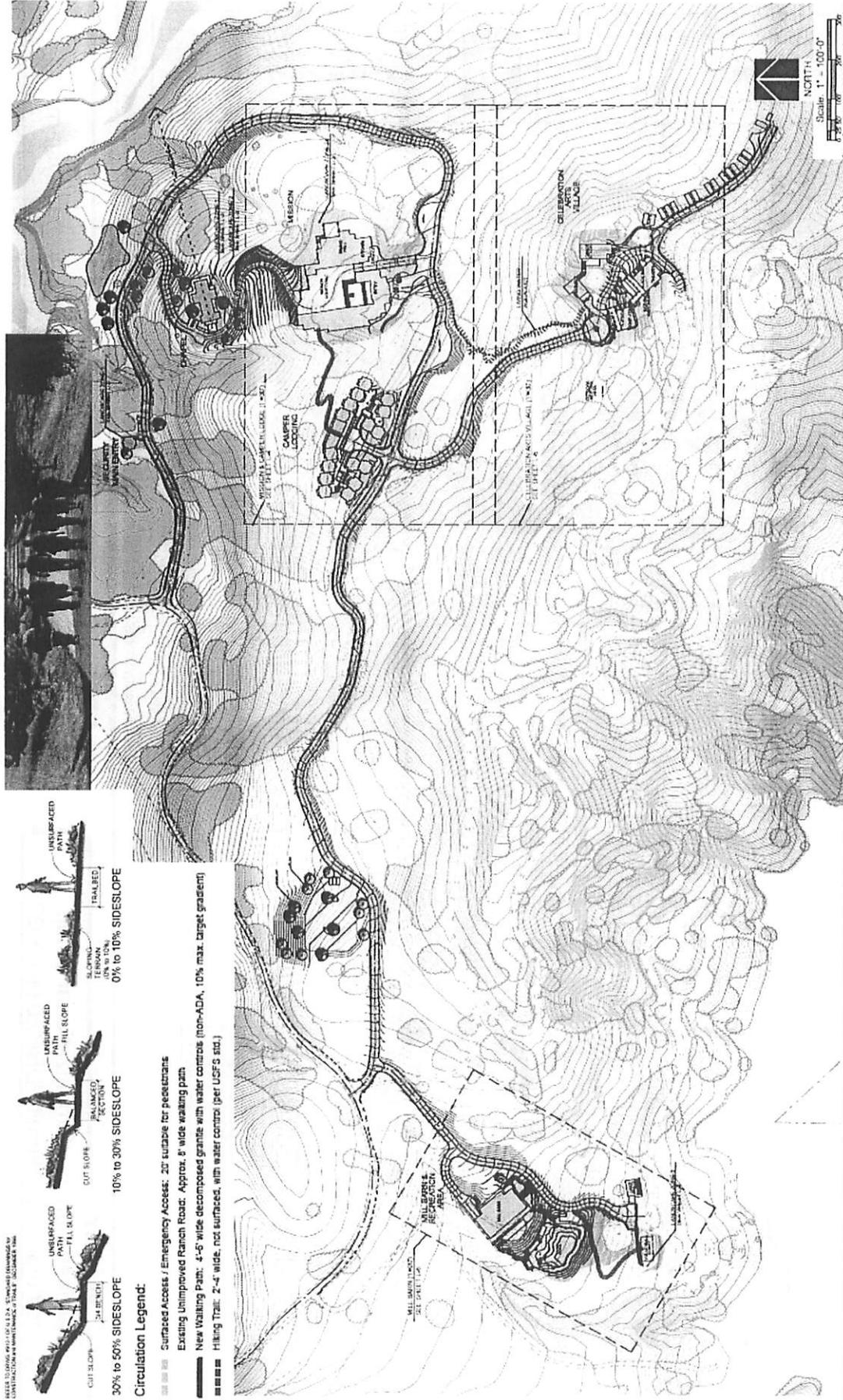
Waste Water System

DATE: 12/15/2011
 DRAWN BY: J. GARCIA
 CHECKED BY: J. GARCIA
 APPROVED BY: J. GARCIA



Circulation Legend:

- Surfaced Access / Emergency Access: 20' suitable for pedestrians
- Existing Unimproved Ramon Road: Approx. 8' wide walking path
- New Walking Path: 4'-6" wide decomposed granite with water controls (non-ADA, 10% max. target gradient)
- Hiking Trail: 2'-4" wide, not surfaced, with water control (per UCSFS std.)



**SITE LANDSCAPE CONCEPT
 & PEDESTRIAN CIRCULATION**

THE GUYER ARCHITECTURE
 green by design

ACE
 ARCHITECTURAL CONSULTANTS

firma
 ARCHITECTURE



Cantinas Ranch Camp
 SITE LANDSCAPE CONCEPT
 & PEDESTRIAN CIRCULATION

L.1

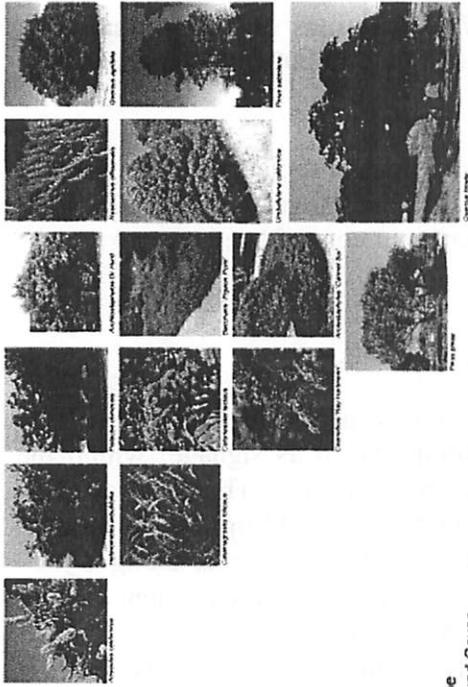
PROJECT

Cantinas Ranch - Organizational Camp
 Conditional Use Permit / DRC2011-00037

EXHIBIT

Site Landscape Concept Plan and
 Pedestrian Circulation



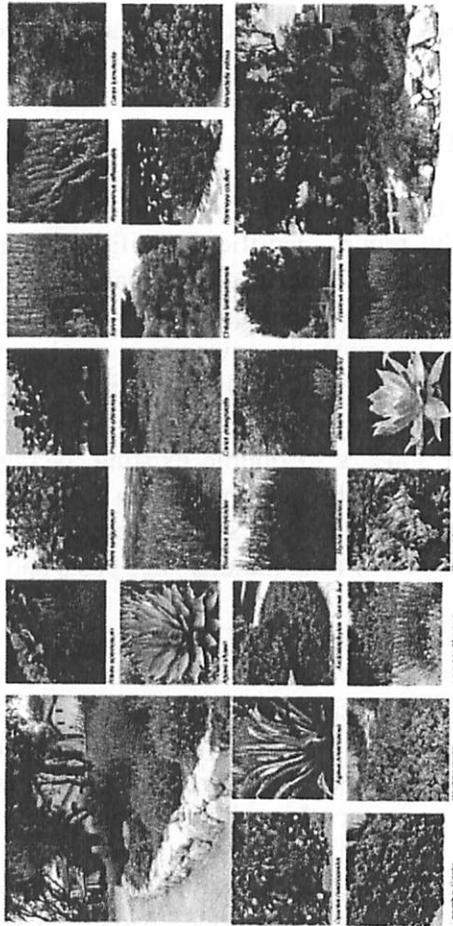


Landscape Character
 The landscape design concept for this project is rooted in two principles: 1) the use of native plants and 2) the use of low water demand plants. The safe concept includes the creation of a sensitive species zone and structures with a 30 foot minimum irrigated low fuel zone and a 70 foot minimum fuel modification zone. Proposed trees and shrubs within this zone placed away from the structures and shrub masses, where used, are in clumps with 12 to 18 feet between them. Fuel ladders have been avoided. Plant selections emphasize low fuel plants.

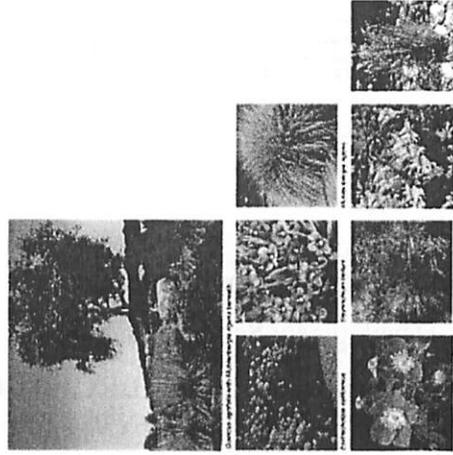
Ecological sensitivity includes no use of plants considered invasive, use of low water demand plants and the predominant use of native plants. The use of native plants is to appear very naturalistic and blend in with the existing landscape. Many areas proposed to be planted with native grassland transitional landscape could include replacement of sensitive native plants displaced by the project.

**Landscape Zone 2:
 30 foot Wide Low Fuel Zone:
 Irrigated Ground Cover, Shrubs & Trees**

**Landscape Zone 2a:
 30 foot Wide Low Fuel Zone: Non-irrigated Slope
 Revegetation & Irrigated Native Grasses & Ground Cover**



Landscape Zone 1: Courtyard and Pedestrian Areas



Landscape Zone 1a: Pond Rim and Waterfalls

Landscape Character: Plants

Landscape Character: Plants

L.2



PROJECT

Cantinas Ranch - Organizational Camp
 Conditional Use Permit / DRC2011-00037

EXHIBIT

Landscape Plants





SAN LUIS OBISPO COUNTY DEPARTMENT OF PUBLIC WORKS

Paavo Ogren, Director

County Government Center, Room 207 • San Luis Obispo CA 93408 • (805) 781-5252
Fax (805) 781-1229 email address: pwd@co.slo.ca.us

MEMORANDUM

Date: December 5, 2012
To: Holly Phipps, North County Team Planner
From: Glenn Marshall, Development Services Engineer
Subject: **Public Works Project Referral for DRC2011-00037 – Cantinas Ranch Foundation, Lynch Canyon Road, Paso Robles, APN 080-011-011, 080-062-023/024/038/039, and 012-211-057/058/059**

Thank you for the opportunity to provide information on the revised proposed subject project, based on supplemental information provided by the applicant dated July 12, 2012 and November 7, 2012. It has been reviewed by several divisions of Public Works, and this represents our consolidated response.

Public Works Comments:

- A. We have reviewed the July 13, 2012 ATE report and have the following comments:
 - a. Although the report identifies specific recommendations (such as signage) within the report there is no defined summary of project mitigations. Therefore we are recommending mitigation conditions which address our Nov 30, 2011 project concerns.
 - b. The report recommends advisory signs be placed at certain locations along Lynch Canyon Road. Public Works does not consider installation of advisory signs project mitigation since they require discretionary Board approval by Ordinance.
 - c. The project appears to double existing average daily traffic and significantly increase truck trips on Lynch Canyon Road, a County maintained gravel road. This increase is expected to accelerate road surface deterioration and cause dust issues which may result in increased county road maintenance costs and response to complaints.
- B. We have reviewed the June, 2012 NCE Hydrology and April 26, 2012 NCE Lynch Canyon Road Storm Drain Culvert Review and have the following comments:
 - a. The three year construction schedule in conjunction with the operation will add numerous heavy loaded truck trips on Lynch Canyon Road which may result in damage to County storm drain facilities. We are recommending that, prior to construction, the applicant be responsible to protect these drainage facilities.
- C. Beyond Oak Shores Drive, Lynch Canyon Road exists as a narrow gravel road providing access to large agricultural and rural land zoned parcels. Lynch Canyon Road may not be appropriate this type of intensive development and it is anticipated that this project may result in impacts on the County's road maintenance resources, specifically costs and increased complaints. We are recommending numerous conditions to minimize these impacts including required car pooling and maintenance of Lynch Canyon Road.

- D. The proposed project triggers road improvements per Board policy (Resolution 2008-152). These widening improvements may result in impacts to existing trees along the road edges. The impacts must be identified on the plans and discussed in the project environmental determination.
- E. The project meets the applicability criteria outlined in Title 22.10.155 or Title 23.04.450 for Stormwater Management; therefore, the project is subject to the NPDES General Permit Attachment 4 Design Standards.
- F. It is recommended that the proposed project be designed to promote groundwater recharge (22.52.140) by application of LID design. Techniques to mitigate the proposed impervious parking and building areas should be implemented.
- G. Drainage plan is required and it will be reviewed at the time of future permit submittals. The applicant should review Chapter 22.52 of the Land Use Ordinance prior to plan submittal.
- H. A portion of the project site work is within the Monterey County Water Resources Agency easement (825-foot contour) surrounding Lake Nacimiento (MCWRA). A condition requiring MCWRA plan review is being recommended.
- I. Recordation of the offsite emergency access easement and a maintenance agreement for the proposed emergency access road should be required prior to issuance of construction permits.

Recommended Project Conditions of Approval:

Access

1. **At the time of application for construction permits**, public improvement plans shall be prepared in compliance with the San Luis Obispo County Improvement Standards and Specifications by a Registered Civil Engineer and submitted to the Department of Public Works. The plan/s is/are to include, as applicable:
 - a. Street plan and profile for widening **Lynch Canyon Road** to an A-1j gravel road section between the project's main entrance and the proposed emergency access road (approximately 0.6 mile). To minimize impacts to oak trees the improved width may be reduced to 20 feet with no shoulders for short lengths and to 18 feet with no shoulders at specific locations.
 - b. Utility plan and profile for installing private water and sewer facilities within **Lynch Canyon Road** in accordance with U-1 standards. Every operator of a subsurface installation shall become a member of, participate in, and share in the costs of, a regional notification center, (USA). In the event it becomes necessary, in the opinion of the County, to remove or relocate the private encroachment it such shall be accomplished by, and at the sole expense of, the permittee, and within such time and manner as may be required by the County.
 - c. All new project access road connections to **Lynch Canyon Road** shall be constructed to accommodate the design vehicle turning movements and sight distance in accordance with County Public Improvement Standards.
 - d. Construct improvements to **Lynch Canyon Road** in accordance with North Coast Engineering culvert review exhibit dated 4/26/2012 (on file with the Department of Public Works). Work shall include:

- i. Sta ±130+50: Raise road surface to provide a minimum cover over the existing 12” storm drain.
 - ii. Sta ±181+40: Adjust existing 16” CMP culvert or raise road surface to provide a minimum cover over the existing 16” storm drain.
 - iii. Sta ±190+50: Raise road surface to provide a minimum cover over the existing 12” storm drain.
 - iv. Sta ±197+85: Adjust existing 18” CMP culvert or raise road surface to provide a minimum cover over the existing 18” storm drain.
 - e. Drainage ditches, culverts, and other structures (if drainage calculations require).
 - f. For improvements to Lynch Canyon Road provide evidence satisfactory to Public Works that the Army Corps of Engineers and the California Department of Fish and Game environmental permits have either been secured or that the regulatory agency has determined that their permit is not required.
 - g. For improvements to Lynch Canyon Road within the Monterey County Water Resources Agency easement (825-foot elevation contour surrounding Nacimiento Lake) provide evidence satisfactory to Public Works that either permission has been secured or that the agency has determined that their approval is not required.
 - h. Tree removal/retention plan for trees to be removed and retained associated with the required Lynch Canyon Road improvements. The plan shall be approved jointly with the Department of Planning and Building.
2. **At the time of application for construction permits, the applicant shall provide evidence to the Department of Planning and Building;**
- a. That all onsite access roads and associated roadway structural sections have been designed and shall be constructed in conformance with Cal Fire requirements.
 - b. That the private offsite emergency access bridge, access road and associated roadway structural section have been designed and shall be constructed in conformance with Cal Fire requirements.
 - c. Submit road maintenance agreement which establishes an organized and perpetual mechanism to ensure adequate maintenance of the private offsite emergency access road that is acceptable to the Oak Shores Community Association for approval by the County. The road maintenance agreement shall be binding upon their heirs and assigns, and the approved document shall be recorded in the office of the County Recorder prior to occupancy.
 - d. Submit a private offsite emergency access easement agreement that is acceptable to the Oak Shores Community Association for approval by the County. The approved document shall be recorded in the office of the County Recorder prior to occupancy.
3. **At the time of application for construction permits, the applicant shall submit a *Transportation Management Plan* (TMP) prepared by a licensed civil or traffic engineer for review and approval by the Planning and Building Department, in consultation with the Public Works Department. At a minimum, the plan elements shall include:**
- a. The recommendations of the draft Transportation Management Plan prepared by ATE on July 13, 2012 (11049L07.WP)

- b. A construction phase traffic and parking management plan to minimize vehicle trips. The plan must require carpooling of the work force and schedule deliveries outside the peak hour.
 - c. The total number of project related trips shall not exceed 56 on Monday thru Friday and 104 on weekends and holidays. One trip is defined as either coming to or exiting the project site. This shall be accomplished by:
 - i. A mandatory car pool program for all camp staff (owners, employees, counselors, etc) such that no more than 30 vehicles are allowed to park onsite and restricting the number of trips to 48 on weekdays and 60 on weekends.
 - ii. A mandatory van pool program for all camp guests and visitors restricting the number of trips to 6 on weekdays and 40 on weekends. The owner shall either provide vans or contract with an outside service.
 - iii. Limiting delivery services to off-peak hours, combining deliveries, and restricting delivery trips to 2 on weekdays and 4 on weekends.
 - iv. Establish a program which prohibits guests and visitors from using their private vehicles to access the project.
 - v. Establish a policy which prohibits non-registered guests (the general public) from visiting the project.
 - d. Identify approved private offsite park-and-ride facilities.
 - e. Prepare an onsite circulation access plan which limits the amount and type of vehicle trips that use Lynch Canyon Road between the project facilities, including the equestrian center, and limits to utilize onsite roads, paths and trails to the maximum extent possible.
 - f. Designate the project owner as Transportation Management Plan coordinator and provide their contact information.
 - g. Prepare and implement a program to record and enforce compliance with the approved Transportation Management Plan. Submit compliance and enforcement records on a
4. **At the time of application for construction permits**, the applicant shall post a cash deposit and enter into an agreement with Public Works for the cost of checking the improvement plans and the cost of inspection of any such improvements by the county or its designated representative. The applicant shall also provide the county with an Engineer of Work Agreement retaining a Registered Civil Engineer to furnish construction phase services, Record Drawings and to certify the final product to the Department of Public Works.
5. **Prior to issuance of construction permits**, the applicant shall post a damage bond and secure an Encroachment Permit to provide ongoing surface maintenance and dust control along Lynch Canyon Road between Oak Shores Drive and the most westerly project driveway.
6. **Prior to issuance of construction permits**, the applicant shall pay Public Works a Road Improvement Fee based on the current afternoon peak hour rate for Tract 1990 to offset the projects proportional impact to Nacimiento Lake Drive as identified in the EIR for the Heritage Ranch Phasing Plan and based upon the weekday PM peak hour trips calculated in the 10/9/2012 ATE Report (13 total trips). The fee is subject to annual adjustment based on the Caltrans Construction Cost Index.
7. **Prior to occupancy or final inspection**, a Registered Civil Engineer must certify to the Department of Public Works that the Lynch Canyon Road widening, drainage and driveway improvements are made in accordance with all conditions of approval, including any related land use permit conditions and the approved improvement plans. All public improvements shall be completed prior to occupancy of any new structure.

8. **On-going condition of approval (valid for the life of the project)**, and in accordance with County Code Section 13.08, no activities associated with this permit shall be allowed to occur within the public right-of-way including, but not limited to, project signage; landscape planting; fences; private utility placement etc without a valid Encroachment Permit issued by the Department of Public Works.
9. **On-going condition of approval (valid for the life of the project)**, the property owner(s) shall adhere to and enforce the intent of the *Transportation Management Plan*. Amendments to the *Transportation Management Plan* may be allowed but must be submitted by a registered civil or transportation engineer for prior approval by the County Planning and Building Department, in consultation with the Department of Public Works.

Drainage

10. **At the time of application for construction permits**, the applicant shall submit complete drainage calculations for review and approval in accordance with Sections 22.52.110 (Drainage Plan Required) of the Land Use Ordinance.
11. **At the time of application for construction permits**, the applicant shall submit complete erosion and sedimentation control plan for review and approval in accordance with 22.52.120.
12. **At the time of application for construction permits**, the applicant shall submit evidence satisfactory to the County Planning and Building Department that construction within the Monterey County Water Resources Agency easement (825-foot elevation contour surrounding Nacimiento Lake) has either been secured or that the agency has determined that their approval is not required.
13. **At the time of application for construction permits**, the applicant shall demonstrate that the project construction plans are in conformance with the Source Control Best Management Practices as identified for project incorporation in the applicant's *Stormwater Quality Plan Application for Priority Projects*.
14. **On-going condition of approval (valid for the life of the project)**, the project shall comply with the requirements of the National Pollutant Discharge Elimination System Phase I and / or Phase II storm water program and the County's Storm Water Pollution Control and Discharge Ordinance, Title 8, Section 8.68 et sec.

Stormwater Pollution Prevention

15. **At the time of application for construction permits**, the applicant shall submit a draft "Private Stormwater Conveyance Management and Maintenance System" exhibit for review and approval by the County.
16. **Prior to issuance of construction permits**, the applicant may be required to record with the office of the County Recorder the "Private Stormwater Conveyance Management and Maintenance System" to document on-going and permanent storm drainage control, management, treatment, disposal and reporting.

Recycling

17. **At the time of application for construction permits**, the applicant shall submit evidence that the design and construction of internal roads provides for safe travel, accessibility and collection by waste and recycling trucks. The camp design and construction team shall consult with San Miguel

Garbage or other currently permitted garbage/recycling provider in that service area to determine the accessibility needs for collection and requirements for safe travel.

- 18. On-going condition of approval (valid for the life of the project), the applicants shall:**
- a. Provide recycling opportunities to all facility users at all events in accordance with Ordinance 2008-3 of the San Luis Obispo County Integrated Waste Management Authority (mandatory recycling for residential, commercial and special events).
 - b. Develop policies and programs for reducing waste overall, including use of durable goods, elimination of single-serving drink and water containers, composting food scraps, easily accessible recycling, encourage clients and staff to bring camp only sustainably-produced/ recyclable or compostable materials and gear, and other strategies. Implementation of these policies and programs shall begin upon completion of Phase One.
 - c. The project should be encouraged to attain a Zero Waste status in construction and operations.
 - d. Reduce waste to the mandated level current at the time of project development.
 - e. Recycle and/or compost materials (generated by the use of the facilities by the clients and staff) shall be operational.
 - f. If "curbside" recycling and food/green waste collection are not available, the project must find alternative means to achieve at least 70% recycling/waste reduction.
 - g. Manure shall also be composted in an appropriately permitted manner.
 - h. Construction debris should achieve the percentage of waste diversion required when the development permit(s) is issued.

Ref: Nov 20, 2011 Public Works Referral

V:\DEVSERV Referrals\Land Use Permits\Conditional Use Permits\DRC11-00037 Cantinas Ranch Foundation, Lynch Cyn Rd, PR.doc



Air Pollution Control District
San Luis Obispo County

SLO CNTY
PLANNING/BUILDING
DEPT

2012 NOV 15 PM 2:32

November 15, 2012

Holly Phipps
SLO County Department of Planning & Building
County Government Center
San Luis Obispo, CA 93401

SUBJECT: APCD Comments Regarding the Cantinas Ranch Camp Project Referral
(DRC2011-00037)

Dear Ms. Phipps,

Thank you for including the San Luis Obispo County Air Pollution Control District (APCD) in the environmental review process. We have completed our review of the proposed faith-based camp development that would be next to Lake Nacimiento, approximately 30 miles northwest of Paso Robles. Access to the site would include driving on approximately 3.1 miles of unpaved Lynch Canyon Road, as well as a relatively short distance on unpaved roads from Lynch Canyon Road to the camp facilities. The camp facilities totaling 90,237 square feet would occupy approximately 8.6-acres of the property's 560-acres. These facilities would include a chapel, a mission complex with offices, dining hall, etc., a performing arts complex, lodging for campers and staff, and a recreational complex. The proposed development design includes green building principles and environmental sensitivity in construction and operational aspects. *The following are APCD comments that are pertinent to this project.*

GENERAL COMMENTS

As a commenting agency in the California Environmental Quality Act (CEQA) review process for a project, the APCD assesses air pollution impacts from both the construction and operational phases of a project, with separate significant thresholds for each. **Please address the action items contained in this letter that are highlighted by bold and underlined text.**

CONSTRUCTION PHASE IMPACTS-Below Threshold

The APCD evaluated the construction impacts of this project using the CalEEMod2011.1.1 computer model, a tool for estimating construction emissions related to the development of land uses. This indicated that construction phase impacts will likely be less than the

APCD's significance threshold values of 137 lbs/day of ROG + NO_x and/or 2.5 tons/quarter of ROG + NO_x, 7 lbs/day and/or 0.13 tons/quarter of DPM or 2.5 tons/quarter of fugitive dust. **Therefore, with the exception of the requirements below, the APCD is not requiring other construction phase mitigation measures for this project.**

Asbestos / Naturally Occurring Asbestos

Naturally occurring asbestos (NOA) has been identified by the state Air Resources Board as a toxic air contaminant. Serpentine and ultramafic rocks are very common throughout California and may contain naturally occurring asbestos. The SLO County APCD has identified areas throughout the County where NOA may be present (see the APCD's 2009 CEQA Handbook, Technical Appendix 4.4). If the project site is located in a candidate area for Naturally Occurring Asbestos (NOA), the following requirements apply. Under the ARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, **prior to any construction activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed. If NOA is not present, an exemption request must be filed with the APCD.** If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. If NOA is not present, an exemption request must be filed with the Air District. More information on NOA can be found at <http://www.slocleanair.org/business/asbestos.php>.

Dust Control Measures

Construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. **Projects with grading areas that are greater than 4-acres shall implement the following mitigation measures to manage fugitive dust emissions such that they do not exceed the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402):**

- a. Reduce the amount of the disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- c. All dirt stock pile areas should be sprayed daily as needed;
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible, following completion of any soil disturbing activities;
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive, grass seed and watered until vegetation is established;
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;
- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;

- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site;
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible;
- l. All PM₁₀ mitigation measures required should be shown on grading and building plans; and,
- m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.

Developmental Burning

Effective February 25, 2000, **the APCD prohibited developmental burning of vegetative material within San Luis Obispo County.** If you have any questions regarding these requirements, contact the APCD Enforcement Division at 781-5912.

OPERATIONAL PHASE IMPACTS - Exceeds Threshold

The APCD staff considered the operational impact of this development using the CalEEMod2011.1.1 computer model, a tool for estimating vehicle travel, fuel use and the resulting emissions related to this project's land uses. This indicated that operational phase impacts will significantly exceed the APCD's CEQA significance threshold value of 25 pounds per day for fugitive particulate matter (PM₁₀) as identified in Table 3-2 in the CEQA Handbook. **Therefore, the APCD recommends the following operational phase mitigation:**

Unpaved Roads, Driveways, and Parking Areas

For the unpaved portion of the route to access the site (i.e. Lynch Canyon Road from Oak Shores Drive to the camp's facilities), implement one of the following:

- a. For the life of the project, pave and maintain the roads, driveways, and parking areas; or,
- b. For the life of the project, maintain the unpaved roads, driveways, and parking areas with a dust suppressant (See Technical Appendix 4.3 of the APCD's CEQA Handbook for a list of APCD-approved suppressants) such that fugitive dust emissions do not exceed the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402); and
- c. To improve the dust suppressant's long-term efficacy, the applicant shall also implement and maintain design standards to ensure vehicles that use the on-site unpaved road are physically limited (e.g., speed bumps) to a posted speed limit of 15 mph or less.

If the project's access involves a county owned and maintained road, the applicant shall work with the applicable Public Works Department to ensure that the mitigation follows the agency's road standards for that section of road. The applicant may propose other measures of equal effectiveness as replacements by contacting the APCD's Planning Division at 781-5912.

Equestrian Facility

Another potential source of fugitive dust can come from equestrian facilities, which may be a nuisance to local residents. **To minimize nuisance impacts and to reduce fugitive dust emissions from equestrian facilities the following mitigation measures should be incorporated into the project:**

- Reduce the amount of the disturbed area where possible;
- Permanent dust control measures shall be implemented as soon as possible following completion of any soil disturbing activities;
- Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust emissions from exceeding the APCD 20% opacity limit (APCD Rule 401) or prompt nuisance violations (APCD Rule 402). Increased watering frequency whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water shall be used whenever possible;
- All disturbed soil areas not subject to revegetation shall be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD; and
- A person or persons shall be designated to monitor for dust and implement additional control measures as necessary to prevent transport of dust offsite. The monitor's duties shall include holidays and weekend. The name and telephone number of such persons shall be provided to the APCD prior to operation of the arena.

Again, thank you for the opportunity to comment on this proposal. If you have any questions or comments, feel free to contact me at 781-5912.

Sincerely,



Andy Mutziger
Air Quality Specialist

AJM/arr

cc: Cantinas Ranch Foundation
Tim Fuhs, Enforcement Division, APCD



CAL FIRE
San Luis Obispo
County Fire Department

635 N. Santa Rosa • San Luis Obispo, CA 93405
Phone: 805-543-4244 • Fax: 805-543-4248
www.calfireslo.org



Robert Lewin, Fire Chief

COMMERCIAL FIRE PLAN REVIEW

January 24, 2012

County of San Luis Obispo
Department of Planning & Building
County Government Center
San Luis Obispo, CA. 93408

Ms. Phipps,

I have reviewed the Fire Safety Plan Application, New Referral Information and Project Information/plans (North Coast Engineering) submitted for the proposed large scale organizational camp project to be located on 560+ acres off Lynch Canyon Road near the community of Oak Shores, CA. The project is located in State Responsibility Area (SRA) for purposes of wildland fire protection and within a **“Very High”** Fire Hazard Severity Zone. The proposed project site has an approximate **20 minute** response time from the nearest fully staffed CAL FIRE/San Luis Obispo County Fire station (#33-Heritage Ranch). The project and applicant shall comply with the 2010 California Fire Code (CFC), the 2010 California Building Code (CBC), the Public Resources Code (PRC) and any other applicable fire laws.

Concerns:

Upon conducting an extensive and on-going review of the proposed project, as well as accounting for the remote location, CAL FIRE/San Luis Obispo County Fire Department finds that this project may be an inappropriate use within an area having an extended fire engine response time of approximately 20 minutes where emergency services are not readily available.

The cumulative effects of organizational camp projects, large scale special events, Bed & Breakfast type occupancies and intensified commercial operations within areas such as this, continue to place significant challenges upon the ability of CAL FIRE/County Fire to provide emergency services within rural areas.

Roof Coverings:

The roof type for all structures involved with the proposed project will have to be consistent with the requirements of Chapter 7A and Chapter 15 of the 2010 California Building Code (CBC) and no less than a **Class “A”** roofing assembly.

Roof Access:

- All buildings over 18 feet in height will have fixed laddering at two exterior remote locations or provide landscaping which reduces the ladder access height to 18 feet. The exception to this requirement is if the building has a protected stairway to the roof.

- Buildings must have a protected stairway access to the roof if the building is over 25 feet in height and the building is over 5,000 square feet in area. The stairwell must be accessible from the exterior of the building and at a location approved by the Fire Department. A permanently attached sign must be posted stating "Roof Access".
Exception: Roof access is not required if the roof has a slope steeper than 6 units vertical and 12 units horizontal (50%).
- Buildings over 20,000 square feet in area and over 18 feet in height will have a dry or wet 2-1/2 inch standpipe system which includes a 2-1/2 inch outlet on the roof near the roof access in an approved location. The standpipe fire department connection (FDC) must be labeled and located at a fire department approved location.
- All buildings that are greater than 12,000 square feet in area and that will be used for high piled storage, and buildings of undetermined use capable of high piled storage, will be required to have a smoke and heat removal system as required in Chapter 32 of the 2010 California Fire Code, for Commodity Classifications I-IV.

Water Supply Connection:

Pressurized fire hydrants are to be located as outlined in Chapter 5 & Appendix C of the 2010 California Fire Code (CFC). Plans shall be submitted to the County Fire Department for approval of the distribution system and hydrant locations. Fire hydrants shall have two, 2 1/2 inch outlets with National Standard Fire threads and one 4 inch suction outlet with National Standard Fire threads and comply with County Standard W-2 (August 2006). Each hydrant shall be identified by a blue reflective dot located on a non-skid surface located just off of center on the fire hydrant side. Hydrants must be protected from vehicle impact with the use of curbing or bollards.

Fire Flow Requirements outside Community Water Systems:

A ***minimum*** of 180,000 gallons of water storage shall be dedicated to fire suppression purposes. The required commercial fire sprinkler system (NFPA 13) and the fire hydrants shall dictate the exact amount of water required to be held in storage dedicated to fire suppression purposes. N.F.P.A. 13, 20, 22, 25 and 1142 are required to be utilized when designing, installing, testing, operating and maintaining the fire protection systems for this project. Water storage tank(s) shall have a sight gauge and fill automatically from the water source. Each hydrant shall be identified with a blue reflective dot. Hydrants must be protected from vehicle impact with the use of curbing or bollards.

A Registered Fire Protection Engineer shall determine the exact amount of water required in storage to be dedicated to fire suppression purposes. Water required for domestic or landscaping use is in addition to or separate from that required for fire suppression purposes.

Given the project size, remote location and occupancy classifications, a secondary power supply will be required to ensure continued operation of the emergency fire/life safety systems during power outages.

Fire Protection Systems:

A Fire Alarm System is ***required*** as outlined in CBC Section 907 & County Code 19.20.019(b) for all buildings. The alarm system shall comply with NFPA 72. The alarm system shall terminate at a 24-hour monitoring point (CFC Section 907). Three sets of plans shall be submitted to the County Fire Department for approval.

This project will require a commercial fire sprinkler system in all buildings regardless of size.

The type of sprinklers required will depend on the occupancy type and must comply with NFPA 13, 20, 22. The applicant will have to identify what Hazard Class the project is for review by the fire department (exp. Ordinary Hazard Class II), for each of the buildings in the project. Three sets of plans and calculations shall be submitted for functional review and approval to the County Fire Department. The contractor shall be licensed by the State of California, CFC 903. A licensed alarm company shall monitor the fire sprinkler and alarm system.

The fire department connection (FDC) supporting the sprinkler systems shall be located within 20 feet of a County standard hydrant and visible on fire engine approach to the building. A letter from the monitoring company shall be submitted to the County Fire Department verifying service.

Technical Report:

A Fire Protection Engineer shall be required to review the fire Protection systems and proposed water supply for the entire project.

A list of Fire Protection Engineers is available on our website at <http://www.calfireslo.org>. The Fire Protection Engineer will require that you provide working plans as outlined in NFPA 13, 14.1 (2002). The Fire Protection Engineer will be required to send an original letter of their project review when completed, including all changes needed.

Portable Fire Extinguishers:

Portable fire extinguishers shall be installed in all the occupancies in compliance with the California Fire Code (CFC) Section 906 and Title 19. The contractor shall be licensed by the State Fire Marshal.

Exiting:

All egress and exiting requirements shall comply with *Chapter 10 – Means of Egress* of the 2010 California Building Code to provide egress from the building to the public way.

Building Set Backs:

A minimum 30-foot setback shall be provided from all property lines, PRC 4290, Section 1276.01.

Note: Setbacks are subject to County Planning Department approval.

Commercial Access Road(s):

- A commercial access road must be 24 feet wide.
- Parking is only allowed where an additional 8 feet of width is added for each side of the road that has parking.
- “No Parking - Fire Lane” signs will be required.
- Fire lanes shall be provided as set forth in the California Fire Code (CFC) Section 503.
- Fire access shall be provided within 150 feet of the outside building perimeter.
- Must be an all weather non-skid paved surface.
- All roads must be able to support a fire engine weighing 40,000 pounds.
- Vertical clearance of 13’6” is required.

Based upon the remote location and limited access of the proposed project site, properly designed and installed secondary access is required – California Fire Code (CFC) Section 503.1.2.

Gates:

- Must be setback from the road a minimum of 30 feet from the intersection.
- Must automatically open with no special knowledge.
- Must have a KNOX key box or switch for fire department access. Call the Prevention Bureau for an order form at (805) 543-4244.
- Gate shall have an approved means of emergency operation at all times.
- Gate must be 2 feet wider than the road on each side.
- Gates must have a turnaround located at each gate.

Addressing:

Address numbers must be legible from the roadway and on all buildings. They shall be on a contrasting background and a minimum of 8 inches high with a ½” stroke for commercial and 10 inches high for industrial. All occupancies shall have a distinct address.

A monument sign displaying the location of all buildings in the complex must be displayed in a prominent location at the entrance to the facility (California Fire Code Section 505). Streets and roads shall be identified with approved signs. California Fire Code (CFC) Section 505.2.

CAL FIRE/County Fire will assist the applicant and/or their agent with ensuring a proper approach to safe and adequate premise identification. Design and placement of all required road signage must be reviewed and approved by this department prior to purchase and placement.

Emergency Access:

All commercial buildings shall have installed a Knox key box for fire department emergency access - 2010 California Fire Code (CFC) Section 506. The box shall be installed prior to final inspection of the building. An order form is available from the Prevention Bureau, call for more information at (805) 543-4244.

Defensible Space and Construction Type:

Each building site will be built with a "Defensible Space." Public Resource Code 4291 requires all structures to provide a 100 foot clearance free of flammable vegetation around all structures. This project must comply with the 2010 California Building Code (CBC) Chapter 7A - "Materials and Construction Methods for Exterior Wildfire Exposure." Building sites should be located so that the structure is not directly above or below a topographic "chimney." All landscaping should be of fire resistive plants, preferably natives.

A Wildland Fire/Vegetation Management Plan must be developed by the applicant and/or their agent. The document must be approved by CAL FIRE/San Luis Obispo County Fire Department.

Building Signage: All interior & exterior doors providing access to fire protection or building systems shall be labeled. Examples: electrical, fire alarm control panel, fire riser, standpipes, test valves, roof access etc. The signs shall be a minimum size of 12" x 12" with characters at least 1-inch high in block lettering with a minimum of 1/4" stroke. The lettering shall be of a contrasting color to the sign background.

Fire Safety during Construction:

Prior to construction, an operational water supply system and established access roads must be installed. California Fire Code (CFC) Section 501, 503 and 507. During construction all applicable Public Resources Codes must be complied with to prevent a wildfire. These will include the use of spark arresters, adequate clearance around welding operations, smoking restrictions and having extinguishers on site. The Industrial Operations Fire Prevention Field Guide will assist the applicant.

Emergency Plans:

An emergency plan will be developed and written for medical aids, structure fires, wildland fires and other types of emergencies. This plan should include an inventory of equipment and its location, trained personnel and their responsibilities, evacuation procedures of buildings, trails and other facilities, identification of safe refuge areas, facility evacuation and any other pertinent information. The plan should include a site map (NFPA 1620 and California Fire Code Section 10).

If I can provide additional information or assistance on this mater, please don't hesitate to contact me at (805) 543-4244, extension 3425.

Sincerely,



Clinton I. Bullard
Fire Inspector

c: Kirk Consulting, Agent



COUNTY OF SAN LUIS OBISPO

Department of Agriculture/Weights and Measures

2156 SIERRA WAY, SUITE A • SAN LUIS OBISPO, CALIFORNIA 93401-4556

(805) 781-5910 • FAX (805) 781-1035

Martin Settevendemie

Agricultural Commissioner/Sealer

www.slocounty.ca.gov/agcomm

AgCommSLO@co.slo.ca.us

DATE: January 18, 2013
TO: Holly Phipps, Project Manager
FROM: Lynda L. Auchinachie, Agriculture Department
SUBJECT: Cantinas Ranch Foundation Conditional Use Permit DRC2011-00037 (1632)

The Agriculture Department's review finds that the proposed Cantinas Ranch Foundation Conditional Use Permit for an organizational camp on a 560 acre project site within the Rural Lands category will have less than significant impacts to agricultural resources or operations. The Department recommends the following to minimize potential land use incompatibilities with neighboring agricultural operations due to camp activities such as hiking and biking:

- Establish and implement guidelines to ensure that camp participants do not trespass onto neighboring properties.

Comments and recommendations are based on policies in the San Luis Obispo County Agriculture Element, Conservation and Open Space Element, the Land Use Ordinance, the California Environmental Quality Act (CEQA), and on current departmental policy to conserve agricultural resources and to provide for public health, safety and welfare while mitigating to the extent feasible the negative impacts of development to agriculture.

If you have questions, please call 781-5914.

Project Description and Agricultural Setting

The project site is located on Lynch Canyon Road, on the northern shore of Lake Nacimiento. The 560 acre site is located within the Rural Lands land use categories. Proposed organizational camp development is generally concentrated on the interior portions of the project site. The project site is generally steep and covered with oak woodland habitat. The site has limited forage production potential.

Surrounding properties support limited cattle grazing. Properties to the north are under Williamson Act contract

Impacts to Agricultural Resources

The proposed development would result in the development of an organizational camp on an approximately 130 acre project site. In general, the project has been designed to be compatible with surrounding agricultural uses by locating proposed development an adequate distance from off-site agricultural resources/operations and along existing internal roadways away consistent with AGP 18 – Location of Improvements. Impacts to agricultural resources will be less than significant; however, the Department recommends the following to minimize potential land use incompatibilities with neighboring agricultural operations due to camp activities such as hiking and biking:

- Establish and implement guidelines to ensure that camp participants do not trespass onto neighboring properties.



3
SAN LUIS OBISPO COUNTY

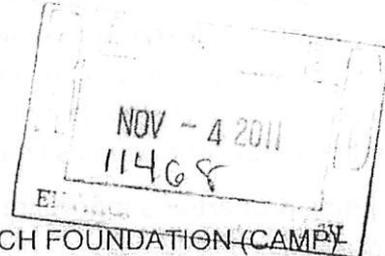
DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/26/2011

TO: Env. Health

FROM: Holly Phipps, North County Team



PROJECT DESCRIPTION: DRC2011-00037 CANTINAS RANCH FOUNDATION (CAMP)
Conditional use permit for an organizational camp with approximately 90,250 sf of structures. 560+ acre site located off Lynch Canyon Road in Paso Robles. APNs: 080-011-011, 080-062-023, 024, 038, 039, 080-023-024, 038, 039, 012-211- 057, 058, 059.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Please see attached

11/14/11
Date

[Signature]
Name

x 5551
Phone



SAN LUIS OBISPO COUNTY HEALTH AGENCY

Public Health Department

2191 Johnson Avenue
San Luis Obispo, California 93401
805-781-5500 • FAX 805-781-5543

Jeff Hamm
Health Agency Director

Penny Borenstein, M.D., M.P.H.
Health Officer

November 14, 2011

To: Holly Phipps, North County Team
Department of Planning and Building

From: Leslie Terry
Environmental Health

Project Description: DRC2011-00037 CANTINAS RANCH FOUNDATION (CAMP)
CUP, Organized Camp

Please see below for our referral comments for the above-mentioned project.

- Applicant will need a Public Water Supply Permit regulated by this office for a Transient-Noncommunity Water System. Applicant to contact Leslie Terry in this office at (805) 781-5551 for assistance with this permit.
 - note: there are requirements for periodic testing (Inorganics, Volatile Organics, etc.) of the water in addition to monthly Bac-T tests
- Applicant to contact Jeremiah Damery in this office at (805) 781-5548 regarding plan check for the food facility(s) and pools.
- Applicant will need an Organized Camp Permit (application attached), a Food Facility Permit, Water Supply Permit and Pool Permit prior to operation.
- Applicant to return attached Hazardous Materials Business Plan Exemption Flowchart to this office. Please note that hazardous materials include pool chemicals, fuels, pesticides, herbicides, etc. Contact Linnea faulkner at (805) 781-4917 with any questions regarding this document.



COUNTY OF SAN LUIS OBISPO

Environmental Health Services

2156 Sierra Way – PO Box 1489, San Luis Obispo, California 93406
Phone: (805) 781-5544 Fax: (805) 781-4211

Application for Organized Camp Permit

THIS IS NOT A PERMIT TO OPERATE. YOU MUST OBTAIN WRITTEN APPROVAL FROM THIS DEPARTMENT BEFORE OPERATING.

1. Camp Information

Date: _____

Name of Camp:			
Physical Location:			City:
Mailing Address:		City:	Zip:
Name of Camp Director/Representative:		Phone:	Fax:
Camp Email:		Camp Web Address:	
Camp/Property Owner:			Phone:
Type of Operation:	Residential Camp	Rental and Lease Program	Residential <u>AND</u> Rental and Lease Program

2. Organization Information (If Rental Group Different From Above)

Name of Organization:			
Mailing Address:		City/State:	Zip:
Name of Organization Representative:		Phone:	Fax:
Organization Email:		Organization Web Address	

3. Operational Details

Date Staff Arrives:		Date Camp Opens:				
Total Length of Camp Operation:		Seasonal	Year Round	Length of Each Camp Session		
Number of Camp Staff:		Number of Child Campers:		Number of Adult Campers:		
Food Service Provided:		Yes	No	Swimming Pool Activities Provided:	Yes	No
List All Recreational Activities Available to Campers, Use Additional Pages if Necessary:						

For Department Use Only. Do Not Write Below This Line

DATE: _____ FACILITY ID #: _____ PROGRAM ID #: _____ PE: 2444 INITIALS _____

COMMENTS:

APPROVED TO ISSUE PERMIT YES NO APPROVED BY: _____, EHS DATE: _____

IF NO, STATE REASON PERMIT NOT APPROVED:



**Fw: DRC2011-00037 CANTINAS RANCH FOUNDATION, North County
E-Referral, (CUP, Paso Robles)**

Chris Shaeffer to: hhipps
Cc: gdmarshall

11/03/2011 08:32 AM

Caltrans has no comments on this project as presented.

And, I didn't read / see anything about this, however, given the project emphasis on the performing arts, you may want to scrutinize the existing documentation (or any new docs that come in) as to whether or not there are any indications that the applicant may want to add public concerts (whether free or paying) to the project description - either with this CUP or in the future. That could have ramifications on traffic.

Chris Shaeffer
Caltrans Dist 5
Development Review
(805) 549.3632

----- Forwarded by Chris Shaeffer/D05/Caltrans/CAGov on 11/03/2011 08:26 AM

<plreferrals@co.slo.ca.us>
Sent by:
<tjamison@co.slo.ca.us>

11/02/2011 04:51 PM

To
<ttomlinson@co.slo.ca.us>,
<gdmarshall@co.slo.ca.us>,
<wwilkes@co.slo.ca.us>,
<aarlingenet_apcd@co.slo.ca.us>,
<aroslan_apcd@co.slo.ca.us>,
<cjourney@co.slo.ca.us>,
<shicks@co.slo.ca.us>,
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Phillip Hammer
<PHammer@waterboards.ca.gov>, Julia
Dyer <JDyer@waterboards.ca.gov>,
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<tjamison%co.slo.ca.us@co.slo.ca.us>,
<hhipps@co.slo.ca.us>,
<knall@co.slo.ca.us>

cc

<hhipps@co.slo.ca.us>

Subject

DRC2011-00037 CANTINAS RANCH
FOUNDATION, North County
E-Referral, (CUP, Paso Robles)