

# CHAPTER 7: PLANNING AREA STANDARDS



This chapter contains special “standards” for the North Coast planning area. Standards are mandatory requirements for development, designed to handle identified problems in a particular rural area, or to respond to concerns in an individual community. Planning area standards can range from special setbacks in one neighborhood, to limits on the kinds of land use normally allowed by the LUE (Table O, or Coastal O Part I) because of certain community conditions.

These standards apply to the planning and development of new land uses, and must be satisfied for a new land use permit to be approved, and for a newly constructed project to be used. All standards listed in this area plan may not affect the entire planning area. Most apply to specific communities or rural locations.

North Coast area standards are organized under several headings describing locations in the planning area where they apply. Standards are grouped first by community, then by land use category, and finally under headings naming a specific area where the standard must be satisfied.

These requirements apply to proposed projects in addition to provisions of the Land Use Ordinances. Where these standards conflict with the LUO, or CZLUO, these standards control. In any case where this area plan designates a property in the Open Space or Recreation land use categories, in the Sensitive Resource or Historic Area combining designations, or where the LUE identifies a need for open space preservation through easement, contract or other instrument, such designation does not in and of itself convey or imply any right of public use, access, trespass or violation of privacy.

Land dedications and other exactions identified in this Plan are intended to mitigate the impacts of specific development proposals, and to ensure consistency with the Local Coastal Program. In some circumstances the County may conduct a nexus and proportionality study, to provide the practical and legal basis for the proposed exactions. Dedications and exactions will be pursued consistent with Section 30001.5 of the California Coastal Act considering the need to:

1. Assure orderly, balanced use and conservation of coastal zone resources taking into account the social and economic needs of the people of the state; and
2. Maximize public access to and along the coast and maximize public recreation opportunities in the coastal zone consistent with sound resource conservation principles and constitutionally protected rights of private property owners. (Mod51)

Planning Area Standards are organized under several headings describing locations in the Planning Area where they apply. Standards are grouped first by community, then by land use category, and finally under headings naming a specific area or location where the standard must be satisfied.

## **Chapter Organization**

- A. **RURAL AREA STANDARDS.** Sections contain standards that apply only to land outside of urban and village reserve lines.
- B. **CAMBRIA URBAN AREA STANDARDS.** Sections contain standards that apply only to land within the unincorporated urban area of Cambria.
- C. **SAN SIMEON ACRES VILLAGE STANDARDS.** Sections contain standards that apply only to land within the unincorporated village area of San Simeon Acres.

## Land Use Categories

Within each area, standards which apply to Combining Designations are listed first, followed by communitywide standards. Communitywide standards are followed by standards that are listed by land use category, as follows:

- |    |                                |     |                                  |
|----|--------------------------------|-----|----------------------------------|
| 1. | <u>Open Space</u>              | 6.  | <u>Recreation</u>                |
| 2. | <u>Agriculture</u>             | 7.  | <u>Residential Multi-Family</u>  |
| 3. | <u>Commercial Retail</u>       | 8.  | <u>Residential Single-Family</u> |
| 4. | <u>Office and Professional</u> | 9.  | <u>Residential Suburban</u>      |
| 5. | <u>Commercial Service</u>      | 10. | <u>Public Facilities</u>         |

Subareas. The standards apply to all of the land within the applicable land use category unless a sub-heading identifies specific area or property where the standard must be satisfied.

### Example outline of Planning Area Standards

## **B. CAMBRIA URBAN AREA STANDARDS** *(major section)*

### **Commercial Retail** *(land use category)*

1. **Standard one.** *(standard)*
2. **Standard two.** *(standard)*
  - A. **Permit requirement.** *(standard)*
  - B. **Building setbacks.** *(standard)*

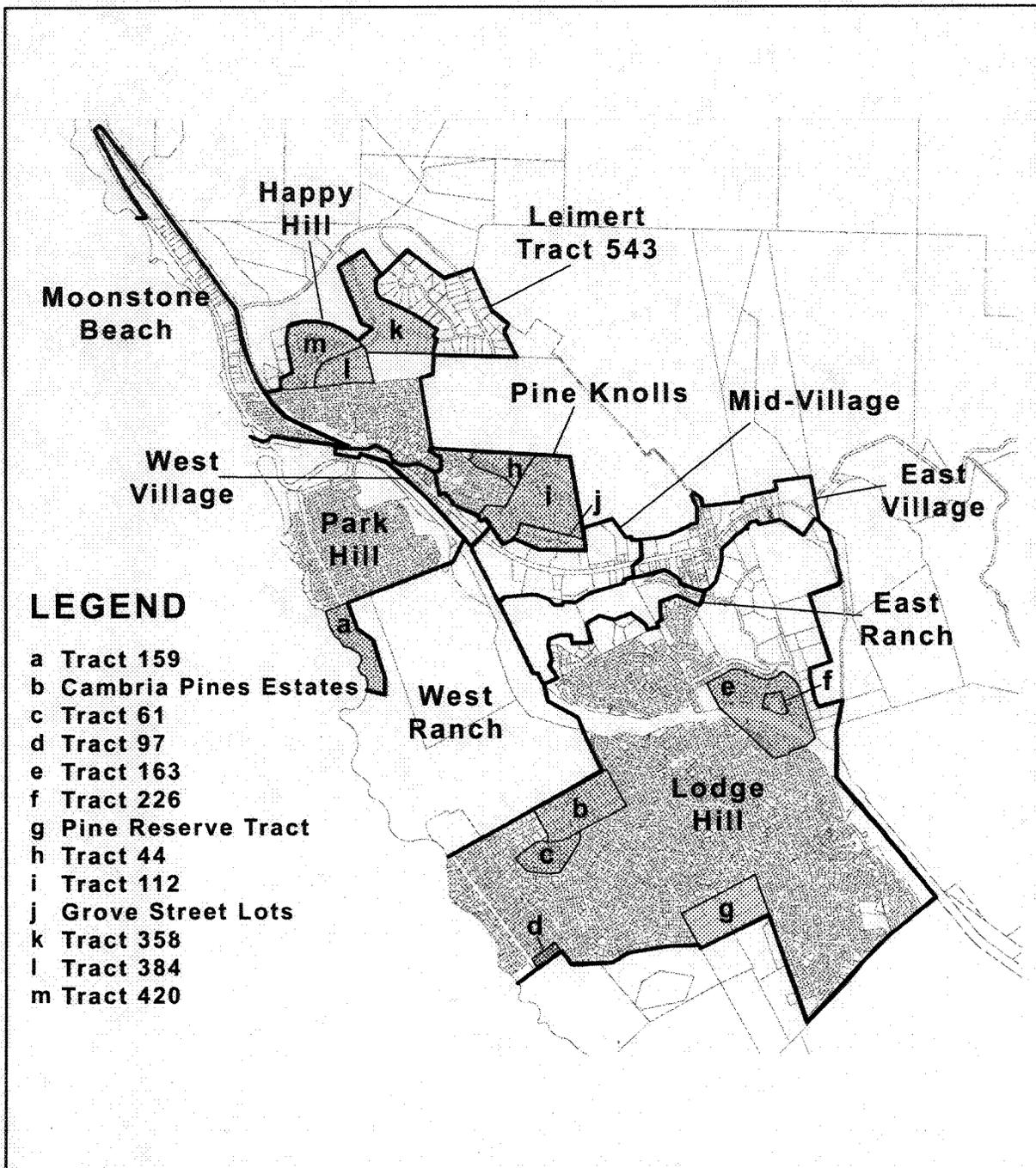


Figure 7-1: Cambria Location Map

## **A. NORTH COAST RURAL AREA STANDARDS**

\*(The Rural Area is not part of this Plan Update.) \*

## **B. CAMBRIA URBAN AREA STANDARDS**

The following standards apply to development on lands within the Cambria Urban Reserve Line in to the land use categories or specific areas listed, and as shown in Figure 7-1.

**COMBINING DESIGNATIONS:** The following standards apply to areas of special concern as shown on official maps.

- 1. Marine Habitat (SRA) (MH) Environment - Projects with Point-Source Discharges.** The richness, sensitivity, and unspoiled character of the marine environments habitats within the Cambria URL demand particularly rigorous measures to ensure the protection of these special resources. Accordingly, no surface point-source discharges into the marine environment are allowed, except as follows: (Mod68)

### **Exceptions:**

- A. Cambria Community Services District.** Any capacity expansions needed to serve permitted growth within the existing Cambria Community Services District (CCSD) service areas, provided that any new outfall is located outside the Monterey Bay National Marine Sanctuary (MBNMS).
- B. Proposed CCSD desalination project.** The previously permitted CCSD brine discharge outfall, and any future brine discharge facilities for permitted development in Cambria, provided that:
  1. Brine discharge is consistent with MBNMS, Environmental Protection Agency (EPA) and Regional Water Quality Control Board (RWQCB) regulations.
  2. The discharge point is located south of San Simeon Point, and where it will not adversely impact any kelp bed or intertidal habitat.

3. The discharge point is designed to maximize rapid mixing of the brine with ambient seawater in order to minimize hypersaline concentrations.

**C. Passthrough Discharges.** Aquaculture seawater passthrough discharges, provided that:

1. Discharge is consistent with MBNMS, EPA, RWQCB and California Department of Fish & Game (CDFG) Regulations.
2. The discharge point is located south of San Simeon Point.
3. The discharge method will not result in a eutrophic concentration of nutrients, and will not result in adverse impacts to wild abalone populations or other native marine organisms.

**D. Seawater Passthrough Devices.** Seawater passthrough discharges for public aquaria, and for scientific research facilities, provided that:

1. Discharge is consistent with MBNMS, EPA, and RWQCB Regulations.
2. The discharge method will not result in adverse impacts to kelp beds or other native marine organisms.

**E. Water Quality Enhancement.** Discharges to streams, for the purpose of hydrologic replenishment and/or stream water quality enhancement, provided that:

1. Discharge is consistent with NMFS, U.S. Fish & Wildlife Service (USFWS), EPA, RWQCB, and CDFG Regulations.
2. The discharged waters will be of appropriate temperature and quality so as not to disrupt the steelhead run, nor the in-stream habitat for any other sensitive species including, but not limited to, the red-legged frog and tidewater goby. (Mod68)

**2. Monterey Pine Forest Habitat (SRA) (TH) - Purpose.** The following standards and procedures provide guidance for development in the Monterey Pine Forest in Cambria. The purpose of these standards is to minimize tree removal and impacts to the sensitive pine forest habitat. While the intent of these standards is to reduce redundancy and provide consistency in the planning process, a biological report may be required pursuant to the Coastal Zone Land Use Ordinance.

**A.** The project applicant shall demonstrate that no vegetation outside of the "project limit area" shall be removed, except for removal consistent with fire safety standards or trees identified as hazardous by a qualified individual.

**B.** Where a report is required by CZLUO Section 23.07.170, the required topics shall be supplemented with an analysis and map of the site constraints that should be considered, and a recommendation of alternative design measures that will minimize loss of Monterey Pines, oaks and forest habitat.

**3. Plan Requirements.** All site, construction and grading plans submitted to the County shall locate all Monterey pine trees that are six inches or more in diameter 4.5 feet above ground and oak trees four inches or more in diameter 4.5 feet above ground identified by species and diameter. The plans shall indicate which trees are to be retained and which trees are proposed for removal. In addition, such plans shall clearly show: (Mod126)

**A.** The "project limit area" shall include all areas of grading (including cut and fill areas) and vegetation removal, the development footprint (i.e., all structures and/or site disturbance within the "project limit area") necessary fire clearances and staging areas for all construction activities, the location of those activities, and areas for equipment and material storage.

**B.** Sturdy and highly visible protective fencing that will be placed along the 'project limit area'. Plan notes shall indicate this fence should remain in place during the duration of project construction to protect vegetation from construction activities.

**C.** Plan notes shall indicate native trees and undergrowth outside of the "project limit area" shall be left undisturbed. (Mod125)

**D.** Identify any necessary tree trimming. Plan notes shall indicate a skilled arborist, or accepted arborist's techniques, will be used when removing tree limbs.

**E.** Plan notes shall indicate wherever soil compaction from construction will occur within driplines that the compacted root zone area shall be aerated by using one of the following techniques:

1. Injecting pressurized water.
  2. Careful shallow ripping that radiates out from the trunk (no cross-root ripping).
  3. Other County-approved techniques.
- F.** Plan notes shall indicate no more than one-third of the area of the drip line around any tree to be retained should be disturbed, or as recommended in an arborist's or biologist's report. (RDP)
- 4.** **Notice of pending tree removal application.** Where Plot Plan approval is required for a tree removal permit, a notice shall be posted by the property owner or representative near the front property line on the subject site. The notice shall be maintained in good condition by the property owner until permit issuance. (RDP)
- 5.** **Construction Practices.** Construction practices to protect Monterey pines, oak trees and significant understory vegetation shall be implemented. These construction practices are to include at minimum; (RDP)
- A.** All plan notes required in Standard 3 above shall be implemented.
  - B.** **Protective Measures.** Practices to protect root systems, trees and other vegetation shall include but not be limited to: methods prescribed in the Cambria Forest Management Plan; avoiding compaction of the root zone; installing orange construction fencing around protected areas shown on the site plan; protecting tree trunks and other vegetation from construction equipment by wood fencing or other barriers or wrapping with heavy materials; disposing of waste, paints, solvents, etc. off-site by approved environmental standards and best practices; and using and storing equipment carefully. (RDP)
  - C.** **Stockpiling of Materials.** Materials, including debris and dirt, shall not be stockpiled within 15 feet of any tree, and shall be minimized under tree driplines as required by the land use permit and the Fire Safety Plan. Stockpiled materials shall be removed frequently throughout construction. All stockpiled materials shall be removed before final inspection. (RDP)
  - D.** **Construction Practices.** Excavation work shall be planned to avoid root systems of all on-site trees and trees on abutting properties. Any trenching for utilities that may occur within the dripline of trees on the project site shall be hand dug to avoid the root system of the tree. (RDP)

**E. Driveway Placement.** When remodeling or replacing existing residences, avoid moving established driveways if trees or significant vegetation would be negatively impacted. (RDP)

**6. Replacement of Vegetation.** Any Monterey pine trees that are six inches or more in diameter 4.5 feet above ground removed shall be replaced at a 2:1 ratio. Any oak trees that are four inches or more in diameter 4.5 feet above ground removed shall be replaced at a 4:1 ratio. All open areas of the site disturbed by project construction are to be seeded with native, drought and fire resistant species that are compatible with the habitat values of the surrounding forest. Replacement vegetation shall be planted in conformance with the following measures:

**A.** A replanting plan shall be prepared as a part of the application. Elements of this plan shall include the type, size and location of vegetation; a description of irrigation plans; and plan notes indicating compliance with the standards of this section. Any proposed on-site or off-site replanting plan must be approved by the County Planning and Building Department prior to issuance of building permits.

**B.** Container sizes for all replacement seedlings shall be one gallon, unless approved by the Director of Planning and Building. *Pinus radiata var. macrocarpa*, the native Monterey Pine tree, shall be used for replanting of any pine tree removed. No out of area Monterey Pine stock shall be used.

**C.** New trees shall be planted to reinforce the forest character on the site and in the street frontage, and to screen proposed development.

If insufficient area exists to plant all or any of the replacement vegetation on site, then the replanting plan shall identify an appropriate off-site area where planting will occur. These off-site areas should be in the Cambria area and owned or managed by an appropriate government or nonprofit agency.

If an off-site replanting is chosen, the replanting must occur with the review and approval of the Environmental Coordinator, and shall be verified by submittal of a letter from the appropriate agency or organization to the Environmental Coordinator. All replacement conditions and monitoring measures (e.g., number of trees, maintenance, etc.) shall apply.

**D.** To prevent or reduce the spread of disease from pine pitch canker, bark beetles or other diseases affecting the forest, the following measures shall be followed:

**1.** Infected or contaminated material shall not be transported to areas that are free of the disease;

2. When cutting or pruning a diseased tree, tools shall be cleaned with a disinfectant before using them on uninfected branches or other trees;
  3. Disease and insect buildup shall be avoided by promptly removing and disposing of dead pine material by either burning (where and when allowed), burying, tarping with clear plastic for six months, or chipping. If material is chipped, it should be left as a thin layer on site; and
  4. Plant material shall be covered or enclosed when it is taken off-site to avoid dispersal of material contaminated with bark beetles.
- E.** Prior to final building permit inspection, the applicant shall provide a letter to the County prepared by a qualified nurseryman or landscape contractor that the revegetation plan has been properly implemented; and
- F.** All new plants shall be maintained until successfully established. This shall include caging from animals (e.g., deer, rodents), periodic weeding and adequate watering (e.g., drip-irrigation system). If possible, planting during the warmest, driest months (June through September) shall be avoided. In addition, standard planting procedures (e.g., planting tablets, initial deep watering) shall be used.
- G.** Maintenance shall be often enough to keep weeds at least 3 feet away from each planting, provide adequate moisture to all plants, and ensure all other components (e.g., irrigation system, caging) are kept in good working order.
- H.** The health and maintenance of replacement vegetation shall be monitored at least once a year from the date of final building permit inspection for a period of time no less than three years, or until the vegetation is successfully established, whichever comes later. Monitoring reports shall be prepared by an expert competent in landscape planting and maintenance of the Monterey pine forest, and reports shall be submitted to and approved by the County.
- 7. Understory Vegetation Removal.** No understory vegetation shall be removed until a permit has been issued or unless an immediate hazardous condition exists. Understory vegetation removal to create, improve, or maintain adequate defensible space and Fire Hazard Fuel Reduction shall be the minimum necessary. Evidence used to determine whether understory vegetation has been removed without a permit will include, but is not limited to, all photo documentation available. At the time of permit application, if there is evidence that the understory has been cleared without a permit or if there is evidence that the understory has been cleared outside of the approved 'project limit area,' 20 plants from the following list shall be planted on-site for every 1,000 square feet affected. At least four different species shall be used of approximately equal amounts. All plants shall

be from container stock of one-gallon or less. All planting shall be subject to the "Replacement of Vegetation" requirements described above.

- A. Acceptable Species.** The following are considered acceptable for replacement:  
Quercus agrifolia (Coast Live Oak) - no more than two seedlings per 1,000 square feet  
Arctostaphylos tomentosa (Manzanita)  
Heteromeles arbutifolia (Toyon)  
Rhamnus californica (Coffeeberry)  
Rubus ursinus (California Blackberry)  
Symphoricarpos mollis (Creeping Snowberry)  
Vaccinium ovatum (Evergreen Huckleberry)  
Ribes menziesii (Gooseberry)  
Lonicera hispidula (Honeysuckle)

**8. Clustering of Development Required.** Clustering shall be required for new land divisions or multi-family residential development projects within forested areas. When feasible, new development shall be restricted to slopes less than 20 percent.

**9. Flood Hazards.** New development shall comply with Coastal Plan Policies for Hazards and the Flood Hazard provisions of the Coastal Zone Land Use Ordinance, and shall be reviewed for its relation to the Cambria Flood Control Project. Approval of new development shall be contingent upon a finding that the project will not interfere with implementation of the Project. (Rec 7.19)(CDP)

**10. Santa Rosa Creek.** The following standards affect all land use categories in and adjacent to Santa Rosa Creek, as shown on Figure 7-2.

- A. Biological Viability.** Proposed development, including grading, and water well extractions, shall maintain the ecological viability of Santa Rosa Creek (as determined by the County or the appropriate State or federal agency), including the riparian corridor, stream channel, wetlands, and accompanying marine habitat.
- B. Flood Hazard.** New development in the (FH) areas shall be reviewed for consistency with the Cambria Flood Control Project to protect development and limit flooding of the West Village, in a manner that is consistent with the protection given coastal streams by the Coastal Act. (Mod110)(Rec 7.19)
- C. Channelization or Filling in Floodways.** Except for minor fill for public serving activities or uses (e.g., trails, roads, and utilities), channelization or fill in the undeveloped floodway (active channel) and floodway fringe (flood plain) of Santa Rosa Creek shall be prohibited (see Figure 7-2).

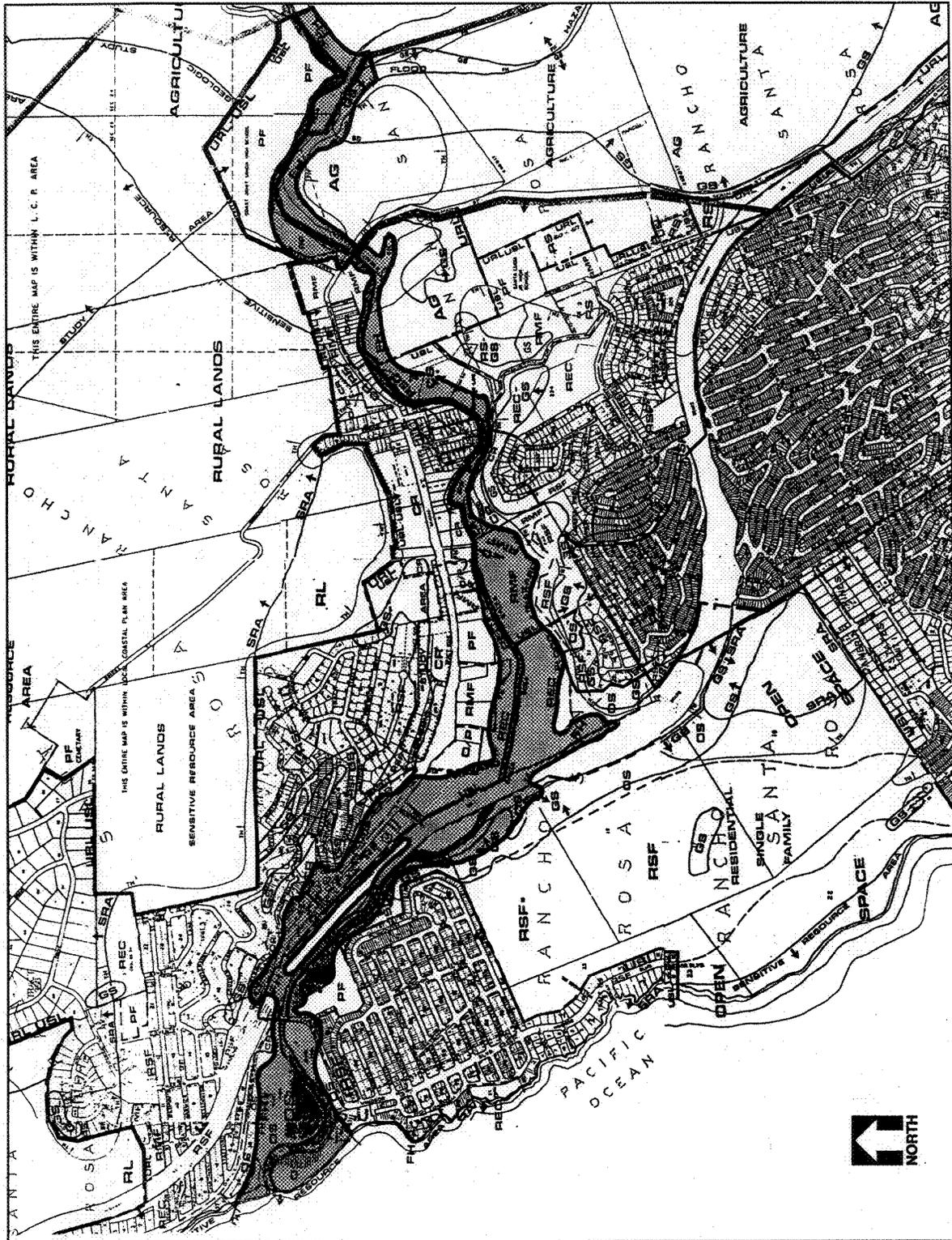


Figure 7-2: Santa Rosa Creek in Cambria (Mod 111)

- D. Creek Setbacks and Habitat Protection.** All new development shall be setback a minimum of 100 feet from the upland edge of riparian vegetation. Setbacks of less than 100 feet are allowed in accordance with Section 23.07.174d.2 of the Coastal Zone Land Use Ordinance. Recreational trails shall be sited outside of areas with riparian vegetation. (CDP)
- E. Public Access.** All new development shall provide an offer to dedicate an appropriate area adjacent to Santa Rosa Creek to accommodate the Cross Town Trail, Santa Rosa Creek Trail, or other planned public access improvements.

**Local Coastal Plan (LCP)**

- 1. ~~Shoreline Access - Fiscalini Ranch.~~** ~~New development shall be required to incorporate means to ensure public access and recreational use on a permanent basis. Such assurance shall include an offer-to-dedicate or a deed restriction for the area west of the extension of Windsor Boulevard. The extent of dedication and improvements and appropriate agency for maintenance will be determined as part of the development plan. The level of public access must be consistent with the extent of the development approved. Improvements to this are shall include:~~
  - ~~A. A minimum of two vertical pedestrian trails extending from the extension of Windsor Boulevard to the bluff edge. One trail to be located at the north and south of the extension of Windsor Boulevard. At each trail head, clustered public parking areas will be provided by the developer at the time of development on the west side of Highway 1.~~
  - ~~B. A bicycle path shall be constructed west of the extension of Windsor Boulevard or incorporated in the design of the road.~~
  - ~~C. A picnic area with restrooms, parking and trash receptacles.~~
  - ~~D. Lateral access and public recreation from the seaward side of Windsor Boulevard to the mean high tide line, consistent with public safety and sensitive habitat concerns shall be provided.~~

**COMMUNITY WIDE:** The following standards apply to all land within the Cambria Urban Reserve Line.

**1.3. Reservation of Service Capacity.** The Cambria Community Service District (CCSD) shall reserve available water and sewage treatment capacity on a yearly basis for the following priority uses:

**A. Visitor-Serving Uses.** To allow for continued growth of visitor-serving facilities, a minimum of 20% percent of the water and sewer capacity shall be reserved for visitor-serving and commercial uses.

**B. Affordable Housing - Program Required.** The CCSD shall reserve sufficient water and sewer capacity to serve affordable housing. If consistent with other permits, an amount not to exceed 5 percent of total capacity may be reallocated from the Visitor-Serving category to a qualified affordable housing program.

Prior to issuance of any further water allocation letters, the District shall propose to the County a program to accommodate a limited number of affordable housing units each year. The exact number shall be determined based on unmet housing needs, and availability of water. Under this program and to meet the need of affordable housing units, the District may divert part of the water which otherwise would have been allocated to the Visitor-Serving, Commercial, or Multi-Family Residential water waiting list.

**2. Growth Management and Allocation of Residential Permits.** To manage the planned rate of residential growth in the community, the Cambria Community Services District shall limit the issuance of water allocation letters to no more than 1 percent of the existing number of dwellings within the boundaries of the CCSD within the Urban Reserve Line. Allocation shall be according to the County Growth Management Ordinance and the following standards:

**A. Distribution.** Applicable water allocation letters shall be distributed as follows according to Title 26, Growth Management Ordinance:

- 1. 80 percent of the total for single-family dwellings.**
- 2. 20 percent of the total for multi-family dwellings or planned developments.**
- 3. If approved by the County, allocation letters not issued in any given year may be allocated in a later year, in accordance with Title 26, County Growth Management Ordinance.**

4. Allocation limits shall not apply to development exempted from Title 26, Growth Management Ordinance, including affordable housing and nonresidential development.

**B. Limitation on Residential Construction.** In accordance with the Environmental Protection Agency's concern for environmental protection (as expressed in the condition on the sewer treatment facility expansion permit), the maximum number of residential permits shall not exceed 125 per year. This shall remain in effect as long as the EPA requires this condition.

~~To implement this, the final building inspection shall be issued upon receipt of a water permit from the Cambria Community Services District. Such letters shall be issued by the district on the following basis:~~

- ~~a. Seventy (70) percent of the 125 permits shall be reserved for single family residential uses.~~
- ~~b. Thirty (30) percent shall be reserved for multiple family residential uses.~~
- ~~c. At the end of each quarter, those permits for single family or multiple family units which are not issued in one quarter may be reallocated to either single family or multiple family residential use based on demand.~~

**C. Cambria CSD service extensions outside the Urban Services (USL) or Urban Reserve Lines (URL).** To allow the CCSD to meet current commitments, while providing for a community greenbelt and avoiding growth inducement, the CCSD may only provide services outside of the USL or URL of Cambria under the following circumstances:

1. The development was established and was located within the District's boundary or already receiving service prior to the adoption of this plan update, or;
2. Prior to May 13, 1997:
  - a. The site of the proposed development was within the CCSD's boundary and had a commitment to being served according to the district's regulations; and
  - b. The site of the proposed development had basic infrastructure in place for the required service; and

- c. The site of the proposed development was in conformance with the Local Coastal Program, including allowable uses, densities, and minimum parcel size; and
- d. The proposed development would cluster building sites in close proximity to the URL/USL and shall provide for permanent open space protection according to the Cluster Division requirements of the CZLUO. (Mod108)

**D. New Residential Land Divisions.** Projects creating new residential lots shall be required to permanently retire an equivalent legal building site located within the Cambria URL on a 1:1 basis. Proof of the required retirement shall be submitted prior to recordation of the final parcel or subdivision map. Retired lots shall have an open space or conservation easement recorded against the title of the property to prohibit development in perpetuity. Easements may be held by the County or the County may grant them to another public agency. (Mod109) & (Rec 2.17)

**E. Desalinization Plants.** Desalinization plants constructed to serve new development within the service boundaries of the CCSD shall only be permitted if owned and operated by the CCSD. Private desalinization plants to serve a single project or any fraction of the district are prohibited. (Mod109)

~~**5. Identification of Additional Water Resources.** All proposals for subdivision or development outside the Community Services District Assessment District, (other than a single family residence on an existing lot) shall be required to identify an additional water resource or an alternative for use of the existing allocation by retiring water permits needed for lots within the existing community services district (except for existing contractual arrangements). This may be an appropriate alternative to be developed through a Transfer of Development Rights Program.~~

**3. Cambria Community Services District Review.** Prior to application acceptance, land use and building permit applications shall include a written verification of water and sewer service from the Cambria Community Services District. A water and sewer service condition compliance letter from the Cambria Community Services District shall be provided to the Department of Planning and Building prior to final building inspection.

**4. Cambria Fire Department Review.** All new development shall comply with applicable state and local Cambria fire codes. Prior to application acceptance, land use and building permit applications shall include a fire plan review from the Cambria Fire Department.

**5. Site Review.** Based on the results of a site review, all projects determined to have the potential to adversely impact a sensitive resource may be subject to discretionary review. If discretionary review is triggered, a biologic assessment report consistent with Coastal Zone Land Use Ordinance section 23.07.170 may be required.

**6. Landscaping.**

**A.** All landscaping and construction practices shall work to maintain and regenerate the Monterey pine forest and if applicable, the riparian corridor. Plant materials shall be used to mimic or enhance naturally occurring vegetation. Materials should be propagated from native stock taken from an area within a 50-mile radius of Cambria to ensure that the gene pool is not diluted for endemic species. This is particularly true for Monterey Pines and riparian plantings. (CDP)

**B. Prohibited Plant Materials.** Non-native, invasive, and water intensive (e.g., turf grass) landscaping shall be prohibited on the entire site. A list of prohibited plants, such as Pampas grass and Scotch broom, is available from the Department of Planning and Building.

**7.2. Geologic Stability.** All structures proposed on slopes over greater than 20 percent 25% shall be required to have foundations reviewed by a certified engineering geologist, or other qualified professional approved by the County, soil scientist or to provide adequate information that who will examine the proposed foundations are for suitability for the site.

**8. Santa Rosa Creek Frontage. (CDP)**

**A.** Development on any site adjacent to Santa Rosa Creek shall be designed to face the creek as well as the street. Buildings on sites adjacent to the creek shall have activity centers and facades facing the creek that are designed to the same level of detail as the facades that face the street. (CDP)

**B.** A minimum of 40 percent of the building facade which faces the creek must be made of openings including windows and doors. (CDP)

**C.** On sites adjacent to Santa Rosa Creek, trash, recyclables and storage shall not be placed in the areas between buildings and the creek. (CDP)

**9. Site and Project Design Development Within View of Highway One.** New development shall be screened from view from Highway One in accordance with the criteria below. Where an addition to an existing structure is proposed, the entire structure shall be subject to the criteria below.

- A. Landform Alterations.** Landform alterations (such as road grading, earth moving, and vegetation removal) shall be minimized. Where no feasible alternative exists, site disturbance shall be limited to areas that are least visible from Highway One.
- B. Location of Buildings.** Buildings and parking areas shall use appropriate landscaping (including native vegetation when feasible) to minimize views of the site from Highway One.
- C. Highway One Frontage.** Development on any site in the West Village that has a rear property line along or can be viewed from Highway One shall store trash, recyclables and other materials in a visually concealed area attached to the back of the building, with similar materials and colors as the building, in order to create a neater and cleaner look from Highway One. (This area could be an alcove in the building or an area surrounded by a fence or hedge.) (CDP)
- D. Vegetative Screening.** Vegetation which is used to screen landform alterations, buildings, or parking areas, shall be maintained for the life of the project.
- E. Night Lighting.** Night lighting shall be the minimum necessary for convenience and security, and shall be shielded in order to minimize pollution of night skies. Lighting shall not conflict with the character of the area.
- F. Colors and Materials.** Appropriate colors and materials shall be used to minimize structure visibility from Highway One.

~~6. **Setbacks - Residential Single- and Multi-Family.** Unless specified in other Cambria Urban Area Standards, the following special setbacks apply to the respective neighborhoods shown on Figure 7-14. Where no setback is listed, setbacks shall be determined by applicable sections of Coastal Zone Land Use Ordinance.~~

~~A. **Pine Knolls**~~

~~The minimum setbacks on all lots are: front - 10 feet, side - 3 feet, rear - 5 feet, except for Tracts 44 and 112, which are per Coastal Zone Land Use Ordinance.~~

~~B. **West Village**~~

~~The minimum setbacks for lots in any residential category shall be as follows:~~

- ~~Front: 10 feet~~
- ~~Side: 3 feet~~
- ~~Rear: 5 feet~~

~~C. Happy Hill~~

~~The minimum setback for small subdivisions are: front - 10 feet, side - 3 feet, rear - 5 feet, except the following which are per Coastal Zone Land Use Ordinance unless a greater setback is noted:~~

~~D. Tract 358~~

~~Side corner: 25 feet~~

~~E. Tract 384~~

~~Side corner: 25 feet (lots 2, 7, 10, 14)~~

~~F. Tract 420~~

~~As per Coastal Zone Land Use Ordinance~~

~~G. Moonstone Beach~~

~~Front: 10 feet~~

~~Side: 3 feet~~

~~Rear: 5 feet~~

~~H. Park Hill~~

~~The minimum setbacks on all lots are: front - 10 feet, side - 3 feet, rear - 5 feet, except the following which is per Coastal Zone Land Use Ordinance unless a greater setback is noted:~~

~~I. Tract 159 and other lots with Coastal Bluffs~~

~~Bluff (rear):~~

~~To be determined by geologic report to withstand bluff erosion and wave action for a period of 75 years, and shall not be less than 20 feet.~~

~~J. East/West Ranch~~

~~All proposed dwelling units are to be setback a minimum of 50 feet from Highway One.~~

~~K. East and West Lodge Hill~~

~~For subdivisions that created 25-foot wide lots (small lot tracts), minimum setbacks shall be: front - 10 feet, side - 3 feet, rear - 5 feet, except as provided by the following:~~

~~**L. Small Lot Tracts**~~

~~**a West Sherwood Drive:**~~

~~Front: 5 feet~~

~~Bluff (rear): To be determined by geologic report to withstand bluff erosion and wave action for a period of 75 years and shall not be less than 25 feet.~~

~~**b. Single Lots (25'):** Front and rear setbacks must total 25 feet, with a minimum of 10 feet in the front and 10 feet in the rear yard unless adjusted pursuant to Coastal Zone Land Use Ordinance Section 23.04.108 a(2) (sloping lot adjustment). Side setbacks shall be a minimum of 3 feet; 5 feet on the street side of a corner lot.~~

~~**c. Double Lots (50'):** Front and rear setbacks shall total 25 feet with a minimum of 10 feet in the front and 10 feet in the rear unless adjusted pursuant to Coastal Zone Land Use Ordinance Section 23.04.108 a(2). Side yards shall be a minimum of 5 feet; 10 feet on the street side of a corner lot.~~

~~**d** Except for blufftop lots, setbacks may be averaged to allow for flexibility in design and minor adjustments may be allowed (not to exceed 2 feet in the rear) to preserve trees on the site.~~

~~**e** Front setbacks may be adjusted pursuant to CZLUO Section 23.04.108 a(2) for sloping lot adjustment.~~

~~**f** A zero side yard setback may be permitted by development plan review where preservation of healthy trees is accomplished or where grading would be minimized, in accordance with Section 23.04.110 f of the Coastal Zone Land Use Ordinance.~~

~~**M. Large Lot Tracts**~~

~~The following tracts are per Coastal Zone Land Use Ordinance unless a greater setback is noted:~~

~~**1. Tract 61**~~

~~As per Coastal Zone Land Use Ordinance~~

- ~~2. Tract 97  
As per Coastal Zone Land Use Ordinance~~
- ~~3. Tract 163  
The minimum front setback on all lots is 20 feet, except as follows:  
Front: 25 feet (block 6, lots 7-11)  
10 feet (block 3, lots 15-31)  
(block 4, lots 12-20)  
(block 5, lots 2-8)~~
- ~~4. Tract 521  
As per Coastal Zone Land Use Ordinance~~
- ~~5. Cambria Pine Estates 1  
As per Coastal Zone Land Use Ordinance~~
- ~~6. Pineview Tract  
As per Coastal Zone Land Use Ordinance.~~

**10. East/West Ranch. The Ranch.** ~~The following standards 7 through 9 apply only to the area designated on Figure 5 7-3 as The East/West Ranch.~~

**A. Limitation on Use.**

- 1. Recreation Land Use Category.** Uses shall be limited to Outdoor Sports & Recreation, Passive Recreation, Crop Production & Grazing, Communications Facilities, Coastal Accessways, Public Assembly & Entertainment, Temporary Events, One Caretaker Residence, Residential Accessory Use, Fisheries & Game Preserves, Water Wells & Impoundments, and Pipelines & Transmission Lines.
- 2. Open Space Land Use Category.** Uses shall be limited to Outdoor Sports & Recreation, Passive Recreation, Crop Production & Grazing, Communications Facilities, Coastal Accessways, Temporary Events, One Caretaker Residence, Residential Accessory Use, Water Wells & Impoundments, and Pipelines & Transmission Lines.

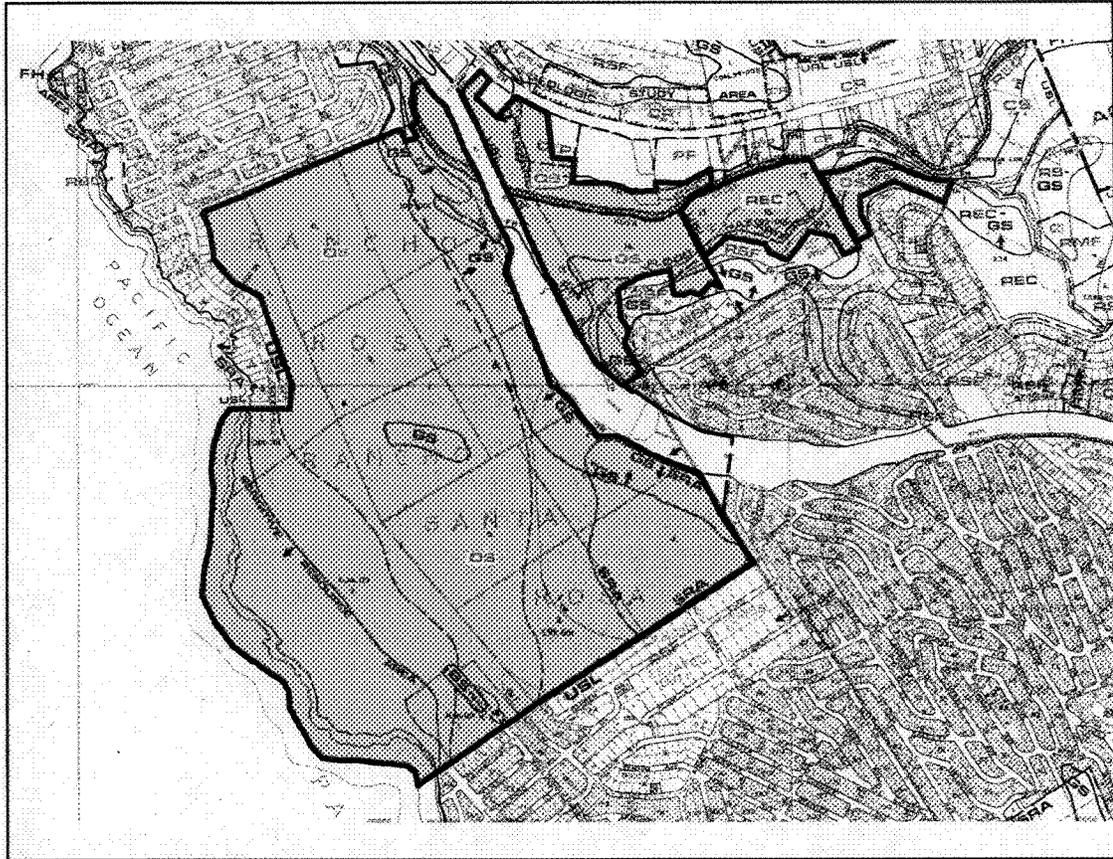


Figure 7-3: East/West Ranch

**B. Pedestrian and Bicycle Path - East Ranch Area.** A pedestrian and bicycle path shall be installed along Santa Rosa Creek at the time of development consistent with the environmentally sensitive habitat area policies of the Land Use Element.

~~7. Permit Requirement - Communitywide. Minor Use Permit review is required for development on slopes in excess of 20 percent, except where a higher level of review is required by the Coastal Zone Land Use Ordinance or Planning Area Standard.~~

~~8. Permit Requirement. Any proposed development of the Fiscalini Ranch requires prior approval of a master Development Plan to identify regulations, conditions of approval and programs to be implemented with the project to achieve consistency with the general plan.~~

~~9. Application Content. Information submitted with the proposed master Development Plan for the Fiscalini Ranch is to include the following:~~

- 
- ~~a. Specific locations for all proposed land uses (including all existing land uses proposed to be retained on the site), together with proposed height and bulk of structures, setbacks and other features of development. Buildings shall contain no more than two stories and not exceed 25. Structures shall be built to existing grade except where fill is needed for flood protection and then the amount of fill shall be the minimum needed to meet HUD standards. Development, except access roads and paths where no alternative route is feasible, shall be setback a minimum of 50 feet from Highway 1 and buffered by the use of landscape screening. The plan is also to identify any areas proposed to remain undeveloped, and whether such areas are subject to flooding, have slopes in excess of 20%, or are characterized by other hazards or conditions which limit development.~~

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~~Except for "crossing bridges" or pedestrian bicycle paths where no feasible, less environmentally damaging alternative route exists, development shall not be allowed within the floodway, stream, riparian corridors, areas of archaeological resources, or undeveloped/unsubdivided pine forest. Where alternative routes do not exist for stream crossings, development impacts shall be mitigated to the maximum extent feasible. No development shall be allowed within wetland resources, over springs, geographically unstable areas, on slopes in excess of 20% or within the bluff top open space (required by Combining Designation Standard 1) that would require use of protective devices.~~

- 
- ~~b. Wetland or marsh resources shall be protected with the minimum standard setback and any project shall be designed to protect and improve the existing drainage pattern that serves the resource.~~
- ~~c. The location and extent of existing and proposed streets, including their tentative widths and improvement standards and the proposed alignment, configuration and improvement standards. The proposed alignments shall be the least environmentally damaging alternative, and shall minimize cutting and filling; shall not extend into sensitive habitat areas or buffers (except for the installation of utility lines, pipelines, drainage and flood control facilities, bridges across streams, or road approaches to bridges); shall minimize~~

visual impacts on Highway 1, and shall not significantly adversely impact the road capacity or level of service on Highway 1.

- ~~d. Standards for population and building densities for the entire site, including lot sizes, types of construction, and provisions for water supply, sewage disposal, storm water drainage and solid waste disposal. These standards shall be set in coordination with a Transfer of Development Credits Program for the Lodge Hill area.~~

~~10. **Public Improvements.** The following improvements shall be minimum requirements to be incorporated in the design of the projects:~~

- ~~a. A buffer along Santa Rosa Creek providing a minimum setback of 50' from the inland extent of riparian vegetation with provision for access trails within the area.~~
- ~~b. Dedication of a civic/cultural facility site located to serve the community.~~
- ~~c. Dedication of an elementary school site within the project area or provision of in-lieu fees if an alternative site is not needed.~~
- ~~d. Retirement of water and sewer permits from steep and heavily forested 25 foot wide lots in Lodge Hill to preserve and protect the sensitive Monterey Pine forest habitat.~~

**11. Cambria Commercial Design Plan Included by Reference.** The Cambria Commercial Design Plan, and any amendments thereto, is hereby incorporated into this Land use Element as though it were fully set forth here. Development Standards contained in the Cambria Commercial Design Plan have been incorporated into the standards in the relevant sections below.

The Cambria Commercial Design Plan provides guidance for new development in Cambria's primary commercial districts, including the East Village, the West Village, Mid-Village, and Moonstone Beach. It contains goals, visions, and design guidelines that are flexible in their meaning to allow for interpretation. Applications for development shall include a statement explaining how the proposed project has met the intent of the goals, visions, and design guidelines.

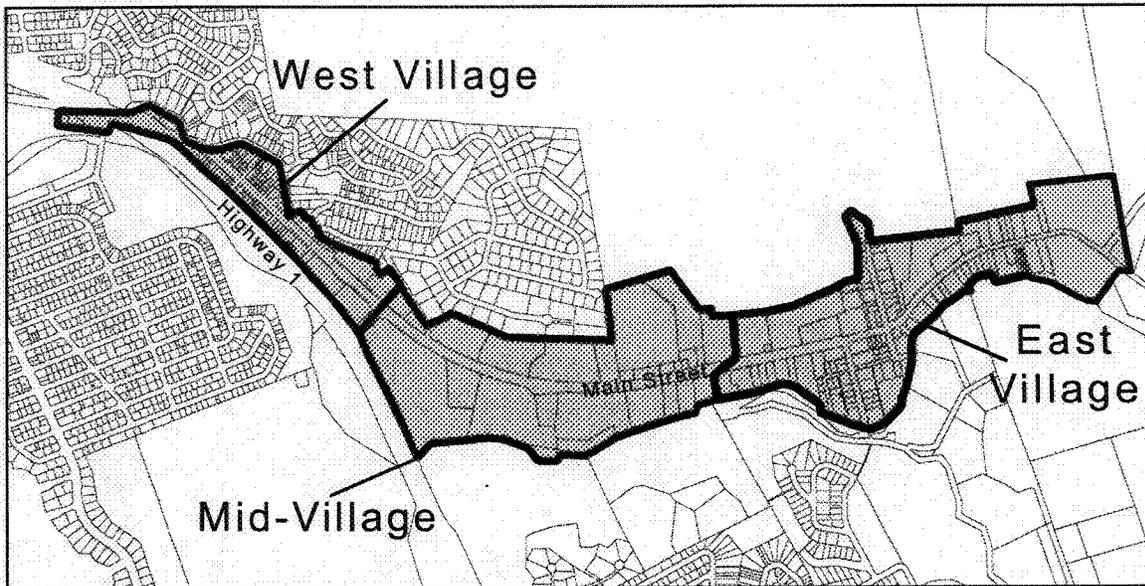


Figure 7-4: Cambria Commercial Districts Location Map

~~Cambria Design Plan Included by Reference. The *Cambria Design Plan*, and any amendments thereto, is hereby incorporated into this Land Use Element as though it were fully set forth here. The *Cambria Design Plan*, dated May 9, 2002, was certified by the California Coastal Commission on May 9, 2002 and is on file in the Office of the Clerk of the Board of Supervisors. In the event of any conflict between the provisions of the North Coast Area Plan and the *Design Plan*, the *Design Plan* shall prevail, except that LCP provisions protecting coastal resources and public access and recreation opportunities shall control. All new development in the areas shown by Figure 4 shall comply with the development standards contained in the *Design Plan* as well as all other applicable LCP provisions. [Added 2002, Ord. 2912]~~

**12. Commercial Districts.** The following standards apply to the areas as shown in Figure 7-4. (CDP)

- A. Historical Preservation.** New development shall be consistent with Coastal Plan Policies protecting special communities and small-scale neighborhoods by, among other means, preserving structures of historic significance and complying with CZLUO provisions for historic sites and the Secretary of Interior's standards for the treatment of historic structures. This shall include an evaluation of the historic significance of all potentially historic structures listed in Chapter 3 of the *Cambria Commercial Design Plan* according to the procedures established by the Secretary of the Interior. (CDP)

Alterations, including additions to these structures should follow the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995, Weeks and Grimmer) or equivalent. Implementation and adherence to the Standards should take into consideration the structure's integrity and setting as appropriate.

**B. Mixed Use Projects.** To encourage housing in the downtown commercial areas from East Village to Moonstone Beach, multi-family dwellings are allowed on the upper story or rear half of the lot. For the purpose of this standard, the front half of the lot is defined as the area located between the street line and the halfway line drawn through the midpoint of lot depth.

- 1. Principal Use.** Development of multi-family dwellings may be allowed prior to the development of commercial facilities, provided that the front half of the lot is reserved for future commercial uses.
- 2. Density.** Density is limited to 15 units per acre.
- 3. Limited Locations.** Multi-family dwellings are not allowed in the Office and Professional or Recreation land use categories (see Figure 7-1.)
- 4. Visitor-Serving Areas (V).** Multi-family housing consistent with this section is allowable in 'V' areas provided it is designed for employee housing.
- 5. Facilities for Children.** Multi-family projects for employees and affordable housing shall include facilities for children, such as enclosed play areas.

**C. Signs.** Signage shall be limited to reduce the potential for visual clutter and distraction. On-site signs are allowed according to applicable County policies, with the following allowances or limitations. Other policies in the CZLUO, area plan and Coastal Plan remain applicable and in effect. (CDP)

- 1. Wall Signs.** Wall signs are limited to a maximum of 30 square feet for each business or tenant. (CDP)
- 2. Suspended Signs.** Suspended signs may be used where if no projecting signs are proposed. (CDP)

3. Monument Signs. Each development site shall have not more than one monument sign for each of its street frontages. Monument signs are limited to 32 square feet and shall not exceed 8 feet in width. Monument signs are limited to 3 feet in height when located within the setback areas and 4.5 feet in height when located outside the setback areas, including the base below the sign. (CDP)

Such signs shall be solid at the base in order to give them a substantial appearance, and the signs shall match the architecture of the building itself. (CDP)

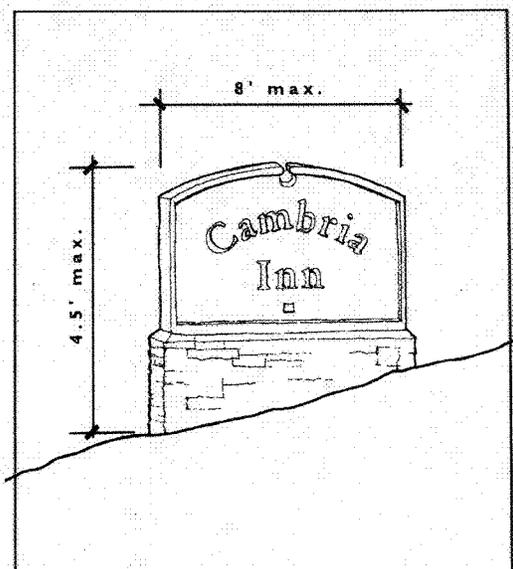


Figure 7-5: Monument Signs

4. Projecting Signs. Projecting signs may be utilized where no suspended signs are proposed. (CDP)
5. Marquee signs. Marquee signs are limited to 30 square feet. (CDP)
6. Window Signs. Window signs are not subject to the standards in Section 23.04.300 of the CZLUO if the total area of such signs does not exceed 15 percent of the total window area, and no more than one lighted sign per window pane. (CDP)
7. Sign Illumination. Signs may only be externally illuminated. No neon lighting is allowed. (CDP)

**D. Public Restrooms Required.** All Development Plan applications for commercial, recreational or public facility projects shall provide public restrooms located in a convenient and visible location that cumulatively involve more than 15,000 square feet of structures.

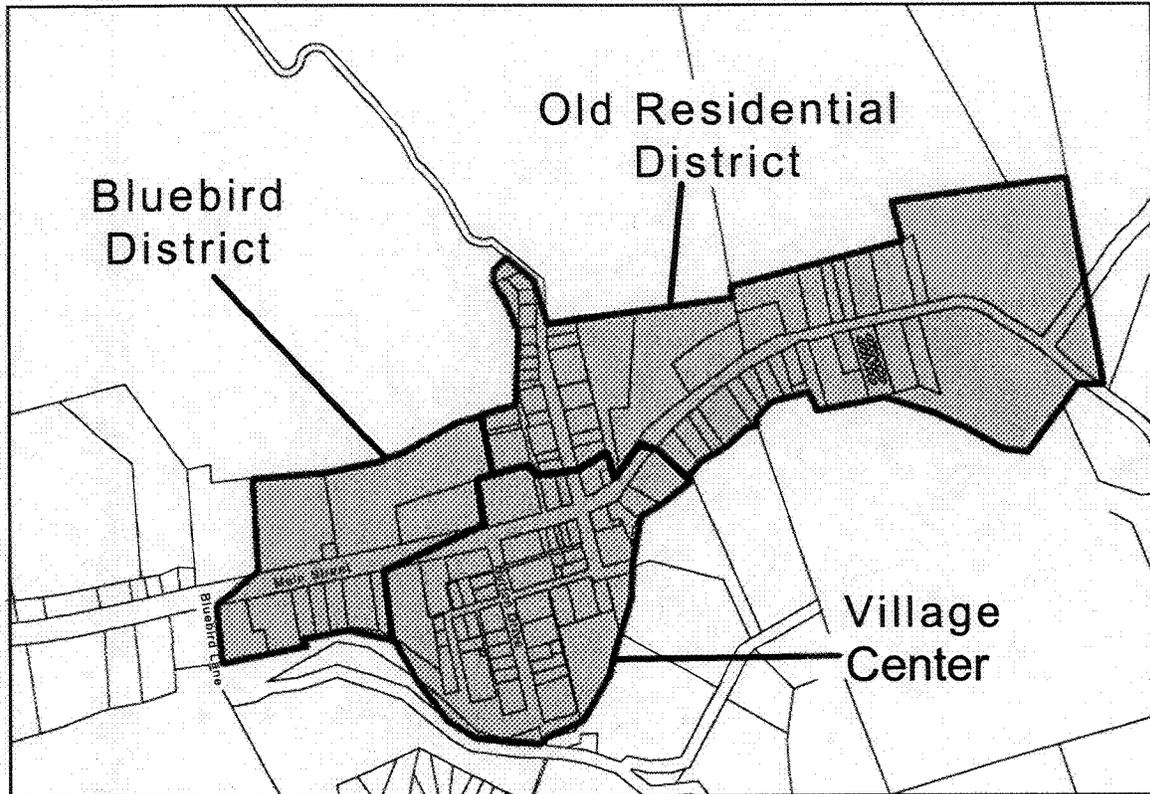


Figure 7-6: East Village Area Location Map

**13. East-Village Area.** The following standards apply to the East Village Area designated on Figure 7-6.

- A. Building Height.** The maximum allowable height in the East Village is 28 feet, except in the Old Residential District, where the maximum height is 22 feet. Buildings may exceed these maximum heights by up to 7 feet (for a total of 35 and 29 feet, respectively) if they have roofs with a pitch of 6:12 or greater. (CDP)

Building height is measured at every individual point on a site from the natural grade to the top of the building directly above that point. (CDP)

**B. Front Setbacks.**

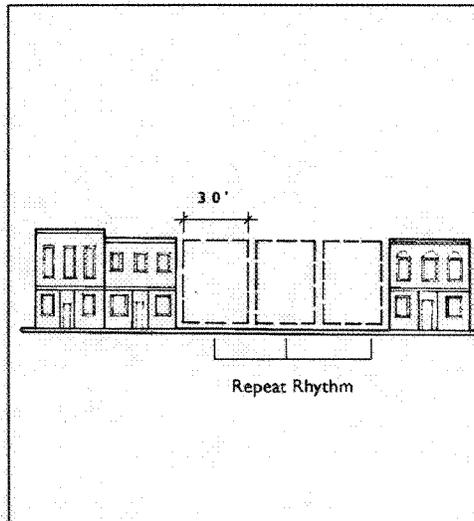
- 1. All new development and/or remodeling in the Village Center and Bluebird District shall be consistent with adjacent setbacks. New buildings in these areas shall have setbacks that represent the average of the front setbacks on the closest developed parcels on either side of the new building. As described below this regulation would have the following implications: (CDP)**

- a. On Main Street between Burton Drive and the Santa Rosa Cemetery, buildings should be built to the property line. (CDP)
  - b. On Burton Drive, buildings should be built with a 10-foot setback, with 3 feet dedicated to a public sidewalk. (CDP)
  - c. On the south side of Main Street in the Bluebird District east of Redwood Center, buildings shall be built to the property line at the Redwood Center and east of it. (CDP)
  - d. On the south side of Main Street in the Bluebird District west of the Redwood Center, buildings should be built with 10-foot setbacks. (CDP)
  - e. No setbacks are shown for the north side of Main Street west of Burton Drive since any new development in this area should generally be on the bluffs above the street. (CDP)
2. All new development in the Old Residential District shall be built with a 15-foot minimum setback. (CDP)

**C. Side Setbacks.**

1. On Main Street between Burton Drive and Bridge Street, all new development and/or remodeling shall be built to the property line with zero-foot side setbacks. (CDP)
2. On Burton Drive, all new development and/or remodeling shall be built to the property line except on or adjacent to historic properties that are already constructed with side setbacks. On those parcels, side setbacks shall be the same as for the historic building in question. (CDP)
3. In the Bluebird and Old Residential Districts, all new development and/or additions shall have a minimum side setback of 10 feet. (CDP)

- D. Building Facades.** New development and/or exterior remodeling in the Village Center shall be articulated with one or more bays with a maximum width of 30 feet. Wider buildings shall be made up of several bays. (CDP)



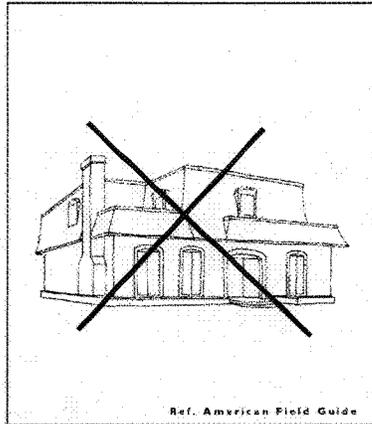
**Figure 7-7: Building Facades**

**E. Pedestrian-Oriented Detailing.**

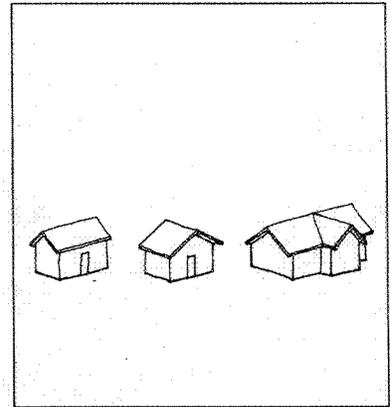
1. All building facades along public streets in the East Village should include pedestrian-scaled detailing such as vertical windows with sills, ornamental decorations, built-in benches, wall lamps, awnings, and door overhangs or recessed entries. (CDP)
2. A minimum of 40 percent of the length of the facade of any building facing a street must be made up of windows and doors. (CDP)
3. All facades, regardless of orientation, should include three-dimensional detailing, such as window moldings and reveals to cast shadows and create visual interest on the facade. (CDP)

**F. Roofs.**

1. Mansard roofs are prohibited. Mansard roofs are defined as steeply sloping roofs where the top of the slopes do not form a gable but meet to create a flat roof top, as seen on Second Empire, Beaux Arts, and some Romanesque buildings. (CDP)



**Figure 7-8: Mansard Roof**

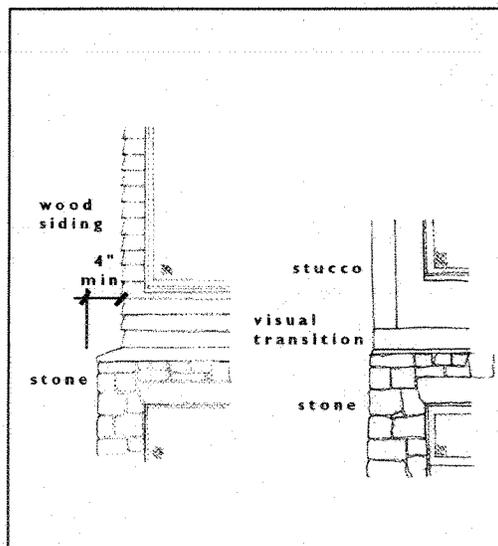


**Figure 7-9: Gable Roofs**

2. All structures north of Main Street on Bridge Street shall have gable roofs. (CDP)

**G. Exterior Materials (CDP).**

1. In order to enhance and blend with the historical character of the East Village, metal materials shall not be used on the exterior of buildings. (CDP)
2. All exterior wall changes shall be separated from one another by a change in plane of at least 4 inches, or be set off with architectural detail to create a visual distinction. (CDP)



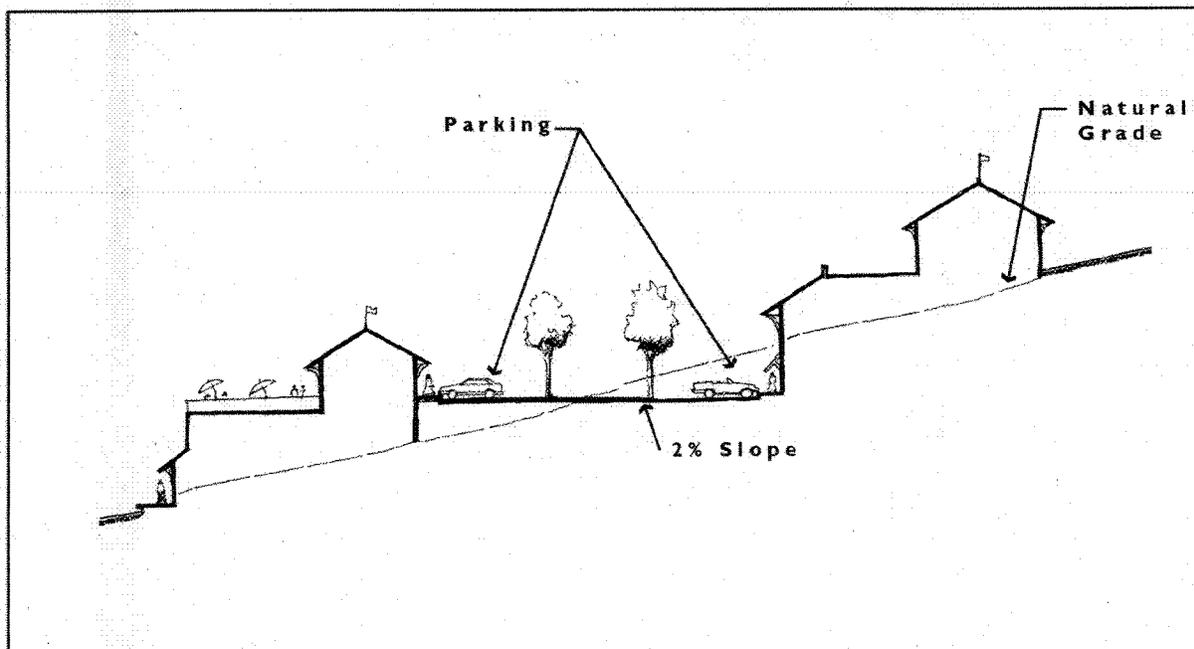
**Figure 7-10: Exterior Materials**

## **H. Limitation on Uses. (CDP)**

- 1. In the Village Center and the Bluebird District, ground floor frontages shall be retail or other visitor-serving uses in order to create a sense of activity that is crucial for pedestrian-oriented areas.**

## **I. Parking (CDP).**

- 1. All new on-site parking shall be located to the rear of buildings, unless such location is not possible on a specific site. (CDP) This must be supported by site-specific findings.**
- 2. If rear parking is not possible, parking shall be located to the side of a building, with the lot screened from the street by a fence, low wall or hedge. Side yard parking lots should be no wider than one double loaded bay, with a maximum width of 60 feet. (CDP)**
- 3. Parking lots shall be landscaped with at least one tree for every eight spaces, in addition to the shading requirement of the Coastal Zone Land Use Ordinance used for parking rather than building footprints. Where buildings abut both sides of a parking lot the parking lot shall not have a**



**Figure 7-11: Parking on Sloping Sites**

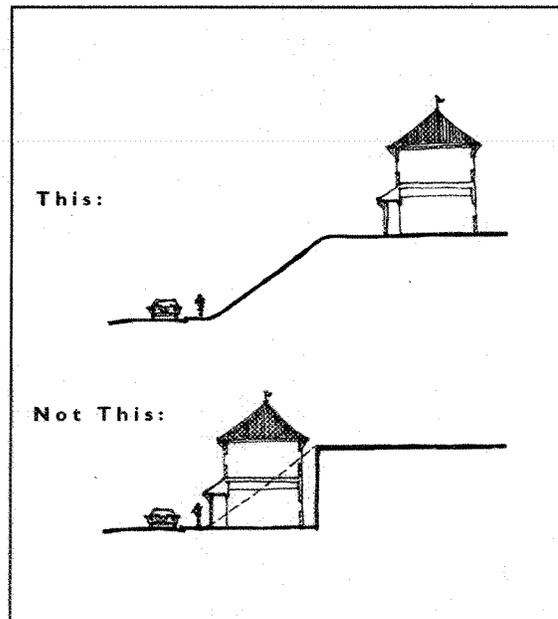
slope greater than 2 percent. (CDP)

**J. Curb Cuts (CDP).**

1. In the Village Center, no new curb cuts shall be allowed on Main Street.
2. In the Village Center, no more than one curb cut shall be allowed for each parcel. Lots that have auto access via alleys shall have no curb cuts from any public street.
3. Where curb cuts occur, the driveway shall be no more than 10 feet wide, unless two-way in and out access is required, in which case the driveway shall be no wider than 20 feet. (CDP)

**K. Development on Sloping Sites.** The hillsides are one of the dominant physical features in the East Village which provide enclosure on the northern edge of the Village. Preservation of the hillsides and careful, unobtrusive development is essential in maintaining an attractive backdrop for the East Village. For development on steeply sloping sites abutting the northern side of Main Street, the following development standards apply: (CDP)

1. Development shall be built on the flatter portions of these sites on top of the bluffs away from Main Street, and not in graded areas at the toe of the hillside at the edge of Main Street. (CDP)



**Figure 7-12 Building on Bluffs**

2. For parcels that are zoned for commercial uses, the flatter areas of the site shall be used for parking rather than building footprints.
  3. Site grading shall generally be limited to areas within and adjacent to the building footprint, parking areas and driveways. Where necessary due to unusual site conditions, or where necessary to blend graded areas with adjacent natural contours grading may be outside of those areas. (CDP)
  4. Building masses shall generally follow the contours. Where possible, large cuts and graded pads should be avoided. On sloping sites, buildings should have multiple levels and be dug into and step down the hill. All building in areas with natural slopes above 15 percent shall have stepped foundations or other similar techniques to minimize grading associated with large building pads. (CDP)
  5. Cut slopes shall be no higher than adjacent building heights. (CDP)
- L. Drive-up Windows.** No drive-up windows are allowed in the East Village (CDP).
- M. Storage.** All storage shall be screened by a solid wall or fencing that matches the architectural materials and style of the building. (CDP)
- 14. Mid-Village Area.** The following design standards apply to the area of Cambria designated as Mid-Village as shown in the Figure 7-13. (CDP) These standards attempt to preserve and enhance the landscape features of Mid-Village, making them the most dominant feature in the surrounding natural and built environment. Appropriately scaled buildings would be the most dominate feature of the built environment with each building's necessities, such as parking and storage, carefully sited and designed to serve its building and blend into the surrounding environment. (CDP)
- A. Building Orientation.** This section is intended to ensure that buildings face Main Street, with their interior activity areas visible from the street. (CDP)
1. **Permeability and Activity.** The Main Street facade of all commercial/office buildings shall be the "front," detailed with windows and doors and the main pedestrian entry to each space. (CDP)
- B. Building Height.** In order to maintain the existing character in which the natural landscape, not the built environment, is the dominant feature in the environment, building height shall be limited as follows: (CDP)

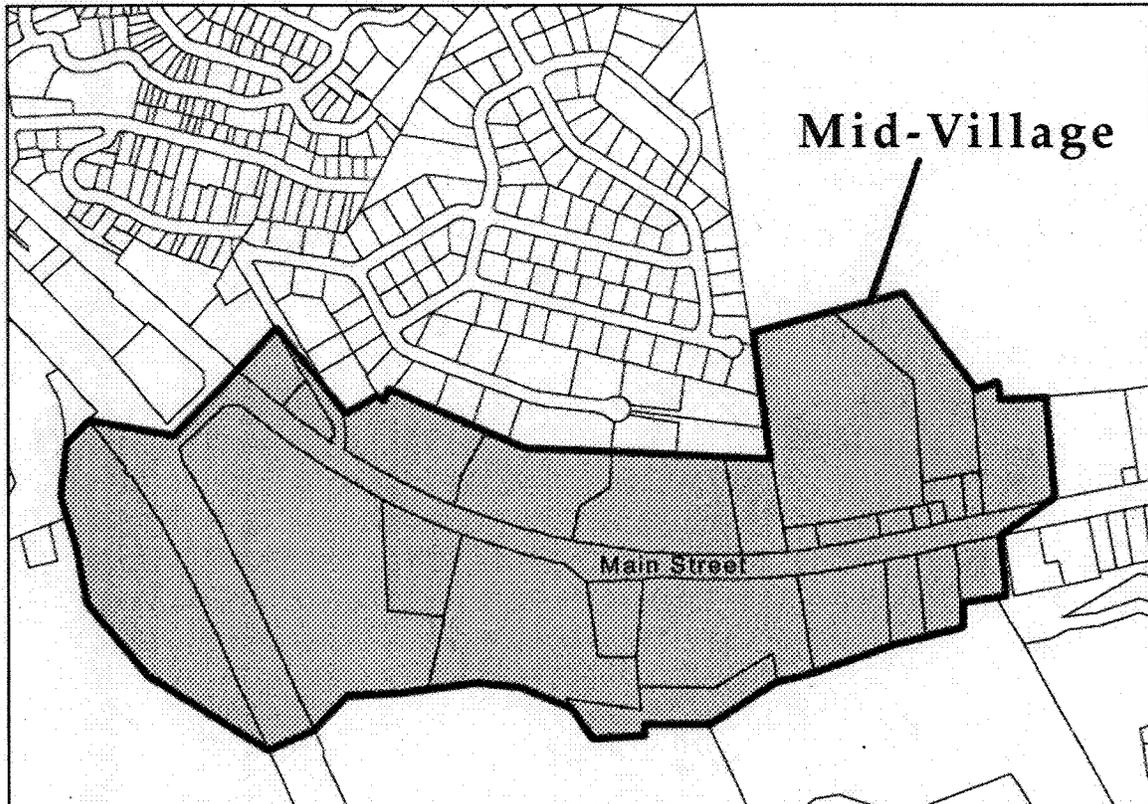


Figure 7-13 : Mid-Village Area Location Map

1. **Allowed Height.** All buildings south of Main Street shall not exceed 25 feet. (CDP)
2. **Allowed Height on Up-Slope Sites.** All buildings north of Main Street shall not exceed 20 feet. (CDP)
3. **Additional Height for Pitched Roofs.** As a means to encourage sloped roofs, the peak of a sloped roof may be up to 7 feet taller than the maximum building height of 20 or 25 feet (for a total of 27 or 32 feet), provided that the roof pitch is 6:12 or greater. (CDP)
4. **Additional Height for Non-Habitable Structures.** Non-habitable, architectural building elements, such as clock towers and steeples, may have a maximum height of 35 feet . (CDP)

5. **Measurement.** Building height is measured at every individual point on a site from the natural grade to the top of the building directly above that point. (CDP)
- C. **Setbacks.** All new development and/or remodeling in Mid-Village shall be as follows (CDP):
1. **Front Setback for Down-Slope and Cross-Slope Sites.** A minimum 15-foot front setback is required for all parcels that are not up-slope sites in relationship to Main Street. Exception may be made for the Mid-State Bank site in order to allow for buildings to be built to the sidewalk, if this proves feasible. (CDP)
  2. **Front Setback for Bluff-top Development Up-Slope Sites.** All development on up-slope sites, in relationship to Main Street, shall be setback 15 feet behind the top of the bluff. This distance is generally a minimum of 50 feet from the front parcel line. (CDP)
  3. **Side Setback.** A minimum 10-foot side setback is required of all buildings in this district. The minimum setback is to be increased one-foot for each three feet of building height above 12 feet. (CDP)
  4. **Rear Setback.** A minimum 20-foot rear setback is required for all buildings on the downslope side of Main Street. For parcels adjacent to Santa Rosa Creek this setback shall be offered for dedication for a public right-of-way. (CDP)
- D. **Roofs.** In order to preserve Cambria's charm as an historic and rural community, it is essential that roof lines are indicative of the vernacular shapes that were developed in the historic community. (CDP)
1. **Minimum Roof Pitch.** Any pitched roof shall have a minimum 3:12 pitch. (CDP)
- E. **Service Areas.** Service areas shall be placed away from Main Street, Santa Rosa Creek and other public open space. (CDP)
- F. **Parking.** Parking lots shall be carefully sited in order to preserve the rural character of Cambria. (CDP)
1. **Siting.** Parking shall be located behind buildings where possible. (CDP)

2. **Highway One Buffer.** A visual buffer shall be provided to mitigate views of parking areas from Highway One. Such buffers could include landscaping or additional commercial buildings. (CDP)

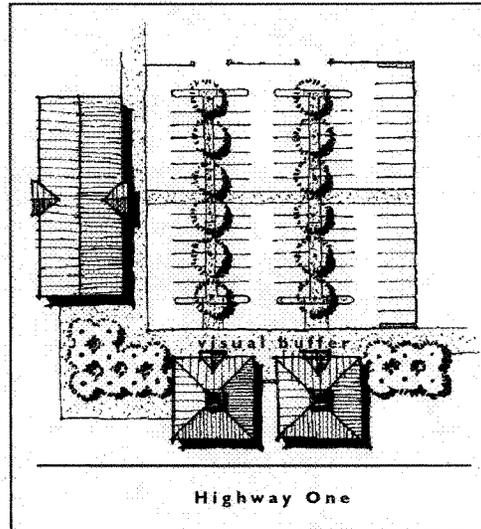


Figure 7-14: Highway One Visual Buffer

3. **Pedestrian Connections.** Where parking is located behind buildings, clearly delineated pedestrian connections to Main Street shall be provided. (CDP)
- G. **Drive-up Windows.** No new drive-up windows are allowed in the Mid-Village area. Existing drive-up windows may be relocated or reconfigured on a given site. (CDP)
- H. **Storage.** This standard places limitations on storage in order to visually conceal it and blend it with the surrounding physical environment. This is intended to minimize the potential for visual clutter and distraction from the buildings and surrounding landscape. (CDP)
1. **All storage shall be screened by a solid wall or fencing that matches the architectural materials and style of the building.** (CDP)
- I. **Development on Sites with Greater than Ten Percent Slopes.** The following standards are required for development on slopes greater than ten percent in order to preserve Cambria's hillsides and pines, which are important to the visual quality of the community.

1. Grading Limitations. Grading and buildings shall be designed to follow the natural slope by orienting and aligning with the existing contours. (CDP)
  2. Second Story Front Setbacks. On up-slope parcels, upper floors shall be setback a minimum of ten feet from the exterior wall directly below them. The upper-floor roof shall not extend more than two feet into the setback. (CDP)
  3. Sub-floor Areas. The lowest floor shall not be more than six feet above finished grade. Areas between the lowest floor and finished grade shall be covered with finished walls or appropriate architectural screening and not be left open. The addition of landscaping can further improve the appearance of the building and reduce apparent mass. (CDP)
11. ~~Cambria Village Square - Cookie Crock Market Area.~~ The following Standards 9 through 18 apply to Cambria Village Square (Tentative Tract 1036, APN's 13-101-45, 46, and 49):

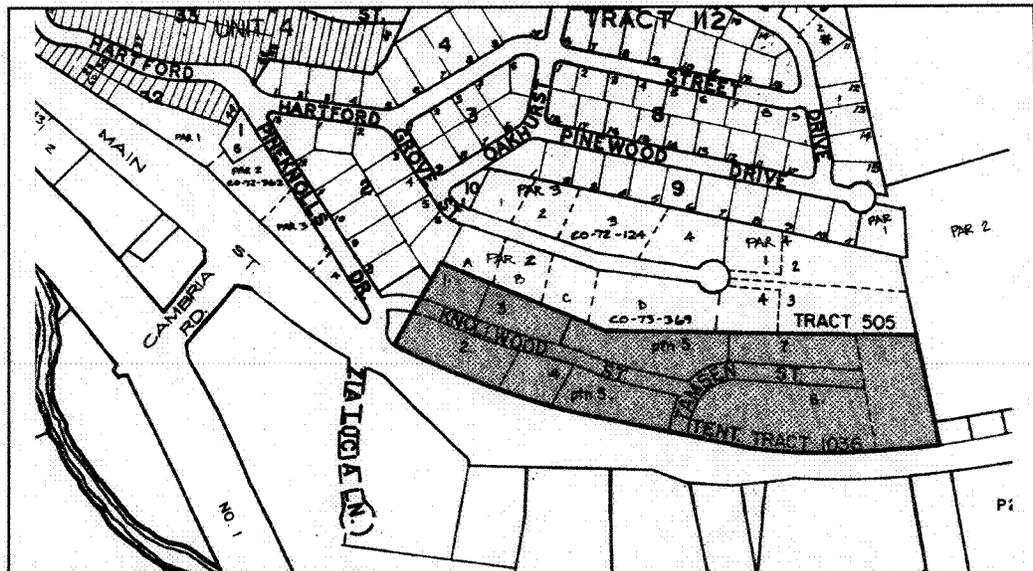


Figure 7-7: Cambria Village Square

~~A. Use Areas and Development Intensities.~~ Residential Multi-Family, Commercial Retail, and Office and Professional Use areas and development intensities are limited to the following locations in Cambria Village Square:

1. Residential multi-family. Low-density residential 15 units per acre on Parcels 1, 2, and 6. Allowable densities for portions of the site designated for residential development shall be calculated using only the portions of

the site that have slopes of 20% or less, with the remaining area to be left in open space.

- ~~2. Commercial and office/professional. Uses are to be located on Parcels 4, 5 and 6, with a maximum floor area of 72,000 sq. ft. and maintaining a maximum commercial-to-office use area ratio of approximately 70% to 30%.~~

~~10. **Permit requirement - Development Plan.** Master Development Plan for the entire property for review and approval by the county prior to development of the property. The master development plan is to include the following information:~~

~~A. Site layout and development concepts for all proposed Multi-Family Residential, Commercial Retail, and Office and Professional use areas (including any existing structures proposed to be retained on the site), together with the proposed height and bulk of structures, setbacks, parking areas, landscape areas and other features of development.~~

~~B. Architectural Design. Architectural theme of development, including detailed elevations which incorporate design, siting, and scale elements consistent with early 20th Century structures.~~

~~C. Circulation. Circulation plan identifying internal on-site streets, pedestrian walkways and proposed linkages to existing local streets or arterials.~~

~~D. Phasing Plan. A phasing plan for implementation of the project.~~

~~E. Traffic Impacts. Mitigation of the project's traffic impacts on areawide circulation, including prohibition of vehicular access to individual parcels from Pincknolls Drive and Main Street. Vehicular access shall be from the internal collector streets of the development.~~

~~F. Visual Impact Measures. Measures to reduce any negative impacts of the project on area residents and motorists traveling on Highway One, including a detailed landscaping plan with provisions for siting parking behind structures where feasible and landscaping visible parking areas to minimize their appearance.~~

~~G. Sign Requirements. Sign shall use wood or wood appearing materials.~~

~~B. Permit Requirements after Master Development Plan. After approval of the Master Development Plan, submit a Development Plan application for each proposed phase of development, showing details of siting, grading, structure~~

locations, circulation within each phase, and connection to the overall circulation system.

~~C. Height Limits. The maximum allowable height for all buildings is 25 feet.~~

**J. East Village.** The following standards apply 18 through 26 only to the Mid State Bank site Recreation land use category in the East Village area, shown in Figure 7-8 7-15, in addition to the standard listed above. (Mod129)

~~A. Permit Requirement. Development Plan approval is required prior to any permanent development in this area, in order to identify overall development of the property, circulation, uses and phases, to achieve consistency with the General Plan.~~

**1. Application Content.** The Applications for the land use permits Development Plan shall include the following information, in addition to the content requirements in the applicable Coastal Zone Land Use Ordinance Sections: for Development Plans

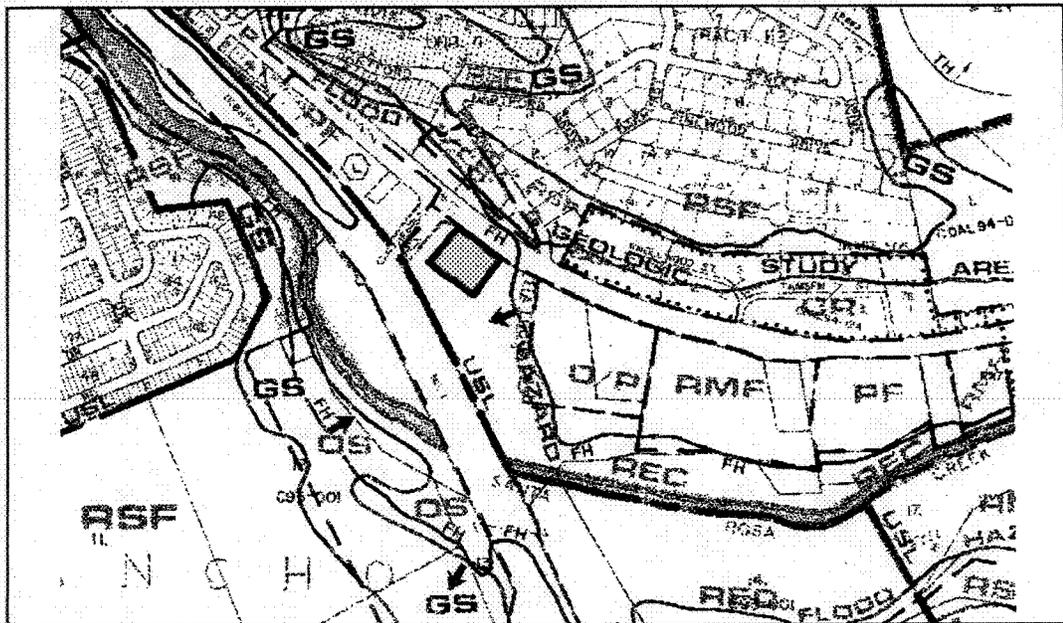


Figure 7-15: Mid State Bank Site

~~1. Development. A description of overall development of the property, circulation, proposed uses and development phases, demonstrating that proposed development will be consistent to achieve consistency with the General Plan.~~

1 a. **Site planning.** Specific locations for all proposed land uses, together with the proposed height and bulk of structures, setbacks and other features of development.

~~2. **Open areas.** Any areas proposed to remain undeveloped, and whether such areas are subject to flooding, having slopes in excess of 20%, or are characterized by other hazards or conditions which limit development.~~

~~c. Visitor-serving priority uses and coastal recreation uses and areas identified as the principal use of the site;~~

~~3. **Recreational use.** Areas intended for open space and passive recreation with amenities such as walkways, bicycle paths, outdoor furniture, and similar improvements shown with typical drawings.~~

~~4. **Availability of services.** Information on the current and projected water supply and sewage treatment capacity is adequate to support the amount of proposed development.~~

~~f. The location and extent of existing and proposed streets, including their proposed alignment, configuration, tentative widths and improvement standards and any improvement standards and any off-site improvements.~~

b. **Views from Highway One.** A viewshed analysis shall be submitted addressing impacts of any new development on views from Main Street and Highway One. Landscaping areas to buffer views from Highway One, Cambria Drive and Main Street of access roads, development and parking drives and spaces.

2. **Development Standards.** Site planning and architecture shall reflect Cambria's historical character, and shall be oriented toward Main Street to the maximum extent feasible. A variety in of building designs, materials, and ornamentation shall be utilized used to avoid a uniform "shopping center" appearance. When feasible, support equipment, unattractive building elements, and parking areas shall be buffered for visual impacts, and placed out of view of Highway One. New development shall be sited in a manner which maintains the existing open views from Highway One across the meadows to Santa Rosa Creek. ~~No development requiring the extension of water or sewer service shall be located outside the Cambria Community Services District (i.e., south of Santa Rosa Creek).~~

~~D. **Height Limitation.** Buildings shall contain no more than two stories and not exceed 25 feet, except that non-habitable, architectural building~~

elements, deemed appropriate and essential in creating a consistent architectural character in the area (e.g., clock towers, steeple, etc.), shall be permitted to extend above the height limit (e.g., clock tower, steeple, etc.), but no higher than allowed by the height regulations pursuant to the Coastal Zone Land Use Ordinance.

**E 3. Flood Protection.** Structures shall be built to ~~or below~~ existing grade, except where fill or pier supports are needed for flood protection. ~~and then~~ In this case, the amount of fill and/or the height of piers shall be the minimum needed to place the ground floor one foot above the 100-year flood stage (As necessary to meet the requirements of required by Coastal Zone Land Use Ordinance Section ~~23-07-060~~.) No fill shall be placed in a location or manner which would impair the effective 100-year flood flow capacity of Santa Rosa Creek. Fill for development along Main Street may be contoured along the Recreation/Commercial Retail boundary to provide a more attractive appearance.

**F 4. Parking and Vehicle Access. Setbacks:** Access roads and driveways shall be setback a minimum of 30 feet from Highway One and Cambria Road. Development, including parking driveways, shall be oriented toward Main Street to the maximum extent feasible. parking shall be setback 50 feet from Highway One, and 50 feet from the edge of riparian vegetation or top of the bank of Santa Rosa Creek, whichever is greater. Exceptions from the 50-foot creek setback may be allowed as stated by Standards 21 and 22.

**24. Circulation and Access.** Two-way vehicle access to the site shall be via a single intersection with Main Street at Pine Knolls Drive. ~~A two-way collector street shall be extended from the intersection to a cul-de-sac outside the 50-foot creek setback. The plan line of this street shall be extended to the property line at Santa Rosa Creek.~~

~~The proposed alignment of access roads shall be the least environmentally damaging alternative, and shall minimize cutting and filling; shall not extend into sensitive habitat areas or buffers (except for the installation of utility lines, pipelines, drainage and flood control facilities, bridge across streams, or road approaches to bridges); shall minimize visual impacts on Highway One, and shall not create significant adverse impacts on the road capacity or level of service of Highway One. No driveways or access roads will be allowed to encroach onto Highway One from the site.~~

~~**G Habitat and Creek Protection.** Except for "crossing bridges" and access roads or pedestrian bicycle paths, where no feasible, less environmentally damaging alternative route exists development shall not be allowed within the floodway,~~

~~stream, riparian corridors, areas of archaeological resources, in geologically unstable areas, or on slopes in excess of 20%. Where alternative routes do not exist for stream crossings, development impacts shall be mitigated to the maximum extent feasible.~~

~~**H. Pedestrian and Bicycle Path.** A pedestrian and bicycle path is to be installed along Santa Rosa Creek at the time of development, located outside the riparian habitat and consistent with the environmentally sensitive habitat policies of the Land Use Element. This path shall be designed to connect to the adjoining segment of the pathway which is required by the standards for the adjacent Residential Multi-Family land use designation on Santa Rosa Creek. The path shall be maintained, and shall remain open for public use. (Mod129)~~

**15. West Village Area.** The following standards apply to the West Village shown in the Figure 7-16. (CDP) The standards in this section are mandatory for all new development in order to guarantee the continued success of the West Village. (CDP)

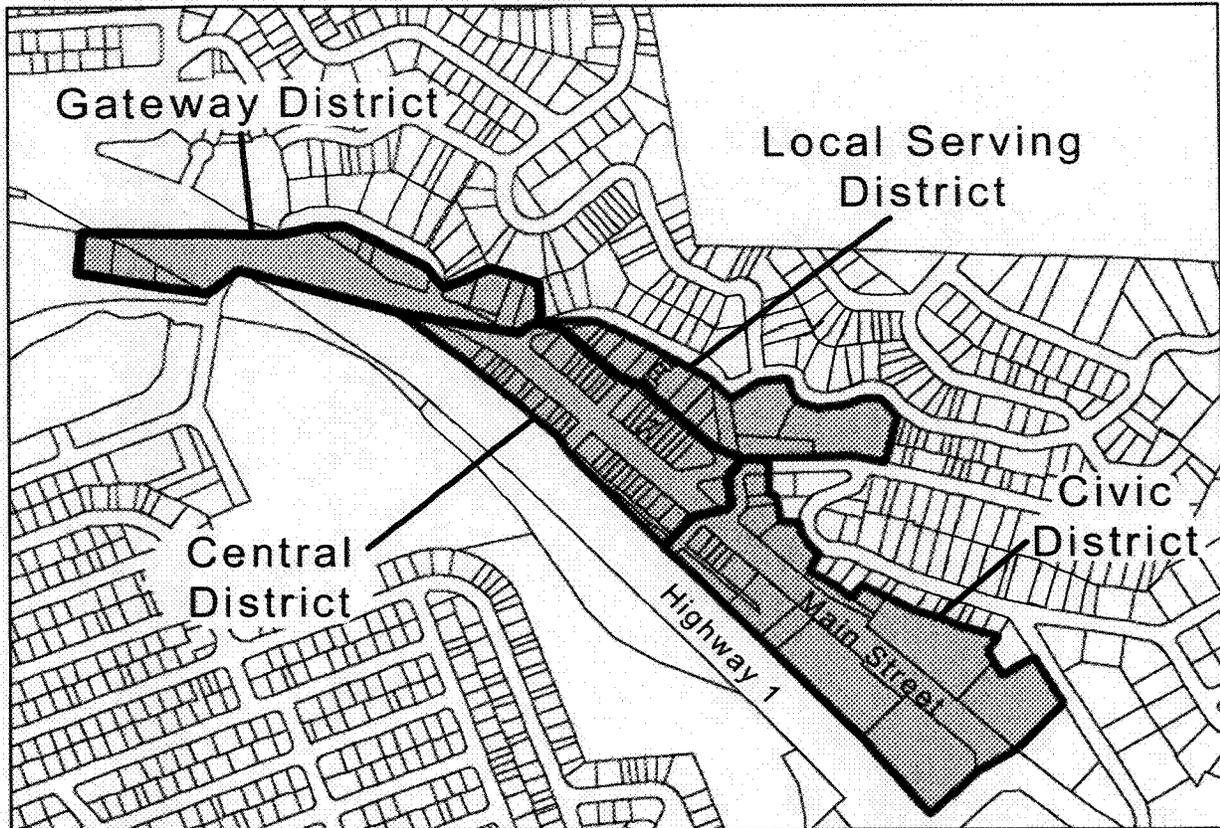
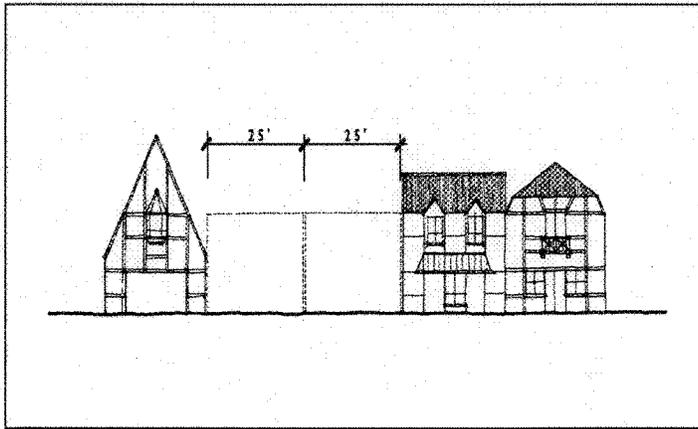


Figure 7-16: West Village Area Location Map

- A. **Front Setbacks.** All new development and/or remodeling in the Central District shall be built to the sidewalk edge or up to 5 feet behind the sidewalk if the area between the building and sidewalk is landscaped. On the south side of Main Street, this generally means that buildings will be built to the property line. On the north side of the street, buildings will generally have to be setback about three feet from the property line, and this setback will be paved as sidewalk. (CDP)
- B. **Side Setbacks.** All new development in the Central District shall be built to the property line with zero foot side setbacks. Exceptions may be made for a single driveway on an individual parcel in the northwest block face of Main Street (602 - 750 Main Street) in the Central District. (CDP)
- C. **Fire Walls.** All new development and/or remodeling shall be designed in a manner that eliminates the need for fire walls above roofs, as currently exists on Main Street. In order to achieve this, interior fire walls with a “lay-down parapet” shall be used to avoid the external parapet wall in compliance with Uniform Building Code. (CDP)

- D. Building Facades.** New development and/or remodeling in the Central District shall be articulated to include bays that match the typical 25-foot bays already found along Main Street. Building bays are recessed sections of the facade that occur between structural and/or ornamental building columns. (CDP)



**Figure 7-17: Building Facades**

- E. Limitation on Use.** In the Central District ground floor frontages shall be retail or visitor-serving uses only. These uses create a sense of activity that is crucial for pedestrian-oriented areas. (CDP)
- F. Curb Cuts.** No curb cuts shall be allowed on Main Street in the Central District, except on the northwest block face (602 - 750 Main Street), where no more than one curb cut shall be allowed for each parcel. Where possible, sites should share vehicle access with their neighbors as a means to minimize the number of curb cuts on Main Street. Driveways shall be no more than 10 feet wide. Lots that have auto access via side streets and/or alleys shall have no curb cuts on Main Street. (CDP)
- G. Drive-up Windows.** No new drive-up windows such as those used for banks and fast food places are allowed. Existing drive-up windows may be reconfigured or relocated but not expanded. (CDP)
- 14 16. Access Limitation.** Commercial development is not to shall not use access from Pine Knolls Drive.
- 15. 17. Setbacks - Main Street at Pineknolls Drive.** Because of special site constraints, Parcel 2 of Parcel Map CO 72-362 located between Main Street and Pineknolls Drive is allowed a four (4) foot setback from Main Street.

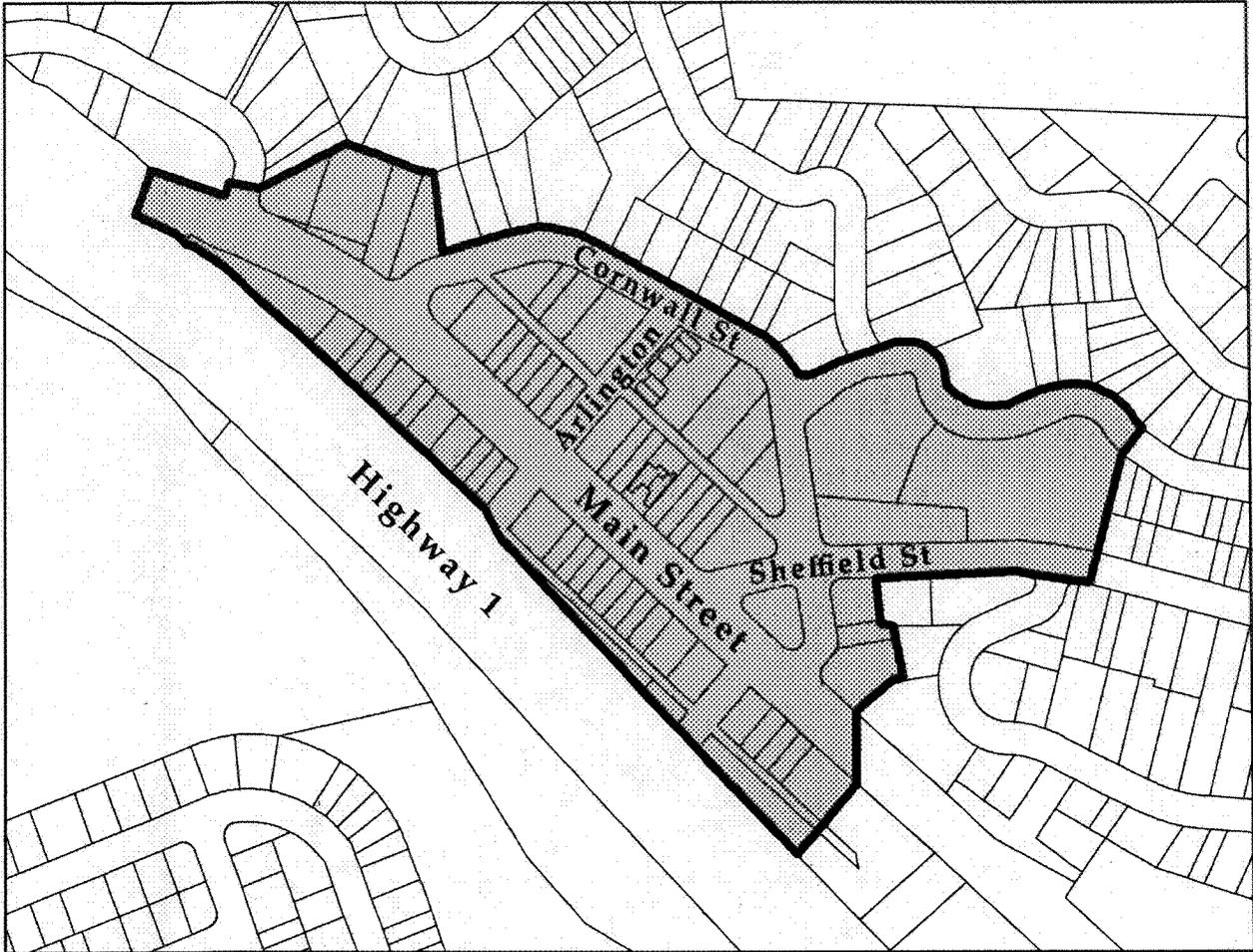


Figure 7-18: Cambria West Village Parking Assessment District

**16 18. Parking Requirements - Cambria West Village Parking District.**  
The required number of parking spaces specified in the Coastal Zone Land Use Ordinance shall be reduced by two parking spaces for each assessment (lot) parcel within the district boundary as shown on Figure 7-18.

**East and West Village.** The following standards apply only to the Commercial Retail category in the East and West Village:

1. **Height Limitation.** The maximum allowable height for all buildings on Main Street, Bridge Street and Burton Avenue is 28 feet.
2. **Application Content and Design Criteria.** Applications for any development in the downtown area shall include the following:

- a. Detailed elevations which incorporate design siting, and scale elements consistent with the early 20<sup>th</sup> century structures which establish the special architectural character of the area. Proposals for the renovation or remodeling of early 20<sup>th</sup> century buildings shall respect the original character of the structures.
- b. Detailed landscaping plan including provisions for siting parking behind structures where feasible and landscaping visible parking areas to minimize their appearance.
- c. Sign shall use wood or wood-appearing materials.
- d. Setbacks shall reflect the setbacks of structures within the block of the site proposed for development to allow for integrating new structures with the character of the residences or residences that have been converted to commercial use.

~~**East Village.** The following Standards apply only to the East Village area (see Figure):~~

- ~~**5. Limitation on Use - East Village.** All uses normally allowed in the Commercial Retail category by Coastal Table 'O' are allowed except: Auto and Mobile home Dealers; Transmission and Receiving Facilities; Storage Yards and Sales Lots and all uses within the Manufacturing and Processing use groups.~~

~~**West Village.** Standards 2 and 3 apply only to the West Village area (see Figure):~~

- ~~**3. Front Setback Requirements.** Front setback shall be zero feet unless a more detailed setback is specified below.~~
- ~~**7. Limitation on Use - Rodeo Grounds Road.** Uses shall be limited to hotels and motels; bed and breakfast facilities; eating and drinking places (not including drive-in restaurants, fast food and refreshment stands); tourist-oriented gift shops; and art galleries. (This is a visitor-serving priority area).~~
- ~~**8. Permit Requirement.** Development Plan approval is required for any development of the property south of Santa Rosa Creek, west of Burton Drive.~~

**COMMERCIAL SERVICE:** The following standards apply to all land within the Commercial Service land use category.

1. **Limitation on Use.** All uses as set forth in Coastal Table 'O' - Allowable Uses are allowed except the following: Specialized Animal Facilities, Agricultural Processing, Petroleum Extraction, Hotels, Motels, Churches, and Recycling and Scrap.

~~Uses shall be limited to: Animal Raising and Keeping; Specialized Animal Facilities; Crop Production and Grazing; Farm Equipment and Supplies; Nursery Specialties (soil and non-soil dependent); Amusements and Recreation Services (limited to health and athletic clubs); Temporary Events; Apparel and Finished Products; Collection Stations (if entirely contained in a building); Electronic and Scientific Instruments; Food and Kindred Products; Furniture and Fixtures; Metal Industries-Fabricate; Printing and Publishing; Small Scale Manufacturing; Caretaker Residence; Home Occupations; Residential Accessory Uses; Temporary Dwelling; Building Materials and Hardware; Fuel and Ice Dealers; Furniture, Home Furnishings and Equipment; Mail Order and Vending; Outdoor Retail Sales; Auto and Vehicle Repair and Service; Business Support Services; Contract Construction Services; Laundries and Dry Cleaning; Offices; Temporary Offices; Public Safety Facilities; Consumer Repair Services; Accessory Storage; Storage Yards and Sales Lots; Temporary Construction Yards; Pipelines and Power Transmission; Public Utility Centers; Vehicle and Freight Terminals; Warehousing; and Wholesaling and Distribution; in accordance with Coastal Table O, Part I of the Land Use Element~~

2. **Permit Requirement.** ~~Development Plan~~ A Minor Use Permit approval is required unless a Development Plan is otherwise required by the Coastal Zone Land Use Ordinance.

3. **Design Standards.** New development shall comply with the following standards:

- A. **Site Coverage.** Building site coverage is limited to 60 percent of the total site area.
- B. **Building Design.** New buildings shall be designed to minimize visual impacts from Burton Drive and the surrounding area.

**RECREATION:** The following standards apply to all land within the Recreation land use category.

1. **Permit Requirement.** Minor Use Permit approval is required for all new development unless Chapters 23.03 or 23.08 of the Coastal Zone Land Use Ordinance would otherwise require Development Plan approval.
2. **Location Criteria - RV Parks.** Recreational Vehicle Parks are prohibited adjacent to on sites that abut sites in any Residential Land Use category categories.
3. ~~Limitation on Use - Public holdings. Public holdings shall be limited to public recreation uses for day use.~~
4. **3. Limitation on Use.** Principal Permitted uses are limited to: Eating and Drinking places (not including drive-in restaurants, fast-food and refreshment stands); Food and Beverage Retail Sales (limited to tourist-oriented supplies); tourist-oriented General Merchandise Stores; Hotels and Motels; Passive Recreation, participant sports and active recreation, and uses from the Open Space category in Coastal Table 'O'. Non-Principally Permitted uses are limited to: Caretaker's Residence; Service Stations; Public Assembly and Entertainment (when accessory to a Hotel and Motel); Financial Services (only when expressly designed to serve visitor needs); Coastal Accessways; and Water Wells and Impoundment. (This is a visitor-serving priority area.)
4. **4. Moonstone Beach.** Standards 5 through 13 The following Standards apply only to the Moonstone Beach Area, as shown in Figure 7-19. instead of the previous Standards 1 to 4.
  - A. **Limitation on Use.** Principally Permitted uses are limited to: Eating and Drinking Pplaces (drinking places independent from restaurants are prohibited), Hotels and Motels, tourist-oriented Food and Beverage Retail Sales (with location not limited to road intersections), General Merchandise Stores (tourist-oriented specialty shops including gift and antique stores, ~~and cleaning and laundry agencies;~~ not exceeding 2,500 square feet in area, including any attached living quarters and art galleries). Non-Principally Permitted uses are limited to: Caretaker Residences (when accessory to a Principally Permitted use and clearly subordinate to that use and occupying the rear portion or second story of the structure), Libraries and Museums (zoos are prohibited), Indoor Amusements & Recreation, Outdoor Recreation, Temporary Events, (when accessory to a Hotel and Motel), Public Safety Facilities, and Coastal Accessways. (This is a visitor-serving priority area.) (Mod130)

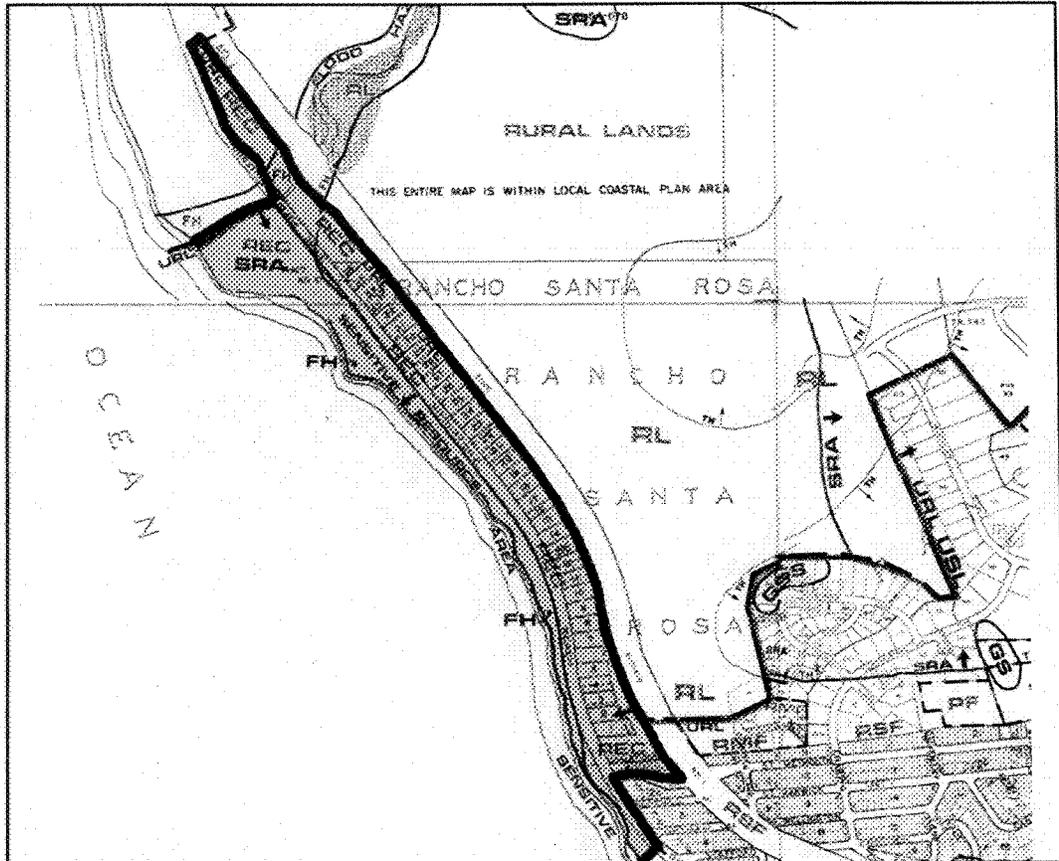


Figure 7-19: Moonstone Beach Area

- B. Signs.** Signs shall match the architecture, materials and colors of the building itself. (CDP)
- 6 C. Permit Requirements.** ~~Minor Use Permit approval is required for all projects not unless the Coastal Zone Land Use Ordinance requires a otherwise required by Chapters 23.03 or 23.08 to require Development Plan. approval. All applications are to receive an environmental determination in accordance with Section 23.02.033 of the Coastal Zone Land Use Ordinance before completion of processing.~~
- 7 D. Exterior Building Materials.** ~~Native and natural-looking materials and textures are to shall be used predominate in use on the exterior of buildings. Suitable materials are wood, stone, brick, and textured concrete block colored with natural earth integral colors. Roofing should be wood or wood-appearing materials.~~
- 8 E. Exterior Building Colors.** ~~Building colors should be Paint, if used, is to be of subdued hues and tones harmonizing with the dominant colors of the natural environment.~~

**9 F. Height Limitation.** The maximum allowable height for all buildings between Highway One and the ocean is 15 feet. A reduced maximum height may be required if the new development would ~~entirely~~ block public views to and along the shoreline.

**10 G. Landscaping Requirements.** Landscaping of the entire site, including side property lines, is required, using native plants and trees compatible with the coastal environment.

**11 H. Road Improvements.** Road improvements for Moonstone Beach Drive ~~are not~~ to shall not include curbs, gutters, and or sidewalks.

~~12. Sign standards. Signs are to be designed, located, and constructed to preserve views of the ocean from Highway One. They are to be constructed of native materials and to be externally lighted with shielded lights.~~

**13 I. Site Coverage - View Corridors Required.** At least 50% percent of each site is to remain free of structures and landscaping that would block views of the shoreline and coastal terrace, in order to provide a view corridor ~~of the shoreline and coastal terrace~~ from Highway One. Development on contiguous lots ~~shall~~ may employ ~~0~~ zero-foot side yard setbacks ~~where~~ when feasible to maximize view corridors.

**4. Cambria Pines Lodge.** ~~Standards 14 through 17~~ The following standards apply only to the Cambria Pines Lodge property, as shown in Figure 7-20.

**14A. Limitation on Use.** Principally Permitted uses are limited to Eating and Drinking Pplaces (not including drive-in restaurants, and fast-food restaurants, and refreshment stands), Food and Beverage Retail Sales (tourist-oriented), General Merchandise Stores (tourist-oriented), Hotels and Motels, and Bed and Breakfast Facilities. Non-Principally Permitted uses are limited to: ~~service stations;~~ Indoor Amusements & Recreation, Outdoor Recreation, Temporary Events, (when accessory to a Hotel or Motel), Public Safety Facilities, a Caretaker Residences, Public Assembly and Entertainment (when accessory to a Hotel or Motel), and uses permitted by the Cultural, Education, and Recreation use group ~~uses~~ (excluding Libraries and Museums, ~~membership organizations;~~ Schools and Social Service Organizations) in accordance with Coastal Table 'O', Part I of the Land Use Element. (This is a visitor-serving priority area.)

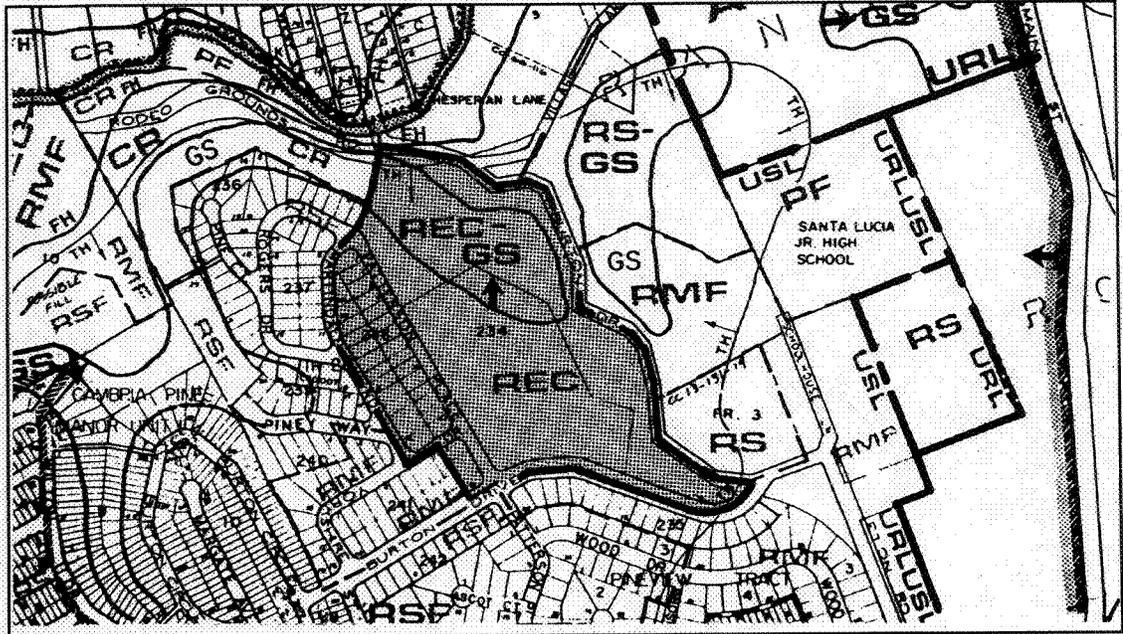


Figure 7-20: Cambria Pines Lodge

**15. B. Limitation on Use - West of Patterson Way.** For that area designated Recreation, but located outside the "V" overlay which is located west of Patterson Way, principally permitted uses are limited to Hotels and Motels, Bed and Breakfast Facilities, and Passive Recreation. Non-Principally permitted uses are limited to a Caretaker's Residence. ~~and Multi-Family Dwellings.~~

**16 C. Permit Requirements.** Development Plan approval is required for all uses. ~~The Development Plan is to integrate the residential uses with the lodge facility, and also determine the precise areas for visitor-serving uses.~~

~~A. Phasing plan. If the property development is to be phased over a period of time, the first Development Plan application is to include a project phasing plan.~~

~~17. Development Standards. New development proposals are subject to the following standards:~~

~~A. Allowable densities for portions of the site proposed for residential development shall be calculated using only those areas of the site that have slopes of 20% or less, with the remaining area to be left in open space. No development is permitted on slopes greater than 20%, except for trails as may be appropriate.~~

- ~~B. Density on the site (as calculated by Standard A above) shall not exceed 26 units per acre.~~

~~East Village. Standards 18 through 26 apply only to the Recreation land use category in the East Village area shown on Figure 5, in addition to standards listed above.~~

~~18. Permit Requirement. Development Plan approval is required prior to any permanent development in this area, in order to identify overall development of the property, circulation, uses and phases to achieve consistency with the general plan.~~

~~19. Application Content. The application for the Development Plan shall include the following information, in addition to the content requirements in the applicable Land Use Ordinance Sections for Development Plans:~~

- ~~a. Specific locations for all proposed land uses together with proposed height and bulk structures, setbacks and other features of development;~~
- ~~b. Any areas proposed to remain undeveloped, and whether such areas are subject to flooding, have slopes in excess of 20%, or are characterized by other hazards or conditions which limit development;~~
- ~~c. Visitor-serving priority uses and coastal recreation uses and areas identified as the principal use of the site;~~
- ~~d. Areas intended for open space and passive recreation with amenities such as walkways, bicycle paths, outdoor furniture and similar improvements shown with typical drawings;~~
- ~~e. Information on the current and projected water supply and sewage treatment capacity adequate to support the amount of proposed development;~~
- ~~f. The location and extent of existing and proposed streets, including their proposed alignment, configuration, tentative widths and improvement standards and any improvement standards and any off-site improvements;~~
- ~~g. Landscaping areas to buffer views from Highway 1, Cambria Drive and Main Street of access roads, development and parking drives and spaces.~~

~~20. Development Standards. Site planning and architecture shall reflect Cambria's historical character. Variety in buildings, materials and ornamentation shall be utilized to avoid a uniform shopping center appearance. Support equipment and unattractive building elements shall be placed out of view of Highway 1. New development shall be sited in a manner which maintains the existing open views from Highway 1 across the meadows to~~

Santa Rosa Creek. No development requiring the extension of water or sewer service shall be located outside the Cambria Community Services District (i.e., south of Santa Rosa Creek):

- ~~21. **Height Limitation.** Buildings shall contain no more than two stories and not exceed 25 feet, except that non-habitable, architectural building elements, deemed appropriate and essential in creating a consistent architectural character in the area, shall be permitted to extend above the height limit (e.g., clock tower, steeple, etc.), but no higher than allowed by the height regulations pursuant to the Coastal Zone Land Use Ordinance.~~
- ~~22. **Flood Protection.** Structures shall be built to or below existing grade except where fill or pier supports are needed for flood protection, and then the amount of fill/height of piers shall be the minimum needed to relegate the ground floor one foot above the 100-year flood stage as necessary to meet the requirements of Coastal Zone Land Use Ordinance Section 23.07.060. No fill shall be placed in a location or manner which would impair the effective 100-year flood flow capacity of Santa Rosa Creek.~~
- ~~23. **Setbacks.** Access roads shall be setback 30 feet from Highway 1 and Cambria Road. Development, parking drives and spaces shall be setback 50 feet from Highway 1 and 50 feet from the edge of riparian vegetation or top of the bank of Santa Rosa Creek, whichever is greater. Exceptions from the 50-foot creek setback may be allowed as stated by Standards 21 and 22.~~
- ~~24. **Circulation and Access.** Two-way vehicle access to the site shall be via a single intersection with Main Street at Pine Knolls Drive. A two-way collector street shall be extended from the intersection to a cul-de-sac outside the 50-foot creek setback. The plan line of this street shall be extended to the property line at Santa Rosa Creek.~~

~~— The proposed alignment of access roads shall be the least environmentally damaging alternative, and shall minimize cutting and filling, shall not extend into sensitive habitat areas or buffers (except for the installation of utility lines, pipelines, drainage and flood control facilities, bridge across streams, or road approaches to bridges), shall minimize visual impacts on Highway 1, and shall not create significant adverse impacts on the road capacity or level of service of Highway 1. No driveways or access roads will be allowed to encroach onto Highway 1 from the site.~~
- ~~25. **Habitat and Watershed Protection.** Except for "crossing bridges" and access roads or pedestrian bicycle paths where no feasible, less environmentally damaging alternative route exists, development shall not be allowed within the floodway, stream, riparian corridors, areas of archaeological resources, in geologically unstable areas or on slopes in excess of 20%. Where alternative routes do not exist for stream crossings, development impacts shall be mitigated to the maximum extent feasible.~~

~~26. **Pedestrian and Bicycle Path.** A pedestrian and bicycle path is to be installed along Santa Rosa Creek at the time of development, located outside the riparian habitat and consistent with the environmentally sensitive habitat policies of the Land Use Element. This path shall be designed to connect to the adjoining segment of the pathway which is required by the standards for the adjacent Residential Multi-Family land use designation on Santa Rosa Creek. The path shall be maintained and open for public use.~~

**J5. Patrick House - Bed & Breakfast.** The following standard applies only to the J. Patrick House.

**A. Limitation on Use.** Uses are limited to a Bed and Breakfast Facility, and uses allowable in the Residential Use Group according to Coastal Table 'O' (Allowable Use Chart), Part I of the Land Use Element.

**RESIDENTIAL MULTI-FAMILY:** The following standards apply to all land within the Residential Multi-Family land use category.

1. **Density Limitations and Permit Requirement.** All Multi-family projects shall not exceed the following densities are subject to the following standards:
  - A. **Density Limitation.** Projects Residential density ~~on sites less than one acre~~ shall not exceed 15 units per acre.
  - ~~B. Projects on sites greater than one acre shall not exceed 26 units per acre.~~
  - B. **Permit Requirements.** All new dwelling units require a Minor Use Permit unless the Coastal Zone Land Use Ordinance requires a Development Plan.
2. **Height Limitation.** The maximum height for structures is 28 feet ~~, except when. Development visible from Highway One~~ the height shall not exceed two stories, or 25 feet in height.
3. **Required Findings – Limitation on Use.** To maintain affordable housing opportunities, single-family dwellings shall not be allowed except as part of a caretakers quarters for a larger multi-family project, or where the parcel size is less than 6,000 square feet and has been held under separate ownership from adjacent lots since adoption of this Plan. Minor Use Permits for single-family dwellings shall not be approved unless the County finds and determines that there is no reasonable or feasible way to develop the site for multi-family units, present and future. Single-family dwellings in the Residential Multi-Family land use category shall also conform with all standards applicable to the Residential Single-Family land use category.
4. **First Baptist Church.** The following standard applies only to that parcel bounded by Green Street, Ardath Drive and Highway One on West Lodge Hill.
  - A. 3. **Limitation on Use.** Uses are limited to: Churches, Membership Organizations, and Schools - Preschool through Secondary. ; ~~Accessory Storage, Pipelines and Power transmission; and Public Utility Centers.~~

**The Ranch.** Standards 4 through 5 apply only to the Residential Multi-Family land use category on the Ranch, east of Highway 1 and south of Santa Rosa Creek (see Figure 5).

- ~~4. **Permit Requirements.** Development Plan approval is required for all uses.~~

~~5. Pedestrian and Bicycle Path. A pedestrian and bicycle path is to be installed along Santa Rosa Creek at the time of development located outside the riparian habitat and consistent with the environmentally sensitive habitat policies of the Land Use Element.~~

**5. Tract 226.** The following standards 5 and 6 apply only to Tract 226 (see Figure 5 7-1).

**A. 5. Permit Requirement - Tract 226.** Prior to any additional development or land division in Tract 226, a Master Development Plan ~~is to~~ shall be approved for the entire tract, including each ownership within the tract. The Development Plan application is to include specific provisions for resolving the following issues:

~~A. 1.~~ Establishment of an association of property owners to develop cooperative proposals for: site land uses, access, circulation and parking, development phasing, ~~improvement design, design improvements,~~ construction and maintenance ; definition and maintenance of common facilities.

~~B.~~ Aggregation of contiguous lots and ownerships as necessary to provide adequate sites commercial development.

~~C. 2.~~ Definition of use, Types of allowable uses, improvement standards, landscaping proposals concepts, and timing of ~~improvement of the common area~~ installation of improvements within the common areas.

~~D 3.~~ Definition of a unified architectural theme for site development.

**B. Land Division.** Any subdivision or resubdivision of Tract 226 shall not result in any additional lots. (Mod131)

**RESIDENTIAL SINGLE-FAMILY:** The following standards apply to all land within the Residential Single-Family land use category.

- ~~1. **Lateral Access Dedication - Park Hill.** New blufftop oceanfront development shall be required to offer to dedicate a lateral easement for public access extending from mean high tide to the toe of the bluff.~~
1. **Permit Requirement.** Minor Use Permit approval is required for development on lots of 20% or greater slope and for development within Special Projects Areas. Plot Plan approval for other lots unless a higher level of review is required by the Coastal Zone Land Use Ordinance. Minor Use Permit approval is required where TDCs are used to increase Footprint or Gross Structural Area.

### **Lodge Hill**

In addition to the previous standards for 25' lots, the following standards apply to Lodge Hill (see Figure 5):

- ~~7. **Permit Requirements and Application Content.** Minor Use Permit approval for development on lots of 25% or greater slope and for development within Special Project Areas. Plot Plan approval for other lots unless a higher level of review is required by the Coastal Zone Land Use Ordinance. Consideration of a bonus for additional footprint or gross structural area requires Minor Use Permit approval.~~

~~Applications shall include information on grading, drainage and erosion and sedimentation control in accordance with Chapter 23.05 of the Coastal Zone Land Use Ordinance.~~

2. **Secondary dwellings.** The maximum floor area of a secondary dwelling shall be 640 square feet and the secondary dwelling shall be permanently attached by a common wall to the primary dwelling or on the second floor of the primary dwelling's detached garage.
3. **Application Content.** In addition to the applications requirements of the Coastal Zone Land Use Ordinance, Minor Use Permit applications shall include the following: (RDP)
  - A. **Contour Map.** Provide site contour information for the entire property at two-foot intervals. (RDP)
  - B. **Architectural Elevations.** Provide front, side, and rear elevations of all proposed structures. (RDP)

- C. **Vegetation Location.** The site layout plan shall contain location of any shrubs and native vegetation. (RDP)
- D. **Streetscape Plan.** A scale drawing showing the front exterior elevation (view) of the proposed project and the front elevations of adjacent buildings on the two lots to the left and the two lots to the right of the subject property. (RDP)
- E. **Statement of Design Criteria Compliance.** Residential Single Family Standard 10 contains discretionary design criteria that are flexible in their meaning to allow for interpretation. The application shall include a statement explaining how the proposed project has met the intent of the design criteria.(RDP)
- F. **Additional Contents - Oceanfront Lot Development.** Applications shall include plans with measurements for the form, mass, scale, and roofing and yard features (such as fencing). To the maximum extent feasible, new development shall be compatible with the character of the surrounding neighborhood and protect public views from the road. (RDP)

~~3. **Lot Consolidation - subdivisions of 25-foot lots.** The following standards apply to Lodge Hill as well as all other areas (such as Park Hill) that are subdivided into 25-foot lots. In all areas such as Lodge Hill, Happy Hill and Park Hill that are subdivided into 25-foot lots, the following standards shall apply:~~

- ~~A. A single lot with a frontage of 25 feet constitutes a separate building site only if it is under separate ownership from adjacent lots (See Section 23.04.048 of the Coastal Zone Land Use Ordinance).~~
- ~~B. Single ownership of two or more adjoining vacant lots are subject to the requirements of Section 23.04.048 – Lot Consolidation of the Coastal Zone Land Use Ordinance.~~
- ~~C. **Pine Forest Preservation.** New construction shall be required to preserve the Cambria Pine Forest as follows:~~
  - ~~(1) No tree shall be removed unless it is within the structural line of an approved development in accordance with Section 23.05.060-064 of the Coastal Zone Land Use Ordinance.~~
  - ~~(2) Trees may only be removed if the County or a county approved consultant determines they are diseased or pose a hazard.~~

- ~~(3) Any tree(s) with a trunk diameter of 8 inches or greater removed from a development site are to be replaced on a two for one basis, to the approval of the Planning Department.~~
- ~~(4) If available, replacement trees shall be five gallon Monterey Pines, grown from seeds obtained from the Cambria stand.~~
- ~~(5) Construction practices to protect Monterey Pines from disturbance shall be implemented. Such practices shall include protecting tree trunks from construction equipment by wrapping with heavy materials (e.g., layers of burlap); protecting root systems through the design of the foundation and careful use and storage of construction equipment.~~
- ~~(6) Undeveloped area of each building site shall be maintained in native vegetation and natural character.~~

~~8. Site Development Standards. New development shall satisfy the following standards:~~

**4. Topographic Standards.**

- A. Land Alteration Within View Corridors.** Land alteration shall be minimized on sites located within areas that are determined by the Planning Director to be public view corridors from collector or arterial roads (per Coastal Zone Land Use Ordinance Section 23.05.034d). These roads are identified on the Circulation map as Highway One, Main Street, Burton Drive, Eton Road, Ardath Drive, Pineridge Drive, Windsor Boulevard, Charing Lane, Weymouth Street, Buckley Drive, and Cambria Pines Road. (RDP)
- B. Minimize the Extent of Excavation and Fill on a Site.** Grading, filling or site disturbance of existing soil and vegetation shall be limited to the minimum areas necessary. Impervious surfaces such as driveways and walkways shall be limited to the smallest functional size.
- C. Minimize the Visual Impacts of Retaining Walls as Seen from the Public Right-of-way and Neighboring Sites.** Multiple terraces are preferred, with terracing or revetments when feasible, rather than one tall retaining wall. The exterior height of retaining walls for driveways and other site development shall be no taller than six feet from finish grade, unless other solutions are necessary for fire or emergency access or are infeasible. Walls should be stepped or terraced to provide small-scale articulation. (RDP)

**D. Erosion Control.** In addition to other applicable requirements of the Coastal Zone Land Use Ordinance, the following ~~shall also be met~~ erosion control standards apply:

1. Control Runoff of Water. All runoff from impervious surfaces such as roofs, driveways, walks, patios, and/or decks, shall be collected and ~~detained~~ retained on-site. Run-off not able to be retained on-site shall be or passed through an effective erosion control device or drainage system approved by the County Engineer.
2. Installation of Control Devices. ~~Permanent~~ Erosion control devices shall be installed prior to, or concurrently with, on-site grading activities.
3. Grading. ~~If grading is to occur between October 15 and April 15, a~~ A sedimentation and erosion control plan shall be submitted in compliance with per Coastal Zone Land Use Ordinance Section 23.05.036. Approved measures for erosion and sedimentation control shall be installed and inspected prior to commencement of grading activity.
4. Grading Limited. Grading, filling, and or-site disturbance of existing soil and vegetation shall be limited to the minimum areas necessary.
5. Protection of Disturbed Soil. Stockpiles and other disturbed soil shall be protected from rain and erosion by a perimeter defense, plastic sheets, or other covering.
6. Erosion Control Methods. All areas disturbed by grading shall be revegetated, temporarily or permanently, with a native seed mix, or protected with other erosion control measures with temporary or permanent erosion control devices in place.

**5. Height.** The maximum height for ~~all single family structures~~ is 28 feet above average natural grade, except as required below follows. (RDP)

- A. **Lodge Hill.** The maximum height for structures visible from Highway One † within the Lodge Hill area is 25 feet.
- B. **Marine Terrace.** The maximum height for structures between Marlborough and Sherwood Drive is 22 feet.



Figure 7-21: Lodge Hill Area

**C. Nottingham Drive, Windsor Boulevard and Sherwood Drive.** The maximum height for structures between the ocean and ~~Sherwood Drive~~ the street is 15 feet as measured from the centerline of the fronting road, which is calculated as the average of five equidistant points on the centerline for the following areas:

- 1. Nottingham Drive.** Cambria Pines Unit 5, those blocks west and southwest of Nottingham Drive.
- 2. Windsor Boulevard.** Tract 159, Blocks 1, 2, and 3, that are west and southwest of Windsor Drive.
- 3. Sherwood Drive.** The maximum height for structures shall be 15 feet.

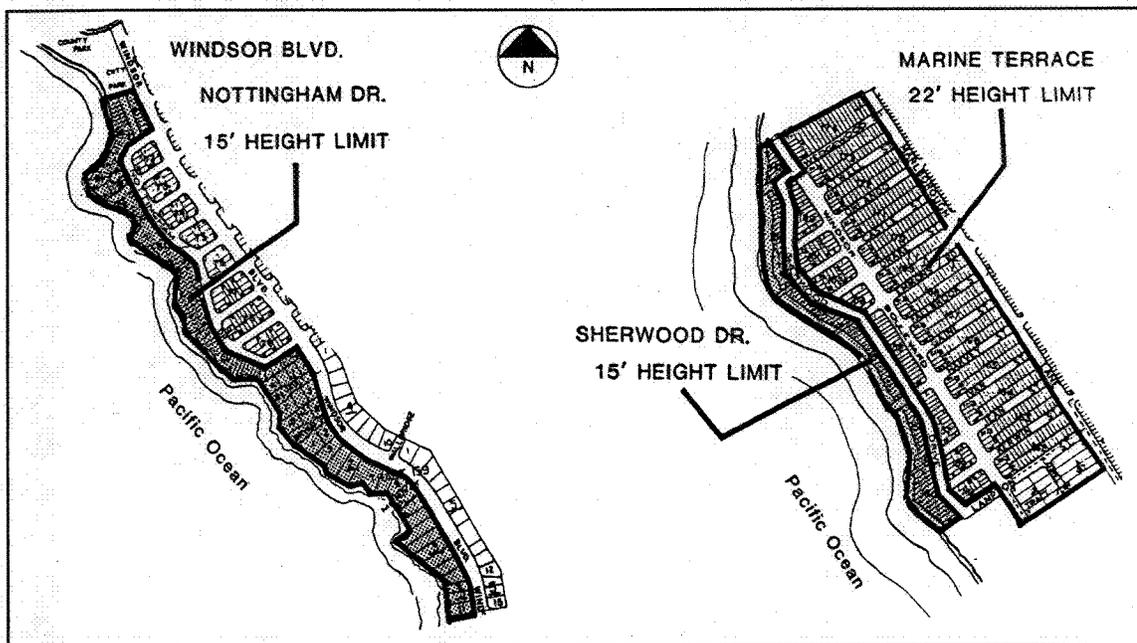


Figure 7-22: Windsor - Nottingham-Sherwood Height Limit Areas

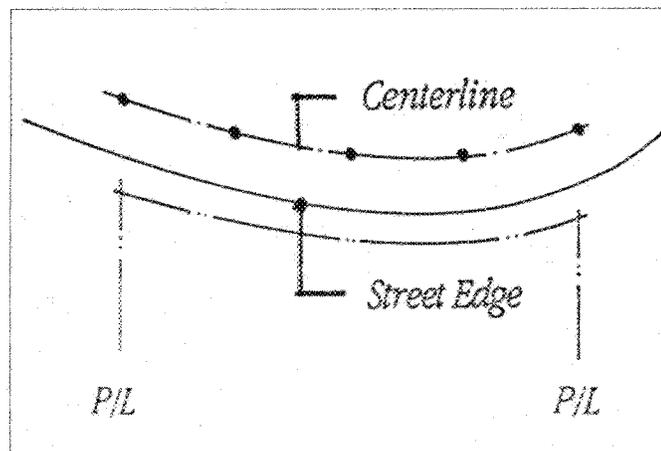


Figure 7-23: Measuring Height from Centerline

**D. Moonstone Beach. Height Limitation.** The maximum allowable height for all new buildings between Highway † One and the ocean is 15 feet.

**5 6. Moonstone Beach.** The following standards apply only to the Moonstone Beach Residential Single-Family land use category. (~~see Figure 5~~).

- A. Exterior Building Colors and Materials.** Native materials and textures ~~are to predominate in use~~ shall be used on the exterior of buildings. ~~Paint if used, is to be of Building colors shall be~~ subdued hues and tones harmonizing with the colors of the natural environment. Roofing should be ~~wood or wood-appearing materials.~~
- B. Road Improvements.** Road improvements for Moonstone Beach Drive are not to include curbs, gutters ~~and or~~ sidewalks.

~~The Ranch. Standard 5 applies only to Residential Single Family land use category in the area designated as the Ranch (see Figure 5).~~

~~5. Permit Requirements. Development Plan approval is required prior to any development on the Ranch, with the plans detailing location of uses including single-family neighborhoods and clusters of multiple family units. The following additional details are to be incorporated into the plan:~~

- ~~C. Time schedule for development and any program for phasing.~~
- ~~D. Major and collector streets leading to Lodge Hill, Park Hill and the West and East Villages.~~
- ~~E. Recreation/resort oriented activities and passive recreation areas.~~
- ~~F. Measures to provide for preservation of the shoreline, steep hillsides, and larger stands of native pines in open space. Proposed means for integrating other open space areas into the design of the Ranch development to separate it from adjacent residential areas.~~
- ~~G. Maximum density shall be 2 units per acre.~~

**7. Second Story Square Footage.** Second story square footage shall be no greater than 70 percent of the first floor square footage.

**8. Building Size.** Development in the Single Family Residential category in areas subdivided into 25-foot lots (such as Lodge Hill, Happy Hill, Park Hill and Pine Knolls)

shall comply with the footprint and gross structural area requirements shown on Table 7-1. (RDP)

9. ~~Building Standards for Lodge Hill. The construction of residences on lots in Lodge Hill in the Residential Single Family category (see Figure 4 for area) shall be in accordance with the height, footprint and gross structural area requirements shown on Table G.~~

The standards of Table G 7-1 do not apply to Tract 163, Tract 61, Tract 358, Tract 384, Tract 420, Tract 44, Tract 112, Cambria Pines Estates #1, and the two marine terrace blocks (Blocks 1 and 2, Tract 97) south of Lampton Street. Any parcel deemed by the county to be non-conforming because of its size is subject to standards of Table G 7-1.

- A. Use of Table.** ~~Table G is used by first determining the number of legal subdivided lots that comprise the ownership (such as a single 25-foot, double or triple configuration) and selecting the appropriate category. Then select the correct type of lot (such as Special Project Area 1, Forested, or Steep Lot) using the definitions of these standards. This will yield the maximum allowable footprint and gross structural area. Table 7-1 is used by first determining the lot size based on square footage held as a single legal lot prior to construction permit issuance. Then select the correct type of lot (such as Special Project Area 1, Forested, or Steep Lot) using the definitions of these standards. This will yield the allowable footprint and gross structural area (GSA) for the base area lot size.~~

Where lot sizes do not conform exactly to the base area as shown in Table 7-1, footprint and GSA are to be adjusted proportionally. For example, for a 3,800 square foot single legal forested lot, the allowable footprint would be 1,308 square feet ( $200 \times 1.09 = 1,308$ ) and the allowable GSA would be 1,962 ( $1,800 \times 1.09 = 1.962$ )

Table G Footnotes. Standards 1-3 below shall be used with Table G where interpreting lot sizes that do not conform exactly to base density or where a Footprint and Gross Structural Area bonus is requested.

1. ~~Building sites greater than 5,250 square feet may be permitted additional Footprint and Gross Structural Area equal to the percent that the site is greater than 5,250 square feet.~~
2. ~~Building sites 5,250 sq. ft. or less, the permitted maximum Footprint and GSA shall be adjusted as follows:~~
  - a. ~~Single lot category - if the building site is greater than 1,750 square feet, the Footprint and GSA may be increased by the percent that the lot area is greater than 1,750 square feet.~~

~~b. Double lot category - if the lots are greater than 3,500 square feet, the Footprint and GSA may be increased by the percent that the lot is greater than 3,500 square feet.~~

~~Where the square footage of the building site is less than the base area (1,750 square feet for single lot, and 3,500 square feet for double lot category), the permitted Footprint and GSA shall be decreased accordingly.~~

**Table 7-1  
Standards for Building Sites**

<b>A. SINGLE LOT CATEGORY (25' WIDE LOTS) BASE AREA IS 1,750 SQ. FT.</b>		
<b>TYPE OF LOT</b>	<b>FOOTPRINT (SQ. FEET)</b>	<b>GROSS STRUCTURAL AREA (SQ. FEET)</b>
<b>1. SPECIAL PROJECT AREA 1 (STEEP CANYON)</b>		
0-25% SLOPE	600	900
25% PLUS	500	600
<b>2. SPECIAL PROJECT AREA 2 (VISIBLE HILLSIDE)</b>		
0-25% SLOPE	600	900
25% PLUS	500	700
3. FORESTED	600	900
4. STEEP LOTS (30% PLUS)	500	700
5. MARINE TERRACE	900	1,000
6. TYPICAL LOTS	700	900

<b>B. DOUBLE LOT CATEGORY (50' WIDE LOTS) BASE AREA IS 3,500 SQ. FT.</b>		
<b>TYPE OF LOT</b>	<b>FOOTPRINT (SQ. FEET)</b>	<b>GROSS STRUCTURAL AREA (SQ. FEET)</b>
<b>1. SPECIAL PROJECT AREA 1 (STEEP CANYON)</b>		
0-25% SLOPE	1050	1,350
25% PLUS	900	1,000
<b>2. SPECIAL PROJECT AREA 2 (VISIBLE HILLSIDE)</b>		
0-25% SLOPE	1100	1,400
25% PLUS	950	1,100
3. FORESTED	1200	1,800
4. STEEP LOTS (30% PLUS)	950	1,100
5. MARINE TERRACE	1 STORY: 1,900 2 STORY: 1,650	1 STORY: 1,900 2 STORY: 2,000
6. TYPICAL LOTS	1 STORY: 1,900 2 STORY: 1,300	1 STORY: 1,900 2 STORY: 2,000

C. TRIPLE LOT CATEGORY (75' WIDE LOTS) BASE AREA IS 5,250 SQ. FT.		
TYPE OF LOT	FOOTPRINT (SQ. FEET)	GROSS STRUCTURAL AREA (SQ. FEET)
1. SPECIAL PROJECT AREA 1 (STEEP CANYON)		
0-25% SLOPE	1,400	1,800
25% PLUS	1200	1,400
2. SPECIAL PROJECT AREA 2 (VISIBLE HILLSIDE)		
0-25% SLOPE	1,500	1,900
25% PLUS	1,300	1,500
3. FORESTED	1,600	2,400
4. STEEP LOTS (30% PLUS)	1,400	1,600
5. MARINE TERRACE	1 STORY: 2,200 2 STORY: 2,050	1 STORY: 2,200 2 STORY: 2,450
6. TYPICAL LOTS	1 STORY: 2,200 2 STORY: 1,700	1 STORY: 2,200 2 STORY: 2,600

TABLE G

STANDARDS FOR LODGE HILL LOTS

A. SINGLE LOT CATEGORY - 25' LOTS (1750 SQ.FT.)

TYPE OF LOT	MAX. HT.	FOOTPRINT	GROSS STRUCTURAL AREA
1. SPECIAL PROJECTS AREA 1 (Steep Canyon)			
a. 0-25% slope	25'*	500 sq.ft.	900 sq.ft.
b. 25% plus	25'*	400 sq.ft.	600 sq.ft.
2. SPECIAL PROJECTS AREA 2 (Visible Hillside)			
a. 0-25%	25'*	500 sq.ft.	900 sq.ft.
b. 25% plus	25'*	400 sq.ft.	700 sq.ft.

3. FORESTED	28'**	500 sq. ft.	900 sq. ft.
4. STEEP LOTS (30% plus)	28'**	400 sq. ft.	700 sq. ft.
5. MARINE TERRACE	22'	800 sq. ft.	1,000 sq. ft.
6. TYPICAL LOTS	28'**	600 sq. ft.	900 sq. ft.

3. ~~Footprint and GSA bonus. Where an applicant can clearly demonstrate that design and layout concessions have been made in order to save healthy trees, minimize site disruption, visual impact, minimize erosion, or selection of compatible building materials, and clearly goes beyond the basic requirements of these standards, the Planning Director, by Minor Use Permit review, may grant up to a 10% increase of Footprint and GSA as indicated on Table G.~~

**B. Definitions.** The following definitions shall be used in the interpretation of Table 7-1G:

1. **Footprint.** ~~Means The area of the lot, expressed in square feet, covered by residential and accessory structures including any structural overhangs; expressed in square feet, and. Footprint includes living areas, garages and carports but it does not include open deck area, balconies, or eaves.~~
2. **Gross Structural Area.** ~~Means All interior areas, expressed in square feet of floor area, within the volume of the structure including it includes living areas, storage, garages and carports. Gross Structural Area is measured to the exterior limit of the building walls. Gross Structural Area does not include open exterior decks or interior lofts added within the height limitation to gain additional square footage.~~
3. **Slope.** ~~For the purposes of this section, the slope of a lot shall to be determined by using one of the slope determination methods in Chapter 23.11 (Slope, Average) of the Coastal Zone Land Use Ordinance.~~
4. **Special Projects Areas.** ~~Refers to sensitive Areas delineated as such on the fFigures. 7 and 8 7-25 and 7-26.~~
5. **Forested Lot.** ~~A lot containing one or more native Monterey Pine trees that are six inches or more in diameter 4.5 feet above ground, and not in a Special Project Area as shown on Figures 7-25 and 7-26 or within Marine Terrace area as defined in this section.~~

6. **Marine Terrace.** The area located between Marlborough Lane and Sherwood Drive the coastal bluff in Lodge Hill, the area between Windsor Boulevard and the coastal bluff in Park Hill, and Tract 159 in Park Hill.
7. **Steep Lot.** A lot with an average slope of 30% percent or greater.
8. **Typical Lot.** A lot that has an average slope less than 30% percent, contains no Monterey Pine trees, and is not located in the Marine Terrace as defined in this section or Special Projects Area as shown on Figures 7-24 and 7-25.

C. **Transfer of Development Credits.** The Transfer of Development Credit Program (TDC's) may be used to transfer allowable footprint and GSA for lots within certain areas to more suitable sites within Cambria.

**Note:** TDC may not be available in all areas due to limits of participation of local land conservancies.

1. **Eligible Purchasers of TDC'S.** Purchasers of TDC's may include the following:
  - a. **Owners of small lots within Lodge Hill.** Through the transfer of development credits (TDC's), owners of property on Lodge Hill (specifically those areas identified as West Lodge Hill and East Lodge Hill) may be allowed an increase in the allowable footprint and gross structural area on their property.
  - b. **Owners of other small lot properties within the Cambria Urban Reserve Line.** Properties with sewer or water service by the Cambria Community Services District (CCSD), may participate in the TDC Program (May include Park Hill and Happy Hill).
  - c. **Other properties.** Owners of properties that have been required by planning area standards, conditions of development approval, or other provisions of the Local Coastal Program to offset impacts of development through purchase of TDC's may also participate. (Rec4.41)
2. **Payment of Fees.** Under this program, a fee may be paid to the Land Conservancy of San Luis Obispo County or another TDC program administrator approved by the Director of Planning and Building. The fee must be adequate to allow for purchase of typical lots within the preservation (special study) areas, plus sewer assessments and administrative costs.

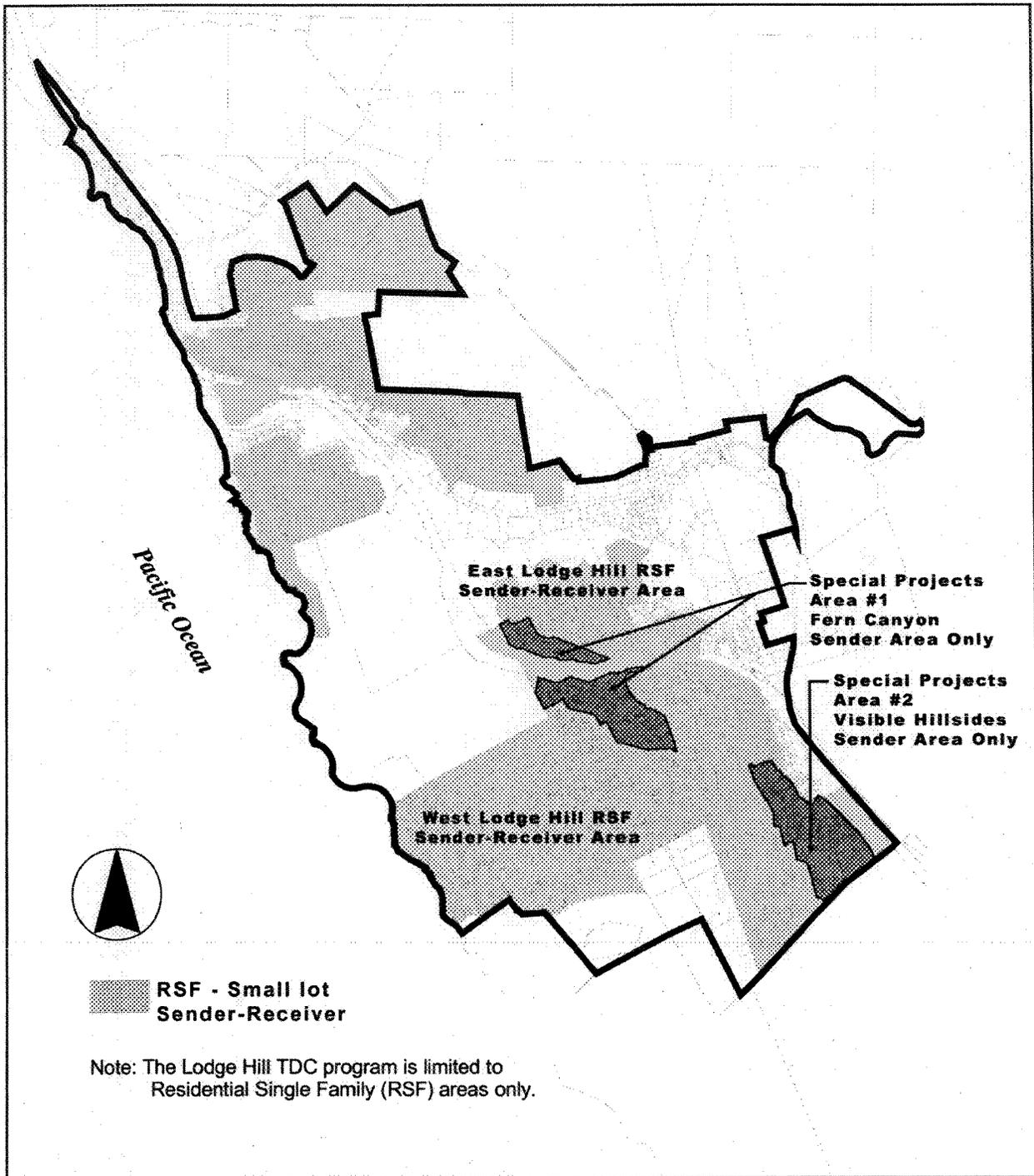


Figure 7-24: Transfer of Development Credits Program Area

**3. Resale Provisions.** With the concentration of purchases in specific preservation areas, the program may propose lot consolidation and eventual sale of portions of the preserved area, as estate-sized parcels with appropriately sited building sites. Using this approach, money collected from the sale of the estate lots would allow for retirement of additional lots.

**4. Criteria for Using TDC's.** For lots eligible to receive TDC's, the number of TDC's that can be used on any one house shall be evaluated against the following criteria: (Rec 2.18)

**a. Site design.** The use of TDC's shall not result in an appearance which would be incompatible with homes in the surrounding area.

**b. Maximum TDC use.** Total increase in Footprint or Gross Structural Area due to the purchase of TDCs shall not exceed the following: (RDP)

- 1,750-3,499 square foot lot size (base area=1,750 sq. ft.): 100 square feet
- 3,500-5,249 square foot lot size (base area=3,500 sq. ft.): 300 square feet
- 5,250 and larger (base area=5,250 square feet): 400 square feet

Where building sites are different than the base area in the appropriate category, a proportionally adjusted number of TDCs may be permitted.

**c. Limitation on use of TDCs.** TDCs shall not be used to increase building size on sites that contain wetlands, habitat for rare or endangered species, identified cultural resources, slopes in excess of 30 percent, or where, in the opinion of the Planning Director, excessive grading or tree removal is being proposed. (Rec 2.18)

**d. Use of TDCs in Special Project Areas.** Special Project Areas are intended to be sender areas, however, TDC's may be used on eligible projects provided that the lots retired are also located in the same Special Project Area. (Rec 4.41)

**D. Deck Size Limitations.** Exterior decks shall be located to avoid removal of trees. Solid exterior decks shall be limited to 10% percent of the permitted Maximum Footprint, while decks of permeable construction (e.g., open wood slats) shall be limited to 30% percent of permitted Maximum Footprint.

~~12. Sherwood Drive - Setback and Height Requirements. The maximum height for structures between the ocean and Sherwood Drive shall be 15 feet as measured from the centerline of Sherwood Drive.~~

**E. Lodge Hill Special Project Areas.** There are two areas of Lodge Hill where ~~with special resource protection problems exist~~ issues. Issues associated with Special Project Area 1 One is sensitive because of the rare pine forest, steep slopes, and potential to loose the forest habitat as small lots are developed. are related to the presence of the rare Monterey pine forest. As small lots are developed, the potential for loss of forest habitat is high. Issues associated with Special Project Area 2 Two is highly visible from Highway One because of its lack of vegetation and prominent location. are related to this area's visibility from Highway One, because of the area's prominent location and lack of screening vegetation. Both areas have steep slopes and high erosion potential. ~~Minor Use Permit is required prior to development in these areas, and New development is subject to the following standards:~~

**1. Building Materials.** All development within the viewshed of Highway One shall be constructed ~~and maintained in of~~ natural-appearing materials, using and earthen or forest-toned colors (e.g. natural weathered wood). Reflective materials shall be minimized. The natural appearance of buildings, fences, and other development shall be maintained through the life of the structure.

**2. Utility Locations.** Where feasible, utilities should be located to minimize visual impacts, including undergrounding.

~~b. All development within the viewshed of Highway One shall be landscaped with native plant materials to complement and screen the development from Highway One.~~

~~d. A minimum of two Monterey or Cambria Pines shall be planted in the yard areas on lots in Special Projects Area 2 and maintained in a satisfactory condition.~~

**F. Cambria Pines Estate Unit No. 1.** Minimum parcel size shall be 15,000 square feet. No additional subdivisions shall be approved in this area.

**G. Top of the World.** (APN: #24-301-28, and 31). The presently unsubdivided parcel (APN: 24-301-13) may be subdivided into no more than two parcels. The resulting These two parcels shall not be further subdivided.

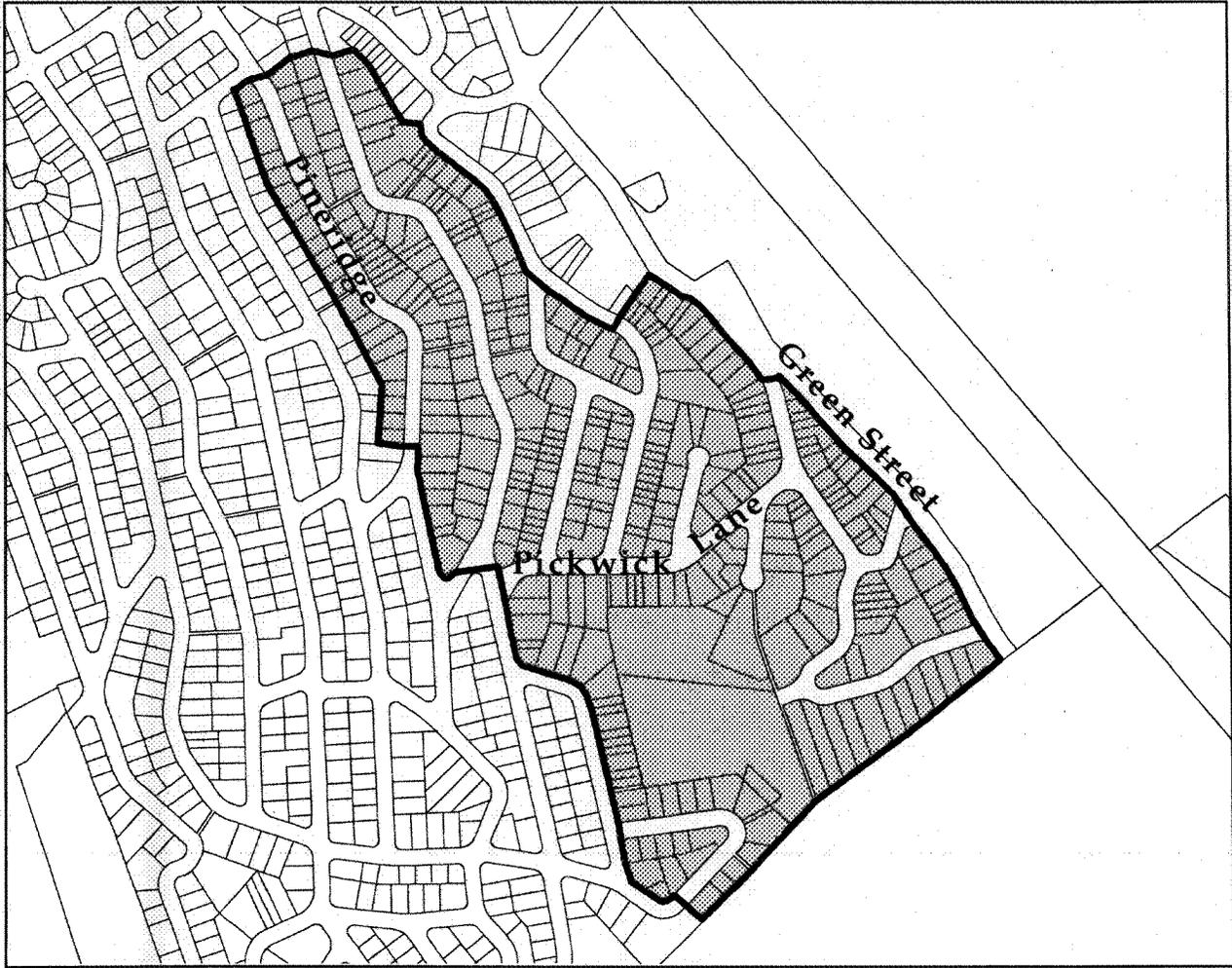


Figure 7-25: Lodge Hill - Special Project Area #1 (Fern Steep Canyon)

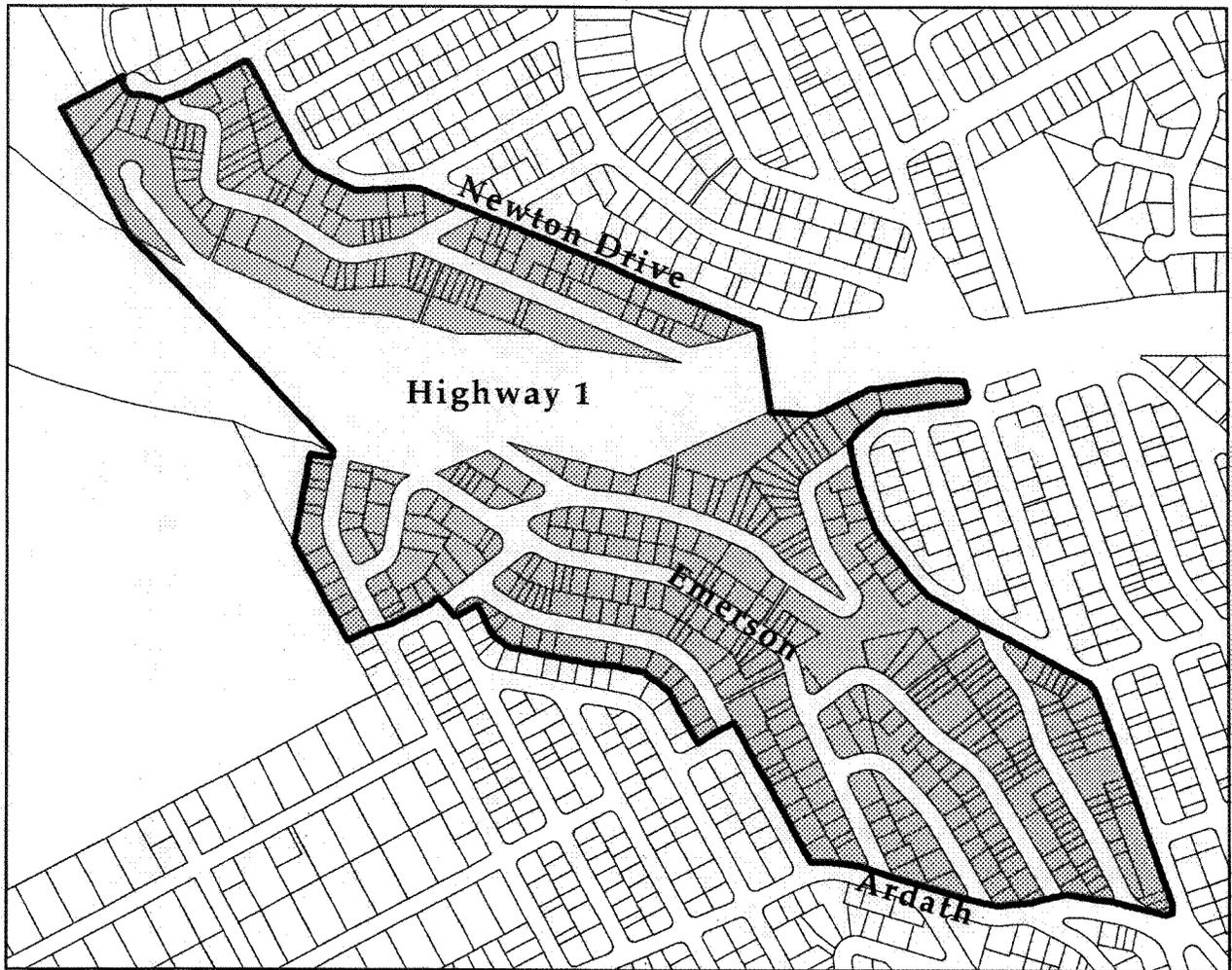


Figure 7-26: Lodge Hill - Special Project Area #2 (Visible Hillside)

- 8. Setbacks.** Unless specified in other Cambria Urban Area Standards, the following special setbacks apply to the respective neighborhoods shown on Figure 7-1. Where no setback is listed, setbacks shall be determined by applicable sections of Coastal Zone Land Use Ordinance.
- A. Ground Level Floor Front and Rear Setbacks.** For all lots less than one acre in size, front and rear setbacks must total 25 feet, with a minimum of 10 feet in the front and 10 feet in the rear, except as provided below:
- 1. All Lots with a Coastal Bluff.** The bluff setback is to be determined by an engineering geology report, prepared by a California-licensed certified Engineering Geologist, to be adequate to withstand bluff erosion and wave action for a period of 75 years and in any case shall not be less than 25 feet.

2. Sloping Lot Adjustment for Garages. The front setback may be adjusted for garages as allowed by Coastal Zone Land Use Ordinance Section 23.04.108a(2).

3. West side of Sherwood and Nottingham Drives. The front setback for areas shown in Figures 7-27 and 7-28 is 5 feet.

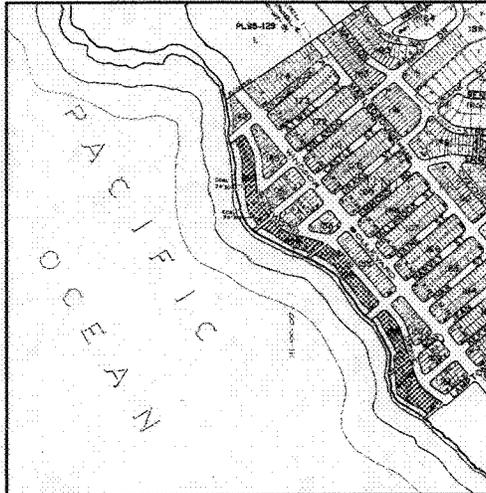


Figure 7-27: West of Sherwood Drive

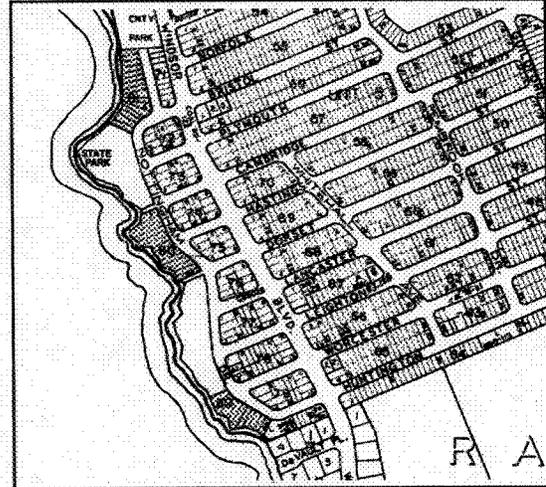


Figure 7-28: West of Nottingham Drive

4. Tract 163. The minimum front setback for those areas shown in Figure 7-29 is 20 feet, except as follows: (RDP)

<u>Block 3, lots 15 - 31:</u>	<u>10 feet</u>
<u>Block 4, lots 12 - 20:</u>	<u>10 feet</u>
<u>Block 5, lots 2 - 8:</u>	<u>10 feet</u>
<u>Block 6, lots 7 - 11:</u>	<u>25 feet</u>

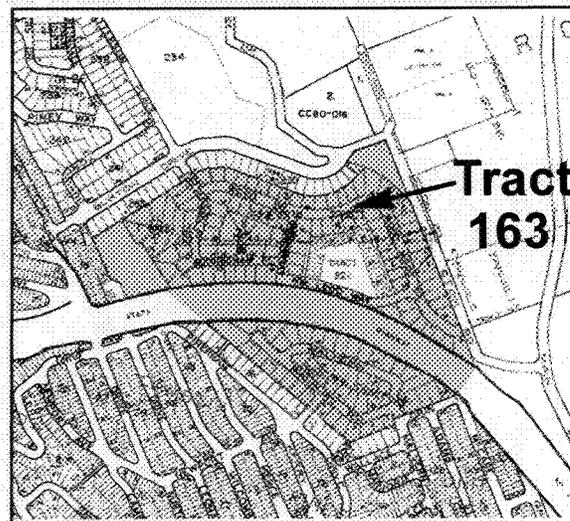


Figure 7-29: Tract 163

5. Tracts having setbacks established by conditions of approval. Building setbacks for Tracts 384, 420, 543 are established in final subdivision maps and take precedence over other setback standards. (RDP)

**B. Second Floor Front and Rear Setbacks.** The second floor of proposed two-story construction shall have an additional front setback of at least three feet from the front of the lower wall, except open rail, uncovered decks which are excluded from this additional setback and may extend to the lower front wall. The entire upper story rear wall may align with the lower floor wall.

**C. Ground Level Floor Side Setbacks.** For all lots less than one acre in size, ground level floor side setbacks shall be in accordance with Table 7-2 below:

**Table 7-2  
Standards for Side Setbacks**

Lot Width	Ground Level Floor Side Setbacks
Less than 50 feet	3 feet except 5 feet on street corner side
50 feet and wider	Combined 12 feet with 5 feet minimum on each side. Street corner lots combined 17 feet with 5 feet minimum on each side, and 10 feet minimum on the street corner side.

**D. Second Floor Side Setbacks.** The second floor of proposed two-story construction shall have an additional side setback of 2.5 feet from the lower wall, except open rail, uncovered decks which are excluded from this additional setback and may extend to the lower front wall. Thirty percent of the upper story side wall may align with the lower floor provided it is within the rear two-thirds of the structure.

**9. Parking and Access Standards.** The following standards set requirements for the design of parking areas for single-family residential development.

**A. Parking Requirements.** Two off-street spaces are required for each single-family dwelling. At least one space shall be covered (garage or carport), and the other space may be located within the front setback.

**B. Parking.** Where physical constraints of a building site preclude adequate on-site parking, alternatives such as parking bays located in conjunction with neighboring

or nearby lots should be utilized, subject to approval of an adjustment (Coastal Zone Land Use Ordinance Section 23.01.044), and provided the space is not further than 100 feet from the building lot.

**10. Design Criteria.** This section contains discretionary design criteria that are flexible in their meaning to allow for interpretation. Applications for development shall include a statement explaining how the proposed project has met the intent of the criteria.

**A. Impermeable Surfaces.** Impermeable surfaces should be minimized in order to maintain a sense of open space and to serve specific purposes, such as retaining clusters of trees and the visual quality of public view corridors. (RDP)

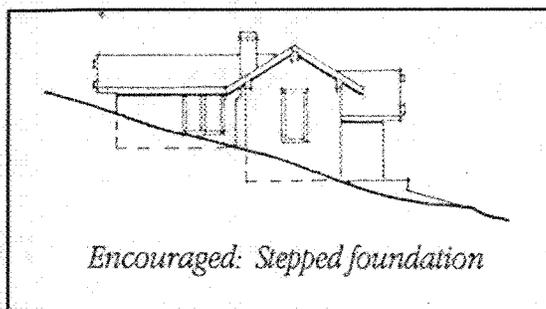
1. Structures, landscape screening and fences should be located to leave open space in larger areas rather than splitting it into small units, particularly as seen from the street. (RDP)
2. The finished side of fencing should face the public street or be alternated in sections.

**B. Parking Drives and Garages.** Garages should not dominate the site or the design of the house. (RDP)

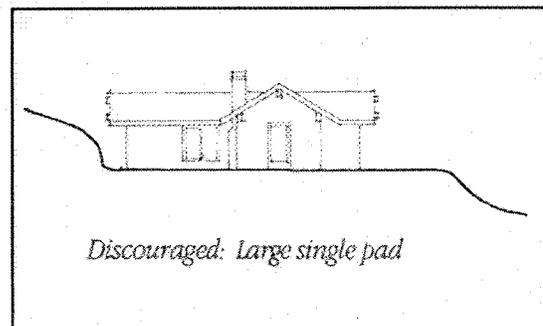
1. The mass of a garage should appear subordinate to the house, and the design of the garage should appear integrated into the building design. Garage door colors and materials should be the same or subordinate to the house design. (RDP)

**C. Topography.** The site design should follow the natural contours of the site where possible. (RDP)

1. Minimize the use of abrupt changes in grade on the site and between adjoining properties. A design that uses sloped, planted areas to create a smooth grade transition is preferred. (RDP)



**Figure 7-30: Stepped Foundation**



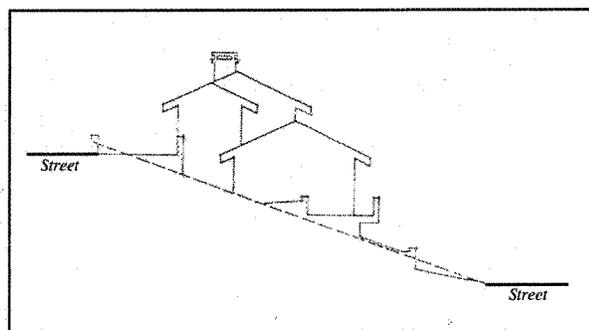
**Figure 7-31: Large Single Pad Foundation**

**D. Drainage.** Drainage systems should be designed to retain water on-site and encourage infiltration when feasible.

1. Natural drainage patterns should be retained and remediated if retention is infeasible on-site. (RDP)
2. On downhill sites, encourage drainage easements on lower properties so that drainage can be released on the street below. (RDP)
3. When feasible driveways and walkways shall be constructed of permeable material.
4. The portion of a driveway that is longer than 30 feet measured from the front edge of the garage should not exceed 10 feet in width, except as required by the Fire Department. Refer to CZLUO Section 23.05.104d for required minimum driveway widths. (RDP)

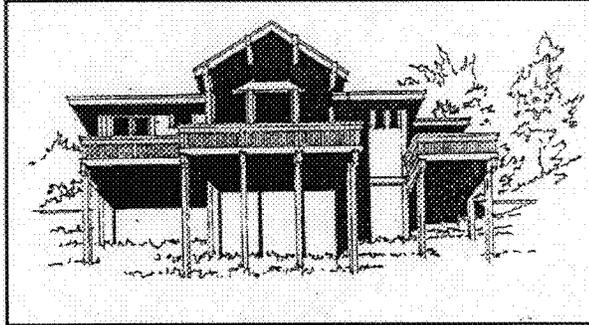
**E. Building Design Standards.**

1. Reduce apparent massing to achieve a small-scale appearance appropriate for the character of the neighborhood.
2. Design buildings to avoid removal of significant vegetation and blend structures into the natural setting to the maximum extent feasible.
3. Building facades should appear to be no more than two stories in height, as viewed from the public right-of-way. Presenting a one-story height to the street on downhill sites is encouraged. (RDP)
  - a. Two-story elements should be stepped in a series of successive increments. (RDP)



**Figure 7-32: Stepped Two-story Elements**

- c. Tall exterior foundation walls and unused underfloor areas that add to the building mass should be avoided. (RDP)

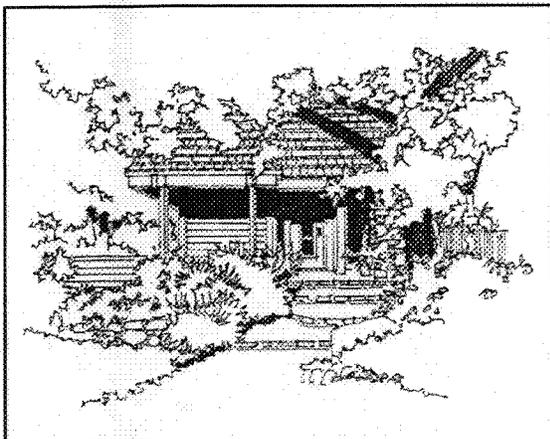


**Figure 7-33: Unused Underfloor**

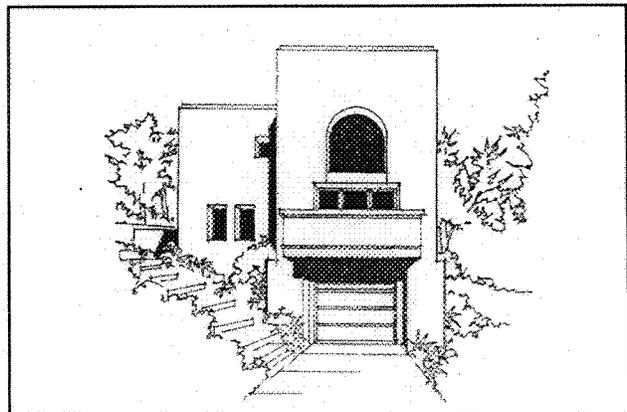
4. Building Forms, Materials and Details. Building design should be visually compatible with the neighborhood while creating individual character. Building forms and ornamentation that are monumental or out of scale with the rest of the building should be avoided. (RDP)

5. Use Natural-appearing Building Materials:

- a. In the forest setting, materials are preferred with patterns or texture, such as wood or wood-appearing siding, for example board and batten siding or shingles, as primary materials for exterior walls. Stucco, in conjunction with natural materials, may be considered if it supports the design. Fire resistant materials may be required. (RDP)



**Figure 7-34: Encouraged: Natural Materials**



**Figure 7-35: Use of Stucco**

- b. Colors that blend with background forest colors and earth tones are preferred choices to blend with the natural setting. Bright colors should be reserved to key accent features.

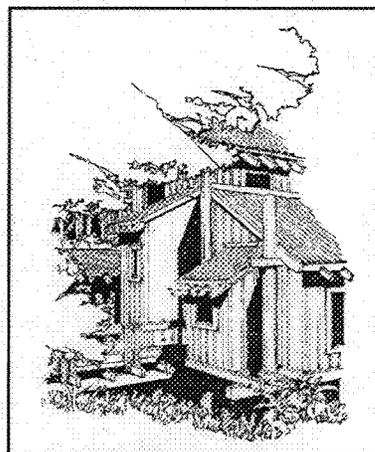
6. Roofs. (RDP)

- a. Changes in elevation and direction in roof planes should be designed to express important elements of the residence. (RDP)
- b. Roofs and details such as eaves should be consistent with and express the architectural style of the building.(RDP)



**Figure 7-36: Roof Defining the Style**

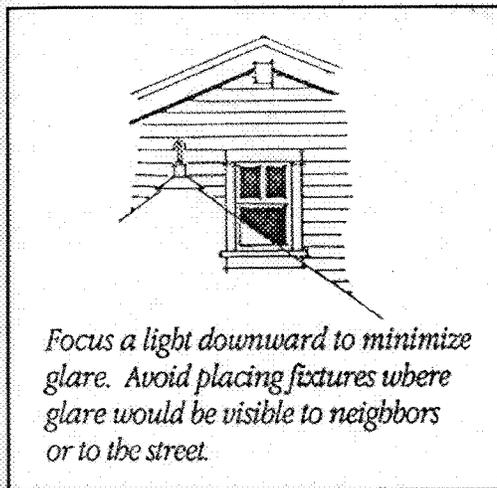
- 7. Architectural Details. Details such as chimneys, overhangs, windows, doors (including garage doors), dormers, porches, entries and decks can be used to help reduce massing and scale. However, making any of these elements oversized can exaggerate the building's scale and should be avoided. (RDP)



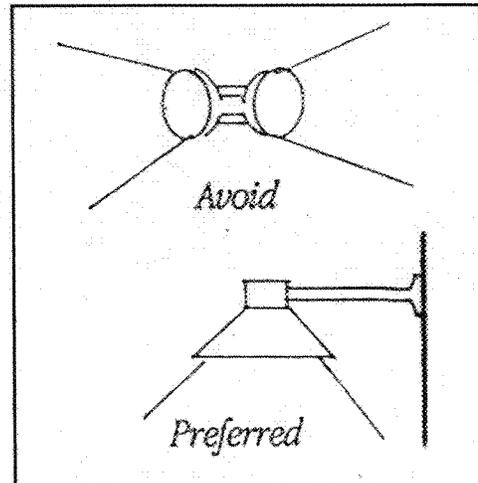
**Figure 7-37: Creative style with integrated details**

**8. Exterior Lighting. Use only the minimum amount necessary to achieve essential illumination.**

- a. All light fixtures, including security lighting, shall be aimed and shielded so that the direct illumination shall be confined to the property boundaries source. Particular care is to be taken to assure that the direct illumination does not fall onto or across any public or private street or road. Motion sensing light fixtures shall be fully shielded and properly adjusted, according to the manufacturer's instructions, to turn off when detected motion ceases.**
  
- b. All light fixtures above 2,000 lumens are required to be fully shielded and shall be installed in such a manner that the shielding complies with the definition of fully shielded light fixtures for all uses, including single-family and multi-family residential uses.**



**Figure 7-38: Focus Light Downward**



**Figure 7-39: Light Positions**

**RESIDENTIAL SUBURBAN:** The following standards apply to all land within the Residential Suburban land use category.

1. **Limitation on Use.** All allowable uses as shown on Coastal Table 'O' are permitted, except Mobile Home Developments.
- ~~2. **Site planning - West Lodge Hill.** New land divisions are to include design provisions for clustering of residential units to preserve the groves of pine trees.~~
2. **Commercial Nursery.** The commercial nursery at Burton Drive and Schoolhouse Lane is an allowable use in accordance with Coastal Table 'O' provided that a rural, rather than commercial, ambience is maintained through site arrangement, building design, sales displays and signing design.
3. **Residential Design.** Development shall conform to Residential Single Family Standard #10 - Design Criteria.
- ~~4. **Land Divisions.** The 51-acre parcel located at the southeastern edge of Lodge Hill shall not be further subdivided.~~

**PUBLIC FACILITIES:** The following standards apply only to lands within the Public Facilities land use category.

1. **Site Specific Standards/Cambria Elementary School Site.** ~~Standards 1 through 13 apply~~ The following standard applies only to the land shown in Figure 7-40.

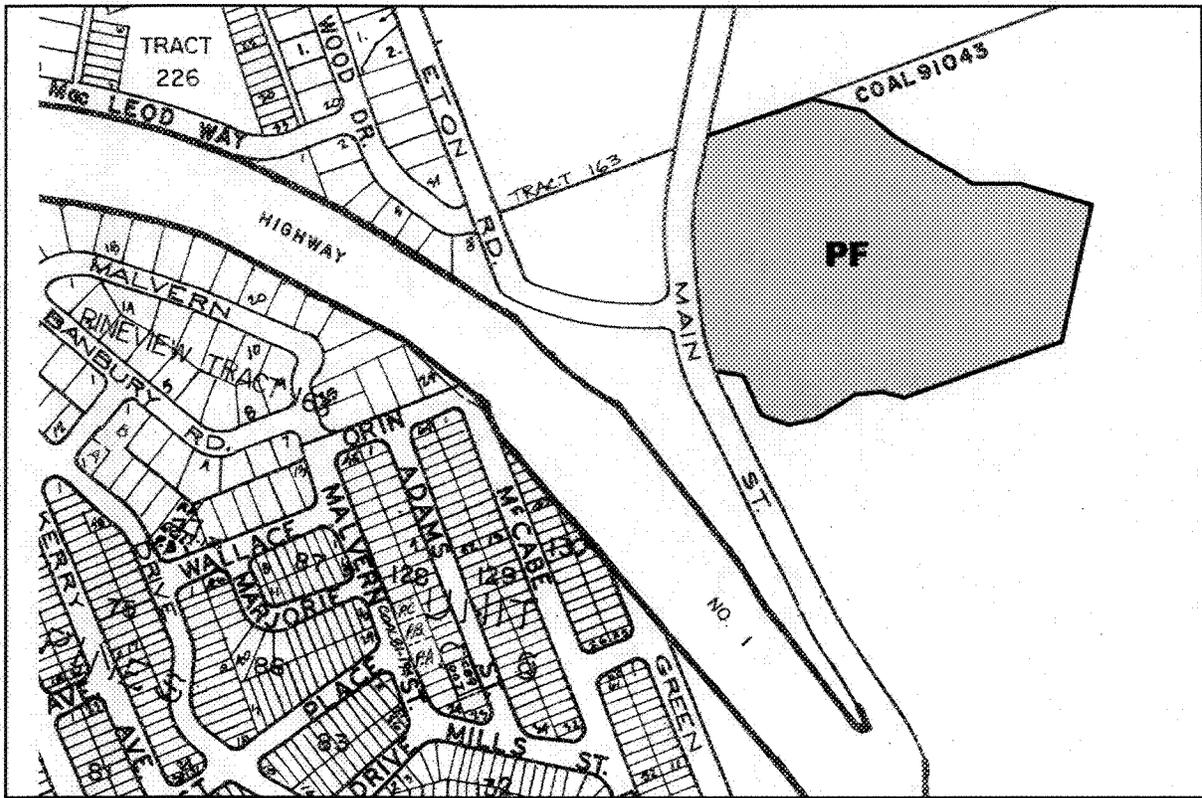


Figure 7-40: Cambria Elementary School Site

- A. Limitation on Use.** Allowable uses shall be limited to: Schools - pre to secondary, and agricultural uses. Portions of the site that will not be developed as part of an approved school facility shall be used only for agriculture, open space, or habitat restoration and enhancement. No subdivision other than that necessary to create the school site, or adjustment of lot lines that would result in an increase in the size of the Public Facilities parcel, shall be allowed. The size of the school site shall be the minimum necessary to accommodate the required school facilities, and in no case shall exceed 20 acres. All new development shall be consistent with approved Development Plan D020150D or subsequent Development Plan.

*Note: The following is proposed for deletion because the school is expected to be completed prior to adoption of this plan update. Refer to the development plan conditions of approval.*

The installation of public sewer and water utilities may be allowed on the Public Facilities site only where necessary to serve school uses that have received all necessary development approvals, provided that all pipelines are the minimum size necessary to serve the approved development and the deed for the property is permanently restricted in a manner that prohibits tie-in to the utility lines. The installation of utilities may not occur until development of approved school facilities has commenced and the deed restriction has been recorded. In addition, prior to the commencement of school construction, the school

district shall record a one-foot wide easement around the perimeter of the site, to a third party, acceptable to the Executive Director of the Coastal Commission, that creates a utility prohibit zone. This zone shall prohibit the extension of utilities across it, except in the single location required to provide services to the school.

2. ~~Setbacks.~~ School facilities shall be set back from all wetland areas on the site in accordance with Section 23.07.172 of the Coastal Zone Land Use Ordinance. As part of the coastal development permit review required for the creation of the public lot and the development of school facilities adjustments to the parcel and or school design shall be made as necessary to provide setbacks that are the most protective of significant coastal resources.

The following agricultural buffer on the site, and a "right to farm" statement shall be provided with any development or land division:

- A. ~~Compatibility of Agricultural Uses.~~ School development shall be compatible with the continuance of agricultural uses on surrounding parcels by providing agricultural buffers designed to prevent conflicts between school use and surrounding agricultural operations. Buffers shall be entirely located on the school site, incorporate vegetative or other physical barriers, and be as wide as necessary to prevent land use conflicts. Buffers shall be no less than 50 feet wide along the adjoining property lines except in limited instances where the Review Authority determines that a lesser setback would effectively prevent conflicts with agriculture.
- ~~No structures used for human habitation shall be constructed in the buffer area. Uses allowed in the buffers shall be limited to student agricultural activities, septic systems, and any habitat improvements as may be specified in a habitat restoration plan. The buffer area shall be permanently protected and restricted by easement or dedication. Buffer plantings or any other required barriers shall be maintained in perpetuity.~~
- B. ~~Right to Farm Statement.~~ Prior to the approval of school development on the site, the applicant shall record a deed restriction certifying that the owner(s) or lessees of the property acknowledge and agree: (a) that the property described herein is adjacent to land utilized or designated for agricultural purposes; (b) that students, faculty, and all other users of the property may be subject to inconvenience or discomfort or adverse effects arising from adjacent agricultural operations including, but not limited to , dust, smoke, noise, odors, fumes, grazing, insects, application of chemical herbicides, insecticides, and fertilizers, and operation of machinery; (c) users of the property accept such inconveniences and/or discomforts from normal, necessary farm operations as an integral part of occupying property adjacent to agricultural uses; (d) to assume the risks of inconveniences and/or discomforts from such normal, necessary agricultural use

~~in connection with this permitted development; and (c) to indemnify and hold harmless the owners, lessees, and agricultural operators of adjacent agricultural lands against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any issues that are related to normal, necessary farm operations and their impact to users of the property.~~

~~3. Design Standards. The following design requirements apply to any new development of school facilities and to the creation of the Public Facilities parcel:~~

- ~~A. The size and configuration of the Public Facilities parcels shall preserve the maximum amount of agricultural land contained on the existing 479-acre agricultural parcel, and shall not exceed 20 acres in size. This shall be achieved by clustering school facilities as much as possible.~~
- ~~B. Where feasible, new structures shall be hidden from Highway One; otherwise such development shall be screened through planting and permanent upkeep of appropriate tree species, in accordance with the landscaping standards below.~~
- ~~C. The buildings shall be placed on the site with minimal use of cut and fill while meeting state design criteria and disabilities act considerations. The impervious surface coverage shall be limited to the minimum necessary to accommodate a public school of a size documented as needed by the school district to serve existing and projected student populations and to meet State School Sizing Criteria. In no case shall this exceed 6 acres.~~
- ~~D. All structures shall be limited to one story and shall avoid silhouetting above the ridgeline when viewed from public places to the maximum degree feasible.~~
- ~~E. The buildings architecture shall use best design standards to be consistent with the character of the community of Cambria and compatible with the rural agricultural character of the surrounding rolling hill landscape. Compatible design shall be achieved through the use of: utilitarian design features; roofs pitches above horizontal; low-slung buildings separated by open spaces to break up visual massing; large building facades broken up by varied rooflines, offsets, and building projections that provide shadow patterns; and large structures broken down into smaller building elements (rather than long continuous forms). Large box-like designs, large unbroken rooflines, and/or flat surfaces lacking architectural treatment shall not be allowed. All require fencing shall be rustic split rail fencing of rough-hewn and unpainted wood timbers (e.g., cedar) with the exception that alternative fence designs may be considered where necessary to provide effective agricultural buffers and designed to be compatible with the site's surroundings.~~

- ~~F. Any ancillary structures on the buildings such as air conditioning and electrical features shall be shielded from view, with screens that are part of the architectural design.~~
- ~~G. Architectural elevations showing exterior finish materials, colors, and heights above the existing natural ground surface shall be submitted with any application. Colors of the buildings and building materials shall minimize the structure massing of new development by reducing the contrast between the purposed development and the surrounding environment. Colors shall be muted to soften the appearance of the structures and to reduce visibility from scenic Highway One, and shall be compatible with the natural colors of the surrounding environment, including vegetation, rock outcrops, etc. Darker, non-reflective, earth tone colors shall be selected for walls chimneys, etc. and darker green, gray, slate blue, or brown colors for the roof structures.~~
- ~~H. The design of the school facilities shall include a refuse containment and maintenance component that provides fully enclosed or animal-proof garbage containers, specifically designated eating areas, and provisions built into maintenance contracts requiring that all eating areas anywhere on campus be swept clean on a daily basis.~~
- ~~I. All linear utilities (including but not limited to electrical power, telephone and cable television service connections) shall be placed underground. Accessory utilities (e.g., utility meters, electrical panels, and transformers) shall be placed underground as practicable and safe.~~
- ~~4. Lighting. A lighting plan showing the height, location, and intensity of all exterior lighting shall be submitted with any application for development and shall, at a minimum, comply with the following standards:
  - ~~A. All light fixtures shall be shielded so that neither the lamp nor the related reflective interior surface is visible. All lights poles, fixtures, and hoods shall be dark colored. All exterior light sources shall be low-level and adjusted so that light is directed away from neighboring areas. The height of freestanding outdoor light fixtures shall be limited to the height of the tallest permitted building on the site, and in no case any taller than 20 feet. Any security lighting shall be shielded so as not to create glare when viewed from neighboring areas. Light poles and fixtures shall not be obtrusive to travelers along Highway One. There shall be no exterior night lighting, other than the minimum lighting necessary for pedestrian and vehicular safety purposes.~~~~
- ~~5. Landscaping. A landscape plan meeting the requirements of Section 23.04.180 et seq. of the Coastal Zone Land Use Ordinance, and prepared by a qualified individual acceptable~~

to the Department of Planning and Building, shall be submitted with any application for development. The landscape plan shall, at a minimum, include the following:

- ~~A. Vegetation that will provide 75 percent screening of new development after five years, including ancillary structures such as trash collection areas and maintenance structures when viewed from public view corridors such as: Highway One, north of Main looking east; Ardath Drive and Green Street intersection looking east; intersection of Main and Highway One looking east; and Highway One, south of Main and Highway One looking north. This requirement shall be certified by the individual who prepared the plan. The landscape plans shall show clusters of trees and the use of shrubs with trees that vary in height such that the appearance of a stockade ringing the project will be reduced. Landscaping around the playground areas shall transition into the surrounding grazing land. Parking areas shall include landscaped berms or other measures to ensure that parked cars are screened as much as possible from view of travelers along Highway One and other public view corridors. The overall landscape design shall evoke the sense of rolling rural area by limiting large trees to those required to screen the development, and by transitioning from the developed area to the surrounding grassland habitat using a mix of native shrubs and grasses.~~
- ~~B. Landscape screening along Highway One to screen views of any development to northbound and southbound travelers, including additional screening (shrubs and ground cover) planted prior to any site disturbance along the frontage of Highway One between Highway One and Main Street to screen views from the scenic highway. Existing trees planted by the Land Conservancy and additional screening shall be shown on the landscape plan. The trees and screening materials shall blend in with the existing trees along Highway One, shall be consistent with community of Cambria tree selections and shall be compatible with the area's natural surroundings.~~
- ~~C. The use of native plant species and non-invasive ornamental species that are drought-tolerant and/or have low irrigation requirements, are fire resistant and are tolerant to the use of recycled water. Development of the landscaping plan shall be coordinated with the Cambria Fire Department to avoid fire hazards.~~
- ~~D. A detailed irrigation plan that provides an adequate and permanent source of water to maintain the landscaping. The irrigation plan shall provide maximum water conservation by using drip irrigation where feasible; designing the system to avoid runoff, overspray, low lead drainage, or other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways or structures, and utilizing collected runoff and reclaimed water in accordance with Standards 5f below. Subsurface irrigation of any play fields should be investigated as a method to reduce evaporation losses and allow for the use of fields during irrigation.~~

- ~~E. An aggressive tree planting and landscape plan using species endemic to the area, in coordination with the APCD to specifically address the use of deciduous and evergreen trees, planted so that they shade structures in summer, decrease indoor temperatures, and reduce energy demands for air conditioning and fossil fuel emission.~~
- ~~F. Compliance with the County of San Luis Obispo and the Cambria Community Services District requirements concerning the installation and use of reclaimed water systems for the landscape irrigation such as the installation of rain water cisterns to collect and re-use runoff. The cisterns and piping shall be appropriately sized to be used as reservoirs for reclaimed water from the purple pipe system after runoff water has been used. To avoid potential cross connection, the irrigation system must be separate from all potable service and have a separate meter. When a recycled water system is available and prior to use, the plumbing system shall be tested to ensure that there is no cross connections between irrigation and potable piping. Additional precautions include separate potable plumbing to drinking fountains in playing fields.~~
- ~~G. A grounds maintenance plan that minimizes the use of pesticides, herbicides, and fertilizers, and protects against adverse impacts associated with them. Pesticides and herbicides shall only be used if there is a documented problem and not on a regular preventative schedule, and shall not be applied if rain is expected. Non-chemical fertilizers are preferred. The least toxic alternatives, and the minimum necessary for the problem, shall be used in any case. The landscaping and grounds maintenance plan shall include nutrient control parameters.~~
- ~~H. As a condition to approval of any development, a qualified individual shall be retained to monitor the new landscaping for no less than five years, and to maintain the site free of weeds and invasive non-natives (such as acacia, pampas grass, and scotch broom), to ensure that it meets the goals of screening. A status report shall be submitted to the Department of Planning and Building annually. Any necessary remedial measures identified in the status reports shall be completed within 60 days of the completion of the report. All plantings must be maintained in good growing conditions throughout the life of the project, and wherever necessary, shall be replaced with new plant materials to ensure continued compliance with the plans.~~
- ~~6. Cultural/Historic Resources. In the event that cultural or historic material is discovered during construction activities, all construction in the affected area shall cease until the find is evaluated by a qualified archeologist/historian approved by the Department of Planning and Building and the requirements of Section 23.05.140 of the Coastal Zone Land Use Ordinance have been satisfied.~~

~~7. Grading, Drainage and Erosion Control Plans. Grading, drainage and erosion control plans meeting the requirements of Section 23.05.020 et. seq. of the Coastal Zone Land Use Ordinance shall be submitted with any application for development. The plans shall, at a minimum, include the following:~~

~~A. A drainage and erosion control plan (including submittal of drainage calculations) and storm water pollution prevention plan (SWPP) for review and approval by the County Department of Planning and Building in consultation with the Resource Conservation District, County Public Works Department, and the Regional Water Quality Control Board. Any dewatering system, drainage diversion or other temporary construction measures designed to reduce runoff and sedimentation from leaving the site shall be included in the submittal.~~

~~B. Appropriate erosion control measures during construction, including limiting construction activities to dry weather to avoid increased surface water runoff and erosion on-site. The plans shall specifically identify all nearby storm drain inlets and natural drainage swales, and shall protect them from construction related runoff and sediment with sand bag barriers, filter fabric screens, straw bale filters, block and gravel filters, drop-inlet sediment traps, etc. Appropriate erosion control devices (i.e. hay bales, silt fences or equivalent apparatus) shall be installed around the perimeter of each construction zone and all areas experiencing disturbances of the ground surface. All stockpiled materials and disturbed ground surfaces shall be covered on a daily basis. Monitoring of the erosion control devices shall be done on a daily basis by construction personnel, and periodically by the biological monitor, to ensure proper function.~~

~~The plans shall make it clear that: (a) dry cleanup methods are preferred whenever possible and that if wet cleanup is necessary, all runoff will be collected to settle out sediments prior to discharge from the site; all de-watering operations must require filtration mechanisms; (b) off-site equipment wash areas that provide containment and filtration of debris and wastewater are preferred whenever possible; if equipment must be washed on-site, the use of soaps, solvents, degreasers, or steam cleaning equipment should be allowed; in any event, wash water shall not be allowed to enter storm drains or any natural drainage; c) concrete rinsates shall be collected and shall not be allowed into storm drains or natural drainage areas; (d) good construction housekeeping shall be required (e.g., clean up all leaks, drips, and other spills immediately; refuel vehicles and heavy equipment off-site and/or in one designated location; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather); and (e) all erosion and sediment controls shall be in place prior or the commencement of grading and/or construction as well as at the end of each day.~~

- ~~C. Minimizing of grading to create cut and fill slopes that are not obtrusive to travel along Highway One.~~
- ~~D. Delineation of the vertical height of all cut and fill slopes with the border of cut slopes and fills rounded off to a minimum radius of five feet. All cut or fill areas shall vary in height to look natural (undulate) and in no case shall exceed a slope of 2:1.~~
- ~~E. Location of soil stockpiles in areas that do not have potential to experience significant runoff during the rainy season.~~
- ~~F. Revegetation of all disturbed and barren areas immediately following completion of construction-related activities with appropriate native vegetation to reduce the risk of erosion from the site. Areas experiencing temporary disturbance should be replanted with native species that are characteristic of habitats of the project area.~~
- ~~G. Provisions for a Certified Engineering Geologist to inspect the cut slopes at the completion of rough grading to ensure that no unforeseen conditions are present. If slope instabilities are present that pose a hazard to persons or structures, the project Engineering Geologist shall provide recommendations to eliminate the identifies hazards.~~
- ~~H. A post-construction drainage plan designed to capture and filter typical site runoff to remove typical pollutants and avoid any adverse discharge to adjacent wetland areas. Runoff from all surfaces subject to vehicular traffic shall be filtered through an engineered filtration system specifically designed to remove vehicular contaminants (vegetative or other media filter devices effective at removing and/or mitigation contaminants such as petroleum hydrocarbons, heavy metals, and other paniculate; or, engineered filtration systems specifically designed to remove vehicular contaminants). Filtered runoff shall be reused for landscape irrigation, or shall be discharged in a manner that maintains pre-construction drainage patterns, supports wetland restoration purposes and/or recharges groundwater basins, without causing erosion or sedimentation. AL detention and filtration systems shall be designed to filter and/or treat the volume of runoff produced from each and every storm event up to and including the 85<sup>th</sup> percentile 24-hour runoff event, prior to its discharge to a storm water conveyance system. Post-development peak runoff rates and volumes shall be maintained at levels similar to pre-development conditions. Opportunities for directing runoff into pervious areas on-site for infiltration and/or percolation of rainfall through grassy swales or vegetative filter strips shall be maximized where geotechnical concerns would not otherwise prohibit such use. All outside storage areas and lading areas shall be graded and paved and either: (1) surrounded by a low containment berm; or (2) covered. All such areas shall be: (1) equipped with storm drain valves which can~~

be closed in the case of a spill; or (2) equipped with a wash down outlet to the sanitary sewer. All restaurants and/or food services uses shall include a plumbed wash-down area (either inside or out) connected to the sanitary sewer.

~~I. Provisions for site maintenance, including a program for sweeping and/or vacuuming parking lot areas, driveways, and other vehicular traffic areas at regular intervals and at least once prior to October 15<sup>th</sup> of each year. Any oily spots shall be cleaned with appropriate absorbent materials. All debris, trash, and soiled absorbent materials shall be disposed of in a proper manner. If wet cleanup of any of these areas is absolutely necessary, all debris shall first be removed by sweeping and/or vacuuming, all storm drains inlets shall be sealed, and wash water pumped to a holding tank to be disposed of into the sanitary sewer system.~~

~~All drainage facilities shall be permanently operated and maintained. At a minimum:~~

~~1. All traps/separators and/or filters shall be inspected to determine if they need to be cleaned out or repaired at the following minimum frequencies: (1) prior to October 15<sup>th</sup> each year; (2) prior to April 15<sup>th</sup> each year; and (3) during each month that it rains between November 1<sup>st</sup> and April 1<sup>st</sup>. Clean-out and repairs (if necessary) shall be done as part of these inspections. At a minimum, all traps/separators and/or filters must be cleaned prior to the onset of the storm season, no later than October 15<sup>th</sup> of each year;~~

~~2. Debris and other water pollutants removed from drainage devices during clean-out shall be contained and disposed of in a proper manner; and~~

~~3. All inspection, maintenance and clean-out activities shall be documented in an annual report submitted to the Planning and Building Department no later than June 30<sup>th</sup> of each year.~~

~~8. Sewer/Water Facilities. Any development shall provide water supply and sewage disposal systems designed as follows:~~

~~A. Water efficient plumbing features, including all Cambria Community Services District standards for plumbing fixtures.~~

~~B. All water and sewer lines shall be designed and installed in accordance with the requirements of the County of San Luis Obispo and the Cambria Community Services District. The water and sewer line will be the minimum size necessary to accommodate the permitted use; they shall be designed and built without extra connection points (i.e., stub-outs) not necessary for the permitted use; and, that a permanent restriction against the extension of water and sewer service beyond site shall be recorded on the deed for the property. Fire flows must considered when~~

designing these pipelines, which shall be installed only in conjunction with actual construction of the development that they are to serve. Plans for water and sewer infrastructure shall identify the location and size of all water and wastewater pipelines, as well as, calculations indicating the amount of water needed and wastewater generated from the development, and the commensurate sizing of the utility lines.

- ~~C. In the event of a stage 1 or greater water supply condition, Cambria Community Services District-requested standby water conservation programs shall be implemented.~~
9. ~~Wetland Protection Plan. The application for school development shall include measures to ensure that adjacent wetland habitats shall be protected. This shall included, but may not be limited to, the drainage, erosion control, and water quality protection measures required by standard 7.~~
- ~~A monitoring plan shall be approved by the County Department of Planning and Building and shall be implemented by the School District to ensure that adverse impacts to adjacent wetlands are effectively avoided. The monitoring plan shall include, goals, responsibilities, authorities, and procedures for verifying compliance with environmental mitigation; lines of communication and reporting methods; daily and weekly reporting of compliance; construction crew training regarding environmental sensitivities; authority to stop work; and action to be taken in the event of non-compliance.~~
10. ~~Drainage basin and drainage swales. Any proposed drainage basins and/or drainage swales that convey runoff shall be designed to act as wetland habitat. Drainage basins shall be designed to have gently sloping sides to allow establishment of riparian and wetland vegetation along the banks, and the outlet shall be placed at a height that will retain some water in the basin after storm flows pass. Swales shall be revegetated with native wetland species appropriates to the area, such as juncus. Drainage swale and basin design shall take this into account when determining the size of the swales and basins, and by designing access routes for maintenance that will minimize disruption of wetland habitat.~~
11. ~~Construction vehicle activities. Any development shall include an appropriately marked staging areas. Staging, re-fueling, and maintenance of vehicles will be performed only in those marked areas. Cleaning and refueling of equipment and vehicles will be avoided during rainy conditions in order to reduce the potential for inadvertent release of fuel or other contaminants from construction areas to aquatic habitats.~~
12. ~~Traffic and Circulation. Roadway, pedestrian, bicycle and transit related improvements shall be required as part of the discretionary approval review process and shall be consistent with county standards and shall be reviewed and approved by the County Public Works Department. An encroachment permit for any approved alteration or work within~~

~~the right-of-way is required. Realignment of Main Street may require obtaining an encroachment permit from Caltrans. Improvements shall be shown on any application submittal and shall include at a minimum:~~

- ~~A. Realignment of Main Street to accommodate road improvements. This may require moving the existing road to the west approximately 20 to 30 feet in order to improve Main Street alignment and accommodate the entrance driveway as to width and vertical profile.~~
- ~~B. A left-turn lane into the driveway~~
- ~~C. Eight foot shoulder on Main Street to accommodate right turns and bicycles.~~
- ~~D. Emergency access connection to the private road opposite Ardath Drive.~~
- ~~E. A safe access route along Main Street designated for students.~~
- ~~F. Any driveway entrances shall be designed to accommodate the turning radius for busses, delivery trucks, fire trucks and garbage trucks. The vertical profile of the driveway must accommodate busses and other vehicles with longer rear overhang such that these vehicles do not "bottom out" when entering or exiting the driveway.~~
- ~~G. Site enhancements to promote pedestrian, bicycle, and transit accessibility to the site's design.~~
- ~~H. County of San Luis Obispo traffic fees established for Cambria to offset cumulative impacts to Highway 1 as required by County Code Title 13.01.010-060, and allocation fees as determined by the County Engineer, shall be paid prior to commencement of any construction.~~

~~13. Air Quality. During construction, the following Best Available Control Technology for diesel fueled construction equipment and dust control measures shall be implemented where feasible. As a condition to development, the Department of Planning and Building shall be notified, by letter, of the status of the following measures, and shall clearly state why any measures not taken are infeasible:~~

- ~~Diesel-fueled construction equipment~~
- ~~A. Use of CARB motor vehicle diesel fuel. All off-road and portable diesel power equipment shall be fueled exclusively with CARB certified diesel.~~
- ~~B. Electrify equipment where possible.~~
- ~~C. Maintain equipment in tune per manufacturer's specifications, except as other wise required above.~~

- ~~D. Install catalytic converters on gasoline-powered equipment.~~
- ~~E. To the extent feasible use Compressed Natural Gas (CNG) or propane on site mobile equipment instead of diesel-powered equipment.~~
- ~~Dust control~~
  - ~~A. Reduce the amount of disturbed area where possible.~~
  - ~~B. Use water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency will be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible.~~
  - ~~C. All dirt stockpile areas should be sprayed daily as needed.~~
  - ~~D. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following the completion of any soil disturbing activities.~~
  - ~~E. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with fast-germinating native grass seeds and watered until vegetation is established.~~
  - ~~F. All disturbed soil areas not subject to revegetation shall be stabilized with approved chemical soil binders, jute, netting, or other methods approved in advance by the APCD.~~
  - ~~G. All roadways, driveways, sidewalks, etc., should be paved as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.~~
  - ~~H. Vehicle speeds for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.~~

## C. SAN SIMEON ACRES VILLAGE STANDARDS

The following standards apply to development within the San Simeon Acres Village Reserve Line to the land use categories or specific areas listed:



Figure 7-41: San Simeon Acres Village Location Map

**COMBINING DESIGNATIONS:** The following standards apply to lands in the Local Coastal Plan (LCP) combining designation.

- 1. Marine Habitat (SRA) (MH) -- Projects with Point-Source Discharges.** The richness, sensitivity, and unspoiled character of the marine habitats in San Simeon Acres demand particularly rigorous measures to ensure the protection of these special resources. Accordingly, no surface point-source discharges into the marine environment are allowed, except as follows: (Mod68)

**Exceptions:**

- A. San Simeon Acres Community Services District.** Any capacity expansions needed to serve permitted growth within the existing San Simeon Acres Community Services District (SSCSD) service areas, provided that any new outfall is located outside the Monterey Bay National Marine Sanctuary (MBNMS).

**B. Passthrough Discharges.** Aquaculture seawater passthrough discharges, provided that:

1. Discharge is consistent with MBNMS, EPA, RWQCB and California Department of Fish & Game (CDFG) Regulations.
2. The discharge point is located south of San Simeon Point.
3. The discharge method will not result in a eutrophic concentration of nutrients, and will not result in adverse impacts to wild abalone populations or other native marine organisms.

**C. Seawater Passthrough Devices.** Seawater passthrough discharges for public aquaria, and for scientific research facilities, provided that:

1. Discharge is consistent with MBNMS, EPA, and RWQCB Regulations.
2. The discharge method will not result in adverse impacts to kelp beds or other native marine organisms.

**D. Water Quality Enhancement.** Discharges to streams, for the purpose of hydrologic replenishment and/or stream water quality enhancement, provided that:

1. Discharge is consistent with NMFS, U.S. Fish & Wildlife Service (USFWS), EPA, RWQCB, and CDFG Regulations.
2. The discharged waters will be of appropriate temperature and quality so as not to disrupt the steelhead run, nor the in-stream habitat for any other sensitive species including, but not limited to, the red-legged frog and tidewater goby. (Mod68)

**COMMUNITYWIDE:** The following standard applies to land within the San Simeon Village reserve line which are not limited to a single land use category.

**1. Service Capacity.** The San Simeon Acres Community Services District (SSCSD) shall reserve available water and sewage treatment capacity on a yearly basis for the following priority uses:

**A. Visitor Serving Uses.** 75 percent of available water and sewer capacity.

**B. Affordable Housing - Program Required.** Of the remaining 25 percent of capacity, the SSCSD shall reserve sufficient water and sewer capacity to serve affordable housing. If consistent with other permits, the amount of water and sewer capacity required to serve affordable housing units may be re-allocated from the Visitor-Serving category.

Prior to issuance of any further water allocation letters, the District shall propose to the County a program to accommodate a limited number of affordable housing units each year. The exact number shall be determined based on unmet housing needs and availability of water. Under this program and to meet the need of affordable housing units, the District may divert part of the water which otherwise would have been allocated to the Visitor-Serving water waiting list.

**C. Water Use.** Within three years of adoption of this Plan, an instream flow management plan for Pico Creek shall be completed by the SSCSD and approved by the County. The plan shall identify a specific amount of new development, withdrawals for which will not adversely affect riparian and wetland habitat or agricultural activities. If three years after the adoption of this Plan the study has not yet been approved by the County, no further development or land division which relies on water from Pico Creek shall be approved. (Mod 133)

~~1. **Priority for Services.** Eighty percent (80%) of the development in San Simeon Acres (including up to 75% of the water use of the community) shall be reserved for visitor-serving uses. When the community's water use reaches 140 acre feet a year, no new development or land division shall be approved until the following have been completed:~~

~~a. A study to determine the safe yield from the Pico Creek groundwater basin. And either:~~

~~Approval from the County Health Department and/or the State Water Resources Control Board to increase San Simeon Acres water allocation from the Pico Creek ground-water basin consistent with the findings of the safe-yield study. The increased water allocation shall not decrease the biological productivity of the Pico Creek stream environment or adjacent riparian habitat, or~~

~~Discovery, development and production of additional water resources from an alternative water supply source consistent with the resource protection policies of the Local Coastal Program.~~

~~2. **Underground Utilities.** Overhead utility lines are to be placed underground on with new development.~~

**3 2. Setbacks From Bluff.** Setbacks from the bluff edge is to be a minimum of 25 feet unless a geologic report indicates that a greater setback is necessary.

**4 3. Shoreline Access in New Visitor-Serving Developments.** Visitor-serving development including public assembly and entertainment (when accessory to a hotel or motel) eating and drinking places, food and beverage retail sales, general merchandise stores, service stations, bed and breakfast facilities and hotels and motels (as specified in the Limitation on Use Standards for Commercial Retail) located between the first public road and the sea shoreline shall be required to provide the following public access improvements:

A. **Access from the Road to the Beach.** A vertical access easement for public pedestrian use open to the public.

B. **Parking Areas.** Areas available for public parking.

c. ~~Lateral access dedications from the toe of the bluff to the mean high tide line.~~

**5 4. Shoreline Access in Residential Development.** One additional vertical access shall be required to serve the public and new residential development on Balboa Avenue. Lateral access dedications from the toe of the bluff to the mean high tide line shall be required for any new development on the bluff top west of Balboa Avenue.

**COMBINING DESIGNATION:** The following standards apply to lands in the Local Coastal Plan (LCP) Combining Designation.

~~1. SHORELINE ACCESS IN NEW VISITOR-SERVING DEVELOPMENTS. Visitor-serving development including public assembly and entertainment (when accessory to a hotel or motel) eating and drinking places, food and beverage retail sales, general merchandise stores, service stations, bed and breakfast facilities and hotels and motels (as specified in the Limitation on Use Standards for Commercial Retail) located between the first public road and the shoreline shall be required to provide the following public access improvements:~~

~~a. A vertical access for pedestrian use open to the public.~~

~~b. Areas available for public parking.~~

~~c. Lateral access dedications from the toe of the bluff to the mean high tide line.~~

~~2. SHORELINE ACCESS IN RESIDENTIAL DEVELOPMENT. One additional vertical access shall be required to serve the public and new residential development on Balboa~~

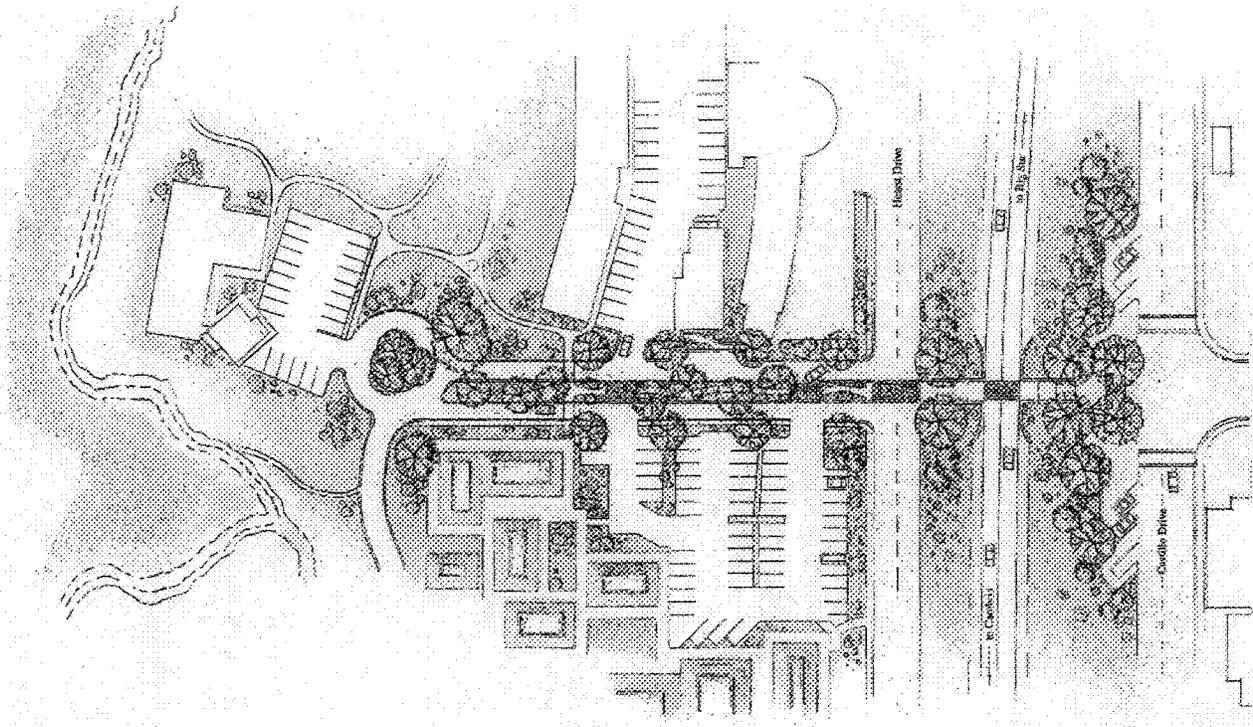


Figure 7-42: San Simeon Acres - Highway One Crossing Plan

Avenue. Lateral access dedications from the toe of the bluff to the mean high tide line shall be required for any new development on the bluff top west of Balboa Avenue.

5. **Traffic Mitigation - Highway One.** Proposed development shall be reviewed to identify any potential adverse impacts to coastal resources, including any potential impacts to levels of service on Highway One. Inadequate road capacity may be grounds for denial unless mitigation measures are incorporated to ensure that adequate levels of service can be provided. An increase in traffic that detracts from the rural, scenic nature of Highway One shall not be permitted. The acceptable level of service (LOS) for Highway One is LOS D within the San Simeon Acres Village Reserve Line.
6. **Design Considerations.** Measures to increase scenic quality from Highway One shall be encouraged through the design review process. Appropriate measures could include installation of sidewalks, street furniture, street trees, and decorative street lights.
7. **Urban Design Compatibility with Natural Features.** New development shall respect the natural setting of its location. Building materials, exterior colors, and architectural features shall be carefully chosen to blend with the surrounding landscape. Structures and natural surroundings shall complement each other, and the impact of development on the site shall be minimized. Unique and attractive features of the

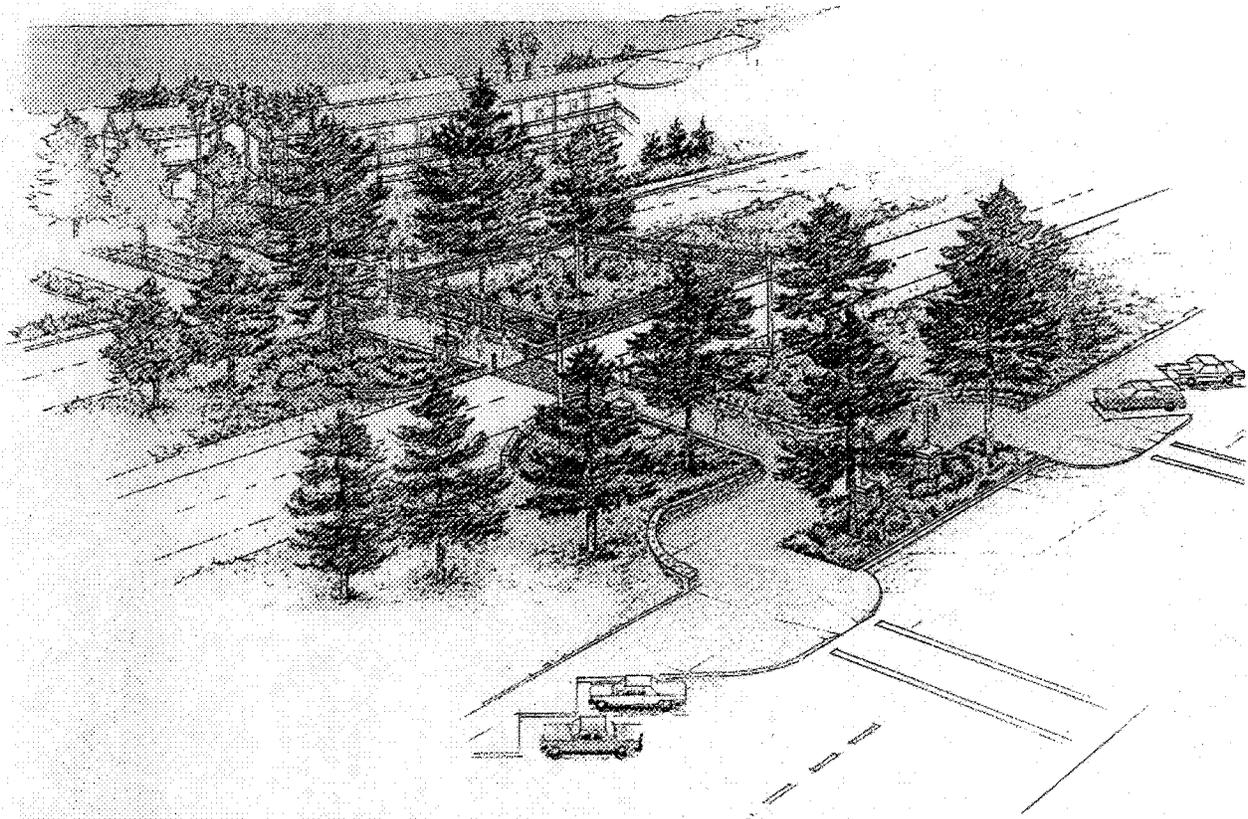


Figure 7-43: San Simeon Acres Crossing Perspective

landscape, including, but not limited to, unusual landforms, scenic vistas, sensitive habitats, and native vegetation shall be preserved and protected.

**8. Building Scale.** New development shall be at a scale and size that reflects the existing features of the site and vicinity. Scale is the relationship of the size of the structure to its surrounding features, both natural and man-made. Development shall not be too massive for the lot size, shall not block light and air for smaller neighboring homes or structures, and shall not diminish the architectural harmony and character of the community.

**9. Compatibility with Existing Structures.** All development shall be located and designed to minimize the impacts of noise, light, glare, privacy loss, and odors on adjacent areas. Traditional building styles of early coastal buildings shall be encouraged. Roof lines and building exteriors shall be compatible with buildings in the surrounding area.

**10. Commercial Design.**

**A. Design Compatibility.** Commercial development shall reflect the character of the area by incorporating distinctive design elements that are compatible with the surrounding community.

**B. Parking Location.** On-site parking shall be located at the rear of commercial structures where possible.

**C. Pedestrian Visibility.** Commercial structures shall be designed to maximize the visibility of shops and store fronts from the pedestrian eye level.

**11. Commercial Signs.**

**A. New signs shall be monument style, low profile, and shall not compete visually with existing signs in the area.**

**B. Signs shall be subtle, unobtrusive, energy efficient, weather resistant, and reflect the existing community character. Signs shall be at a scale and size oriented toward pedestrian traffic in areas where pedestrians are present.**

**12. Mixed Use Projects.** To encourage employee housing in commercial areas, multi-family dwellings are permitted on the rear half or upper story of commercial lots. (Mod 134). For purposes of this standard, the front half of the lot is defined as the area located between the street line and the halfway line drawn through the midpoint of lot depth.

**A. Principal Use.** Development of multi-family dwellings may be allowed prior to the development of commercial facilities, provided that the front half of the lot is reserved for future commercial uses.

**B. Density.** Density shall be limited to 26 units per acres, calculated using the area of the rear half of the lot.

**C. Visitor-serving Areas (V).** Multi-family housing consistent with other standards in this section shall be allowed in 'V' areas, provided it is designed for employee housing, and that the County finds and determines that the proposed housing will not displace existing or potential future visitor-serving uses. (Mod 134)

**COMMERCIAL RETAIL:** The following standards apply only to lands within the Commercial Retail land use category.

**1. Limitation on Use.** Principally Permitted Uses are limited to: tourist-oriented uses including Eating and Drinking Facilities places (not including drive-in restaurants, fast-food and refreshment stands); Food and Beverage Retail Sales (limited to tourist-oriented supplies); General Merchandise Stores (limited to tourist-oriented shops); and Motels and Hotels. Non-principal permitted uses are limited to: Public Assembly and

Entertainment (when accessory to a hotel and motel); Caretaker's Residence; Service Stations; Bed and Breakfast Facilities; Water Wells and Impoundments; and Coastal Accessways. (This is a visitor-serving priority area.)

2. **Height Limitation.** The maximum allowable height for all buildings is commercial retail uses shall not exceed 25 feet. Grading on bluff-top parcels shall be limited to that necessary for the construction of the building foundation and minor grading for parking lots. Grading shall not be allowed for the creation of an additional underground floor or parking spaces.
3. **Density - West of Highway 1.** The density for hotel and motel projects shall be calculated excluding the portions of the property which lie seaward oceanward of the edge top of the bluff.
6. ~~**Limitation on Use (On East Side of Avonne Ave.).** Principal permitted uses are limited to: hotel and motel. Non-principal permitted uses are limited to: residential multiple-family, and single-family residential. (This is a visitor-serving priority area.)~~

**RESIDENTIAL MULTI-FAMILY:** The following standards apply only to lands within the Residential Multi-Family land use category.

1. **Density - Multi-Family Projects.** The maximum allowable density for multi-family development shall residential uses is to be 26 dwelling units per acre. For the purpose of calculating density, the portions of the property seaward laying oceanward of the top of the edge of the bluff are shall not to be included for the purpose of calculating density.
2. **Height Limitation.** The maximum allowable height for all structures shall be 25 feet except that on land those structures located west of Highway 1. For structures located west of Highway One, the maximum height shall be 20 feet except for bluff top lots, which shall be no higher than 14 feet above the centerline of Balboa Avenue.

# LEGEND

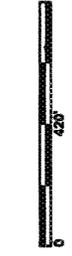
## LAND USE CATEGORIES

AG	Agriculture
FL	Rural Lands
REC	Recreation
RR	Residential Rural
RS	Residential Suburban
RSF	Residential Single Family
RMF	Residential Multiple Family
O/P	Office & Professional
CR	Commercial Retail
CS	Commercial Service
IND	Industrial
PF	Public Facilities
OS	Open Space

## BOUNDARIES

Urban Reserve Line (URL)
Urban Service Line (USL)
Village Reserve Line (VRL)
Planning Area
Central Business District

## SCALE

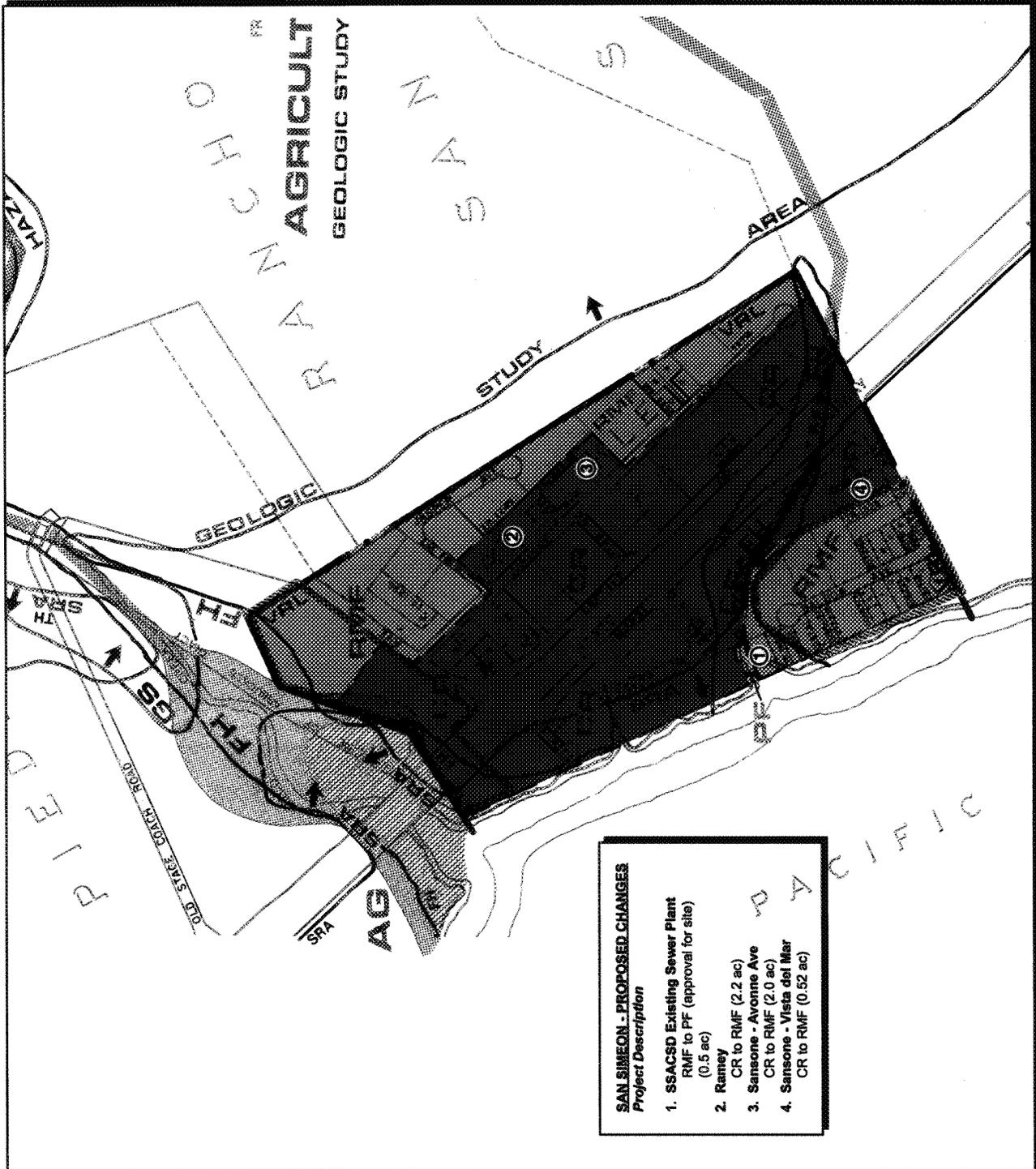


NOTE: This map is for reference purposes only. Official maps showing precise property lines and land use category boundaries are on file in the Planning Department.

**5 SAN SIMEON**  
**LAND USE CATEGORIES**  
**Proposed Changes**

July 2004

San Luis Obispo County Department of Planning and Building



**SAN SIMEON - PROPOSED CHANGES**  
*Project Description*

1. SSACSD Existing Sewer Plant  
 RMF to PF (approval for site)  
 (0.5 ac)
2. Ramey  
 CR to RMF (2.2 ac)
3. Sansone - Avonnie Ave  
 CR to RMF (2.0 ac)
4. Sansone - Vista del Mar  
 CR to RMF (0.52 ac)

# LEGEND

## COMBINING DESIGNATIONS

AR	Airport Review Area
ARCH-SEN	Archaeologically Sensitive Area
GS	Geologic Study Area
FH	Flood Hazard
H	Historic
EX	Energy & Extractive Area
EX	Extractive Area
LCP	Local Coastal Plan
V	Visitor Serving Area
SRA	Sensitive Resource Area

## PROPOSED PUBLIC FACILITIES

HS	High School
JHS	Jr. High School
E	Elementary School
P	Park
PSFS	Police / Public Safety Facility Station
WT	Water Treatment Facility
ST	Sewage Treatment Facility
BWF	Solid Waste Facility
GF	Government Facility
L	Library

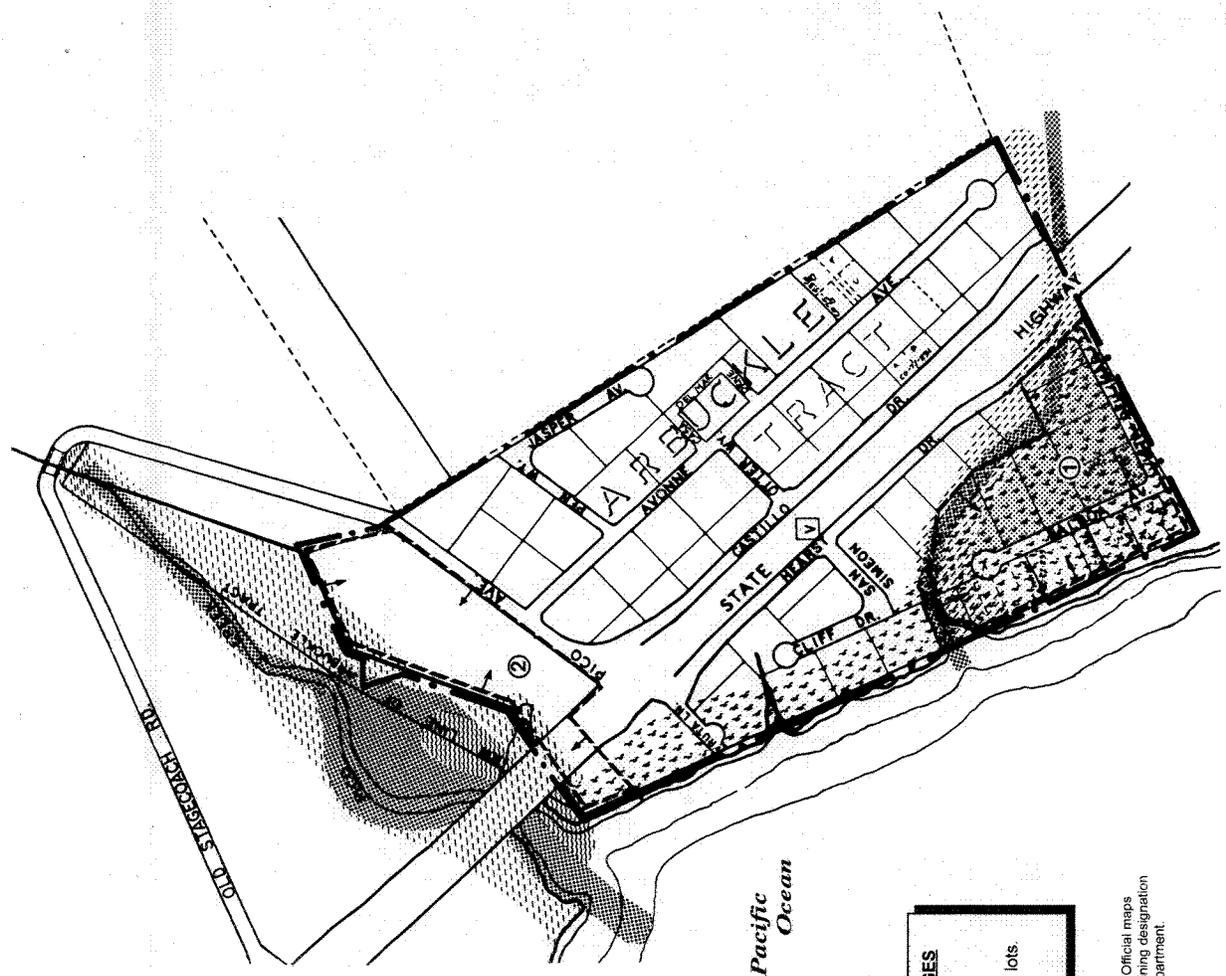
## SRA'S THAT ARE ENVIRONMENTALLY SENSITIVE HABITATS

TH	Terrestrial Habitats
CS	Coastal Streams & Riparian Vegetation
W	Wetlands
MH	Marine Habitat



**6** **SAN SIMEON**  
**COMBINING DESIGNATIONS**  
**Proposed Changes**  
 July 2004

San Luis Obispo County Department of Planning and Building



Pacific Ocean

COMBINING DESIGNATION CHANGES	
Project Description	
1.	SRA Adjustment Remove SRA from developed lots
2.	Park

NOTE: This map is for reference purposes only. Official maps showing precise property lines and combining designation boundaries are on file in the Planning Department.



**LEGEND**

**CIRCULATION**

- |          |          |                    |
|----------|----------|--------------------|
| EXISTING | PROPOSED | Principal Arterial |
|          |          |                    |
|          |          | Arterial           |
|          |          | Collector          |
|          |          | Interchange        |

**COASTAL ACCESS**

Note: For existing and proposed coastal access see chapter 8 of the North Coast Area Plan.

EXISTING PROPOSED

VP [ VP ] Vista Point

**SCALE**

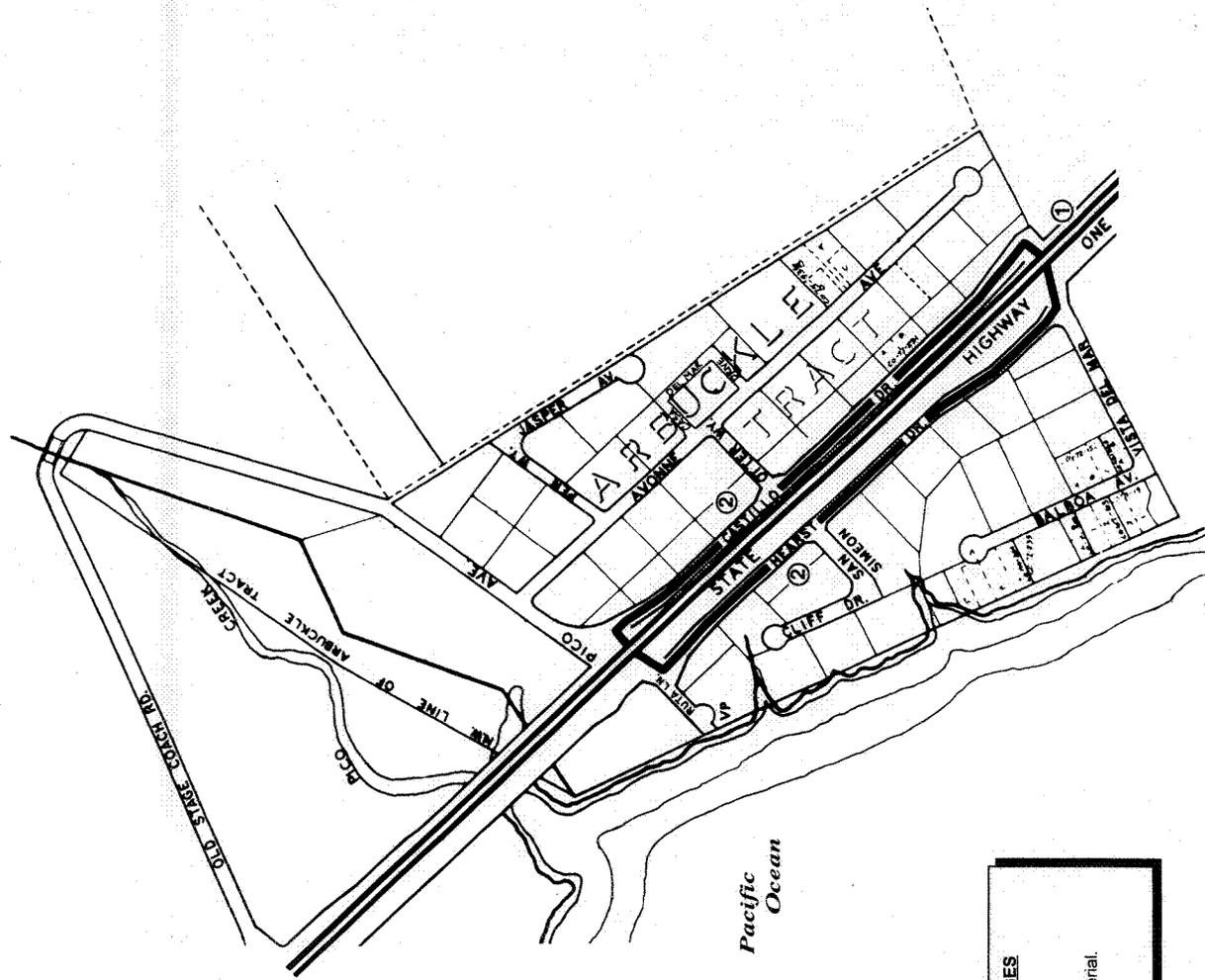


NOTE: This map represents official circulation information. Arrows are for planning purposes only, and do not imply that legal or physical access exists.

**7 SAN SIMEON CIRCULATION Proposed Changes**

July 2004

San Luis Obispo County Department of Planning and Building



**CIRCULATION PLAN CHANGES**

**Project Description**

1. Highway One Arterial to principal arterial.
2. Castillo Dr. / Hearst Dr. Change to arterial.



# LEGEND

## LAND USE CATEGORIES

	AG	Agriculture
	RL	Rural Lands
	REC	Recreation
	RR	Residential Rural
	RS	Residential Suburban
	RSF	Residential Single Family
	RMF	Residential Multiple Family
	O/P	Office & Professional
	CR	Commercial Retail
	CS	Commercial Service
	IND	Industrial
	PF	Public Facilities
	OS	Open Space

## BOUNDARIES

	Urban Reserve Line (URL)
	Urban Service Line (USL)
	Village Reserve Line (VRL)
	Planning Area
	Central Business District

## SCALE



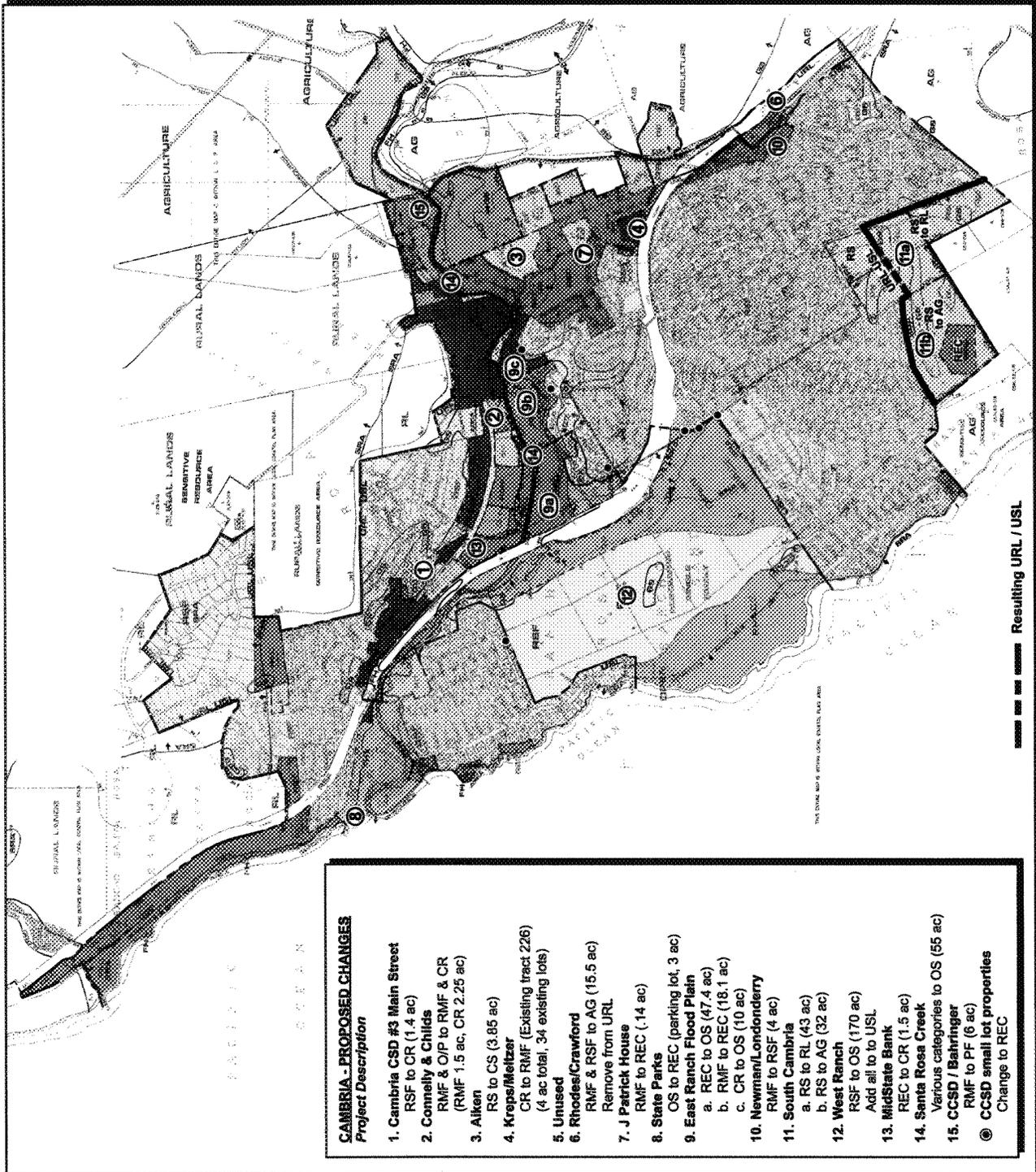
NOTE: This map is for reference purposes only. Official maps showing precise property lines and land use category boundaries are on file in the Planning Department.

8

**CAMBRIA**  
LAND USE CATEGORIES  
Proposed Changes

July 2004

San Luis Obispo County Department of Planning and Building



### CAMBRIA - PROPOSED CHANGES

#### Project Description

1. Cambria CSD #3 Main Street  
RSF to CR (1.4 ac)
  2. Connelly & Childs  
RMF & O/P to RMF & CR  
(RMF 1.5 ac, CR 2.25 ac)
  3. Aiken  
RS to CS (3.85 ac)
  4. Kreps/Meltzer  
CR to RMF (Existing tract 226)  
(4 ac total, 34 existing lots)
  5. Unused
  6. Rhodes/Crawford  
RMF & RSF to AG (15.5 ac)  
Remove from URL
  7. J Patrick House  
RMF to REC (.14 ac)
  8. State Parks  
OS to REC (parking lot, 3 ac)
  9. East Ranch Flood Plain
    - a. REC to OS (47.4 ac)
    - b. RMF to REC (18.1 ac)
    - c. CR to OS (10 ac)
  10. Newman/Londonderry  
RMF to RSF (4 ac)
  11. South Cambria
    - a. RS to RL (43 ac)
    - b. RS to AG (32 ac)
  12. West Ranch  
RSF to OS (170 ac)  
Add all to USL
  13. MidState Bank  
REC to CR (1.5 ac)
  14. Santa Rosa Creek  
Various categories to OS (55 ac)
  15. CCSD / Bahringer  
RMF to PF (6 ac)
- © CCSD small lot properties  
Change to REC

Resulting URL / USL





**LEGEND**

**COMBINING DESIGNATIONS**

	AR	Airport Review Area
	ARCH-SEN	Archaeologically Sensitive Area
	GS	Geologic Study Area
	FH	Flood Hazard
	H	Historic
	EX	Energy & Extractive Area
	EX1	Extractive Area
	LCP	Local Coastal Plan
	V	Visitor Serving Area
	SRA	Sensitive Resource Area

**PROPOSED PUBLIC FACILITIES**

	High School
	Jr. High School
	Elementary School
	Park
	Police / Public Safety Facility Station
	Water Treatment Facility
	Sewage Treatment Facility
	Solid Waste Facility
	Government Facility
	Library

**SRA'S THAT ARE ENVIRONMENTALLY SENSITIVE HABITATS**

	Terrestrial Habitats
	Coastal Streams & Riparian Vegetation
	Wetlands
	Marine Habitat

0 1600'

**10**  
**CAMBRIA**  
**COMBINING DESIGNATIONS**  
**Proposed Changes**  
 July 2004  
 Map 2 of 2



**COMBINING DESIGNATION CHANGES**  
 Project Description  
 1. Show stream at Eady Motel site as ESH

NOTE: This map is for reference purposes only. Official maps showing precise property lines and combining designation boundaries are on file in the Planning Department.



**LEGEND**

**CIRCULATION**

- |                 |                 |                    |
|-----------------|-----------------|--------------------|
| <b>EXISTING</b> | <b>PROPOSED</b> | Principal Arterial |
|                 |                 | Arterial           |
|                 |                 | Collector          |
|                 |                 | Interchange        |

**COASTAL ACCESS**

**NOTE:** For existing and proposed coastal access see Chapter 8 of the North Coast Area Plan.

VP [ VP ] Vista Point

**SCALE**

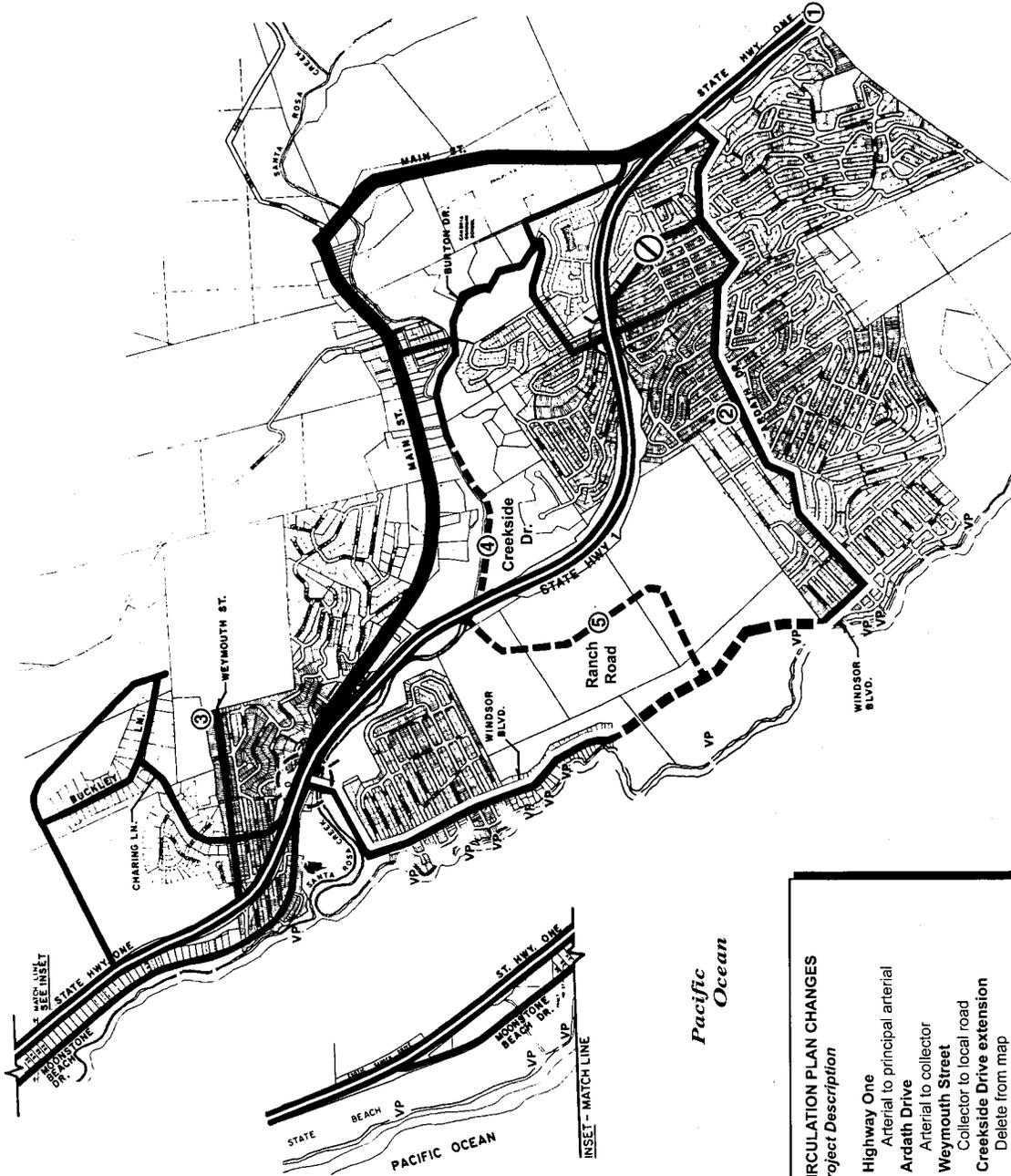


**NOTE:** This map represents official circulation information. Arrows are for planning purposes only, and do not imply that legal or physical access exists.

**11**  
**CAMBRIA**  
**CIRCULATION**  
**Proposed Changes**

July 2004

San Luis Obispo County Department of Planning and Building

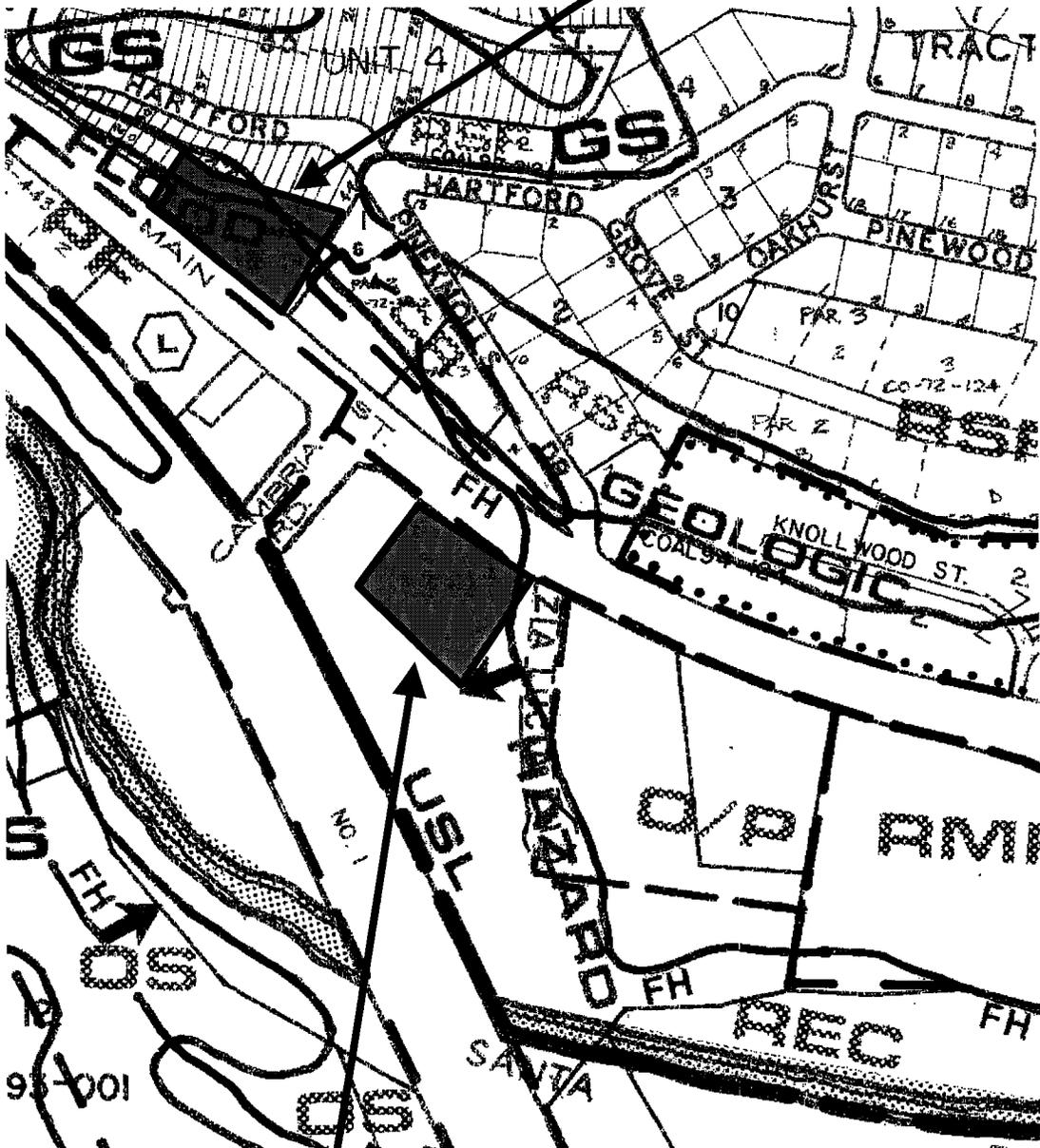


**CIRCULATION PLAN CHANGES**  
*Project Description*

1. Highway One  
Arterial to principal arterial
2. Ardath Drive  
Arterial to collector
3. Weymouth Street  
Collector to local road
4. Creekside Drive extension  
Delete from map
5. Ranch Road  
Delete from map



1. RSF to CR



13. REC to CR

**PROJECT**

Land Use Categories

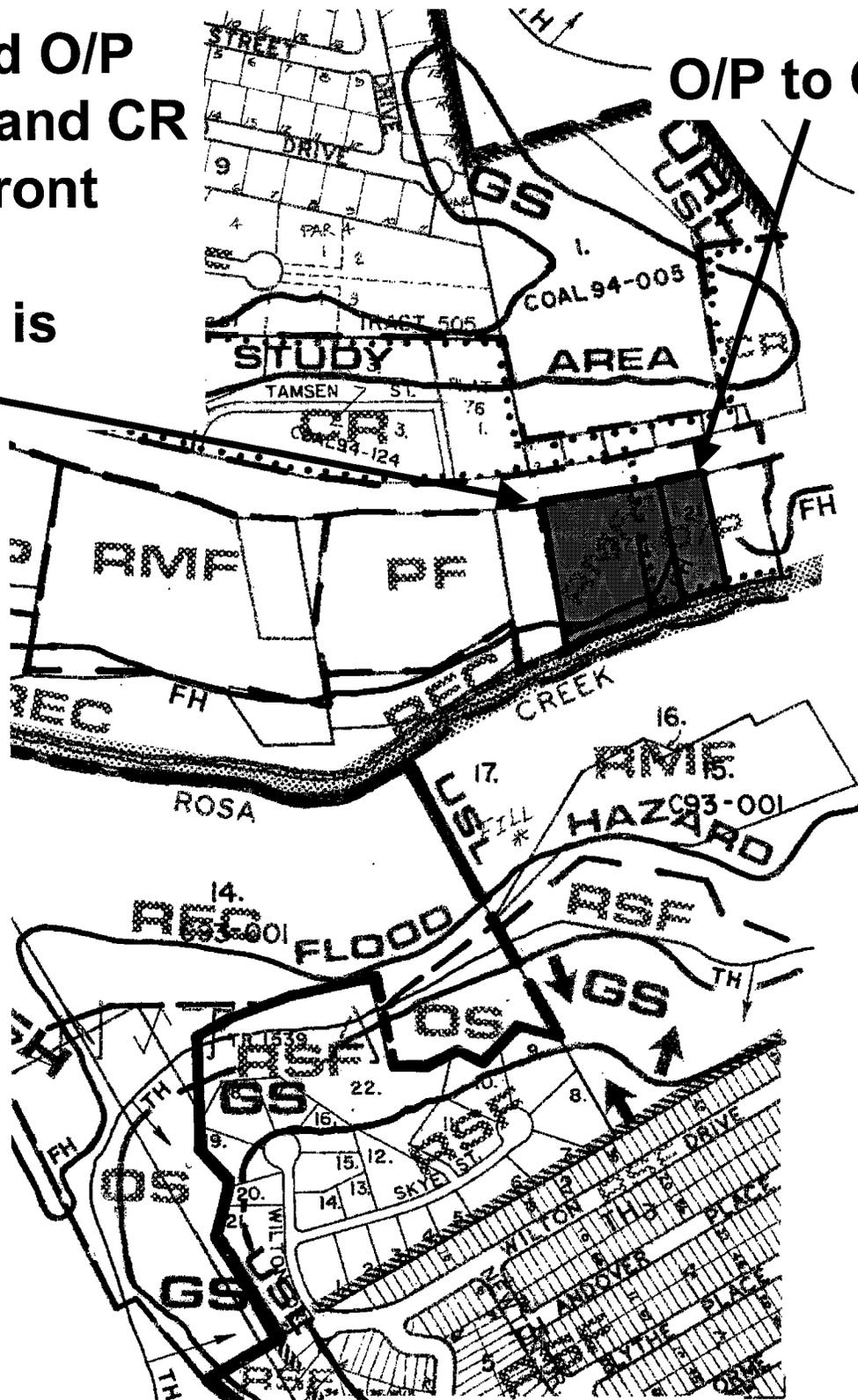


**EXHIBIT**

Proposed Changes  
Detail Map 1, 13

**RMF and O/P  
to RMF and CR  
(CR to front  
Main St,  
balance is  
RMF**

**O/P to CR**



**PROJECT**

Land Use Categories



**EXHIBIT**

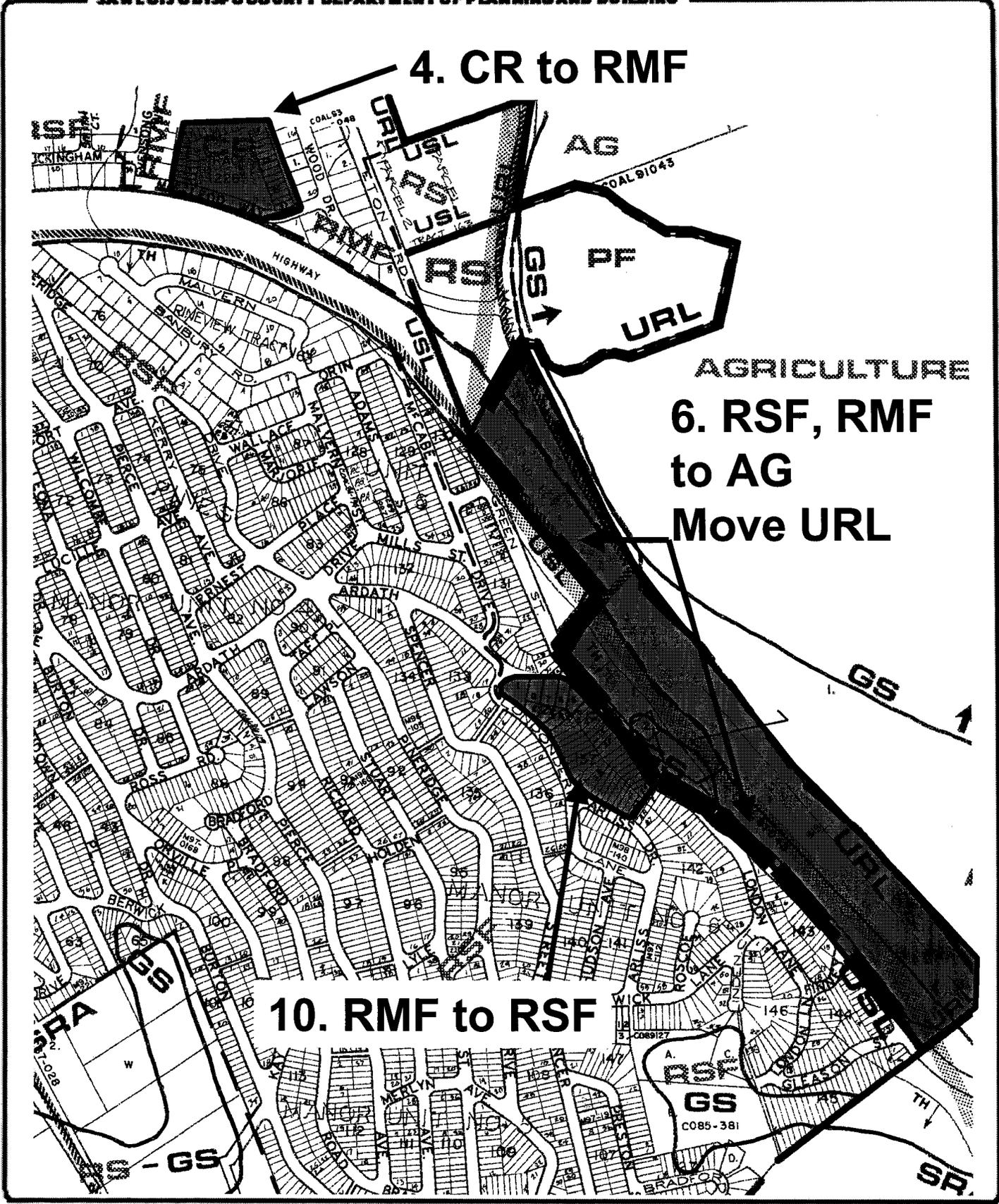
Proposed Changes  
Detail Map 2



# 4. CR to RMF

AGRICULTURE  
6. RSF, RMF  
to AG  
Move URL

# 10. RMF to RSF



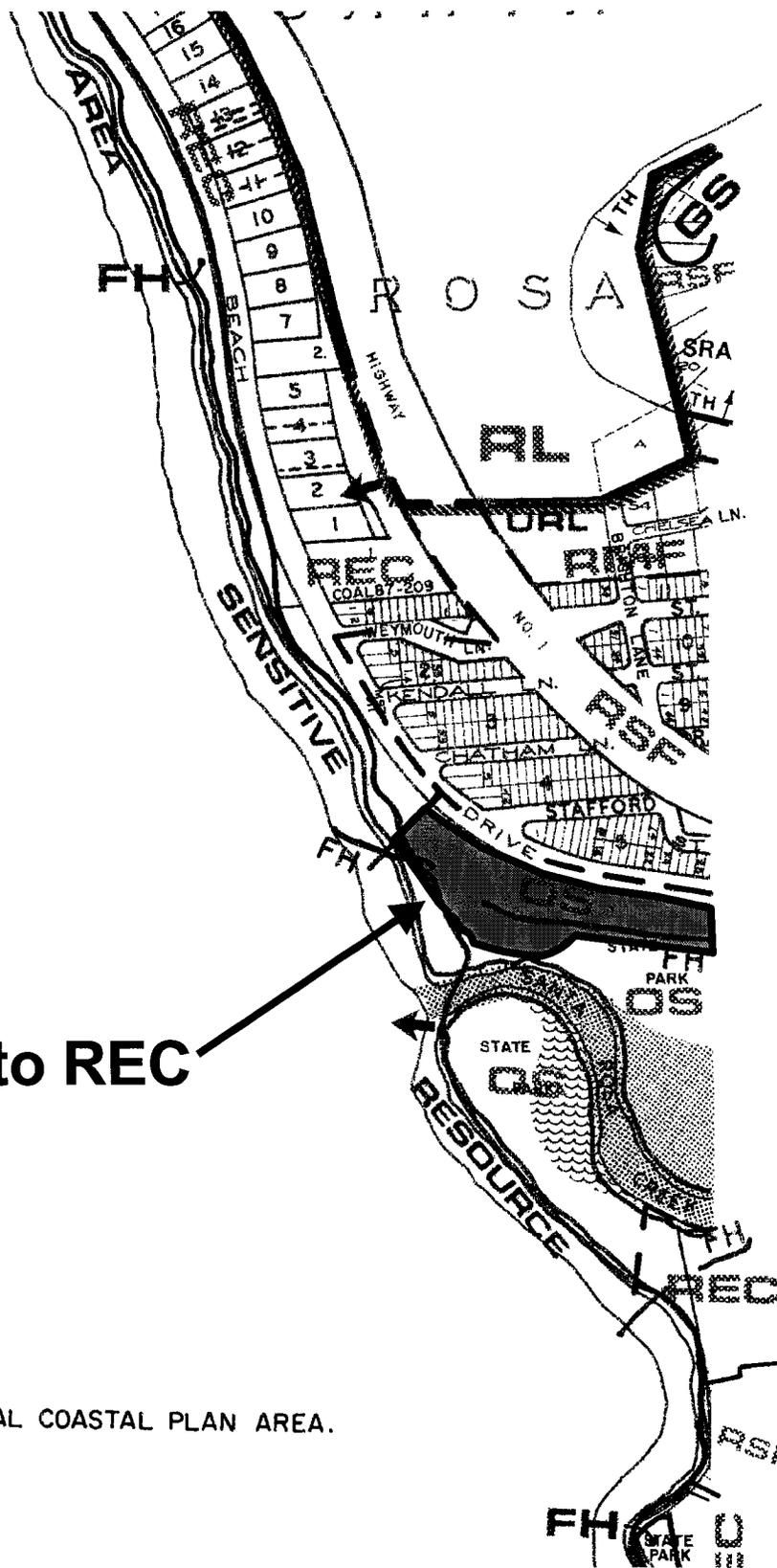
**PROJECT**

Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 4, 6, 10



8. OS to REC

LOCAL COASTAL PLAN AREA.

**PROJECT**

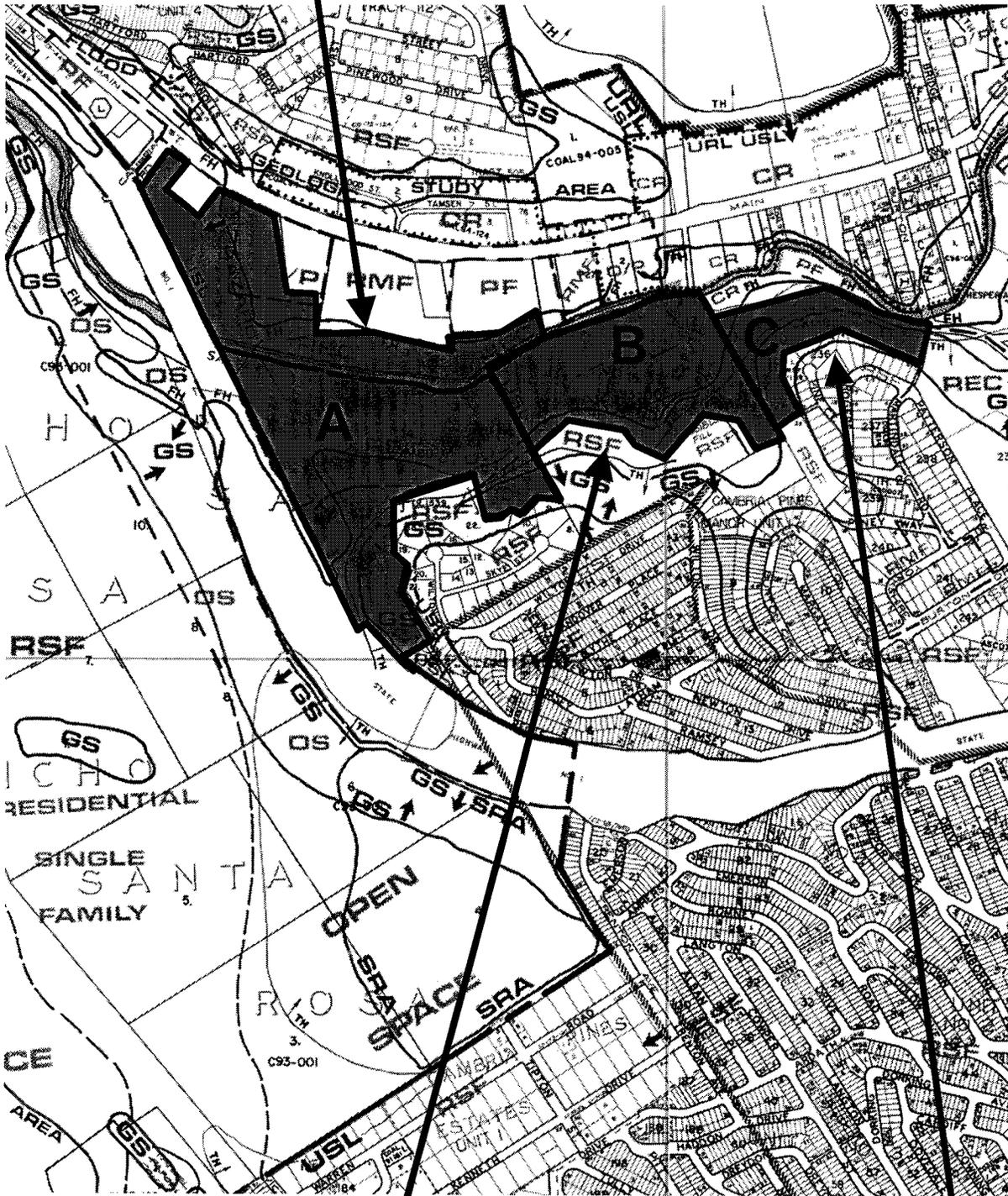
Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 8

# A: REC, PF to OS



# B: RMF to REC

# C: CR to OS

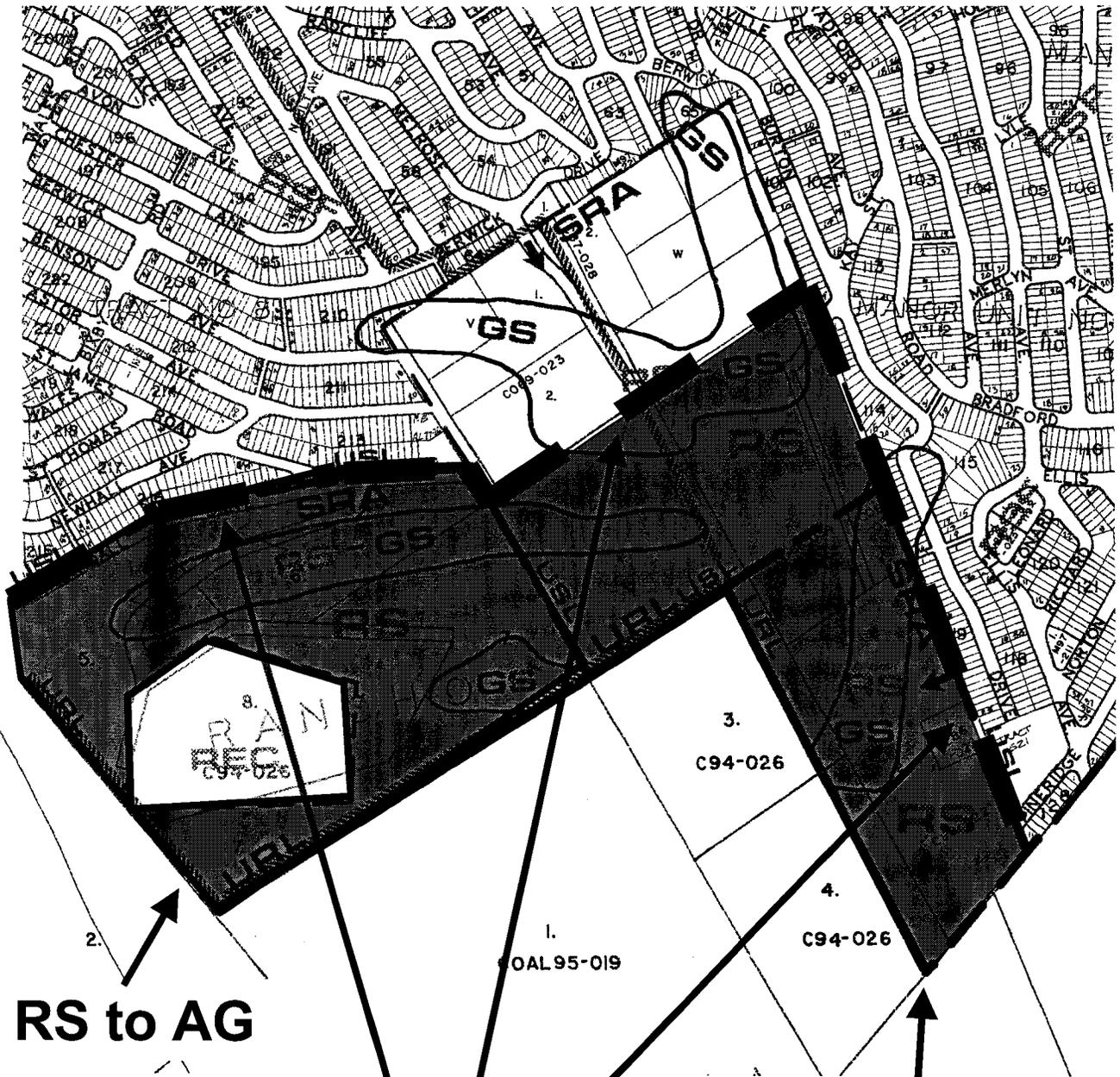
**PROJECT**

Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 9A, 9B, 9C



**RS to AG**

**New URL/USL**

**RS to RL**

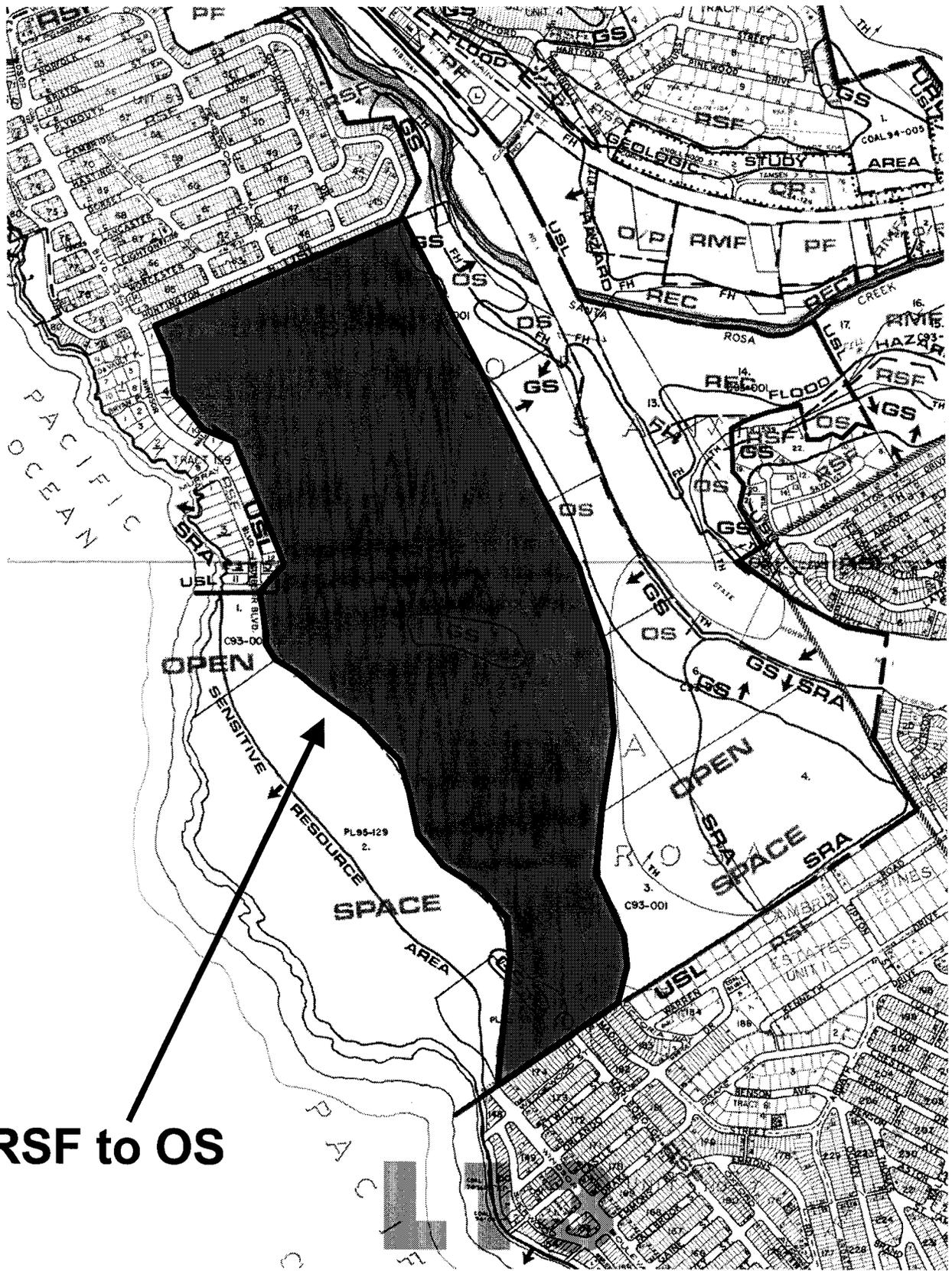
**PROJECT**

Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 11



**RSF to OS**

**PROJECT**

Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 12

# 15. RMF to PF

LANDS

COAL97-033

4.

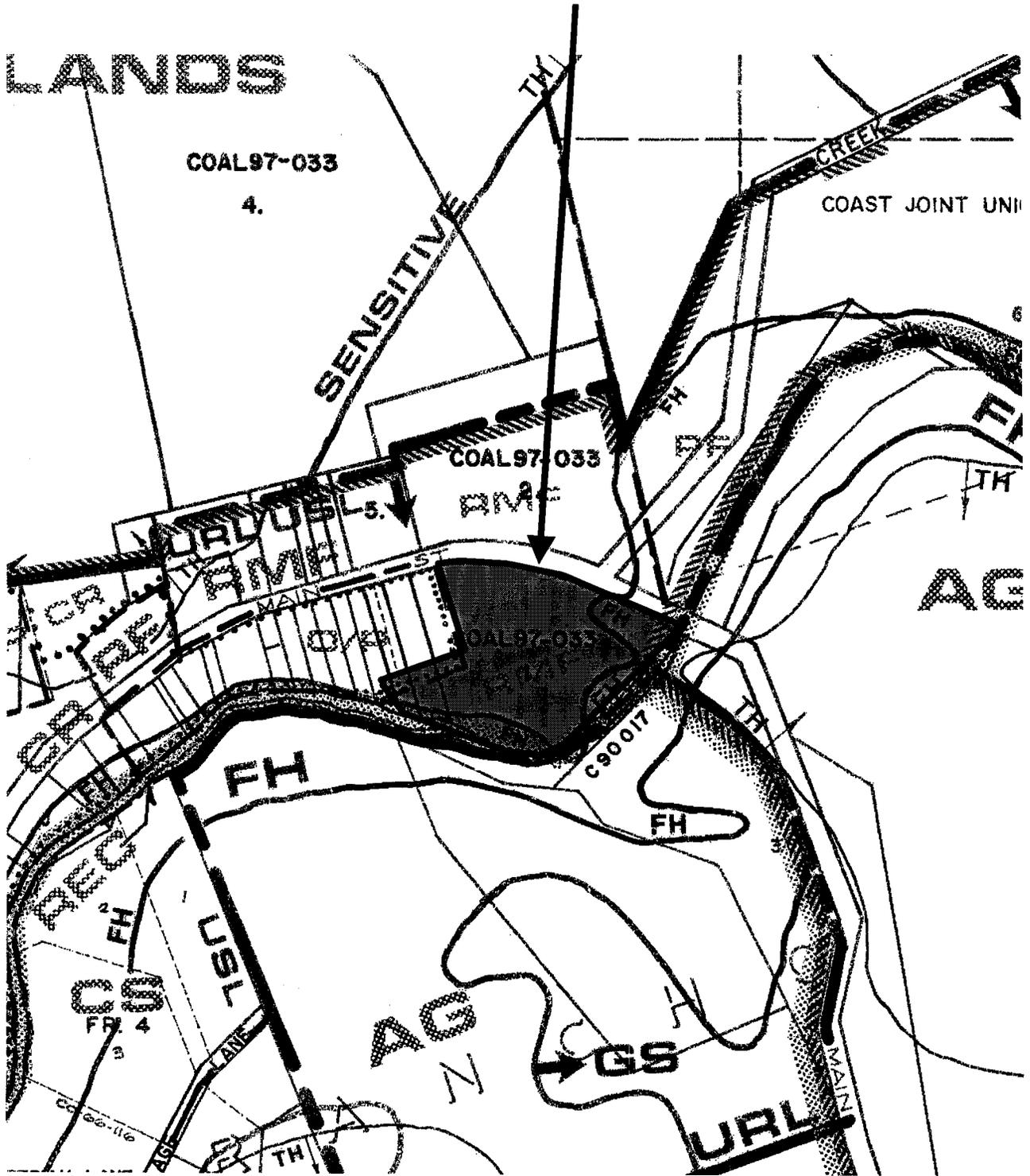
COAST JOINT UNI

SENSITIVE

COAL97-033

RMF

AG



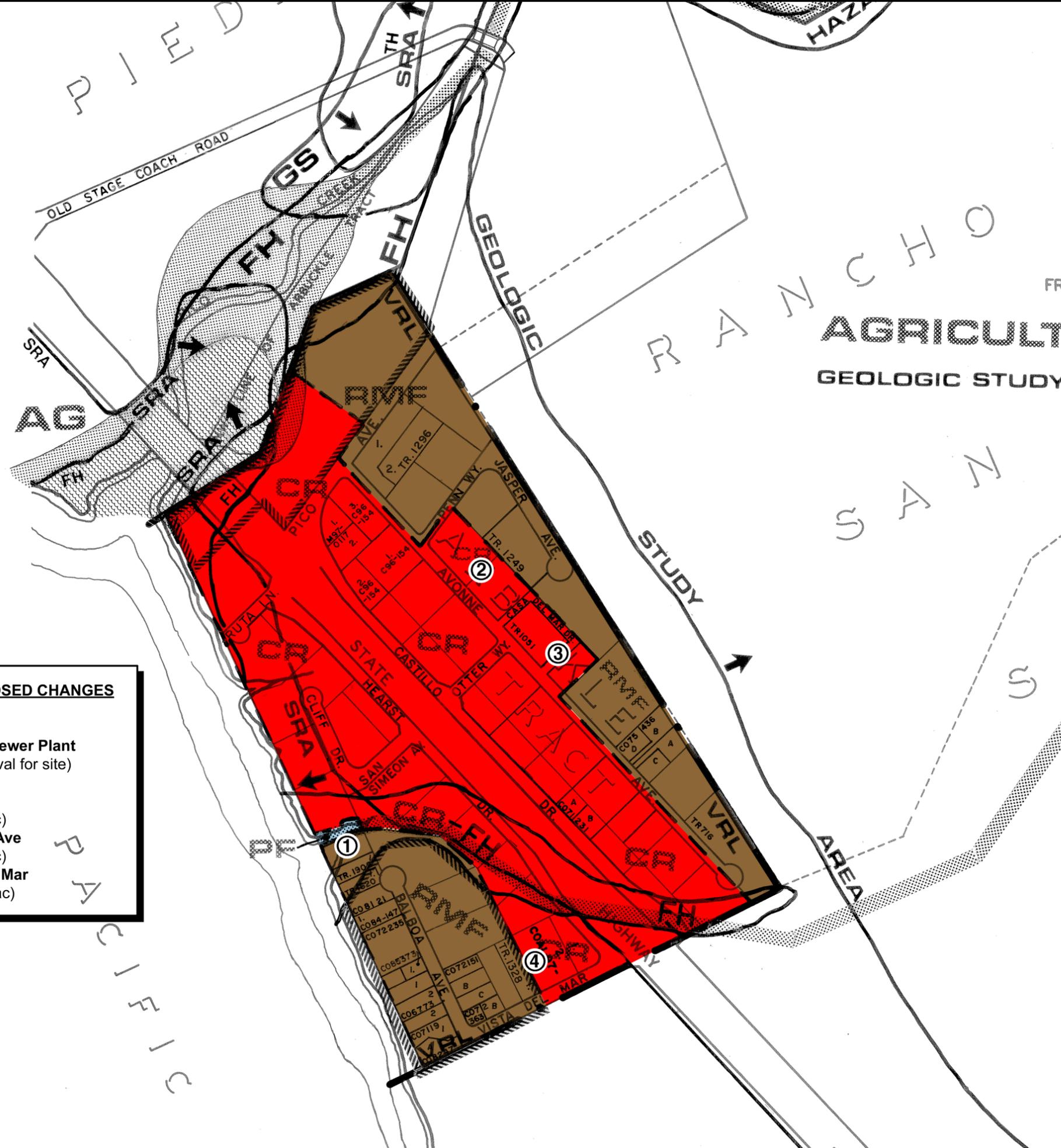
**PROJECT**

Land Use Categories



**EXHIBIT**

Proposed Changes  
Detail Map 15



**SAN SIMEON - PROPOSED CHANGES**  
*Project Description*

1. **SSACSD Existing Sewer Plant**  
 RMF to PF (approval for site)  
 (0.5 ac)
2. **Ramey**  
 CR to RMF (2.2 ac)
3. **Sansone - Avonne Ave**  
 CR to RMF (2.0 ac)
4. **Sansone - Vista del Mar**  
 CR to RMF (0.52 ac)

**LEGEND**

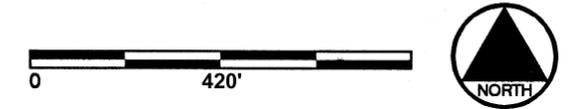
**LAND USE CATEGORIES**

	<b>AG</b>	Agriculture
	<b>RL</b>	Rural Lands
	<b>REC</b>	Recreation
	<b>RR</b>	Residential Rural
	<b>RS</b>	Residential Suburban
	<b>RSF</b>	Residential Single Family
	<b>RMF</b>	Residential Multiple Family
	<b>O/P</b>	Office & Professional
	<b>CR</b>	Commercial Retail
	<b>CS</b>	Commercial Service
	<b>IND</b>	Industrial
	<b>PF</b>	Public Facilities
	<b>OS</b>	Open Space

**BOUNDARIES**

-  Urban Reserve Line (URL)
-  Urban Service Line (USL)
-  Village Reserve Line (VRL)
-  Planning Area
-  Central Business District

**SCALE**



NOTE: This map is for reference purposes only. Official maps showing precise property lines and land use category boundaries are on file in the Planning Department.

**5** **SAN SIMEON**  
**LAND USE CATEGORIES**  
**Proposed Changes**  
 July 2004

# LEGEND

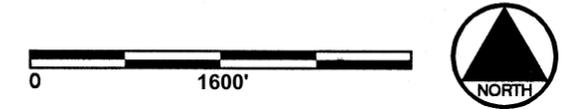
## LAND USE CATEGORIES

	<b>AG</b>	Agriculture
	<b>RL</b>	Rural Lands
	<b>REC</b>	Recreation
	<b>RR</b>	Residential Rural
	<b>RS</b>	Residential Suburban
	<b>RSF</b>	Residential Single Family
	<b>RMF</b>	Residential Multiple Family
	<b>O/P</b>	Office & Professional
	<b>CR</b>	Commercial Retail
	<b>CS</b>	Commercial Service
	<b>IND</b>	Industrial
	<b>PF</b>	Public Facilities
	<b>OS</b>	Open Space

## BOUNDARIES

	Urban Reserve Line (URL)
	Urban Service Line (USL)
	Village Reserve Line (VRL)
	Planning Area
	Central Business District

## SCALE



NOTE: This map is for reference purposes only. Official maps showing precise property lines and land use category boundaries are on file in the Planning Department.

**8**

**CAMBRIA**

**LAND USE CATEGORIES**

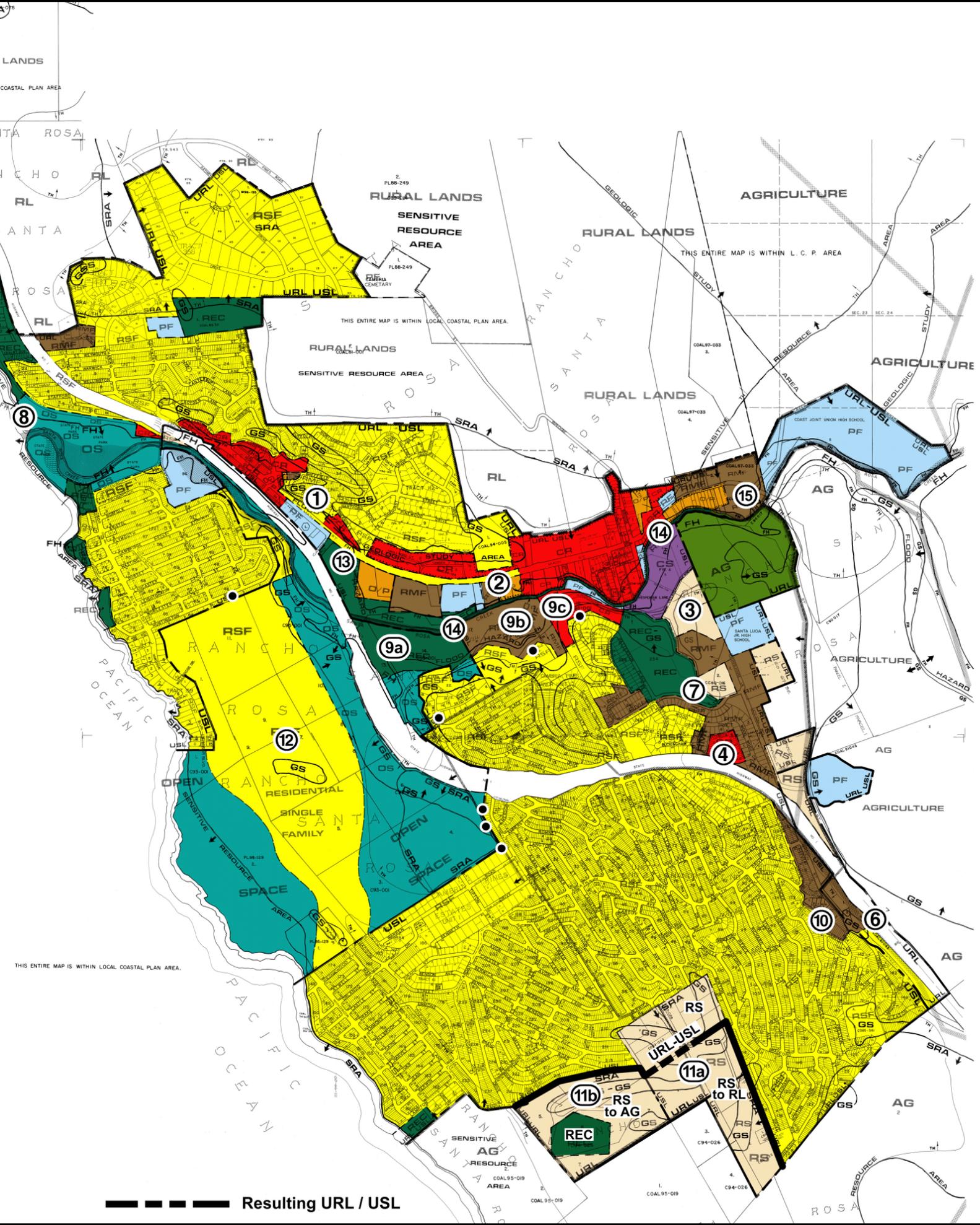
**Proposed Changes**

July 2004

### CAMBRIA - PROPOSED CHANGES

*Project Description*

1. Cambria CSD #3 Main Street  
RSF to CR (1.4 ac)
2. Connelly & Childs  
RMF & O/P to RMF & CR  
(RMF 1.5 ac, CR 2.25 ac)
3. Aiken  
RS to CS (3.85 ac)
4. Kreps/Meltzer  
CR to RMF (Existing tract 226)  
(4 ac total, 34 existing lots)
5. Unused
6. Rhodes/Crawford  
RMF & RSF to AG (15.5 ac)  
Remove from URL
7. J Patrick House  
RMF to REC (.14 ac)
8. State Parks  
OS to REC (parking lot, 3 ac)
9. East Ranch Flood Plain
  - a. REC to OS (47.4 ac)
  - b. RMF to REC (18.1 ac)
  - c. CR to OS (10 ac)
10. Newman/Londonderry  
RMF to RSF (4 ac)
11. South Cambria
  - a. RS to RL (43 ac)
  - b. RS to AG (32 ac)
12. West Ranch  
RSF to OS (170 ac)  
Add all to to USL
13. MidState Bank  
REC to CR (1.5 ac)
14. Santa Rosa Creek  
Various categories to OS (55 ac)
15. CCSD / Bahringer  
RMF to PF (6 ac)
- CCSD small lot properties  
Change to REC



 Resulting URL / USL