



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 3/28/2014

TO: _____

FROM: Rob Fitzroy (805-781-5179 or rfitzroy@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2013-00044 PORT SAN LUIS HARBOR – This is an updated referral package for the Port San Luis Harbor Terrace Project

Proposed development plan to allow a mix of tent sites (22-44 sites); tent cabins, bungalows, inns, or yurts (33-67 units); full service RV camp sites (69-125); other related amenities such as a food and beverage retail store and/or an eating and drinking establishment; parking; and storage facilities to serve the Port. Site location: near terminus of Avila Beach Drive, at the intersection with Diablo Canyon Rd.

APN(s): 076-172-002, -010, -019 and -022; 076-171-018 and -021.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
 NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
 NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

CONDITIONAL USE PERMIT/

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, SLB/ AVLB

AS	CAZ	CSC	GS	LCP	RTF	PF
SRA	SRV					

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Port San Luis Harbor District Daytime Phone (805) 595-5414
 Mailing Address 3950 Avila Beach Drive PO Box 249 Avila Beach, California Zip Code 93424
 Email Address: stevem@portsanluis.com

Applicant Name Steve McGrath, Port San Luis Harbor District Manager Daytime Phone (805) 595-5414
 Mailing Address 3950 Avila Beach Drive PO Box 249 Avila Beach, California Zip Code 93424
 Email Address: stevem@portsanluis.com

Agent Name Lisa Wise Consulting Daytime Phone (805) 595-1345
 Mailing Address 983 Osos Street San Luis Obispo, CA Zip Code 93401
 Email Address: lisa@lisawiseconsulting.com menka@lisawiseconsulting.com

PROPERTY INFORMATION

Total Size of Site: See Attachment A. Assessor Parcel Number(s): See Attachment A.
 Legal Description: See Attachment A.
 Address of the project (if known): See Attachment A.
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: See Attachment A.

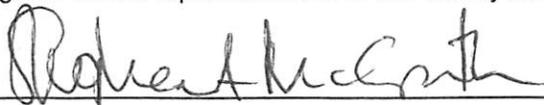
Describe current uses, existing structures, and other improvements and vegetation on the property:
See Attachment A.

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): See Attachment A.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 11/20/13

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

ATTACHMENT A: GENERAL APPLICATION FORM

PROPERTY INFORMATION

Total Size of Site: Approximately 31.74 acres

Assessor Parcel Number(s):

076-172-002 & 076-172-010;

The Port San Luis Harbor District acquired from Eureka Energy Company: Portion of APN 076-171-018,-021; & 076-172-019,-022.

Subsequent to recording of public lot, a new APN will be assigned to the property.

Legal Description :

Designated land use category: Public Facility within Avila Beach Urban Reserve Line.

Address of the project (if known):

Near terminus of Avila Beach Drive, at the intersection with Diablo Canyon Road

Directions to the site:

Follow Avila Beach Drive nearly to its terminus. The project site sits along Avila Beach Drive at the intersection with Diablo Canyon Road.

Current uses, existing structures, and other improvements and vegetation on the property:

The project property is a significantly graded, terraced site with some paved circulation on the lower portion of the site. Current uses and existing structures include a former Port San Luis Harbor District office building and boat, gear and other storage areas serving the Port. Vegetation on the property includes limited ruderal/disturbed, annual grassland, adjacent coastal scrub and oak woodland.

PROPOSED PROJECT

The Harbor Terrace project complies with the San Luis Bay Coastal Area Plan (LCP) in its entirety so as to not require an amendment to this plan. In compliance with the LCP, the project program includes a mix of tent sites (approximately 56 sites); tent cabins, bungalows, inns, or yurts (approximately 31 units); full service RV camp sites (approximately 80 sites); RV/RV Cabin sites (approximately 15 units); other related amenities such as a food and beverage retail store and/or an eating and drinking establishment; parking; and storage facilities to serve the Port. The project improves upon existing circulation, revegetate significant area with native habitat, and will model innovative solutions that meet or exceed new County stormwater regulations. Please refer to the Land Use Permit drawing set for additional detail.

The Harbor Terrace project is currently applying for a Coastal Development Permit. It is expected that a more detailed architecture review prior to issuance of a building permit would be part of a CDP condition of approval.

San Luis Bay Coastal Area – Goals & Policies for the Harbor Terrace Planning Sub - Area

The project conforms to the following goals and policies put forth in Chapter 8 (Planning Area Standards) of the San Luis Bay Coastal Area Plan (Adopted/Certified in 1988 and Revised August 2009) for Harbor Terrace Planning Sub-Area (see page 8-20):

Development Intent: The Harbor Terrace project will provide a range and mix of uses, with emphasis on coastal related and visitor serving uses, so that the land is financially and physically supportive of Harbor District operations.

Harbor Users: The Harbor Terrace project must provide space to accommodate current and future Harbor District and other user needs including gear storage, trailer boat storage, and other harbor uses.

Visitor Uses: The Harbor Terrace project will provide visitor-serving retail uses that are complementary to the harbor so the project may enhance the public's enjoyment in ways that financially and physically support the Harbor District's public functions. The project program must include overnight accommodations and commercial uses according to market demand and feasibility. Overnight accommodations shall include affordable visitor serving facilities.

Environmental Performance: The Harbor Terrace project shall integrate site and building design techniques that are environmentally sensitive and energy conserving.

Pedestrian Access: New visitor serving developments on Harbor Terrace shall incorporate measures to provide safe pedestrian access onsite and coordinate access to the beach and other Port facilities.

Prescribed Uses: The Harbor Terrace project shall allow trailer boat and gear storage, eating and drinking establishments, food and beverage retail sales (e.g., market or commissary),

yachting and rowing clubs, paths, trails, scenic overlooks and sightseeing facilities, public parking, picnicking, accessory storage, hotels and motels (camping, bungalows, tent cabins, inns, casitas, bed and breakfast), recreational vehicle parks, meeting facilities, group camping, passive recreation, communication facilities, specialized programs, outdoor retail sales, Harbor Operations (including offices, storage and maintenance yard), public safety facilities, temporary events, interpretive displays and exhibits, shuttle station, aquaculture and mariculture.

Road, Infrastructure, and Service Restrictions: The San Luis Bay Coastal Area Plan precludes the project from extending roads, infrastructure, services, or other development connections through the Harbor Terrace property to other non-Harbor District properties. This restriction does not preclude trailhead connections, and makes difficult creation of project connection to secondary egress path out of Avila Beach via Wild Cherry Canyon.

San Luis Bay Coastal Area – Planning Criteria for the Harbor Terrace Planning Sub - Area

The project conforms to the following Planning Criteria put forth in Chapter 8 (Planning Area Standards) of the San Luis Bay Coastal Area Plan (Adopted/Certified in 1988 and Revised August 2009) for Harbor Terrace Planning Sub-Area (see pages 8-22 to 8-25):

Priority of Uses: Proposed uses of the project shall include sufficient area for the highest priority coastal-dependent and coastal-related uses. Other uses shall be designed and constructed to avoid interferences with coastal-dependent and coastal-related uses. To ensure the project provides adequate facilities necessary to serve the highest priority uses and does not reduce opportunities for lower cost visitor serving uses and coastal access and recreation, the project program shall provide the following:

1. **Minimum Required Uses:** A minimum of 70 trailer boat storage spaces, 20 marine gear storage spaces, 48,000 square feet of general public parking (which includes public parking for a possible Harbor Office meeting room), and 10,000 square feet of expansion area that will be reserved to accommodate coastal-dependent and coastal-related uses. These uses shall be located in the western and southwestern portions of the site in order to maximize proximity to the coast and other associated harbor facilities, unless another location is equally sufficient.
2. **Prescribed Use Ratios:** A minimum of one (1) lower-cost campsite (car or walk-in/bike-in tent campsite) must be provided for every one and a half (1.5) unit of hotel/motel (cabin, bungalow, inn, yurt, casita) development. A minimum of one (1) lower-cost campsite (car or walk-in/bike-in tent campsite) must be provided for every three (3) RV campsites.
3. **Project Phasing Limitations:** Permits necessary to construct the minimum number of lower-cost campsites (car or walk-in/bike-in tent campsites) must be approved prior to or concurrently with any permit approval for hotel/motel and/or commercial retail development on the project site, and the lower-cost campsites must be available for use within one year of the opening of the hotel/motel and/or commercial retail development.
4. **Purpose of Commercial Uses:** All commercial uses must serve coastal dependent uses, coastal-related uses and/or provide visitor-serving uses.

5. Intent of Accommodations: With the exception of an on-site campground host or campground facilities manager, all overnight accommodations to be developed on the project site shall be exclusively available to the general public for transient occupancy. The establishment or conversion of overnight accommodations to a private or members only use (e.g. timeshares or condominiums), or the implementation of any program to allow extended and exclusive use or occupancy of the facilities by an individual or limited group or segment of the public is prohibited.

6. Special Events: Specialized programs and temporary events are subject to land use approval consistent with the Local Coastal Plan. Outdoor events conducted on the site shall be planned and staged so that noise generated by the event, attendees, and traffic is minimized. Temporary events shall not interfere with harbor operations and boating and fishing activities.

Building and Site Design Requirements: New development shall be sited and designed to minimize the visual impacts of the development, including those related to light and glare, in order to preserve the scenic quality of the area as viewed from public viewing areas, adjacent roads, piers, beaches, and the ocean. Special attention shall be given to maintaining character of the Harbor area. This shall be accomplished by:

1. Commercial Use Location: Restricting the development of commercial retail facilities and structures (eating and drinking establishments, food and beverage retail sales, commissary, market, meeting rooms, parking, etc.) to the lower previously graded portions of the site, as depicted in Conceptual Harbor Terrace Plan Figure 8.7 of the San Luis Bay Coastal Area Plan.

2. Commercial Use Height Limitations: Limiting commercial retail facilities/structures and the harbor office/shop to two-stories with a maximum height of 25 feet.

3. Hotel Use Height Limitations: Limiting hotel motel units (yurts, cabins, inns, casitas, bungalows) to single-story with a maximum height of 15 feet.

4. Camping Use Location: Limiting the use of APN 076-171-021 to walk-in/bike-in camping. The small, previously disturbed area on the northwest portion of the parcel adjacent to the existing access road may be used for structures necessary to serve the walk-in/bike-in campsites. No new road development or road improvements shall occur on APN076-171-021, and vegetation removal shall be minimized. Each walk-in/bike-in site shall be limited to a level area or platform for a tent, a picnic table, a fire ring, and a water spigot.

5. Aesthetics: Requiring that all development be designed, colored, and sited to minimize visibility within the public view shed.

- Bulk: Project buildings shall avoid large, boxy structures by providing variations in height, articulated roof forms and pitch, and open space view corridors.
- Materials: Structures shall blend in with the natural surroundings by using earth toned colors and materials. Reflective materials and finishes are prohibited.
- Lighting: Lighting (particularly overhead street lights should they be necessary) shall be minimized in number and shall be shielded to orient lighting downward.
- Landscape: The project shall be landscaped with native vegetation appropriate to the

site in order to soften the visual prominence of the new development and to restore the visual qualities of the site. Invasive plant species are prohibited.

6. Landscape and Irrigation Plans: Identifying revegetation areas necessary to stabilize slopes and planting areas necessary to minimize visual impacts of grading/terracing and the proposed use of the site. Landscape plans shall utilize native plant species appropriate to the site, and shall be designed to minimize the visual impact of all development on the site as viewed from public viewing areas, piers, beaches, and the ocean. Alteration of natural landforms is to be minimized and any areas of cut/grading shall immediately be re-seeded using a native seed mix.

7. Restroom Location: Requiring a restroom building or other structures necessary to serve the campsites to be sited in the least visible portions of previously disturbed areas, and designed and landscaped to prevent its visibility from public view.

8. Water Tank Improvements: Requiring that any improvements or additions to the existing water tank to be limited to the minimum necessary to provide approved site development with water storage for domestic supply and fire protection purposes; shall be placed underground to the greatest degree feasible; and shall be sited, colored, and landscaped to minimize visibility from public viewing areas (including roads, piers, beaches, and offshore areas).

9. Visual Analysis: Requiring at the time of Coastal Development Permit application, or as part of an environmental review document, a detailed visual analysis which demonstrates that the visual and scenic character of the site will be preserved and improved where possible.

Biological Resources: To protect and enhance sensitive biological resources and habitat areas, including water quality, on and adjacent to the project site, the following measures shall include, but are not limited to:

1. Revegetation: The revegetation of all cut slopes with native species of local stock appropriate to the site. Invasive plant species are prohibited.

2. Tree Replacement: The replacement of all oak trees in areas adjacent to existing oak woodland habitat, if the removal of such oak trees cannot be avoided. The number and replacement of trees shall be adequate to ensure that an equal or greater number of oak trees, in comparison to the number of trees removed, will be successfully established. A tree replacement program, including long-term maintenance measures, shall accompany any development plan that involves the removal of existing oak trees. This program will include strategies for improving natural oak recruitment.

3. Habitat Disturbance: Designing grading and construction activities to avoid disturbance of habitat (e.g. coastal scrub habitat) and minimize the removal of oak trees.

4. Setback Zones: The establishment, management, and maintenance of setback or buffer zones as habitat areas. The width of such setback/buffer areas shall be determined through a project specific biological analysis that identifies the minimum setback/buffer area necessary to protect the biological productivity of sensitive habitat areas. Setback areas necessary for fire safety shall be identified in the development plan and shall be designed to

avoid the removal or disturbance of habitat areas. The width of the vegetative buffer area provided for the coastal stream adjacent to Diablo Canyon Road shall be no less than 50 feet.

5. Guest Education: Providing information to future guests regarding nature-viewing opportunities.

6. Designated Habitat Areas: The provision of designated areas for pets so that native habitat areas are avoided.

7. Grading: Grading for approved development shall be designed and implemented to minimize sedimentation impacts on adjacent surface water bodies including coastal streams and San Luis Bay. Construction activities such as grading and clearing shall be scheduled to avoid the rainy season.

8 Storm Water Management: Minimize impervious surfaces and install post development Best Management Practices (BMP's) to capture, infiltrate, and/or treat storm water runoff. The objective of drainage improvements shall be to avoid any increase in the quantity and intensity of storm water runoff exiting the site. Post construction BMP's shall be designed with adequate capacity to accommodate, at a minimum, the 85th percentile 24-hour runoff event.

9. Drainage Facilities: If drainage facilities are proposed to flow into the stream/drainage channel adjacent to Diablo Canyon Road, the stream channel shall be restored to provide both flow capacity and natural habitat.

10. Drainage Filtration: Filtering all drainage from parking facilities by using vegetated swales or oil/water separators to limit oil/grease pollution and the intensity of flow commonly associated with parking lots.

11. Limit Water Quality Impacts: Use all BMP's possible to limit water quality impacts and eliminate to the greatest degree feasible the need for additional culverts and ocean/beach disposal points.

Cultural Resources: Potential project impacts to cultural resources shall be evaluated, and the protection and/or mitigation for any significant resources identified shall be incorporated into the proposed site design in coordination with SHPO and the local Chumash tribe. Archeological field surveys shall be conducted prior to project construction activities. In accordance with Section 23.05.140 of the Coastal Zoning Land Use Ordinance, all construction activities shall cease should resources be identified during construction. In such an event, construction activities shall not re-commence until measures protecting and/or mitigating impacts to archaeological resources have been developed and approved by Planning Director, Environmental Coordinator, SHPO, and the Chumash tribe. No development shall occur west of Diablo Canyon Road other than restoration of the existing drainage course, and any cultural/archaeological preservation activities that have been coordinated and approved by the State Historic Preservation Officer and representatives of the appropriate Chumash tribe.

Slope Stability: To reduce hazards on the project site, new structures designated for human occupation and use (e.g. hotels, motels, campsites, parking lots, offices, commercial areas) must

demonstrate a static factor of safety with respect to slope stability of 1.5 and a pseudostatic factor of safety to 1.1, using a horizontal seismic coefficient of 0.15g. In addition, uses on the project site or slopes above it that would have a significant potential to saturate the soils and add further slope instability, such as drainage detention basins or septic systems, shall be prohibited.

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NO modifications to the Coastal Zone Land Use Ordinance, Local Coastal Plan, or General Plan are required

Describe existing and future access to the proposed project site: See Attachment B

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? Approximately 100 acres

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):
North: Undeveloped/Agriculture/Open Space South: Public Beach, Port San Luis Harbor District Facilities
East: Undeveloped/Agriculture/Open Space West: Open Space, Diablo Canyon Road Right of Way

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:
Buildings: See Attach. B sq. feet See Attach. B % Landscaping: See Attach. B sq. feet See Attach. B %
Paving: See Attach. B sq. feet See Attach. B % Other (specify) See Attach. B
Total area of all paving and structures: See Attach. B sq. feet acres
Total area of grading or removal of ground cover: See Attach. B sq. feet acres
Number of parking spaces proposed: See Attach. B Height of tallest structure: See Attach. B
Number of trees to be removed: See Attach. B Type: See Attach. B
Setbacks: Front See Attach. B Right See Attach. B Left See Attach. B Back See Attach. B

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: SLO County Service Area 12 (Lopez Reservoir)
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____
 Community System - List the agency or company responsible for sewage disposal: Avila Beach CSD
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: NA sq. feet acres
Total floor area of all structures including upper stories: NA sq. feet

For residential projects, answer the following:

Number of residential units: NA Number of bedrooms per unit: NA
Total floor area of all structures including upper stories, but not garages and carports: NA
Total of area of the lot(s) minus building footprint and parking spaces: NA

ATTACHMENT B: LAND USE PERMIT APPLICATION

EXISTING AND FUTURE ACCESS TO THE PROPOSED PROJECT SITE

Access to the site will likely utilize existing vehicular entry from Avila Beach Drive. The site design will incorporate measures to provide safe pedestrian access onsite and coordinate access to the beach and other Port facilities. See Preliminary Site Layout Plan for example land use and circulation.

FOR ALL PROJECTS, ANSWER THE FOLLOWING

Buildings:

Retail / Commercial: 16,000 SF

Restrooms: 4 Comfort Stations, 2,800 SF Total

Harbor Use Building: 3,000 SF Floorplate, up to two stories

Approximate Total Building Square Footage: 21,000 SF (2.0% of site) plus comfort stations

Paving and graded areas:

Paved Circulation and Parking: Approximately 320,000(24% of site). This figure includes the Harbor Use Area which may not be paved in its entirety.

Public Parking: 48,000 SF

See Site Layout Plan.

Where appropriate, impervious surfaces will be minimized and low impact development strategies implemented to reduce storm water runoff. See Drainage Plan.

Total landscaped/revegetated area

The project proposes approximately 410,000 SF (9.4 acres, 31% of site) of landscaped/revegetated area (equal to the total extent of grading area less circulation, parking, harbor use areas and graded RV & camping areas and building footprints). Portions of circulation and camping will contain landscaped features and vegetation.

Camping areas

56 tent campsites (a combination of walk-in and car campsites);

80 RV/full service campsites;

15 RV/RV cabin sites

31 hotels/motel units (cabins, bungalows, inns, yurts, casitas)

Approximate Total: 163,000 SF (12% of site)

Above unit counts are estimates and subject to change based on market conditions, design constraints, and environmental impacts. The project will remain consistent with the San Luis Bay Coastal Area Plan.

Harbor use area:

Port/Marine Related Storage: 70 trailer boat storage spaces, 20 marine gear storage spaces, & Port material storage area, 95,000 SF (2.2 acres, 7% of site)

Other

Swimming Pool/Hot Tub

Check-in Booth

4 Overlook/picnic/gathering areas

Approximate Total: 18,000 SF (1.0% of site)

Total area of all paving and structures:

Please see above sections titled “Buildings”, “Paving”, “Landscaped / Revegetated Camping Area”, and “Other.” The project aims to implement Low Impact Development strategies that will allow the project to meet or exceed intent and requirements of new county storm water regulations. The project will minimize impervious surfaces and utilize post development Best Management Practices (BMP’s) to capture infiltrate, and/or treat storm water runoff.

Total area of grading or removal of ground cover:

The extent of area to be graded is approximately 16.6 acres (54% of site). Please see Conceptual Grading Plans for additional detail. Grading for approved development shall be designed and implemented to minimize sedimentation impacts on adjacent surface water bodies including coastal streams and San Luis Obispo Bay. Construction activities such as grading and clearing shall be scheduled to avoid the rainy season.

Number of parking spaces proposed:

The project proposes 148 spaces total (48,000 SF @ 325 SF per stall including circulation)

Number of trees to be removed:

The number is unknown at this time. The project will include the replacement of all oak trees in areas adjacent to existing oak woodland habitat, if the removal of such oak trees cannot be avoided. The number and replacement of trees shall be adequate to ensure that an equal or greater number of oak trees, in comparison to the number of trees removed, will be successfully established. A tree replacement program, including long-term maintenance measures, shall accompany any development plan that involves the removal of existing oak trees. This program will include strategies for improving natural oak recruitment.

Height and type of tallest structure:

The commercial retail structures and the harbor use building will not exceed two-stories with a maximum height of 25 feet.

Setbacks:

No part of a recreational vehicle is to be located closer than 25 feet to any street property line, and no closer than 30 feet to any interior property line. No RV or tent is to be located closer than 10 feet to any other RV or tent.

Proposed water source:

The PSL Harbor District is currently allotted 100 acre feet of water per annum from the County Service Area 12, of which it typically uses only 17 acre feet and therefore has adequate supply to serve additional demand from the Harbor Terrace development. .

Proposed sewage disposal:

The PSL Harbor District has an agreement with the Avila Beach Community Services District for sewage conveyance capacity rights of no less than 70,000 gallons per day, as well as a condition to share costs of new treatment facilities. It is anticipated that this agreement will cover the additional demands resulting from the Harbor Terrace development.

SITE LAYOUT PLAN

VICINITY MAP



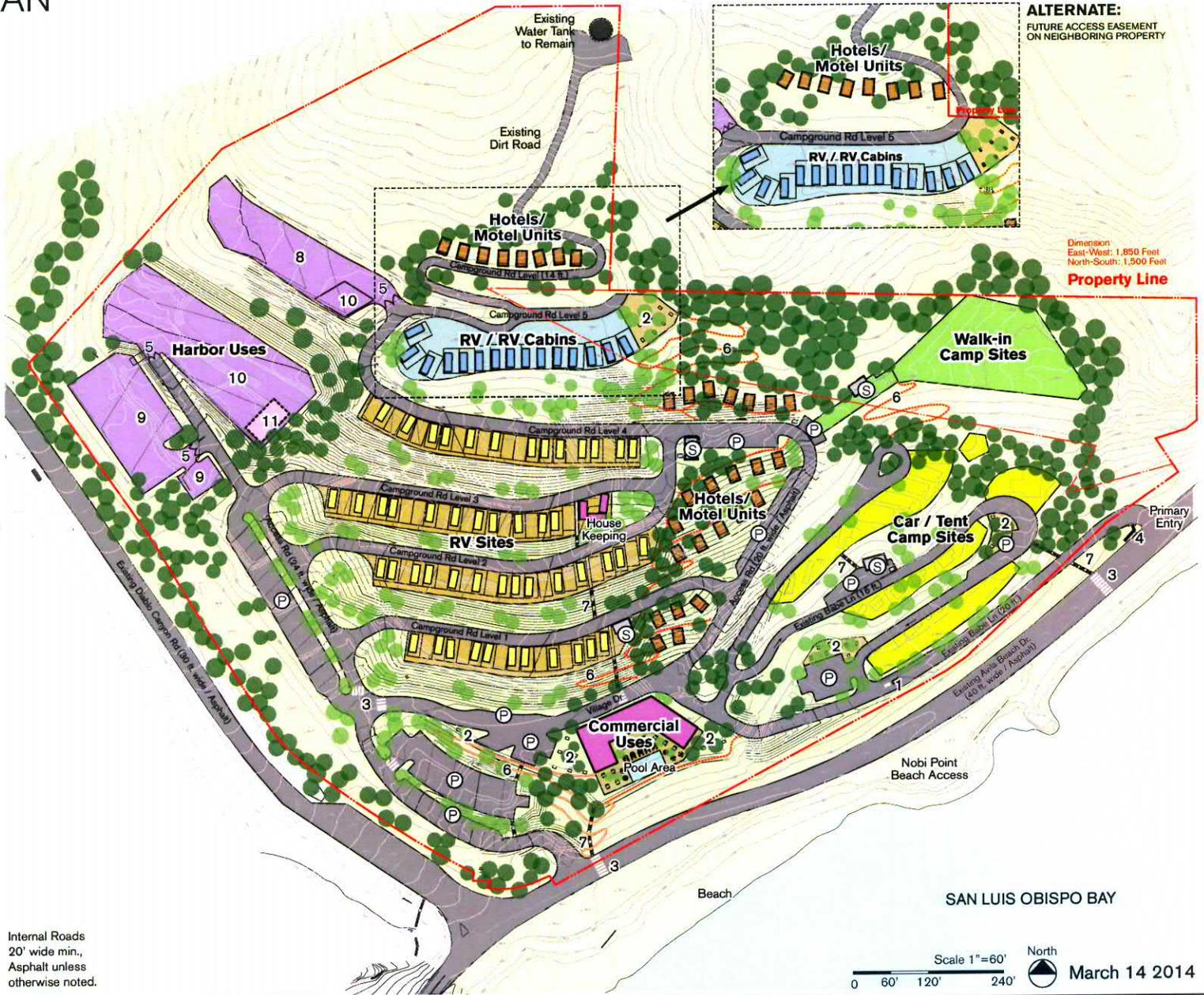
LEGEND

1. CHECK-IN STATION
2. PICNIC AREA / BBQ / OVERLOOK
3. CROSSWALK
4. ENTRY SIGNAGE
5. HARBOR USE SECURITY GATE
6. ACCESSIBLE RAMP / TRAIL / PATH
7. STAIRS
8. TRAILER BOAT STORAGE
9. MARINE GEAR STORAGE
10. HARBOR STORAGE AREA
11. FUTURE HARBOR USE BLDG (3,000 SF)
- Ⓢ COMFORT STATION W/ TRASH / RECYCLE ENCLOSURE
- Ⓟ PARKING
- ACCESSIBLE RAMP
- TRAIL / PATH

PROGRAM LEGEND

OVERNIGHT CAMPGROUND ACCOMMODATIONS		
	RV Sites	80
	RV / RV Cabins	15
	Hotel/Motel Units (yurts, cabins, rns, casitas, bungalows)	31
	Car/Tent Campsite	35
	Walk-in/Bike-in Sites	21
VISITOR SERVING COMMERCIAL USES		16,000 SF
<ul style="list-style-type: none"> - Retail / Restaurant - Meeting / Conference - Office / Lobby / Reception - Managers Residence - Storage / Restroom / Laundry - Picnic / Gathering Area with BBQ 		
HARBOR USES		
Trailer Boat Storage (10'X25')		70 spaces
Marine Gear Storage (20'X40')		20 spaces
Harbor Storage Area		1.05 acre
Expansion Area		10,000 SF
	PARKING	48,000 SF

Internal Roads
20' wide min.,
Asphalt unless
otherwise noted.



ALTERNATE:
FUTURE ACCESS EASEMENT
ON NEIGHBORING PROPERTY

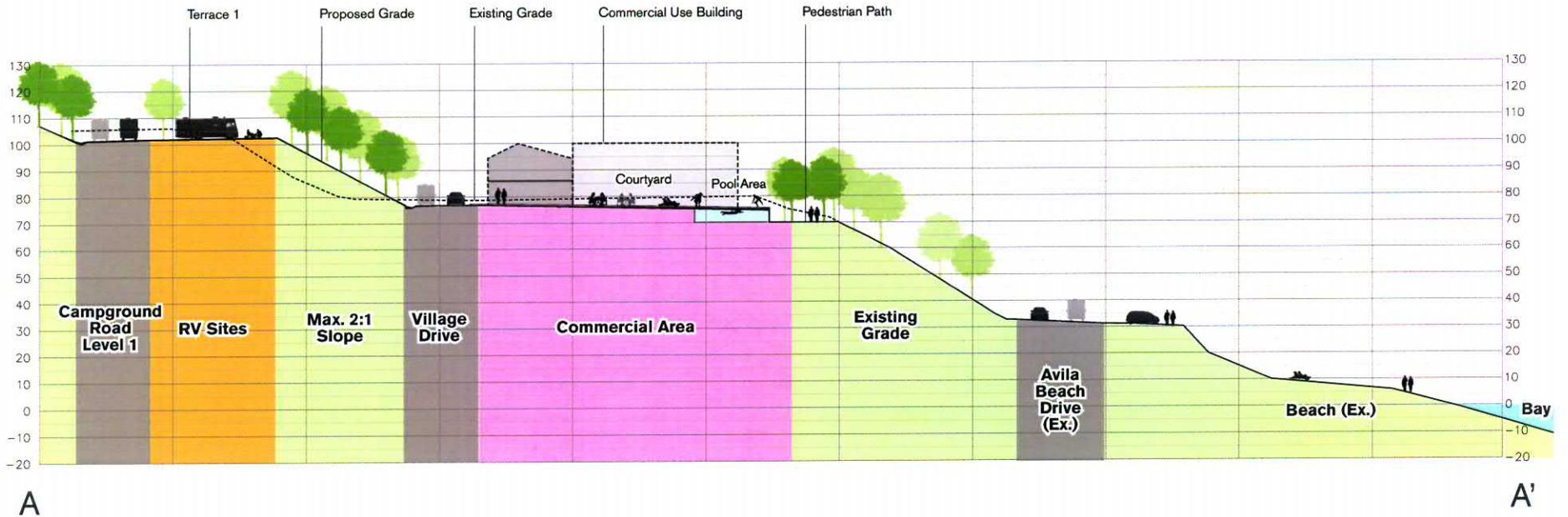
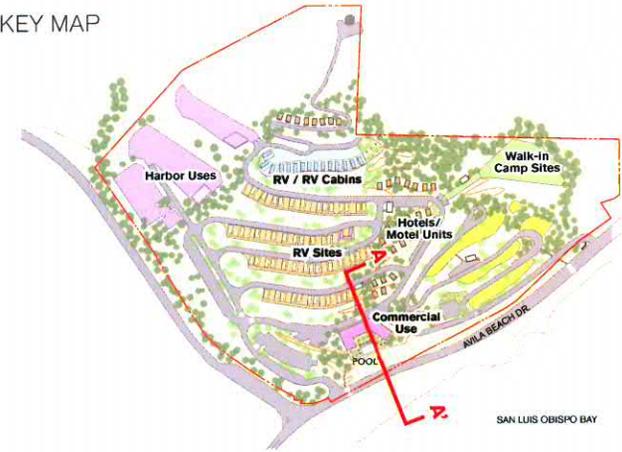
Dimension
East-West: 1,850 Feet
North-South: 1,500 Feet
Property Line

SAN LUIS OBISPO BAY



SITE SECTION

KEY MAP



Scale 1"=30'
0 30' 60' 120'

March 14 2014

PRELIMINARY LANDSCAPE PLAN

The landscape plan is provided to demonstrate preliminary intent pursuant to the Coastal Zone Land Use Ordinance 23.04.1

PLAN NOTES:

OUTDOOR AMENITIES & USE AREAS

Site facilities serve campground guests as well as the public. Picnic areas are provided with tables, barbecues, bike racks, and trash and recycling receptacles. Many sites function as overlooks to the ocean and surrounding bay. Other general amenities throughout the campground may include roadway lighting, view shed path lighting, benches, interpretive signage, trash and recycling receptacles, and bike racks. Interpretive signage is recommended to describe the site history. Directional signage is encouraged to direct guest to walk and bike to nearby trails, overlooks, and cultural observations.

PLANTING ZONES

Zones are developed to help define the areas of planting and guide future design.

AREA 1: EXISTING NATURALIZED

Existing vegetation generally consists of coastal scrub, non-native grassland, and oak woodland. The project focuses work in existing disturbed areas to avoid impacts. No new planting is proposed in these areas however enhancement of native planting and replacement of any nonnative grassland may be appropriate if required.

AREA 2: CLIMATE APPROPRIATE / NATIVE PLANTING

The majority of the site is designated to be vegetated with native and climate appropriate species. Species selection will enhance drainage, provide erosion control on hillides, screen undesirable views, shade roads and parking areas, and extend the natural hillside planting character into the site.

AREA 3: CLIMATE APPROPRIATE WITH LAWN

Lawn areas and the surrounding planting will receive supplemental irrigation during the dry season. The system shall be designed per AB 1881.

PLANT SPECIES PRELIMINARY LIST:

Plant species shall be drought tolerant and climate appropriate to the central coast. Native species are encouraged, especially as they transition to the naturalized areas which are primarily a mix of naturally occurring native plant communities. A preliminary list is provided to demonstrate the intended character of planting. Species shall be reviewed for appropriateness to the climate and planted accordingly. Invasive or plants prone to naturalizing are not allowed. Existing non-native / ornamental vegetation shall remain where deemed appropriate.

Trees	Shrubs, Grasses, and Groundcovers
Quercus agrifolia / Coast Live Oak	Rhus integrifolia / Lemonade Berry
Asclepias californica / Buckeye	Rhamnus californica / Coffeeberry
Heteromeles acutifolia / Toyon	Baccharis pilularis / Coyote Brush
Platanus racemosa / California Sycamore	Minuartia acuminata / Monkey Flower
Ficus sycamora / Fig	Eriogonum fasciculatum / California Fuchsia
Acacia farnesiana / Sweet Acacia	Ceanothus species / Mountain Lilac
Cercis occidentalis / Redbud	Mandarinia species / Mandarin
A. botrys species / Strawberry Tree	Muhlenbergia rigens / Deer Grass
Cedrus deodara / Deodar Cedar	Myrica californica / Pacific Wax Myrtle
Pinus contorta / Canary Island Pine	Lupinus species / Coast Bush Lupin
	Eriogonum species / Buckwheat
	Lotus scoparius / Deer Weed
	Agave species / Agave
	Aloe species / Aloe
	Salvia leucantha / Silver
	Buddleia fuscescens
	Carpenteria californica / Bush Anemone

IRRIGATION NOTE:

Area 1: Existing Naturalized
No irrigation will be provided.

Area 2: Climate Appropriate / Native Planting

Irrigation will be provided to establish the planting for the first three to six growing seasons. Long term irrigation is not anticipated to be required for the plant species selected. However special areas near buildings, entries, and trails may continue to be operated to support a greater diversity of species. The system shall be designed per AB 1881.

Area 3: Climate Appropriate with Lawn

Lawn areas and the surrounding planting will receive supplemental irrigation during the dry season. The system shall be designed per AB 1881.





NOTE
 1. ALL EXISTING UTILITIES SHOWN ON THIS PLAN REFLECT APPROXIMATE LOCATIONS.
 2. TOPOGRAPHIC INFORMATION CONDUCTED BY GOLDEN STATE AERIAL SURVEYS INC. 2155 MCWILLIAM ROAD, SUITE E, SAN LUIS OBISPO, CA 93401 805-349-0399

LEGEND

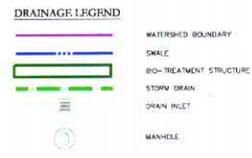
- MAJOR CONTOUR 
- MINOR CONTOUR 
- FENCE 
- TREE / BRUSH 
- EXISTING STRUCTURE / MOBILE UNIT 
- ROADWAY / PARKING AREA 

**EXISTING CONDITION
 LAND USE PERMIT SET**

Port San Luis Harbor Terrace Campground

Scale 1"=60'
 0' 60' 120' 240'
 North
 March 12 2014





STORM WATER TREATMENT SIZING

WATERSHED	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	BIO-TREATMENT AREA (SF)
A	28,800	22,900	1,700
B	121,000	83,900	7,300
C	129,700	27,800	1,700
D	558,000	86,700	5,200
E	113,000	44,500	6,780
F	53,200	37,100	3,200
G	62,700	27,200	3,800
H	49,000	17,200	2,900
I	55,200	22,400	3,300
J	39,700	-	-
K	25,300	9,400	1,500
M	34,800	10,400	624
N	90,200	16,100	1,000

DRAINAGE NOTES

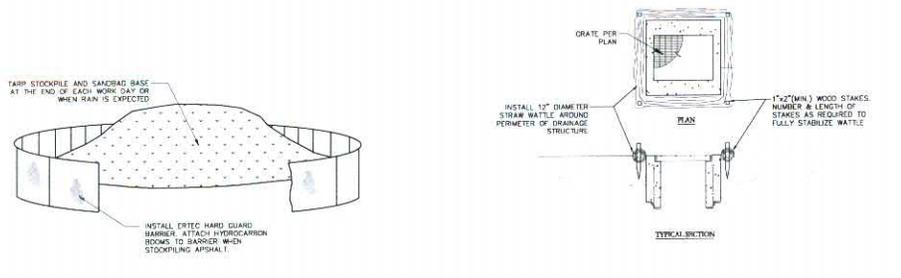
1. THIS PLAN ONLY DISPLAYS PRIMARY DRAIN INLETS AND PIPING 8" NODIES AND GREATER. STORM DRAIN FACILITIES 6" AND SMALLER ARE NOT SHOWN.
2. ENERGY DISSIPATING ROCK AND CHECK DAMS TO BE PROVIDED IN SLOPES GREATER THAN 3% TO REDUCE SURFACE RUN-OFF VELOCITIES AND PEAK FLOW.

CONCEPTUAL DRAINAGE PLAN

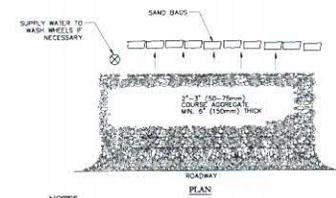
LAND USE PERMIT SET

Scale 1"=60' North
 0' 60' 120' 240'

March 12 2014



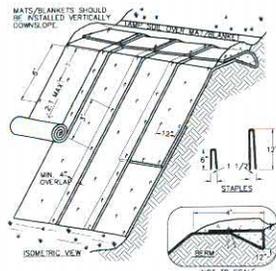
A STOCKPILE
SCALE: N.T.S.



NOTES

- TRUCK WASHING STATION SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE FOR PRESSURE WASHING AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CONCRETE STONE THAT DRAINS INTO AN APPROVED STORM TRAP OR SEDIMENT BASIN.
- WASHING SHOULD BE PLACED NEAR A RELIABLE WATER SOURCE.
- SPRAY TIRES ON TRUCKS AND BROOM OFF TOPS OF TRUCKS BEFORE LEAVING SITE.

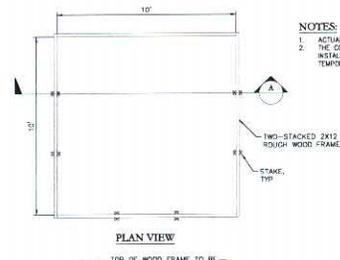
B TRUCK WASHOUT
SCALE: N.T.S.



NOTES

- FOR EMBANKMENT FACE AND FILL SLOPES, USE BIONE1 S1500N DOUBLE-NET STRAW BLANKET BY NORTH AMERICAN GREEN.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS WAIS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

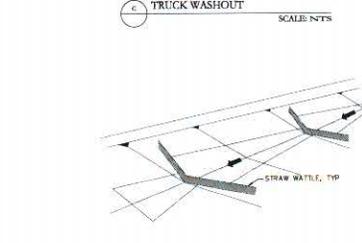
C SLOPE PROTECTION BLANKET
SCALE: N.T.S.



NOTES

- ACTUAL LAYOUT DETERMINED IN FIELD.
- CONCRETE WASHOUT SOAK SHALL BE INSTALLED WITHIN 50 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

D CONCRETE WASHOUT
SCALE: N.T.S.



FOR CHECK DAM INSTALLATION STRAW WATTLE SHALL BE INSTALLED AS FOLLOWS:

- DIG 3'-5' TRENCH FOR STRAW WATTLE AND CLEAR OF OBSTRUCTIONS INCLUDING, BUT NOT LIMITED TO, ROCKS, CLODS, AND DEBRIS PRIOR TO INSTALLATION.
- PLACE STRAW WATTLE INTO TRENCH. THE HORIZONTAL FLAP SHALL BE DIRECTED UPSTREAM. SECURE WITH 4" NAILS (600 BRIGHT COMMON) EVERY 2.5 FEET. BACK-FILL AND COVER ENTIRE DOWNSTREAM SIDE OF STRAW WATTLE ONE RICH WITH LOCAL SOIL OR GRAVEL.
- IF HEAVY FLOW IS EXPECTED, STAKES SHALL BE INSTALLED 5 FEET APART ON DOWNSTREAM SIDE OF STRAW WATTLE. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE WATTLE. STAKES SHALL BE AT A MINIMUM 1" x 4" x 10'.
- STRAW WATTLE SHALL BE PLACED AS FOLLOWS:

FEET APART ALONG THE SLOPE	SLOPE INCLINATION (VERTICAL:HORIZONTAL)
10 FEET	1:2 AND STEEPER
15 FEET	1:2 TO 1:4
20 FEET	1:4 AND 1:10
30 FEET	1:10 AND FLATTER

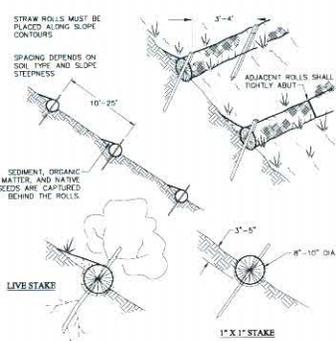
NOTES

- WATTLES SHALL BE INSTALLED PRIOR TO THE APPLICATION OF OTHER TEMPORARY EROSION CONTROL OR SOIL STABILIZATION MATERIALS IN THE SAME AREA.

E STRAW WATTLE CHECK DAM
SCALE: N.T.S.

- ### EROSION CONTROL NOTES
- ALL EROSION CONTROL MEASURES SHALL ADOPT BY STORM WATER BEST MANAGEMENT PRACTICES AND THE CRITERIA SET FORTH FOR BEST MANAGEMENT PRACTICES.
 - ALL FILL MATERIAL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
 - THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR REVISIONS TO THESE PLANS TO CORRECT ANY SITUATIONS THAT ARISE FROM LEAVING THE SITE PROTECTIVE MEASURES IN PLACE. THESE PLANS SHALL BE USED BY THE CONTRACTOR AS AN AS NECESSARY TO PREVENT EROSION FROM LEAVING THE SITE AND DURING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL MEASURES SHOWN ON DRAWING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MOVED WHEN THE CONTRACTOR IS DIRECTED TO DO SO. WORK INTERFERED WITH AND EROSION CONTROL MEASURES SHALL BE OPERABLE YEAR AROUND OR YEAR ROUND.
 - STORM CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED DAILY AS WELL AS WHENEVER RAIN IS FORECAST. INSPECTIONS IN DAILY AND SHALL BE IN PLACE AT THE CLOSE OF EACH DAY. THE WORK OF THE PERSON RESPONSIBLE FOR THE DAILY MAINTENANCE OF THESE FACILITIES SHALL BE IN ACCORDANCE WITH THE CITY ALONG WITH A PHONE NUMBER WHICH CAN BE REACHED IN EMERGENCY. DAILY TRUCK CHECKS SHALL BE CONDUCTED AND CONFORM WITH THE CITY'S EROSION CONTROL AND PREPARED FOR THE SAFE RELEASE OF ALL FREE STORM WATER AND NON-STEADY WASTE DISCHARGE INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES AND THE EXISTING DRAINAGE PATTERNS. THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE CIVIL ENGINEER (OCTOBER 1 TO APRIL 15).
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUED THROUGHOUT CONSTRUCTION AND SUBJECT TO THE INSPECTIONS OF THE CONTRACTOR AND THE PUBLIC SERVICES DEPARTMENT OF THE GOVERNING JURISDICTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL EROSION CONTROL MEASURES AND SUPPLIES ARE AVAILABLE AT ALL STORM WATER QUALITY MEASURES AND MEASUREMENT LOCATIONS. MATERIAL TO COMPLY WITH THE APPROVED CONSTRUCTION PLAN SHALL BE INSTALLED IN THE FIELD CONSTRUCTION PERIODS AS SHOWN ON THE PLAN.
 - ALL SOILS AND DEBRIS SHALL BE REMOVED FROM THE SUBJECT AREA UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED AS TO AVOID SEDIMENT LOADS EXCEPT TO ANY STORM DRAIN SYSTEM.
 - THE CONTRACTOR SHALL INSTALL CONTROLLED ACCESS AND EGRESS AS DEFINED IN THESE PLANS. LOCATION TO BE APPROVED BY THE ENGINEER IN THE FIELD. CONSTRUCTION EGRESS SHALL BE EQUIPPED WITH A BUSH STATION AS NEEDED. ALL DISCHARGE FROM THE WASH STATION SHALL BE DIRECTED TO APPROPRIATE COLLECTION AREA AND NOT AS NEAR AS POSSIBLE TO THE WASH STATION. ANY AND ALL DISCHARGE SHALL BE TRAPPED BY THE CIVIL ENGINEER. ALL DISCHARGE SHALL BE WASHED. FORCE WASHING OF TRUCKS IS NOT PERMITTED. STREET CLEANING EQUIPMENT WILL HAVE SQUEEZE AND WASHING CAPABILITY.
 - DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED AS TO AVOID SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM OR ADJACENT LANDSCAPE.
 - DURING PERIODS WHEN STORMS ARE FORECAST -
 - ANY EXCAVATED SOIL SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - ANY EXCAVATED SOIL SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
 - ALL EXPOSED SOILS IN PRESENT USE ARE TO BE PROTECTED AND SURROUNDING ARE TO BE PROTECTED WITH SEDIMENT BARRIERS, GRAVEL, SEDIMENT BARRIERS, SILT FENCE, OR OTHER MEANS OF EROSION CONTROL.
 - ALL USE MUST BE CONTROLLED AS NEEDED (SILT FENCE OR OTHER MEANS OF EROSION CONTROL) FOR STORM DRAIN ADJACENT TO THE SITE.
 - HORIZONTAL SLOPE ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT.
 - STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING HARBORING.
 - AS A PART OF THE EROSION CONTROL MEASURES DRAINAGE INLET PROTECTION (SEDIMENT BARRIERS) SHALL BE INSTALLED ON ALL SLOPES TO BE EXCAVATED DURING THIS PHASE.
 - IT IS RECOMMENDED THAT FIBER FENCE OR COMPARABLE PRODUCTS BE USED IN PLACE OF "TRADITIONAL" STRAW OR HAYBARRIERS AND SILT FENCES. THESE PRODUCTS CAN BE REUSED AFTER THE COMPLETION OF THE PROJECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREET PAVING AREAS, AND WADING AREAS SHALL BE STABILIZED WITH HYDROSEEDING APPROVED MATERIAL OF SOIL STABILIZER PER THE PLAN.
 - FOR GRADED AREAS WITH SLOPES BETWEEN 2:1 AND 3:1 EXPOSED EARTH SHALL BE STABILIZED WITH A 10% SOIL-LOAM PRODUCT. OTHER STRAW BLENDS OR HYDRO SEEDING STRAW AND SEED LANDSCAPING OR PLANTS IF PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1. TEMPORARY STAKES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND PREVENT IT FROM SPREADING TO ADJACENT AREAS. THE BARRIERS, TO BE INSTALLED PER THE PLAN CONTROL FACILITIES. FOLLOW THE DESIGN OF THESE FACILITIES IN THE PLAN.
 - FOR SLOPES OF 2:1 OR STEEPER SEE HYDROSEEDING NOTES BELOW.
 - ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.
 - HARBOR AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES PER PLAN TO THE SATISFACTION OF THE ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO EROSION CONTROL FACILITIES. CONTRACTOR SHALL ENSURE THAT FLOWING/STANDING IN STREAMS DOES NOT INTERFERE WITH TRAFFIC AT ANY TIME.
 - SOIL CONTROL SHOULD BE MAINTAINED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEARLY FREQUENTLY AS PRACTICABLE AND AS NEARLY AS POSSIBLE. SOIL CONTROL TO BE MAINTAINED AS NEARLY AS POSSIBLE. SOIL CONTROL TO BE MAINTAINED AS NEARLY AS POSSIBLE. SOIL CONTROL TO BE MAINTAINED AS NEARLY AS POSSIBLE. SOIL CONTROL TO BE MAINTAINED AS NEARLY AS POSSIBLE.
 - ALL AREAS ALLOCATED TO REMAIN SHALL BE PROTECTED PER PLAN AND APPROVED RECOMMENDATIONS.
 - WHEN POSSIBLE WORK SHOULD BE CONDUCTED DURING PERIODS OF NO FLOW OR LOW-FLOW.

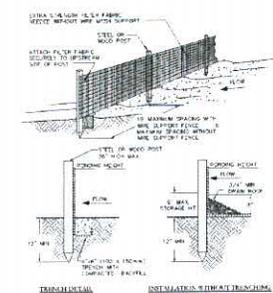
- ### HYDROSEED NOTES
- THE FOLLOWING HYDROSEEDING NOTES ARE APPLICABLE TO GRADED AREAS STEEPER THAN 2:1. FOR GRADED BANK SLOPES AT 3:1 OR FLATTER, SEE NOTE 1 ABOVE.
- HYDROSEEDING SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS IN THE FOLLOWING STEPS:
 - APPLY HYDROSEEDING MIXTURE (MIXTURE PER NOTE 2 BELOW) AT A RATE OF 3000 LBS/ACRE.
 - APPLY WOOD STRAW (SEE PLAN) BY HAND OR BY MEANS OF EQUIPMENT AT A RATE OF 4000 LBS/ACRE.
 - FOR HOW ARE 100 LBS/ACRE "HOLD FAST" NAME BRAND SEEDS WITH 100% LBS/ACRE "KENTON BLACK" AND 90 LBS/ACRE "OSAGE" SEEDS (PLAYA) SEEDS OR A COMBINATION OF BOTH SUFFICIENT TO COVER THE AREA 1" DEEP. ALL PRODUCTS TO BE APPROVED BY CIVIL ENGINEER.



NOTES

- STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 3"-5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLLS.

F FIBER ROLLS
SCALE: N.T.S.



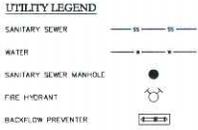
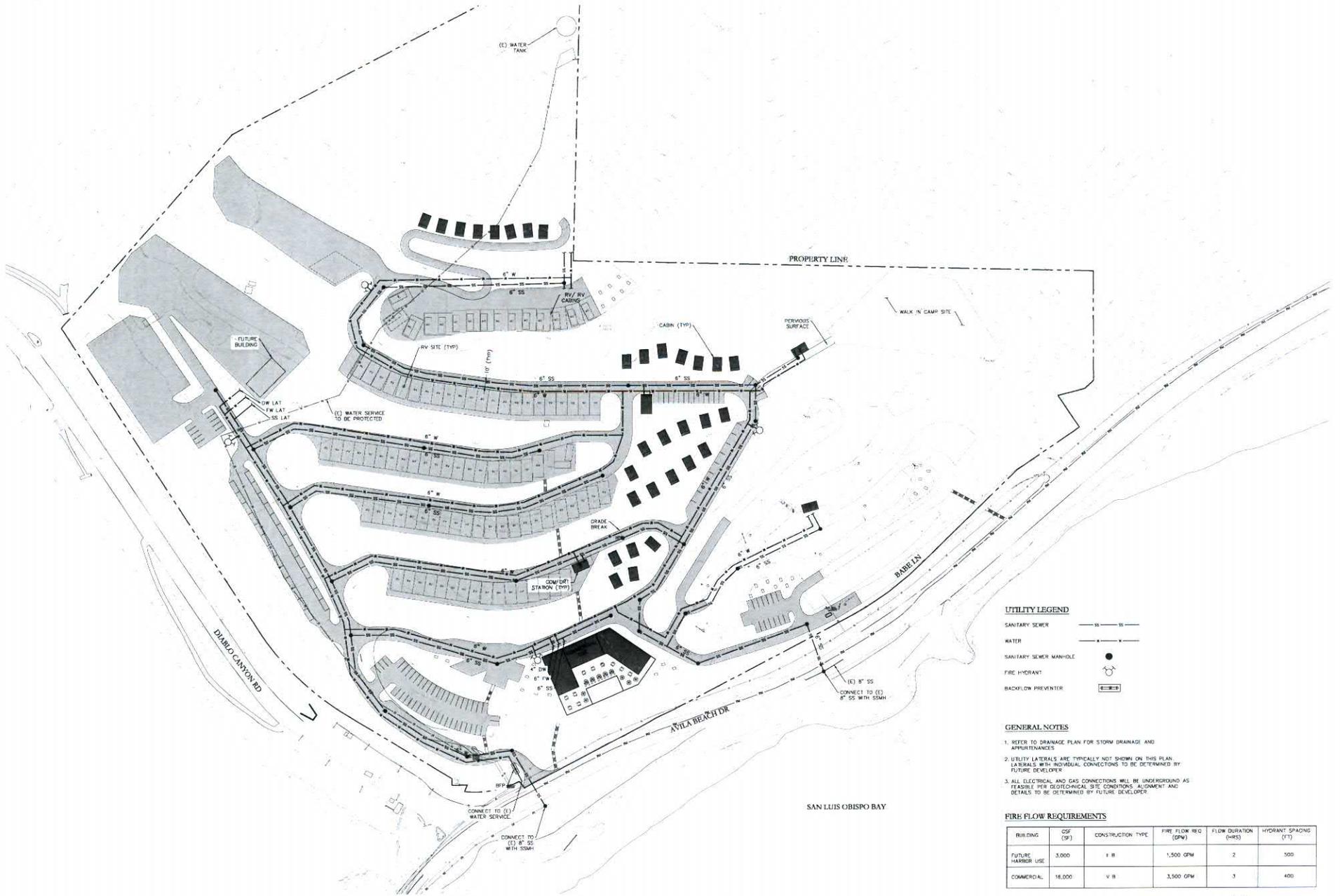
NOTES

- 36" FENCE SHALL BE PLACED OR SOIL CONTROLS TO AVOID TRAFFIC INTERFERENCE.
- PERMITTEE AND BUREAU SHALL BE NOTIFIED PRIOR TO ERECT AND REMOVE SEDIMENT BARRIERS NECESSARY TO MAINTAIN RECOMMENDED STAKE-UP.
- APPROVED SEDIMENT SHALL BE MAINTAINED TO AN AREA THAT WILL NOT CONSTITUTE A SEDIMENT TRIP POINT AND BE IN ACCORDANCE WITH LOCAL REGULATIONS.

G 36" HIGH SILT FENCE
SCALE: N.T.S.

EROSION CONTROL DETAILS

LAND USE PERMIT SET



- GENERAL NOTES**
- REFER TO DRAINAGE PLAN FOR STORM DRAINAGE AND APPURTENANCES
 - UTILITY LATERALS ARE TYPICALLY NOT SHOWN ON THIS PLAN. LATERALS WITH INDIVIDUAL CONNECTIONS TO BE DETERMINED BY FUTURE DEVELOPER
 - ALL ELECTRICAL AND GAS CONNECTIONS WILL BE UNDERGROUND AS FEASIBLE PER GEOTECHNICAL SITE CONDITIONS. ALLOWANCES AND DETAILS TO BE DETERMINED BY FUTURE DEVELOPER.

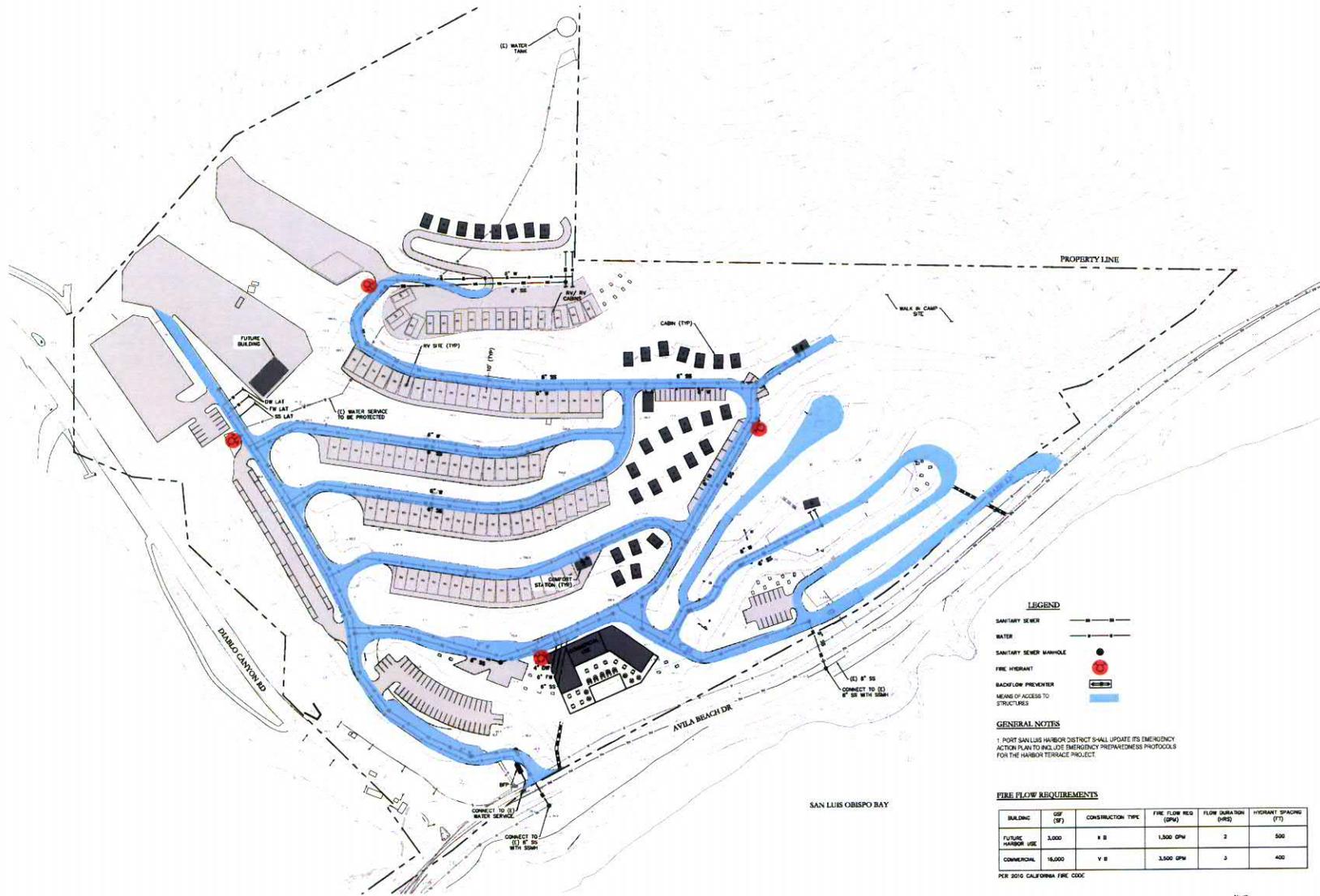
FIRE FLOW REQUIREMENTS

BUILDING	CSF (SF)	CONSTRUCTION TYPE	FIRE FLOW REQ (GPM)	FLOW DURATION (HRS)	HYDRANT SPACING (FT)
FUTURE HARBOR USE	3,000	I II	1,500 GPM	2	500
COMMERCIAL	18,000	V II	3,500 GPM	3	400

CONCEPTUAL UTILITY PLAN

LAND USE PERMIT SET

Scale 1"=60'
 0' 60' 120' 240'
 North
 March 12 2014



FIRE SAFETY PLAN

LAND USE PERMIT SET

Port San Luis Harbor Terrace Campground

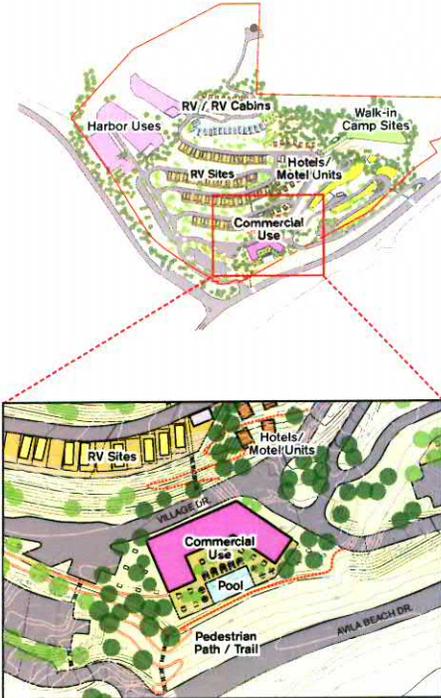
Scale 1"=40'
 0' 10' 20' 30'

North
 March 12 2014



COMMERCIAL AREA ENLARGEMENT PLAN

KEY MAP



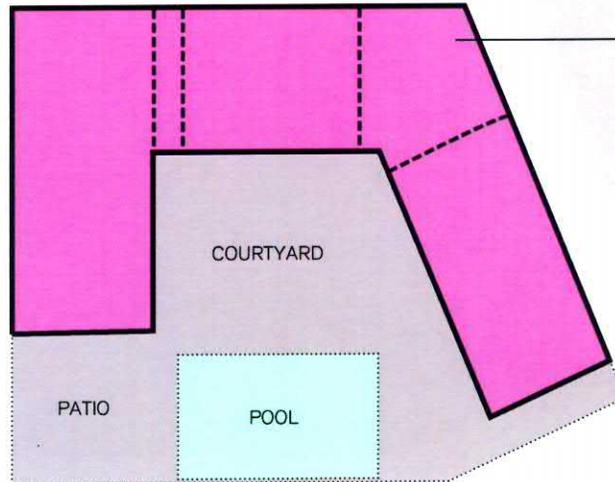
Outdoor program area with facilities such as picnic table, BBQs, pool.

COMMERCIAL AREA BUILDING

BUILDING USES MAY INCLUDE:

- RETAIL / RESTAURANT
- MEETING / CONFERENCE
- OFFICE / LOBBY / RECEPTION
- MANAGERS RESIDENCE
- STORAGE / RESTROOM / LAUNDRY
- POOL

VILLAGE DRIVE



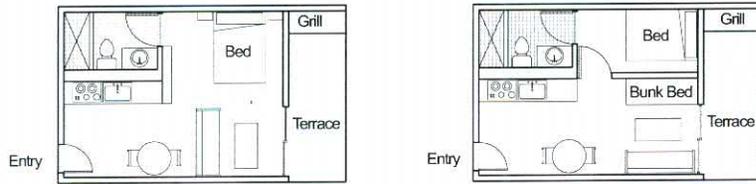
Approximate building footprint / area
 2 story building square footage shown equals approximate 16,000 sf.
 Max height is 25' per LCP.



CABIN / RV CABIN / COMFORT STATION

CABIN SAMPLE FLOOR PLANS

Cabin layouts could include a variety of bedroom counts so as to accommodate a range of occupant counts.

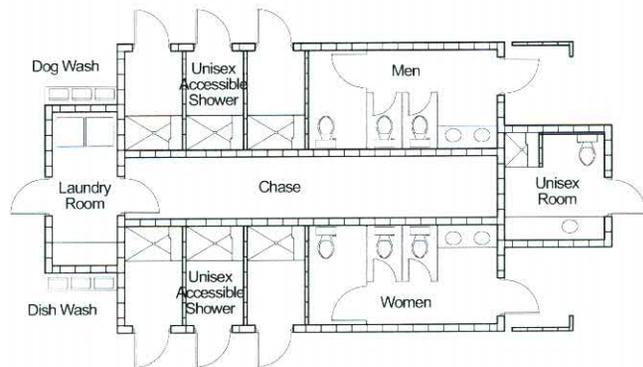


- Max. height is 15' per LCP
- Accessible units are provided.

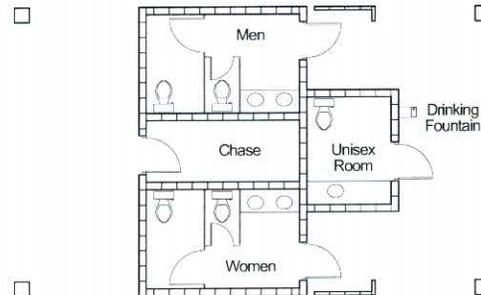


Precedent images are useful to illustrate scale and function but may not reflect final proposed design.

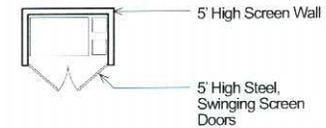
COMFORT STATION SAMPLE FLOOR PLANS



COMFORT STATION W/ SHOWER, LAUNDRY



COMFORT STATION W/O SHOWER, LAUNDRY



TRASH / RECYCLE ENCLOSURE

NOTES:

- Comfort station roof may incorporate solar panels.
- 4 site comfort stations are planned plus comfort stations incorporated within the commercial use building.
- Laundry facilities are planned at commercial use area and one upper level station.

March 14 2014

EXHIBIT 1

Order Number: 4001-3179110 (LI)

Page Number: 12

LEGAL DESCRIPTION

Real property in the unincorporated area of the County of San Luis Obispo, State of California, described as follows:

PARCEL 1: (A.P.N.: 076-171-014, 076-171-016, 076-171-017, 076-171-018, 076-171-019, 076-172-018, 076-171-021, 076-172-020 AND 076-172-021)

Lots T, U, V, W, X, Y, and Z of the Rancho San Miguelito, in the County of San Luis Obispo, State of California, according to Plat of the Rancho San Miguelito, San Luis Obispo County, owned by J. Harford, and recorded May 29, 1880 in Book B, Page 96 of Maps, in the office of the County Recorder of said county.

Except therefrom that portion deeded to the Santa Maria Valley Railroad Company in Book G, Page 351 and Book H, Page 303 of Deeds.

Excepting from said Lot Z, 30.00 acres, more or less, conveyed to the United States of America, by deed recorded in Book 1, Page 177 of Deeds.

Also excepting from Lot Z, 20.00 acres, more or less, conveyed to the Union Oil Company of California, a corporation, by deed recorded in Book 69, Page 22 of Deeds.

Also excepting from Lot Z, that certain parcel of land conveyed to Angela L. Marre, by deed recorded in Book 96, Page 460 of Official Records.

Also excepting from Lot Y that portion conveyed to Port San Luis Transportation Company recorded in Book 335, Page 259 of Official Records.

Also excepting from portions of Lots Y and Z all minerals as reserved in Book 992, Page 396 of Official Records.

Also excepting from Lot Z, that certain parcel of land conveyed to Port San Luis Harbor District by deed recorded in Book 1339, Page 714 of Official Records.

Also excepting any portion of said lands lying seaward of the boundary described in the San Luis Bay Boundary Agreement recorded in Book 1563, Page 588 of Official Records.

Also excepting from Lots V and Y those portions described in the deed recorded in Book 1419, Page 265 of Official Records.

Also excepting from Lot Y that portion shown on the map filed in Book 1, Page 36 of Miscellaneous Maps.

Also excepting from Lot Z, that certain parcel of land conveyed to Port San Luis Harbor District by deed recorded in Book 1806, Page 771 of Official Records.

Also excepting from Lot Z, that certain parcel of land conveyed to Port San Luis Harbor District by deed recorded in Book 1970, Page 517 of Official Records.

Also excepting from Lot Z, that certain parcel of land conveyed to Port San Luis Harbor District by deed recorded in Book 2028, Page 869 of Official Records.

EXHIBIT 1

Order Number: 4001-3179110 (LI)

Page Number: 13

Parcel 2: (A.P.N.: 076-172-002 PTN.)

That portion of the Subdivision of the Rancho San Miguelito, in the County of San Luis Obispo, State of California, according to map recorded May 29, 1880 in Book B, Page 96 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at a point in line of original right of way of Pacific Coast Railway whence Station 9 of Survey of said land as given in deed from John Harford and J.N. Ingalls to San Luis Obispo and Santa Maria Valley Railroad Co. bears North $52\frac{3}{4}^{\circ}$ East, 24 links distant; thence North $49\frac{1}{2}^{\circ}$ West, 6.22 chains to a point in center of gulch whence a live oak 24" in diameter bears South $39\frac{1}{2}^{\circ}$, 18 feet distant; thence meandering up center of said gulch North $1\frac{1}{4}^{\circ}$ West, 1.55 chains; thence 51° West, 3.63 chains; North $9\frac{1}{4}^{\circ}$ West, 1.68 chains; North $87\frac{1}{2}^{\circ}$ West, 1.39 chains; North 71° West, 1.77 chains; thence leaving gulch North 49° East, 10.63 chains to post; South $64\frac{1}{2}^{\circ}$ West, 6.75 chains to post; South 82° East, 11.60 chains to post; South 8° West, 82 links to Station 13 of hereinafore described right of way; thence following line of said right of way South 61° West, 1.13 chains to Station 12; thence South 45° West, 8.86 chains to Station 11; thence South $57\frac{1}{4}^{\circ}$ West, 4.53 chains to Station 10; thence South $48\frac{1}{2}^{\circ}$ West, 3.79 chains to Station 9; thence South $52\frac{3}{4}^{\circ}$ West, 24 links to the point of beginning.

EXCEPT therefrom that portion of said land conveyed to San Luis Obispo and Santa Maria Valley Railroad Company, a corporation in deed recorded June 7, 1875 in Book G, Page 351 of Deeds.

ALSO EXCEPT therefrom such rights reserved, and such interest in and to all of the minerals, oil, gas and other hydrocarbon substances within, underlying or that may be produced from said land as was reserved by Bell Petroleum Company, formerly Alphonzo E. Bell Company in deed recorded January 12, 1959 in Book 976, Page 111 of Official Records and re-recorded January 21, 1959 in Book 978, Page 263 of Official Records.

Said reservation recites as follows:

"Excepting and reserving however, an undivided $66\frac{2}{3}$ of all of the minerals, oil, gas and other hydrocarbon substances within, underlying or that may be produced from said property.

It is further expressly understood that Bell Petroleum Company reserved the right of ingress and egress at all times to the real property herewith conveyed for the purpose of mining, drilling, exploring, operating and developing said lands for its said share of oil, gas and other hydrocarbon substances and minerals and storing, handling, transporting and marketing the same therefrom with the right to remove from said property all of Bell Petroleum Company's property and improvements placed thereon in connection with such mining operations."

Parcel 3: (Portion of A.P.N.: 076-172-002)

That portion of the Rancho San Miguelito, in the County of San Luis Obispo, State of California, according to map recorded May 29, 1880 in Book B, Page 96 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at a point distant 30 feet on a course (magnetic) North $52^{\circ}30'$ West from Station 9 of the traverse line as described in the deed to the San Luis Obispo and Santa Maria Valley Railroad Company recorded June 7, 1875 in Book G, Page 351 of Deeds, in the office of the County Recorder of said County; thence North $52^{\circ}30'$ West (magnetic) 100 feet; thence Southerly at right angles 50 feet; thence Easterly at right angles 100 feet; thence Northerly at right angles 50 feet to the point of beginning.

EXHIBIT 1

Order Number: 4001-3179110 (LI)

Page Number: 14

EXCEPT therefrom 5% of the value of all oil and minerals removed from said land through operations conducted thereon, including oil or minerals taken therefrom by so called slanting wells which may be bottomed on or under said land as reserved and excepted by Pacific Coast Railway Company, a California corporation in deed recorded December 30, 1942 in Book 335, Page 78 of Official Records.

Parcel 4: (A.P.N.: 076-172-010)

That portion of the Rancho San Miguelito, in the County of San Luis Obispo, State of California, according to map recorded May 29, 1880 in Book B, Page 96 of Maps, in the office of the County Recorder of said County, described as follows:

Beginning at the Westerly terminus of the course shown as North 75°18'00" East, 49.53 feet in the Northwesterly boundary of Parcel 1 as shown on a map filed in Book 14, Page 33 of Record of Surveys, in the office of the County Recorder of said County; thence along the boundary of said Parcel 1 as follows: South 34°12'00" East, 68.46 feet; South 55°48'00" West, 135.00 feet; South 45°38'30" West, 240.25 feet to the beginning of a tangent curve concave Northwesterly having a radius of 570.00 feet; Southwesterly along said curve through a central angle of 16°36'30" an arc distance of 165.23 feet; tangent to said curve South 62°15'03" West, 703.44 feet to the beginning of a tangent curve concave Southeasterly having a radius of 530.00 feet; Southwesterly along said last mentioned curve through a central angle of 18°44'49" an arc distance of 173.41 feet and North 46°29'46" West, 16.09 feet to the Northwesterly boundary of the land first described in the deed of the San Luis Obispo and Santa Maria Valley Railroad Co. recorded June 7, 1875 in Book G, Page 351 of Deeds, in the office of the County Recorder of said County; thence Northeasterly along said Northwesterly boundary following its various courses to the point of beginning.

EXCEPT therefrom 5% of the value of all oil and minerals removed from said land through operations conducted thereon, including oil or minerals taken therefrom by so called slanting wells which may be bottomed on or under said land as reserved and excepted by Pacific Coast Railway Company, a California corporation in deed recorded December 30, 1942 in Book 335, Page 78 of Official Records.

APN:

EXHIBIT 1

118464-RCT

EXHIBIT "A"
TRUSTEE'S DEED

DESCRIPTION

PARCEL 1:

THAT PORTION OF THE SUBDIVISION OF THE RANCHO SAN MIGUELITO, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED MAY 29, 1880 IN BOOK B, PAGE 96 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT POINT IN LINE OF ORIGINAL RIGHT OF WAY OF PACIFIC COAST RAILWAY WHENCE STATION 9 OF SURVEY OF SAID LINE AS GIVEN IN DEED FROM JOHN HARFORD AND J. N. INGALLS TO SAN LUIS OBISPO AND SANTA MARIA VALLEY RAILROAD CO., BEARS NORTH 52 3/4° EAST 24 LINKS DISTANT;
THENCE NORTH 49 1/2° WEST, 6.22 CHAINS TO POINT IN CENTER OF GULCH WHENCE A LIVE OAK 24 INCHES IN DIAMETER BEARS SOUTH 39 1/2° 18 FEET DISTANT;
THENCE MEANDERING UP CENTER OF SAID GULCH NORTH 1 1/4° WEST 1.55 CHAINS;
NORTH 51° WEST 3.63 CHAINS;
NORTH 9 1/4° WEST 1.68 CHAINS;
NORTH 87 1/2° WEST 1.39 CHAINS;
NORTH 71° WEST 1.77 CHAINS;
THENCE LEAVING GULCH NORTH 49° EAST 10.63 CHAINS TO POST, SOUTH 64 1/2° WEST 6.75 CHAINS TO POST;
SOUTH 82° EAST 11.08 CHAINS TO POST;
SOUTH 8° WEST 82 LINKS TO STATION 13 OF HEREINBEFORE DESCRIBED RIGHT OF WAY;
THENCE FOLLOWING LINE OF SAID RIGHT OF WAY, SOUTH 61° WEST 1.13 CHAINS TO STATION 12;
THENCE SOUTH 45° WEST, 8.86 CHAINS TO STATION 11;
THENCE SOUTH 57 1/4° WEST 4.53 CHAINS TO STATION 10;
THENCE SOUTH 48 1/2° WEST 3.79 CHAINS TO STATION 9;
THENCE SOUTH 52 3/4° WEST 24 LINKS TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THAT PORTION OF SAID LAND CONVEYED TO SAN LUIS OBISPO AND SANTA MARIA VALLEY RAILROAD COMPANY, A CORPORATION, BY DEED RECORDED JUNE 7, 1875 IN BOOK G, PAGE 351 OF DEEDS.

ALSO EXCEPT THEREFROM SUCH RIGHTS, RESERVED AND SUCH INTEREST IN AND TO ALL OF THE MINERALS, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES WITHIN, UNDERLYING OR THAT MAY BE PRODUCED FROM SAID LAND, AS WAS RESERVED BY BELL PETROLEUM COMPANY, FORMERLY ALPHONZO E. BELL COMPANY, IN DEED RECORDED JANUARY 12, 1959 IN BOOK 976, PAGE 111 OF OFFICIAL RECORDS, AND RE-RECORDED JANUARY 21, 1959 IN BOOK 978, PAGE 263 OF OFFICIAL RECORDS.

SAID RESERVATION RECITES AS FOLLOWS:

"EXCEPTING AND RESERVING, HOWEVER, AN UNDIVIDED 66 2/3% OF ALL OF

1.

VOL 2028 PAGE 870

EXHIBIT 1

118464-RCT

EXHIBIT "A" TRUSTEE'S DEED

THE MINERALS, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES WITHIN, UNDERLYING OR THAT MAY BE PRODUCED FROM SAID PROPERTY.

IT IS FURTHER EXPRESSLY UNDERSTOOD THAT BELL PETROLEUM COMPANY RESERVED THE RIGHT OF INGRESS AND EGRESS AT ALL TIMES TO THE REAL PROPERTY HEREIN CONVEYED FOR THE PURPOSES OF MINING, DRILLING, EXPLORING, OPERATING, AND DEVELOPING SAID LANDS FOR ITS SAID SHARE OF OIL, GAS AND OTHER HYDROCARBON SUBSTANCES AND MINERALS AND STORING, HANDLING, TRANSPORTING, AND MARKETING THE SAME THEREFROM WITH THE RIGHT TO REMOVE FROM SAID PROPERTY ALL OF BELL PETROLEUM COMPANY'S PROPERTY AND IMPROVEMENTS PLACED THEREON IN CONNECTION WITH SUCH MINING OPERATIONS."

PARCEL 2:

THAT PORTION OF THE RANCHO SAN MIGUELITO, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK B, PAGE 96 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT DISTANT 30 FEET ON A COURSE (MAGNETIC) NORTH 52° 30' WEST FROM STATION NO. 9 OF THE TRAVERSE LINE AS DESCRIBED IN THE DEED TO THE SAN LUIS OBISPO AND SANTA MARIA VALLEY RAILROAD COMPANY, RECORDED JUNE 7, 1875 IN BOOK G, PAGE 351 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;
THENCE NORTH 52° 30' WEST (MAGNETIC) 100 FEET;
THENCE SOUTHERLY AT RIGHT ANGLES, 50 FEET;
THENCE EASTERLY AT RIGHT ANGLES, 100 FEET;
THENCE NORTHERLY, AT RIGHT ANGLES, 50 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM 5% OF THE VALUE OF ALL OIL AND MINERALS REMOVED FROM SAID LAND THROUGH OPERATIONS CONDUCTED THEREON, INCLUDING OIL OR MINERALS TAKEN THEREFROM BY SO-CALLED SLANTING WELLS WHICH MAY BE BOTTOMED ON OR UNDER SAID LAND, AS RESERVED AND EXCEPTED BY PACIFIC COAST RAILWAY COMPANY, A CALIFORNIA CORPORATION, IN DEED RECORDED DECEMBER 30, 1942 IN BOOK 335, PAGE 78 OF OFFICIAL RECORDS.

PARCEL 3:

THAT PORTION OF THE RANCHO SAN MIGUELITO, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK B, PAGE 96 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE WESTERLY TERMINUS OF THE COURSE SHOWN AS "N 75° 18' 00" E 49.53'" IN THE NORTHWESTERLY BOUNDARY OF PARCEL 1 AS SHOWN ON A MAP FILED IN BOOK 14, PAGE 33 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;
THENCE ALONG THE BOUNDARY OF SAID PARCEL 1 AS FOLLOWS:
SOUTH 34° 12' 00" EAST, 68.46 FEET,
SOUTH 55° 48' 00" WEST, 135.00 FEET,
SOUTH 45° 38' 30" WEST, 240.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 570.00 FEET;

EXHIBIT 1

118464-RCT

EXHIBIT "A"
TRUSTEE'S DEED

SOUTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 16° 36' 30", AN ARC DISTANCE OF 165.23 FEET;
TANGENT TO SAID CURVE, SOUTH 62° 15' 03" WEST 703.44 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 530.00 FEET;

SOUTHWESTERLY ALONG SAID LAST MENTIONED CURVE, THROUGH A CENTRAL ANGLE OF 18° 44' 49", AN ARC DISTANCE OF 173.41 FEET AND

NORTH 46° 29' 46" WEST 16.09 FEET TO THE NORTHWESTERLY BOUNDARY OF THE LAND FIRST DESCRIBED IN THE DEED TO THE SAN LUIS OBISPO AND SANTA MARIA VALLEY RAILROAD CO., RECORDED JUNE 7, 1875 IN BOOK G, PAGE 351 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

THENCE NORTHEASTERLY ALONG SAID NORTHWESTERLY BOUNDARY FOLLOWING ITS VARIOUS COURSES TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM 5% OF THE VALUE OF ALL OIL AND MINERALS REMOVED FROM SAID LAND THROUGH OPERATIONS CONDUCTED THEREON, INCLUDING OIL OR MINERALS TAKEN THEREFROM BY SO-CALLED SLANTING WELLS WHICH MAY BE BOTTOMED ON OR UNDER SAID LAND, AS RESERVED AND EXCEPTED BY PACIFIC COAST RAILWAY COMPANY, A CALIFORNIA CORPORATION, IN DEED RECORDED DECEMBER 30, 1942 IN BOOK 335, PAGE 78 OF OFFICIAL RECORDS.

(END OF DESCRIPTION)

3.

VOL 2028 PAGE 872

EXHIBIT 1

Exhibit "A"

PUBLIC LOT

Legal Description

An irregular shape parcel of land designated here as Area A being;

A portion of Lot Z of the Rancho San Miguelito, in the County of San Luis Obispo, State of California as designated according to the plat entitled, "Part of the Rancho San Miguelito", filed in Book B, at Page 96 of Maps in the office of the Recorder for said County, and Parcel "B" of Public Lot 80-50 as adopted by the Board of Supervisors of said County on June 2, 1980, more particularly described as follows:

Beginning at a 5/8 inch diameter rebar with cap stamped RCE 12,545 designated here as Point A marking the corner common to Lots X, Y and Z as shown on that Record of Survey filed in Book 38, at Page 37 of Record of Surveys in the office of the Recorder for said County;

Thence, along the easterly boundary of Lot X as shown on said Record of Survey, North 01° 19' 05" East, 469.61 feet to the northeast corner of said Parcel "B";

Thence, leaving the easterly boundary of said Lot X, along the northern boundary of said Parcel "B", North 88° 40' 55" West, 150.00 feet to a rebar with cap stamped RCE 12,545 as shown on said Record of Survey;

Thence, along the northwestern boundary of said Parcel "B", South 62° 29' 24" West, 531.94 feet to a rebar with cap stamped RCE 12,545 as shown on said Record of Survey;

Thence, continue along the northwestern boundary of said Parcel "B", South 41° 31' 46" West, 279.82 feet to the western most corner of said Parcel "B" at the northern boundary of said Lot Z as projected westerly shown on said Record of Survey filed in Book 38, at Page 37 of Record of Surveys;

Thence, leaving the northwestern boundary of said Parcel "B", and continue the projection thereof, South 41° 31' 46" West, 177.54 feet;

Thence, South 34° 00' 00" East, 186.40 feet to the northwesterly boundary of that portion of Lot Z designated "Parcel 1" of the conveyance to Port San Luis Harbor District by Trustee's Deed, filed in Volume 2028, at Page 869 of Official Records in the office of the Recorder for said County at a point that bears North 52° 22' 49" East, 115.36 feet from the most westerly corner of said "Parcel 1" marked by a 1 inch iron pipe with tag stamped RCE 12,748 as shown on that Record of Survey filed in Book 15, at Page 99 of Record of Surveys in the office of the Recorder for said County;

Thence, along the northwesterly boundary of "Parcel 1" of said conveyance to the Port San Luis Harbor District, North 52° 22' 49" East, 586.06 feet to an angle point thereon marked by a 1 inch iron pipe with tag stamped RCE 12,748 as shown on said Record of Survey filed in Book 15, at Page 99 of Record of Surveys;

EXHIBIT 1

Thence, along the northerly boundary of said "Parcel 1", South 62° 16' 57" East, 444.74 feet to an angle point thereon marked by a 1 inch iron pipe with tag stamped RCE 12,748 as shown on said Record of Survey filed in Book 15, at Page 99 of Record of Surveys;

Thence, continue along the northerly boundary of said "Parcel 1", South 79° 43' 45" East, 730.32 feet to an angle point thereon marked by a 1 inch iron pipe with tag stamped RCE 12,748 as shown on that Record of Survey filed in Book 15, at Page 99 of Record of Surveys in the office of the Recorder for said County;

Thence, South 33° 38' 01" West, 31.57 feet to the northern boundary of that 60 foot wide strip of land conveyed to the San Luis Obispo and Santa Maria Valley Railroad Company by Indenture, filed in Book G, at Page 351 of Deeds in the office of the recorder for said County as shown on said Record of Survey filed in Book 15, at Page 99 of Record of Surveys;

Thence, leaving the boundary of said Parcel 1, along the northern boundary of said 60 foot wide strip of land conveyed to the San Luis Obispo and Santa Maria Valley Railroad Company as designated in the description of "Parcel 3" of said conveyance to the Port San Luis Harbor District by Trustee's Deed, filed in Volume 2028, at Page 869 of Official Records, North 75° 18' 16" East, 123.95 feet to the westerly terminus of that course "N 75° 18' 16" E, 49.53 feet" described therein and being shown on sheet 4 of those maps filed in Book 14, at Page 33 of Record of Surveys in the office of the Recorder for said County;

Thence, along the northern boundary of said 60 foot wide strip of land conveyed to the San Luis Obispo and Santa Maria Valley Railroad Company as designated in the description of "Parcel 1" of that Corporate Grant Deed Recorded March 2nd, 1965, filed in Volume 1339, at Page 714 of Official Records in the office of the Recorder for said County and shown on said maps filed in Book 14, at Page 33 of Record of Surveys, North 75° 18' 00" East, 49.53 feet;

Thence, continue along the northern boundary of said 60 foot wide strip of land conveyed to the San Luis Obispo and Santa Maria Valley Railroad Company as designated in the description of "Parcel 1" of said Corporate Grant Deed Recorded March 2nd, 1965, North 60° 48' 00" East, 38.84 feet;

Thence, North 55° 48' 16" East, 195.35 feet;

Thence, North 44° 18' 16" East, 103.19 feet;

Thence, North 68° 48' 16" East, 6.07 feet to the northern boundary of said Lot Z as projected easterly on said Record of Survey filed in Book 38, at Page 37 of Record of Surveys;

Thence, leaving the northern boundary of said 60 foot wide strip of land conveyed to the San Luis Obispo and Santa Maria Valley Railroad Company as designated in the description of "Parcel 1" of said Corporate Grant Deed Recorded March 2nd, 1965, along the northern boundary of said Lot Z as projected on said Record of Survey filed in Book 38, at Page 37 of Record of Surveys, North 88° 43' 23" West, 1187.06 feet to the Point of Beginning.

The land area of the herein above described Area A contains: 11.72 acres;

And, a triangular shape portion of Public Lot designated here as Area B being;

EXHIBIT 1

A portion of Lot Z of the Rancho San Miguelito, in the County of San Luis Obispo, State of California as designated according to the plat entitled, "Part of the Rancho San Miguelito", filed in Book B, at Page 96 of Maps in the office of the Recorder for said County, more particularly described as follows:

Commencing from a 1 inch iron pipe with tag stamped RCE 12748 marking the most westerly corner of that portion of said Lot Z designated "Parcel 1" of the conveyance to Port San Luis Harbor District by Trustee's Deed, filed in Volume 2028, at Page 869 of Official Records in the office of the Recorder for said County as shown on that Record of Survey filed in Book 15, at Page 99 of Record of Surveys in the office of the Recorder for said County, and being South 52° 22' 49" West, 701.42 feet from a 1 inch iron pipe with tag stamped RCE 12,748 at the northern most angle point in the northerly boundary of said "Parcel 1" as shown on said Record of Survey filed in Book 15, at Page 99;

Thence, along the northerly boundary of said "Parcel 1", North 52° 22' 49" East, 115.36 feet;

Thence, leaving the northerly boundary of said "Parcel 1", South 34° 00' 00" East, 148.50 feet to the southwesterly boundary of said "Parcel 1", and the True Point of Beginning of Area B being designated here as Point B;

Thence, along the southwesterly boundary of said "Parcel 1", South 83° 43' 14" East, 20.60 feet;

Thence, continue along the southwesterly boundary of said "Parcel 1", South 5° 29' 54" East, 32.93 feet;

Thence, leaving the southwesterly boundary of said "Parcel 1", North 34° 00' 00" West, 42.26 feet to said Point B;

The land area of the herein above described Area B contains: 331.99 square feet (0.008 acres);

And, a triangular shape portion of Public Lot designated here as Area C being;

A portion of Lot Z of the Rancho San Miguelito, in the County of San Luis Obispo, State of California as designated according to the plat entitled, "Part of the Rancho San Miguelito", filed in Book B, at Page 96 of Maps in the office of the Recorder for said County, more particularly described as follows:

Commencing from a 1 inch iron pipe with tag stamped RCE 12748 marking the most westerly corner of that portion of said Lot Z designated "Parcel 1" of the conveyance to Port San Luis Harbor District by Trustee's Deed, filed in Volume 2028, at Page 869 of Official Records in the office of the Recorder for said County as shown on that Record of Survey filed in Book 15, at Page 99 of Record of Surveys in the office of the Recorder for said County, and being South 52° 22' 49" West, 701.42 feet from a 1 inch iron pipe with tag stamped RCE 12,748 at the northern most angle point in the northerly boundary of said "Parcel 1" as shown on said Record of Survey filed in Book 15, at Page 99;

Thence, along the northerly boundary of said "Parcel 1", North 52° 22' 49" East, 115.36 feet;

EXHIBIT 1

Thence, leaving the northerly boundary of said "Parcel 1", South 34° 00' 00" East, 431.51 feet to the southwesterly boundary of said "Parcel 1", and the True Point of Beginning of Area C being designated here as Point C;

Thence, along the southwesterly boundary of said "Parcel 1", South 46° 44' 58" East, 64.93 feet;

Thence, continue along the southwesterly boundary of said "Parcel 1", South 2° 17' 57" West, 24.20 feet;

Thence, leaving the southwesterly boundary of said "Parcel 1", North 34° 00' 00" West, 82.83 feet to said Point C;

The land area of the herein above described Area C contains: 593.41 square feet (0.014 acres);

The total land area of the herein above described Public Lot consisting of Areas A, B and C contains: 11.74 acres;

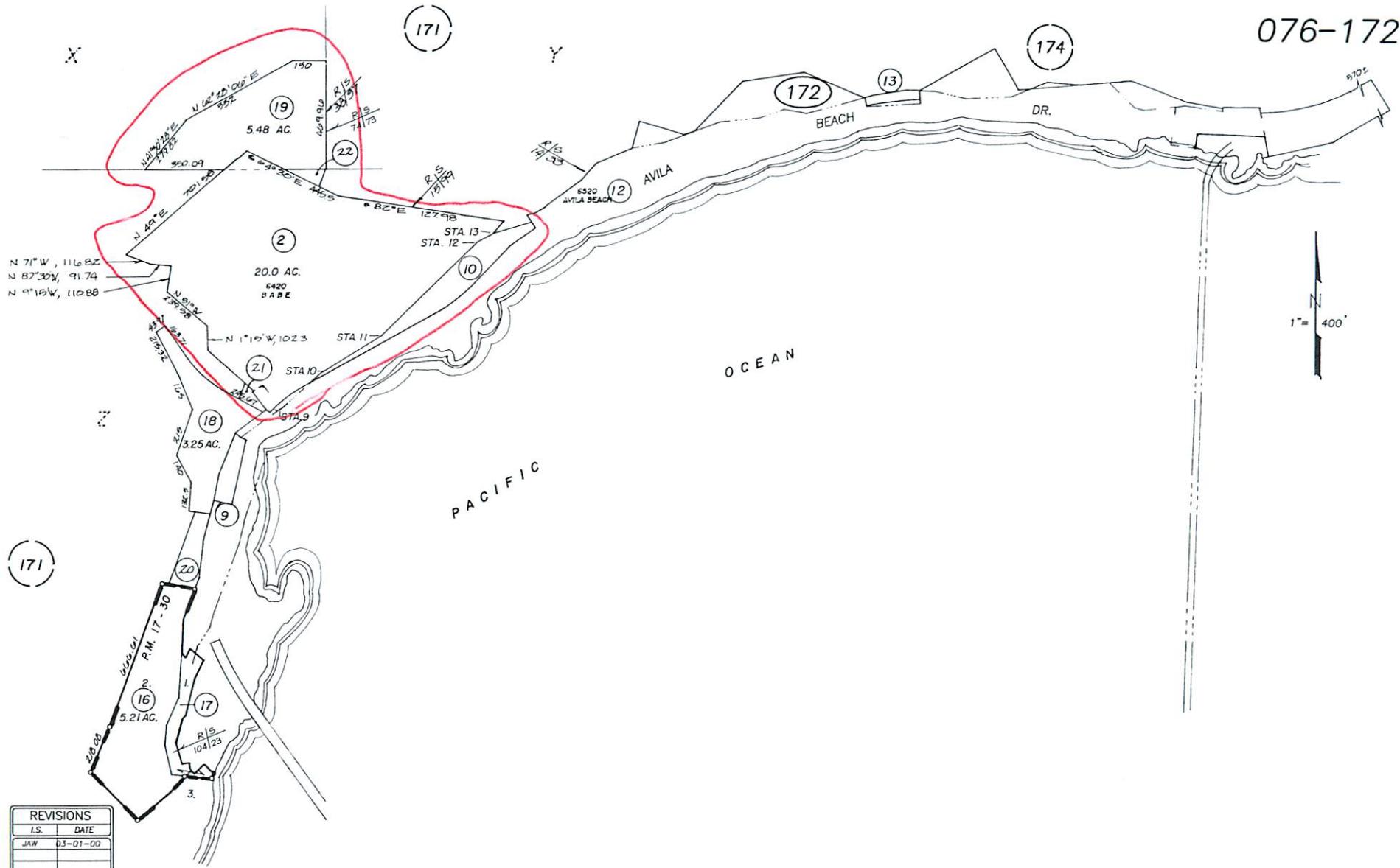
The bearings and distances described herein are based upon the California State Plane Coordinate System, Zone 5, North American Datum 1927 as shown on the map filed in Book 1, at Page 1 of Miscellaneous Maps in the office of the Recorder for said County, and the distances recited herein are grid distances; to convert to ground distances multiply grid distances by 1.00005.

End Description

Prepared by: *Dan Hutchinson*
Dan Hutchinson, LS 5139 (License Expires 06/30/2013)

Date: SEPT. 26TH, 2012





171

171

174

REVISIONS	
LS.	DATE
JAW	03-01-00

200' 0 400' 800'

JAW 03-01-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.





Parcel Summary Report For Parcel # 076-172-002

11/27/2013
12:27:40PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PORT SL HARBOR DIST

Address Information

Status Address
P 00000 BABE LN AVLB

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076172	002	0001	Avila Beach	San Luis Bay	CSC			N		
RHOSNMIG	0000	Y-PT	Avila Beach	San Luis Bay	AS	GS	SRA	Y	L2	
RHOSNMIG	0000	Z-PT	Avila Beach	San Luis Bay	PF	CAZ	LCP	Y	L2	D83081201 / D870149

Parcel Information

Status Description
Active 020.00AC VACANT

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
COUNTY-ZONE NO. 03
SAN LUIS
NO. 03
AREA NO. 12
AREA NO. 21



Parcel Summary Report For Parcel # 076-172-002

11/27/2013
12:27:40PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

A2470 FNL Primary Parcel

Description:

INSTALL ENTRANCE GATE & CARD READER

D000111D WIT Primary Parcel

Description:

CELLULAR FACILITY

DRC2013-00044 REC Primary Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP SITES AND BEVERAGE RETAIL STORE.

G950010T APV Primary Parcel

Description:

AMEND PLANNING AREA STANDARDS

PRE2008-00039 REC Primary Parcel

Description:

PAM WITH LSA

PRE2013-00020 REC Primary Parcel

Description:

HARBOR TERRACE CAMPGROUND

G900018N CMP Related Parcel

Description:

MODIFY STNDS FOR PORT SAN LUIS

LRP2004-00003 APV Related Parcel

Description:

GENERAL PLAN AMEN/PORT SAN LUIS MASTER PLAN

SUB2011-00065 APV Related Parcel

Description:

PUBLIC LOT



Parcel Summary Report For Parcel # 076-172-010

11/27/2013
12:27:58PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PORT SL HARBOR DIST

Address Information

Status Address
P 06450 BABE LN AVLB

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076172	010	0001	Avila Beach	San Luis Bay	GS	SRV	SRA	N		
076172	010	0002	Avila Beach	San Luis Bay	CAZ	CSC		N		
RHOSNMIG	0000	Z-PT	Avila Beach	San Luis Bay	PF	LCP	AS	Y		

Parcel Information

Status Description
Active 008.00AC VACANT

Notes

ADDRESS 6450 BABE LN IS FOR PORT SAN LUIS HARBOR PATROL ACCOUNTING OFFICE, ISSUED LETTER AND NOTICED 11/6/08-PCS

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
COUNTY-ZONE NO. 03
SAN LUIS
NO. 03
AREA NO. 12
AREA NO. 21



Parcel Summary Report For Parcel # 076-172-010

11/27/2013
12:27:58PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2013-00044

REC

Related Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP SITES AND BEVERAGE RETAIL STORE.

G900018N

CMP

Related Parcel

Description:

MODIFY STNDS FOR PORT SAN LUIS

G950010T

APV

Related Parcel

Description:

AMEND PLANNING AREA STANDARDS

LRP2004-00003

APV

Related Parcel

Description:

GENERAL PLAN AMEN/PORT SAN LUIS MASTER PLAN

PRE2013-00020

REC

Related Parcel

Description:

HARBOR TERRACE CAMPGROUND

SUB2011-00065

APV

Related Parcel

Description:

PUBLIC LOT



Parcel Summary Report For Parcel # 076-172-019

12/18/2013
2:19:10PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PORT SL HARBOR DIST

Address Information

Status Address

Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076172	019	0001	Avila Beach	San Luis Bay	AS	GS	SRA	N		
PL80-	050	0002	Avila Beach	San Luis Bay	PF	LCP	CAZ	Y		D870149D

Parcel Information

<u>Status</u>	<u>Description</u>
Active	000.54AC VACANT

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
SAN LUIS
NO. 03
AREA NO. 21

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 076-172-019

12/18/2013
2:19:10PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

S800039G APV Primary Parcel

Description:

SAN LUIS BAY ESTATES

SUB2011-00065 APV Primary Parcel

Description:

PUBLIC LOT

DRC2013-00044 REC Related Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP SITES AND BEVERAGE RETAIL STORE.

G900018N CMP Related Parcel

Description:

MODIFY STNDS FOR PORT SAN LUIS

G950010T APV Related Parcel

Description:

AMEND PLANNING AREA STANDARDS

LRP2004-00003 APV Related Parcel

Description:

GENERAL PLAN AMEN/PORT SAN LUIS MASTER PLAN

PRE2013-00020 REC Related Parcel

Description:

HARBOR TERRACE CAMPGROUND



Parcel Summary Report For Parcel # 076-172-022

12/18/2013
2:19:26PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN EUREKA ENERGY CO
77 BEALE ST 32ND FL PO BOX 770000 SAN FRAN CA
94177-

OWN BOE 135-40-023B-05 PTN LSD

OWN PACIFIC GAS & ELECTRIC CO

Address Information

Status Address

Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076172	022	0001	Avila Beach	San Luis Bay	GS	SRA	AS	N		
RHOSNMIG	0000	Z-PT	Avila Beach	San Luis Bay	PF	LCP	AS	Y	LM / IP	D870149D

Parcel Information

Status Description

Active BOE 135-40-23B PTN PAR 5 LSD

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
SAN LUIS
NO. 03
AREA NO. 21



Parcel Summary Report For Parcel # 076-172-022

12/18/2013
2:19:26PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2013-00044

REC

Related Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP SITES AND BEVERAGE RETAIL STORE.

PRE2013-00020

REC

Related Parcel

Description:

HARBOR TERRACE CAMPGROUND

SUB2011-00065

APV

Related Parcel

Description:

PUBLIC LOT



Parcel Summary Report For Parcel # 076-171-018

12/18/2013
2:18:31PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN EUREKA ENERGY CO
77 BEALE ST 32ND FL PO BOX 770000 SAN FRAN CA
94177-

OWN BOE 135-40-023B-05 PTN LSD

OWN PACIFIC GAS & ELECTRIC CO

Address Information

Status **Address**
P 00000 LIGHT HOUSE RD RSLB

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076171	018	0001	Avila Beach	San Luis Bay	SRV	SRA	CAZ	N		

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076171	018	0002	North Coast Ru	North Coast	AS	LCP		N		

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
RHOSNMIG	0000	Z-PT	San Luis Bay Ru	San Luis Bay	AG	PF	GS	Y	IP / LM	



Parcel Summary Report For Parcel # 076-171-018

12/18/2013
2:18:31PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Parcel Information

Status Description

Active BOE 135-40-23B PTN PAR 5 LSD

Notes

Tax Districts

SAN LUIS COASTAL

SAN LUIS OBISPO JT(27,40)

SAN LUIS

NO. 03

AREA NO. 21

Case Information

Case Number:

Case Status:

SUB2008-00075 WIT Primary Parcel

Description:

A TWO PARCEL LOT-LINE ADJUSTMENT

DRC2013-00044 REC Related Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP SITES AND BEVERAGE RETAIL STORE.

PMT2004-01784 FNL Related Parcel

Description:

ENGINEERED GRADING (MAJOR) - ~ 1.80 MILE LONG WIDEN'G OF ROAD TO LIGHTHOUSE FOR BETTER ACCESS INCLUDES PAVING, SITE WALLS, & IMPROVEMENT OF DRAINAGE. FOR INSPECTIONS CALL 781-5725. (PHZ 1 & 2) G.L.MICHAEL,RCE/SOILS:FRUGO WEST, INC.- J. BLANCHARD,GE/IN GSA. [SEE PMT 2008-01771 FOR ADD ACCELERATION LANE FROM LIGHTHOUSE ROAD TO DIABLO CANYON ROAD, GRANITE CSTR FOR PG&E.] 3/26/09, ADDENDUM #1 - REPLACE SOME CURBS WITH DRIVEABLE CURBS PER CAL FIRE REQUEST, SEE APPROVED PLANS C1.2 FOR SUMMARY OF CHANGES.

SUB2011-00065 APV Related Parcel

Description:

PUBLIC LOT



Parcel Summary Report For Parcel # 076-171-021

12/18/2013
2:18:46PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN EUREKA ENERGY CO
 ONE MARKET PLZ SPEAR TOWER 4F SAN FRANCISCO
 CA 94105-
OWN PACHO LTD PTP

Address Information

Status **Address**
P 06060 WILD CHERRY CANYON RD RSLB

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076171	021	0001	Avila Beach	San Luis Bay	CAZ	SRV	SRA	N		

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076171	021	0002	North Coast Ru	North Coast	LCP	AS		N	IR	

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
RHOSNMIG	0000	Y-PT	San Luis Bay Ru	San Luis Bay	AG	PF	GS	Y	LM	



Parcel Summary Report For Parcel # 076-171-021

12/18/2013
2:18:46PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Parcel Information

Status Description

Active RHO SAN MIG PTN LT Y

Notes

Tax Districts

SAN LUIS COASTAL

SAN LUIS OBISPO JT(27,40)

SAN LUIS

NO. 03

AREA NO. 21

Case Information

Case Number:

Case Status:

D970078P CMP Primary Parcel

Description:

STABILIZE HILLSIDE ABOVE AVILA BCH DRIVE

D980177P APP Primary Parcel

Description:

RELOCATE AVILA BEACH YACHT CLUB BLDG

G850002M HRG Primary Parcel

Description:

CHANGE AG TO RECREATION

PMT2004-01238 EXP Primary Parcel

Description:

SERVICE PANEL REPLACEMENT 400 AMP 3 PHASE W NEW PUMPS TO EXISTING PUMP STATION

PMT2008-01334 EXP Primary Parcel

Description:

EXPIRED - REPLACE OLD 400 AMP SERVICE - 3 PHASE

PMT2012-01276 FNL Primary Parcel

Description:

REMOVE AND REPLACE EXISTING DAMAGED 100 AMP METER PANEL SERVING GATE



Parcel Summary Report For Parcel # 076-171-021

12/18/2013
2:18:46PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

ZON2009-00520 APV Primary Parcel

Description:

HORSEBACK RIDING 1. LIMITED TO WILD CHERRY CANYON PROPERTY ONLY THIS APN. 2. NO NEW STRUCTURES FOR THIS BUSINESS
3. PARKING TO BE INSIDE OF GATE ON AN ALREADY IMPROVED AREA. 4. NO NEW TRAILS-OPERATION TO BE ON EXISTING TRAILS AND
ROADS 5. WILL USE OWN HORSES ALREADY ON-SITE. 6. APPLICANT LEASES PROPERTY. CHECKED WITH DAN SULLIVAN AND NICK
FUNO (STATE)

A2552 FNL Related Parcel

Description:

GRADING FOR BANK STABILIZATION

A2793 FNL Related Parcel

Description:

REPLACE STORM DRAIN WITH NEW PIPELINE

A6500 FNL Related Parcel

Description:

RELOCATE YACHT CLUB TO WILD CHERRY CYN INCLUDES GRAD.FOR TEMP. LOCATION

DRC2013-00044 REC Related Parcel

Description:

DEVELOPMENT PLAN/CDP WILL INCLUDE A MIX OF TENT SITES, TENT CABINS, BUNGALOWS, INNS, YURTS, FULL SERVICE RV CAMP
SITES AND BEVERAGE RETAIL STORE.

P970404E APP Related Parcel

Description:

SLOPE STABLIZATION WORK ON HARFORD DRIVE

SUB2011-00065 APV Related Parcel

Description:

PUBLIC LOT