



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 4/2/2014

TO: _____

FROM: (Schani Siong 805-781-4374 or ssiong@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2013-00083 LEWIS – Proposed minor use permit to add 182 sf master bath and turn existing master bath into a closet. Site location is 709 Lucerne Rd, Cayucos. APN: 064-281-009

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Dr. Marshall Lewis Daytime Phone (661)327-1425
 Mailing Address 2619 F Street Bakersfield CA Zip Code 93301
 Email Address: _____

Applicant Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Woody Woodruff Daytime Phone (805)434-2372
 Mailing Address PO Box 542 Templeton CA Zip Code 93465
 Email Address: wwcci2@yahoo.com

PROPERTY INFORMATION

Total Size of Site: 21,649 Assessor Parcel Number(s): 064-281-009

Legal Description: _____

Address of the project (if known): 709 Lucerne Rd. Cayucos CA

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Hwy 1 to Ocean Ave, right on Lucerne Rd. site on right

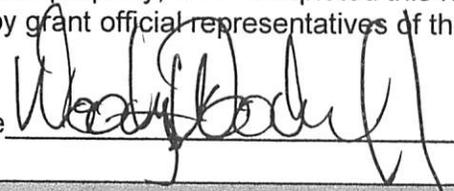
Describe current uses, existing structures, and other improvements and vegetation on the property: existing single family residence

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Add 182 sq. ft. Master Bath and turn existing master bath into closet

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature 

Date 3.24.14

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Hwy 1 to Ocean Ave, right on Lucerne Rd. Site on Right

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: _____ South: _____
East: _____ West: _____

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: ^{ADD} 182 sq. feet 0.8 % Landscaping: NONE TO BE ADDED %

Paving: 0 sq. feet _____ % Other (specify) _____

Total area of all paving and structures: ADD 182 SF TO (E) sq. feet acres

Total area of grading or removal of ground cover: 0 sq. feet acres

Number of parking spaces proposed: 0 Height of tallest structure: 18'

Number of trees to be removed: 0 Type: _____

Setbacks: Front 25 ft Right 5 ft Left 5 ft Back 10 ft

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL Fire - Cayucos

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 2358 includes proposed 182 ft²

Total of area of the lot(s) minus building footprint and parking spaces: 19,291 ft² includes proposed 182 ft²

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- 1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 21,649 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- 2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- 3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- 4. Has a drainage plan been prepared? ADD RAIN GUTTERS Yes No
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- 6. Has a grading plan been prepared? Yes No
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- 8. Is a railroad or highway within 300 feet of your project site? Yes No
- 9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: LUCERNE, OCEAN, HWY 1

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? not changing
4. How many service connections will be required? existing
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (Individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 20 ft Location of connection: _____
2. What is the amount of proposed flow? not changing _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission Country disposal
- 3. Where is the waste disposal storage in relation to buildings? _____
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Cayucos School District
- 2. Location of nearest police station: Morro Bay P.P.
- 3. Location of nearest fire station: Cayucos fire Dept.
- 4. Location of nearest public transit stop: _____
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? .25 feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Single family residence
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: R 19 WALLS, R 30 CEILING, LOW E DOUBLE GLAZING WINDOWS

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

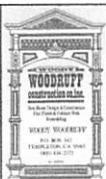
Home Energy Rating for additions and remodels > \$10,000

If your permit valuation is \$10,000 or more you will be required to have a Home Energy Rating System (HERS) rating to perform a Home Energy Rating prior to construction completion. Adding over 100 sq. ft. in remodeling over 200 sq. ft. in your existing house will result in a permit valuation over \$10,000. If you are just changing out kitchen fixtures, we normally just charge for the fixtures and circuits.

To find companies that perform HERS ratings go to the http://www.cesrc.com/Files_Directory_files.cfm and http://www.cesrc.com/Files_Directory_files.cfm websites.

If you are looking to build with energy efficiency in mind, you might qualify for many financing, rebates, and incentives through the following energy efficiency programs: http://www.socalenergy.com/energy_efficiency_programs, http://www.socalenergy.com/energy_efficiency_programs, http://www.socalenergy.com/energy_efficiency_programs, http://www.socalenergy.com/energy_efficiency_programs.

To find a list of contractors and raters approved by Pacific Gas & Electric and Southern California Gas Company please go to: http://www.socalenergy.com/energy_efficiency_programs.



WOODRUFF Construction Co. is a full-service construction company with over 30 years of experience in residential and commercial construction. We are licensed and bonded in the state of California.

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PROJECT:
Dr. Lewis Residence
Address:
738 Lucerne Road
Covina, CA
APN 024-261-009

DESIGNER:
Dr. Marshall Lewis
Phone: (925) 436-2372

PROJECT INFO:
PROPOSED INFO

SITE AREA: 21.846 AC
BUILDING AREA: 142 SQ. FT.

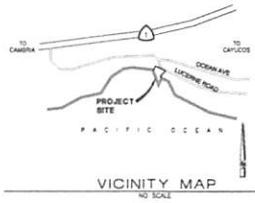
REGULATORY:
SITE DESIGN REVIEW: 0

Dr. Lewis Residence Addition

DATE: 02/15/2014
REVISION:

SITE PLAN: 17'-0"
SHEET:

A0



BLUFF SETBACK NOTE:
NO NEW FOUNDATION WORK IS ALLOWED WITHIN THE BLUFF SETBACK. ONLY REPAIR AND MAINTENANCE IS ALLOWED WITHIN THE BLUFF SETBACK.

CURB/GUTTER/SIDEWALK:
THIS PROJECT REQUIRES A CURB-GUTTER-SIDEWALK IMPROVEMENT PERMIT IS REQUIRED TO BE OBTAINED IN THE CITY OF COTUI.

SCOPE OF WORK:
1. ADD MASTER BATHROOM TO EXISTING RESIDENCE.
2. THIS ADDITION TO HAVE FIRESPRINKERS CONNECTED TO THE SYSTEM FOR THE REST OF THE HOUSE.
3. REMOVE EXISTING OVERHEAD ELECTRICAL POWER FEED FROM ACROSS LUCERNE ROAD AND RUN UNDERGROUND POWER TO NEW ELECTRICAL PANEL ON BATHROOM ADDITION EXTERIOR WALL.

CAL-GREEN REQUIREMENTS:

- INDOOR WATER USE (SECTION 4.303)**
INDOOR WATER USE SHALL BE REDUCED FROM THE BASELINE BY 20%. A SCHEDULE OF ALLOWED WATER USE FOR EACH FLOOR TYPE IS PROVIDED ON SHEET A1.
- OUTDOOR WATER USE (SECTION 4.304)**
AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE OTHER THAN THE FOLLOWING: 1. IRRIGATION CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT WATER NEED AS MEASURED CONDITIONS CHANGE.
- ENHANCED DURABILITY AND REDUCED MAINTENANCE (SECTION 4.400)**
MATERIALS SPECIFIED FOR EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PARASITIC EFFECTS OF CLIMATE-BY USING CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY.
- CONSTRUCTION WASTE RECYCLING (SECTION 4.401)**
WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.
- BUILDING MAINTENANCE AND OPERATION (SECTION 4.402)**
AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.
- FIREPLACES (SECTION 4.503)**
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT HEATED COMBUSTION TYPE. ANY INSTALLED WOODBURNING OR PELLET BURNING FIREPLACE SHALL HAVE EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- INTERIOR MOISTURE CONTROL (SECTION 4.600 - 4.607)**
A. A.1.1. ALL INTERIOR WALLS AND CEILING SHALL BE INSTALLED ON GRADE FOUNDATIONS.
A. A.1.2. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FINISHES SHALL BE CHECKED BEFORE CLOSE.
A. A.1.3. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING SHALL BE PROVIDED IN EVERY BATHROOM.
A. A.1.4. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING SHALL BE PROVIDED IN EVERY KITCHEN WHERE THE FAN IS OFF-COVERED OR COVERED SHALL HAVE A MINIMUM INSULATION VALUE OF R-2.
A. A.1.5. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING SHALL BE PROVIDED USING THE FOLLOWING METHOD:
1. EXHAUST FANS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. EXHAUST SYSTEMS ACCORDING TO ASCE 24-01 (MINIMUM) OR EQUIVALENT.
3. EXHAUST SYSTEMS ACCORDING TO ASCE 24-01 (MINIMUM) OR EQUIVALENT.
4. EXHAUST SYSTEMS ACCORDING TO ASCE 24-01 (MINIMUM) OR EQUIVALENT.
- WATER LEAKAGE DETECTION**
BEFORE THE PERMIT VALUATION IS OVER \$10,000, ANY EXISTING WATER FIXTURES THAT EXCEED THE THRESHOLD IN THE BUILDING SHALL BE INSTALLED AND MAINTAINED. REPAIRS SHALL BE INSTALLED AND MAINTAINED.
- FIXTURE TYPE**
BATHROOMS: 2.0 GPM @ 80 PSI
KITCHENS: 2.2 GPM @ 80 PSI
WATER CLOSERS: 1.0 GPM @ 80 PSI

POLLUTANT CONTROL (SECTION 4.608)
A. A.1.1. EXHAUSTERS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPERATING SHALL BE COVERED DURING CONSTRUCTION.
A. A.1.2. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MEASUREMENTS FOR VOC AND OTHER TOXIC COMPOUNDS.
A. A.1.3. ADHESIVES, PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MEASUREMENTS FOR VOC AND OTHER TOXIC COMPOUNDS.
A. A.1.4. COATINGS SHALL BE PROVIDED BY CONTRACTOR TO MEET THE COMPLIANT SOLVENTS.
A. A.1.5. CARPET AND LAZYET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
A. A.1.6. 10% OF FLOOR AREAS REQUIRING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS SET FORTH IN THE COLLAPSE RESILIENT FLOORING (CRFL) LOW-VOLATILE MATTER (LVM) LIST OR BE CERTIFIED UNDER THE RESILIENT FLOORING INSTITUTE (RFI) FLOORING PROGRAM.
A. A.1.7. PARTICULATE MATTER (PM) AND WINDBLOWN POLYMER (WBP) SHALL COMPLY WITH LOW FORBIDDEN-TOXIC EMISSION PROGRAM.

VERIFICATION
THIS PROJECT REQUIRES THAT A CERTIFIED HOME ENERGY RATING SYSTEM (HERS) RATER TO PERFORM A HOME ENERGY RATING PRIOR TO CONSTRUCTION COMPLETION.

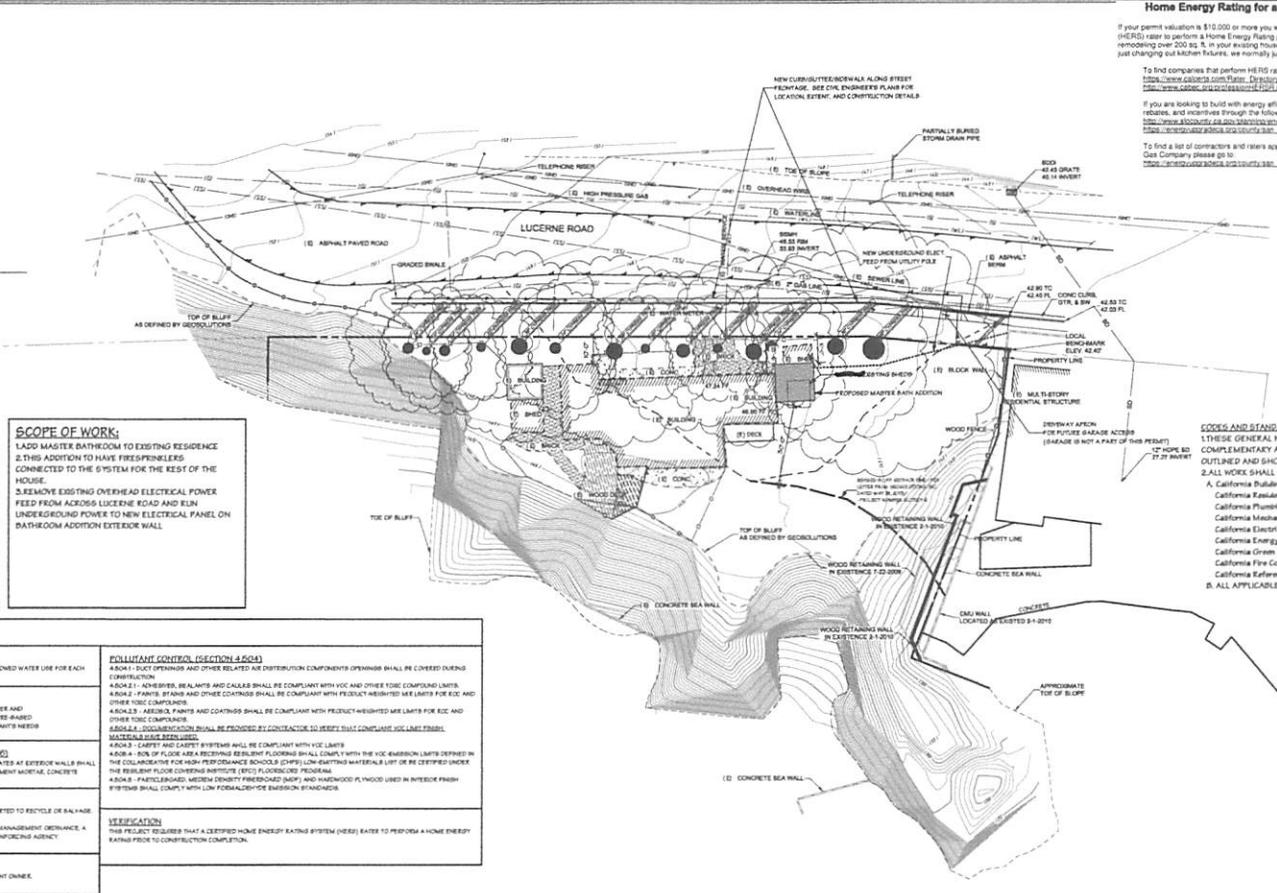
SYMBOL LEGEND		ABBREVIATIONS	
W	WATER VALVE	(E)	EXISTING
F	FIRE HYDRANT	FL	FLOW LINE
S	SIGN	TC	TOP OF CURB
P	POWER POLE	FS	FINISHED SURFACE
A	GUY ANCHOR	EP	EDGE OF PAVEMENT
M	SEWER MANHOLE	JP	JOINT POLE
E	EDGE OF PAVEMENT	WM	WATER METER
G	GUARDRAIL	POS	POINT ON SLOPE
W	WOOD FENCE	GB	GRADE BREAK
M	MAJOR CONTOUR LINE	BL	BLOCK
m	MINOR CONTOUR LINE		
SE	EXISTING SEWER		
EW	EXISTING WATER		
EG	EXISTING GAS		
EO	EXISTING OVERHEAD		

THIS TOPOGRAPHIC SURVEY WAS DONE PRIOR TO LANDSCAPING PERFORMED AT THIS SITE.

BENCH MARK
ELEVATIONS SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND ARE REFERENCED TO THE NATIONAL GEODETIC SURVEY VERTICAL DATUM ANALYSIS. BENCHMARK DESIGNATION D 183 RESET 1903. A DRY SET IN CONCRETE ON THE SOUTH SIDE OF OCEAN AVENUE NEAR CURB INLET, APPROXIMATELY 200 FEET WEST OF THE INTERSECTION OF OCEAN AVENUE AND LUCERNE ROAD, WITH AN ELEVATION OF 42.82.

LOCAL BENCH MARK
A 1-1/2" DIA. IN CONCRETE AT THE NORTHWEST CORNER OF SITE INSIDE A BLOCK WALL NEAR A GUY WIRE AND WATER METER WITH AN ELEVATION OF 42.42.

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH-SOUTH LINE OF LOT 18-21 AS RECORDED ON PAGE 66, BOOK 42 OF RECORD OF SURVEYS BETWEEN TWO FOUND MONUMENTS, THAT BEARING BEING N 81° 15' 00" W AS INDICATED ON MAP.



CODES AND STANDARDS:
1. THESE GENERAL NOTES AND ACCOMPANYING PLANS ARE COMPLEMENTARY AND ALL CONSTRUCTION IS TO BE AS HEREIN OUTLINED AND SHOWN ON DRAWINGS.
2. ALL WORK SHALL BE DONE STRICT COMPLIANCE WITH:
A. California Building Code, Vols 1 & 2 (2010 CBC)
California Electrical Code (ECC) (2010 ECC)
California Plumbing Code (2010 CPC)
California Mechanical Code (2010 CMC)
California Fire Code (2010 CFC)
California Energy Code (2010 CEC)
California Green Building Code (2010 CGreen)
California Fire Code (2010 CFC)
California Reference Standards Code
B. ALL APPLICABLE STATE AMENDMENTS & COUNTY ORDINANCES.

SHEET INDEX

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FLOOR PLAN WITH SECTION	A1
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PROPOSED
 ARCHITECTURE
 1000 S. GARDEN ST.
 ANAHEIM, CA 92805
 (714) 771-1111
 WWW.PROPOSEDARCHITECTURE.COM

PROJECT: Dr. Lewis Residence
 ADDRESS: 2148 S.W. 10th St., Ft. Lauderdale, FL 33304
 PHONE: (954) 281-0200

DATE: 03/27/24
 SECTION: FLOOR PLAN

SCALE: 1/4" = 1'-0"
 SHEET: A1

DR. LEWIS RESIDENCE
 ADDITION

GENERAL NOTES:
 1. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL EXISTING WORK SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT.
 3. ALL EXISTING WORK SHALL BE DEMOLISHED AND REMOVED AS SHOWN ON THESE PLANS.
 4. ALL EXISTING WORK SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION OR BETTER.
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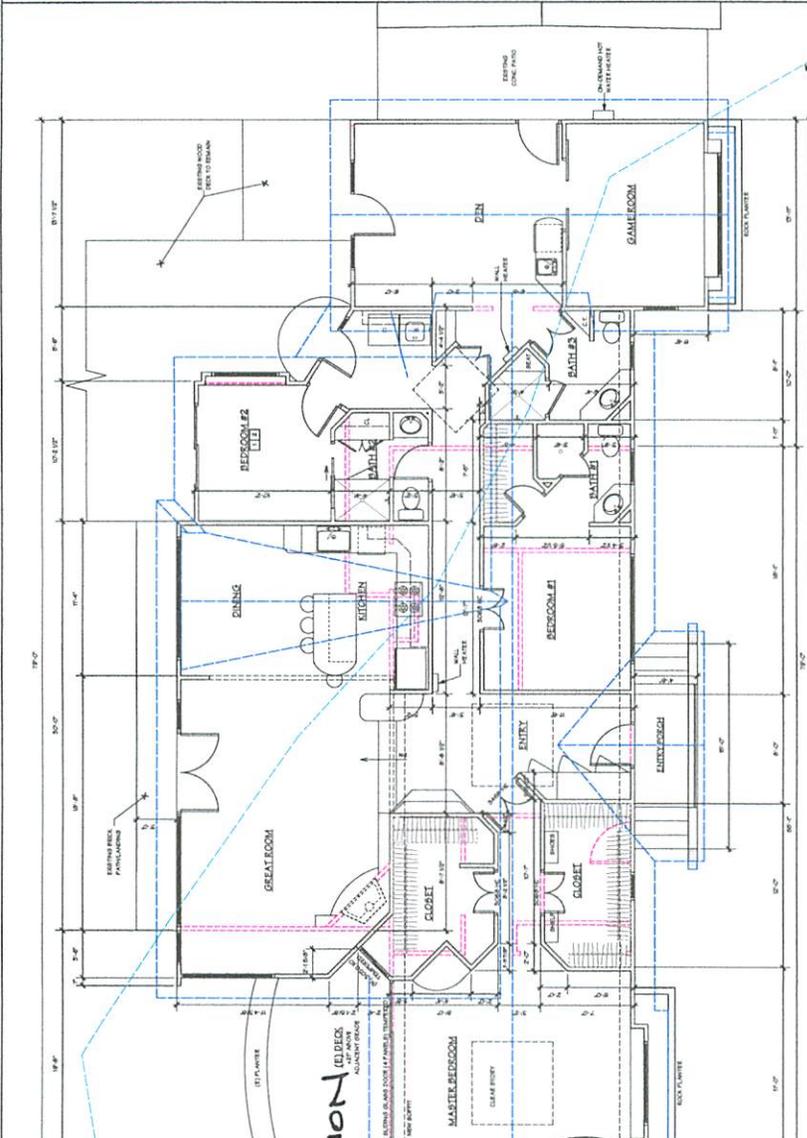
DETAILS AND FINISHES:
 1. ALL FINISHES SHALL BE AS SHOWN ON THESE PLANS.
 2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
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HEATING AND AIR CONDITIONING:
 1. ALL HEATING AND AIR CONDITIONING SHALL BE AS SHOWN ON THESE PLANS.
 2. ALL HEATING AND AIR CONDITIONING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
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UTILITY:
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ADDITIONAL NOTES:
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FINISHES LEGEND:
 1. FLOOR FINISH: AS SHOWN ON THESE PLANS.
 2. WALL FINISH: AS SHOWN ON THESE PLANS.
 3. CEILING FINISH: AS SHOWN ON THESE PLANS.
 4. EXTERIOR FINISH: AS SHOWN ON THESE PLANS.
 5. PAINT FINISH: AS SHOWN ON THESE PLANS.
 6. TILE FINISH: AS SHOWN ON THESE PLANS.
 7. STONE FINISH: AS SHOWN ON THESE PLANS.
 8. WOOD FINISH: AS SHOWN ON THESE PLANS.
 9. METAL FINISH: AS SHOWN ON THESE PLANS.
 10. GLASS FINISH: AS SHOWN ON THESE PLANS.



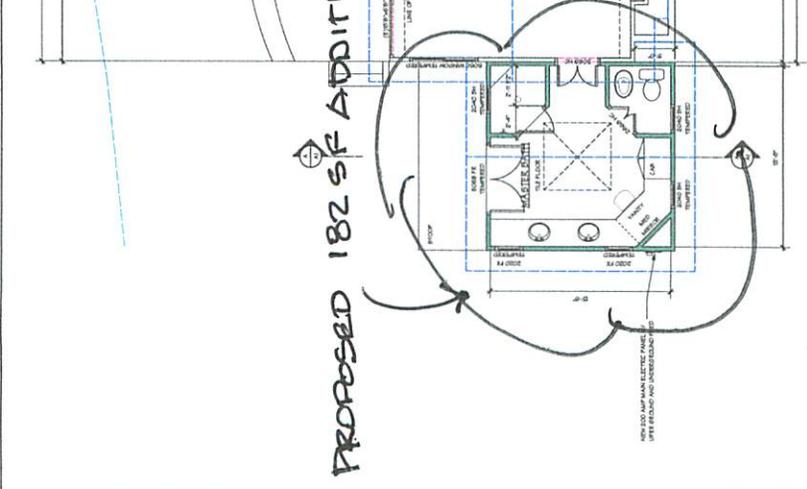
BLUFF SETBACK NOTE:
 NO NEW FOUNDATION WORK IS ALLOWED WITHIN THE BLUFF SETBACK. ALL NEW FOUNDATION WORK SHALL BE LOCATED OUTSIDE THE BLUFF SETBACK. ALL NEW FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.

WATER PENETRATION AND LEAKAGE SCHEDULE:

LOCATION	WATER PENETRATION AND LEAKAGE SCHEDULE
ROOF	AS SHOWN ON THESE PLANS
WALLS	AS SHOWN ON THESE PLANS
FLOORS	AS SHOWN ON THESE PLANS
CEILING	AS SHOWN ON THESE PLANS
DOORS	AS SHOWN ON THESE PLANS
WINDOWS	AS SHOWN ON THESE PLANS
CLIMATE CONTROL SYSTEMS	AS SHOWN ON THESE PLANS
MECHANICAL SYSTEMS	AS SHOWN ON THESE PLANS
ELECTRICAL SYSTEMS	AS SHOWN ON THESE PLANS
PLUMBING SYSTEMS	AS SHOWN ON THESE PLANS
TELECOMMUNICATIONS SYSTEMS	AS SHOWN ON THESE PLANS
OTHER SYSTEMS	AS SHOWN ON THESE PLANS



SECTION A-A



PROPOSED 182 SF ADDITION

MASTER BEDROOM:
 1. ALL MASTER BEDROOM WORK SHALL BE AS SHOWN ON THESE PLANS.
 2. ALL MASTER BEDROOM WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
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WINDYBUTT ARCHITECTURE & INTERIOR DESIGN, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 GARDEN GROVE, CA 92640
 PHONE: (714) 261-1111
 FAX: (714) 261-1112
 WWW.WINDYBUTT.COM

PROJECT:
 DR. LEWIS RESIDENCE
 ADDRESS:
 21488 BIL. PL.
 RIVERSIDE, CA 92504
 ARCH: 09-28-008

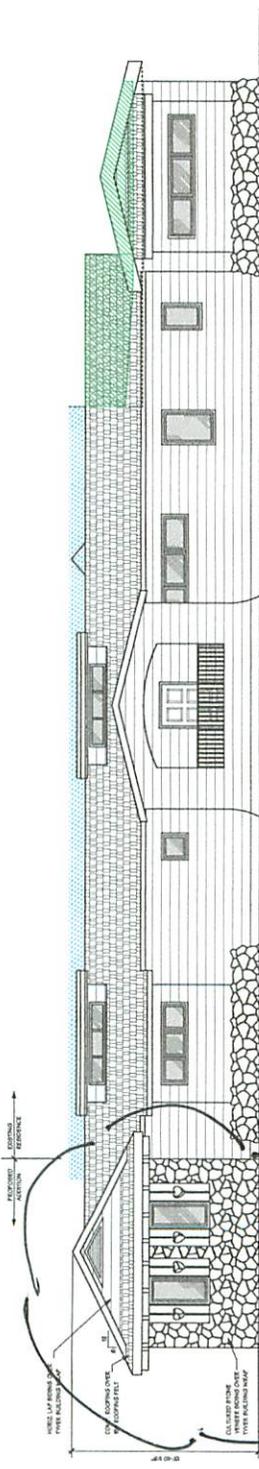
PKR:
 Dr. Marshall Lewis
 Phone: (951) 434-2372

PROJECT DNO:
 PROJECT DTE:
 21488 BIL. PL.
 RIVERSIDE, CALIF.
 92504
 9/15/2009
 1/1/2010

Dr. Lewis Residence
 Addition

DATE: 09/28/09
 REVISION:

REAR ELEVATION
 SCALE: 1/4" = 1'-0"
 SHEET: A2

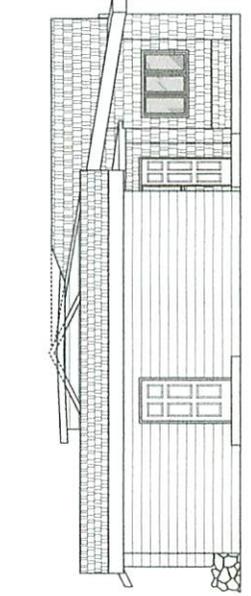


EXISTING RESIDENCE NOTE:
 THE EXISTING RESIDENCE IS SHOWN HERE BY A DOTTED LINE.
 THE NEW ADDITION IS SHOWN HERE BY A SOLID LINE.

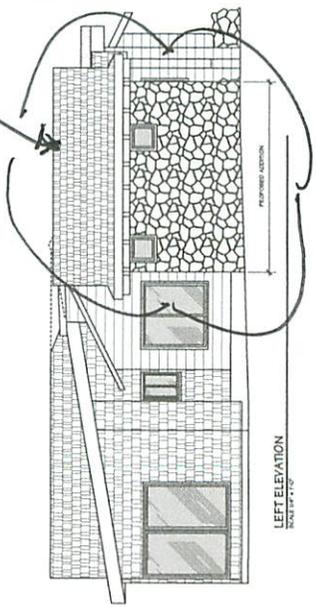
PROPOSED 182 SF ADDITION

FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

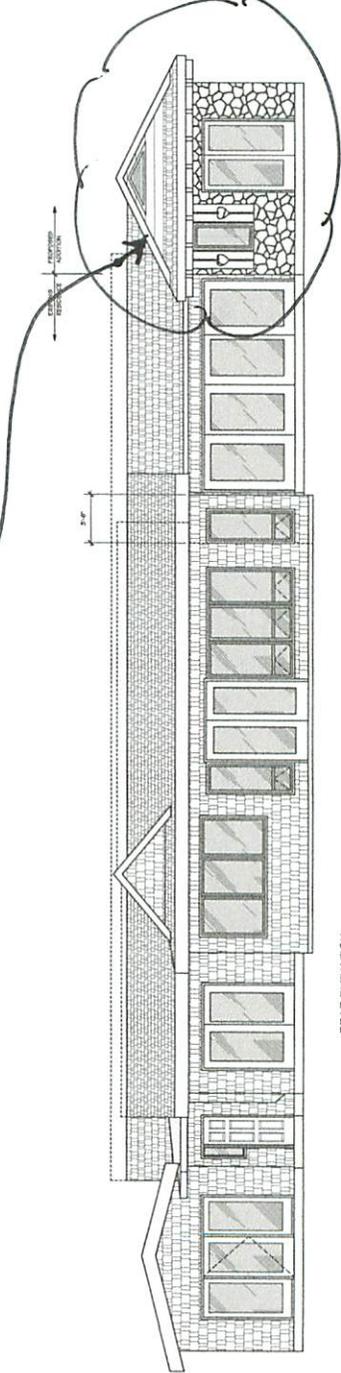
EXISTING RESIDENCE	987.53 SQ. FT.
PROPOSED ADDITION	182.50 SQ. FT.
TOTAL PROJECT AREA	1169.93 SQ. FT.
EXISTING PORCH	42.50 SQ. FT.
PROPOSED PORCH	208.50 SQ. FT.



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

SPECIAL INSPECTION SCHEDULES

STATEMENT OF SPECIAL INSPECTIONS

Project: Lewis Project - Master Bathroom
 Location: 709 Lueme Road, Corona, CA

- This Statement of Special Inspections is submitted in fulfillment of the requirements of CBC Sections 1704 and 1705.
- Schedule of Special Inspections and tests applicable to the project:
 Special Inspections per Sections 1704 and 1705
- Special Inspections and Testing will be performed in accordance with the approved plans and specifications, this statement and CBC Sections 1704, 1705, 1706, 1707, and 1708.
- The Schedule of Special Inspections summarizes the Special Inspections and tests required. Special Inspectors will refer to the approved plans and specifications for detailed special inspection requirements. Any additional tests and inspections required by the approved plans and specifications will also be performed.
- Inspection reports will be submitted to the Building Official and the Registered Design Professional in Conformance with the requirements of CBC Section 1704.1.2
- A Final Report of Special Inspections documenting required special inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy (Section 1704.1.3). The Final Report will document:
 Required special inspections.
 Correction of discrepancies noted in inspections.
- The Owner recognizes his or her obligation to ensure that the construction complies with the approved permit documents and to implement this program of special inspections. In partial fulfillment of these obligations, the Owner will retain and direct the fee for the Special Inspections as required in CBC Section 1704.1.
- 1709 Contractor Responsibility: Each contractor responsible for the construction of a mark wall or seismic force-resisting system, designated seismic system or a wall or seismic-resisting component listed in the statement of special inspections shall submit a written statement of responsibility to the building official and the owner prior to the commencement of work on the system or component.

Prepared by:
 Nicholas M. Lewis, P.E. (17030)
 Registered Design Professional in Responsible Charge

SCHEDULE OF INSPECTION, TESTING AGENCIES, AND INSPECTORS

The following are the testing agencies and special inspectors that will be retained to conduct the majority of the tests and inspections on this project. Some of the inspections will be done by the Project Architect, Structural Engineer, Mechanical Engineer or Electrical Engineer and will be done as such in the Notes column below.

Responsibility	Form, Address, Telephone, e-mail
1. Special Inspection - Structural Wood Seismic Resistance	MSP Professional Engineering, Inc. 1035 E. Camino Real, Suite 101 Redwood City, CA 94062 (650) 961-2762
2. Geotechnical Inspections	Geotechnical Consultants, Inc. P.O. Box 2220 Redwood City, CA 94067 (650) 461-0263

SEISMIC REQUIREMENTS (Section 1707)

Description of seismic force-resisting system and designated seismic systems subject to special inspections as per Section 1707. Light-weight wood frame shear walls.

The extent of the seismic force-resisting system is defined in more detail in the construction documents.

SCHEDULE OF SPECIAL INSPECTIONS

Notation Used in Table

- Columns headers
- C Indicates continuous inspection is required.
- F Indicates periodic inspections are required. The notes and/or contract documents should clarify.
- Box entries:
 - X is placed in the appropriate column to denote either "C" continuous or "F" periodic inspections.
 - Denotes an activity that is either a one-time activity or one whose frequency is defined in some other manner.

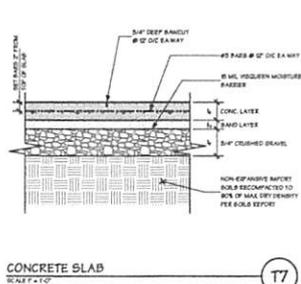
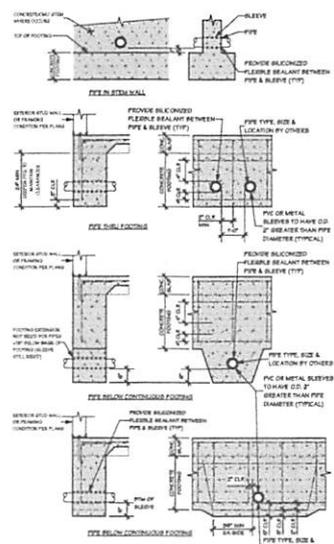
Additional detail regarding inspections and tests may be shown on the structure drawings.

Verification and Inspection	C	F	Notes
Table 1705.4 - Inspection of Joists			
1. Verify members below footings are adequate to achieve the design load capacity.	X		
2. Verify inspections are extended to proper depth and have required access.	X		
3. Perform inspection and testing of connected fit materials.	X		
4. Verify wood proper materials, dimensions and fit throughout during placement and correction of (continued).	X		
5. Prior to placement of concrete fill , observe outside and verify that the fill has been installed properly.	X		

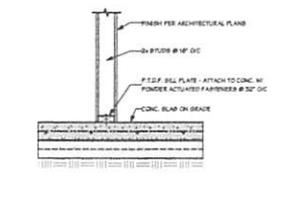
1707 Special Inspections for Seismic Resistance	C	F	Notes
1. Inspect field girding operations of members of the seismic force-resisting system.	X		
2. Inspect welding, bolting, anchoring, and other fastening of components within the seismic force-resisting system, including: <ul style="list-style-type: none"> a. wood shear walls (nailing @ 4" o.c. or closer) b. wood diaphragms, c. drag struts, bracing, d. shear panels (nailing @ 4" o.c. or closer) e. hold-downs (nailing @ 4" o.c. or closer) 	X	Special inspections within this section to be performed by the structural engineer of record.	

TYPICAL CONSTRUCTION DETAILS

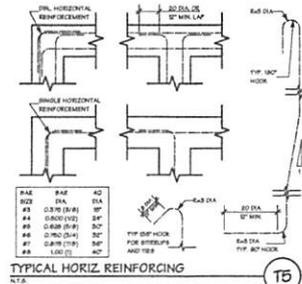
THE FOLLOWING TYPICAL DETAILS REPRESENT THE MINIMUM CONSTRUCTION REQUIREMENTS UNDER THE PROJECT PLANS OR SPECIFIC DETAILS WHERE DIFFERENTIAL CONSTRUCTION IS REQUIREMENTS FOR REVIEWING THESE DETAILS AND PROVIDING APPROPRIATE COMMENTS TO THE PROJECT.



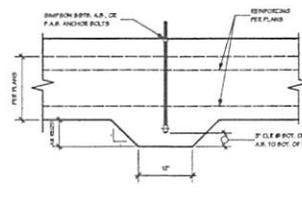
T7
 CONCRETE SLAB
 SCALE: F = 1/4\"/>



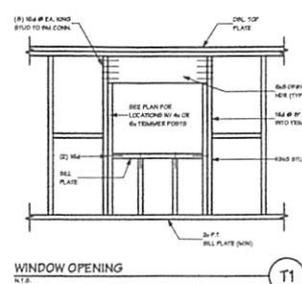
T8
 NON-BEARING INTERIOR WALL CONN.
 SCALE: F = 1/4\"/>



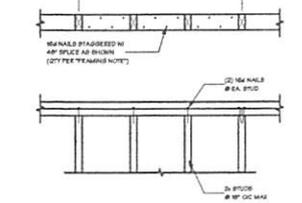
T5
 TYPICAL HORIZ. REINFORCING
 SCALE: F = 1/4\"/>



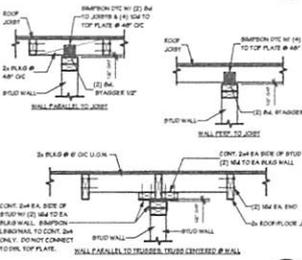
T6
 FOOTING AT HOLDDOWN
 SCALE: F = 1/4\"/>



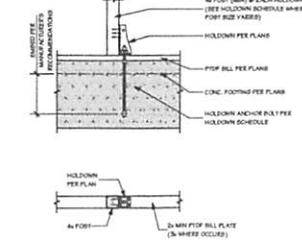
T1
 WINDOW OPENING
 SCALE: F = 1/4\"/>



T2
 TOP PLATE SPLICE
 SCALE: F = 1/4\"/>



T3
 TRUSS TO INTERIOR WALL
 SCALE: F = 1/4\"/>



T4
 TYPICAL HOLDDOWN CONNECTION
 SCALE: F = 1/4\"/>

PROJECT SPECIFIC DESIGN PARAMETERS

PROJECT STRUCTURAL DESIGN PARAMETERS:	
CONCRETE COMPRESSION STRENGTH	2500 psi
Footings and Grade Beams	2500 psi
Concrete Slabs on Grade	2500 psi
LINE LOADS (S) 1603.1 (CBC)	
Roof Live Load	18 PSF
BUILDING RISK CATEGORY (S) 1604.5 (CBC)	
Risk Category	B
WIND DESIGN DATA (S) 1603.1.4 (CBC)	
Ultimate Design Wind Speed, V_u	133 MPH
Normal Design Wind Speed, V_n	80 MPH
Wind Exposure	C
Wind Design Method	Alternative All-heights Method (S) 1603.8 (CBC 2021)
SEISMIC DESIGN DATA (S) 1613.5.2 (CBC)	
Seismic Importance Factor, I_e	1.0
Site Class	D
Seismic Design Category, S_d	D
Short Period Spectral Response Acceleration, S_s	0.18
1-Second Period Spectral Response Acceleration, S_1	0.124
Short Period Design Spectral Acceleration, S_{ps}	0.303
1-Second Period Design Spectral Acceleration, S_{p1}	0.166
Basic Seismic Force Resisting System Type	Bearing Wall System
Design Base Shear	11.246k
Seismic Response Coefficients, C	0.13
Response Modification Factor, R	6.5
Analysis Procedure Used	ASCE 7-10 12.8 Equipment Lateral Force Procedure

PROJECT SPECIFIC CONSTRUCTION CONDITIONS AND DESIGN PARAMETERS:	
PROJECT SOIL DESIGN PARAMETERS:	
SOILS REPORT BY:	Alan Coast Geotechnical, Inc.
REPORT DATED:	July 30, 2009
REPORT NUMBER:	11212
1) Prior to placing reinforcing steel or setting concrete forms, the soils engineer of record shall verify to the Building Official, in writing, that all site grading and foundation earthwork has been prepared in accordance with the recommendations within the soils report.	
2) A copy of the project soils report shall be on-site during all grading and foundation inspections.	
3) SOILS EXPANSION INDEX BELOW FOUNDATIONS AND FOOTINGS: highly expansive clayey soils.	
SOILS EXPANSION INDEX BELOW SLABS-ON-GRADE: 24" section of non-expansive recompressed import soils.	
SOILS DESIGN PARAMETERS:	
Allowable Bearing Pressure (15-ft)	3500 psf
Passive Resistance Pressure	300 psf
Lateral Earth Pressure (Active)	53 psf
Lateral Earth Pressure (At-Rest)	78 psf
Coeff. Of Friction	0.35
FOUNDATIONS AND FOOTINGS BEARING CONDITIONS:	
Twelve (12) inch embedment into firm uniform competent native bearing soils encountered at depths of at least thirty (30) inches below nearest adjacent grade. Total bearing depths are assumed to be approximately four feet to forty eight (42 - 48) inches below nearest adjacent grade.	
PRE-SATURATION REQUIREMENTS:	
Pre-saturation is not required for footings extending to or below (12) inches or greater below adjacent grade and for soils encountered under non-expansive import as referenced herein.	



Professional Engineering, Inc.
 1035 E. Camino Real, Suite 101
 Redwood City, CA 94062
 (650) 961-2762
 www.msp-engineering.com

PROJECT:
 Dr. Lewis Residence Addition
 709 Lueme Road
 Corona, CA
 APN 054-281-028

FOR:
 Dr. Marshall Lewis
 Phone: (951) 434-2372

STAMP

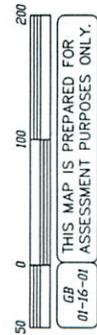
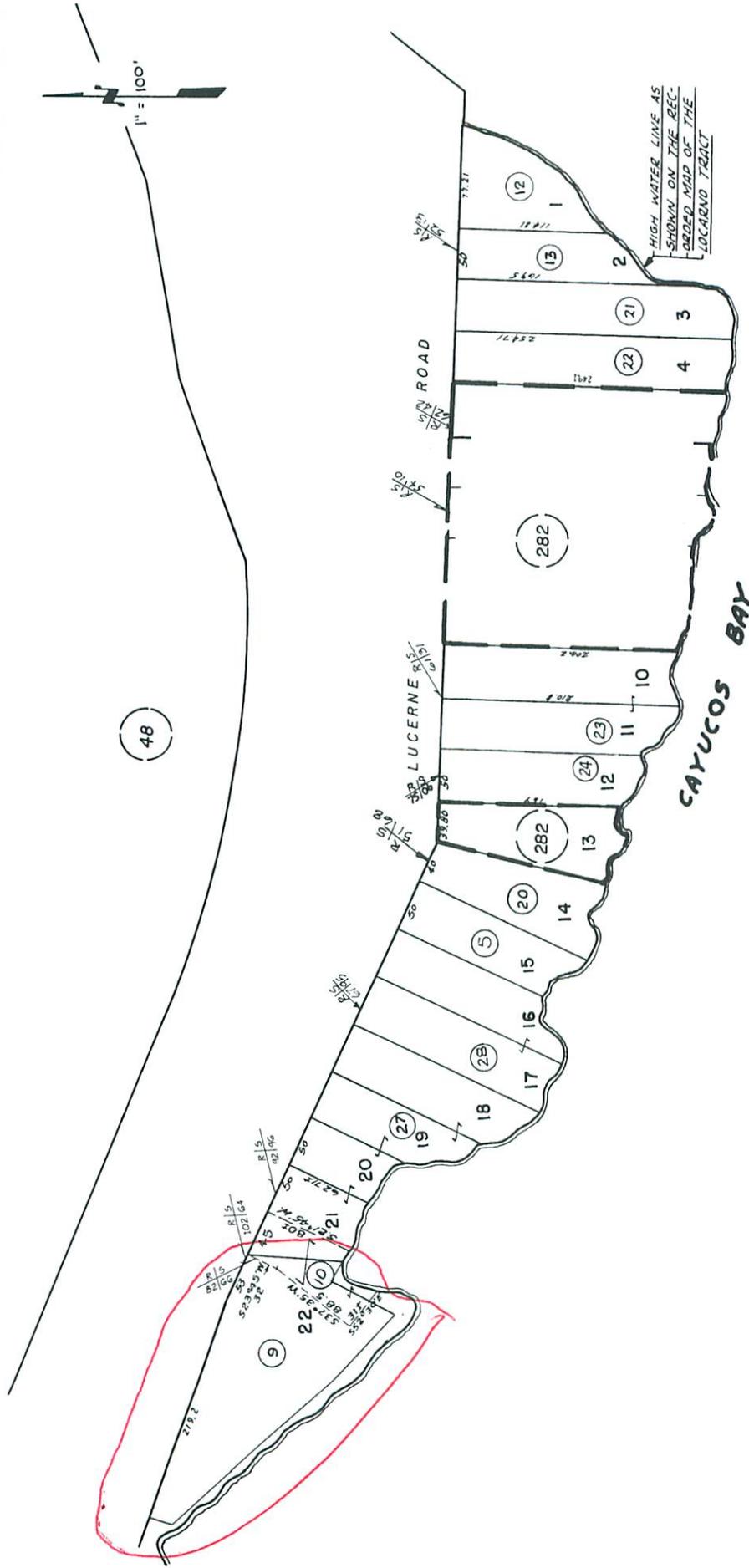
Dr. Lewis Residence Addition

DATE: 02/13/2014
 REVISION:

PROJECT SPECIFIC SPECIFICATIONS & TYPICAL STRUCTURAL DETAILS

S-0.1

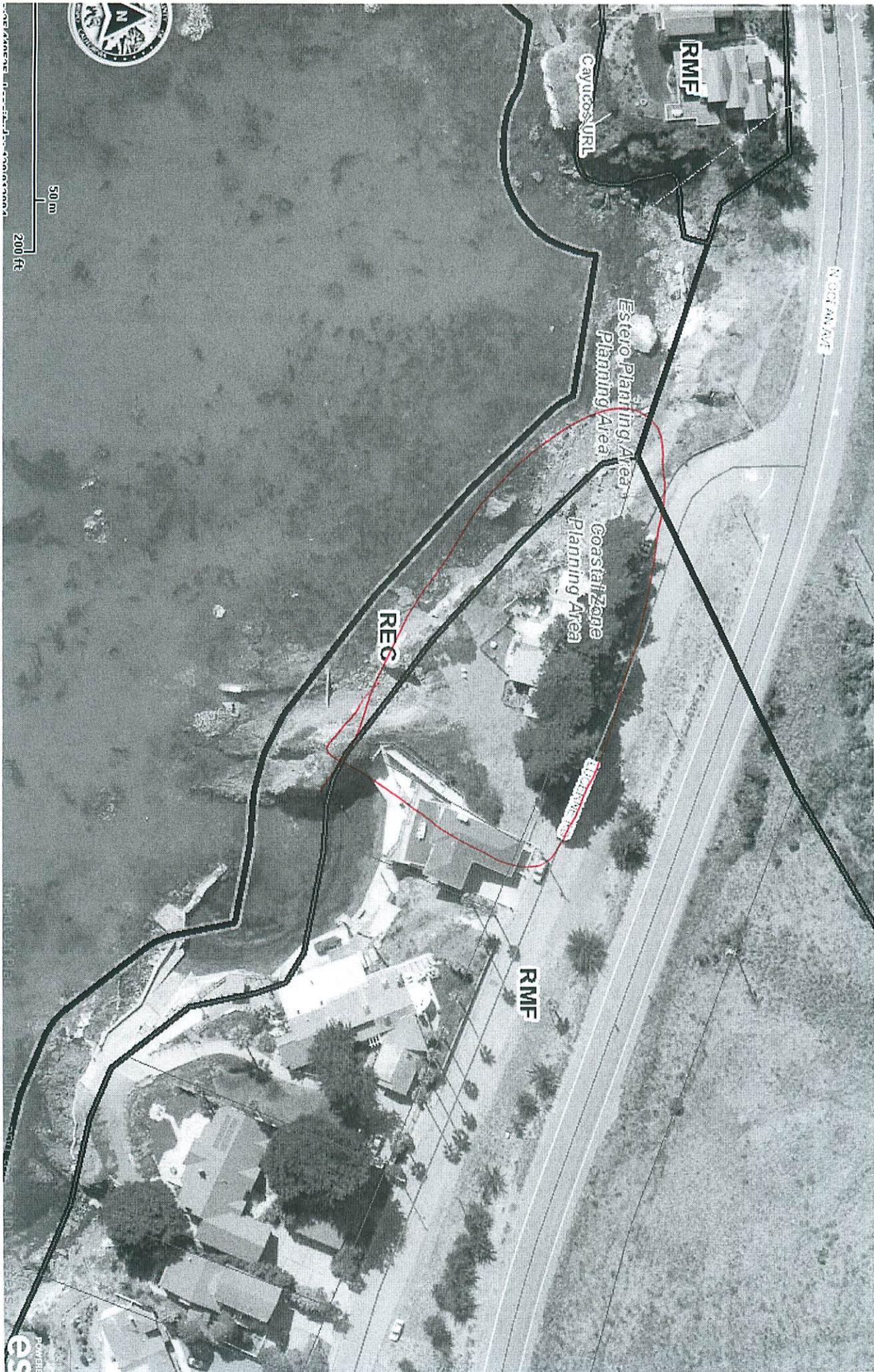
064-281



REVISIONS	
TECH	DATE
GB	01-16-01
ER	05-09-02

LOCARNO TRACT
SAN LUIS OBISPO COUNTY
CALIFORNIA

NOTE—ASSESSOR'S BLOCK & LOT
NUMBERS SHOW IN CIRCLES



DATE/TIME: 11-22-2011 10:00:00 AM

50m

200 ft



RMEF

Cayucos URL

NORTH AVENUE

Estero Planning Area

Coastal Zone Planning Area

REC

BOLSA CHICA

RMEF

es



Parcel Summary Report For Parcel # 064-281-009

3/26/2014
8:53:03AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN LEWIS MARSHALL S
2619 F ST BAKERSFIELD CA 93301-1815
OWN LEWIS MARSHALL S LIVING TRUST

Address Information

Status Address
00709 LUCERNE RD CAYU

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064281	009	0001	Cayucos	Estero	GS	CAZ		N		
LOCARNO	0000	22P	Cayucos	Estero	RMF	LCP	AS	Y		

Parcel Information

Status Description
Active LOCARNO TR PTN LT 22

Notes

(NOTE FROM MJ 8/16/2013) WE HAVE A UNIQUE SITUATION ON THE LEWIS SITE IN CAYUCOS (064-281-009) SUCH THAT...IF ANY APP OR REP COMES IN WITH ANYTHING RELATED TO THE LEWIS PROJECT IN CAYUCOS, NOTHING CAN BE ISSUED BEFORE CHECKING WITH KERRY BROWN OR MATT. IF APPLICANT COMPLAINS ABOUT A DELAY JUST SAY "KERRY OR MATT NEED TO REVIEW THESE PLANS BEFORE WE CAN MOVE FORWARD".(MJ 8/16/2013)

APPEARS TO BE LEGAL PARCEL PER BUILDING PERMIT #20833; HOWEVER RECOMMEND CERTIFICATE OF COMPLIANCE BE OBTAINED FOR CONFIRMATION. JSM

SEE COD2010-00354 FOR NOTES ON THE RETAINING WALL (064-281-010)
COAST (SB1537)

CAYUCOS
SAN LUIS OBISPO JT(27,40)



Parcel Summary Report For Parcel # 064-281-009

3/26/2014
8:53:03AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

CAYUCOS-MORRO
CAYUCOS COUNTY
NO. 02
CAYUCOS
AREA NO. 10
AREA NO. 21

Case Information

Case Number: **Case Status:**

COD2009-00633 CLD Primary Parcel

Description:

UNSECURED RESIDENCE

COD2010-00425 CLD Primary Parcel

Description:

UNPERMITTED CONSTRUCTION

COD2012-00477 REC Primary Parcel

Description:

HARD STRUCTURE PLANTERS INSTALLED ON BLUFF FACE

DRC2009-00020 HRG Primary Parcel

Description:

VARIANCE TO CONSTRUCT SINGLE FAMILY RESIDENCE-WITH BLUFF AND FRONT YARD SETBACK REDUCTION

DRC2009-00027 ACC Primary Parcel

Description:

MUP FOR NEW RESIDENCE.

DRC2013-00083 REC Primary Parcel

Description:

MUP TO ADD 182 SQ FT MASTER BATH AND TURN EXISTING MASTER BATH INTO CLOSET.

P960190Z APP Primary Parcel

Description:

HANDYMAN SERVICE

PMT2010-01190 FNL Primary Parcel

Description:

AS BUILT - REBUILD LEGAL NON CONFORMING SHED AND HISTORIC WATER TOWER STRUCTURAL REPAIR --- RTB - (DRC 2009-00027

PMT2013-00527 ISS Primary Parcel

Description:



Parcel Summary Report For Parcel # 064-281-009

3/26/2014
8:53:03AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

REMODEL (2,176 SQ FT) - LEVEL EXISTING FLOORS, REMOVE ALL DRYWALL, REPLACE PLUMBING & GAS & ELECTRICAL, RE-ROOF, REDUCE ROOF RIDGE, INSULATE EXTERIOR WALLS, REPLACE ALL WINDOWS, ADD ENTRY PORCH, FIRE SPRINKLERS. (PMT2013-01736-FIRESPRINKLERS) - ON 2/6/14 ADDED 42 SF OF CONDITIONED SPACE.

PMT2013-01736 ISS Primary Parcel

Description:

FIRE SPRINKLERS FOR SINGLE FAMILY REMODEL (PMT2013-00527) NFPA 13D 2010 EDITION/ PIPING CPVC/ SPRINKLERS RELIABLE RFC49 CONCEALED RA0616 & VKING SIDEWALL VK480/ 1" WATER METER

PRE2005-00174 REC Primary Parcel

Description:

1 ACRE

PRE2009-00008 REC Primary Parcel

Description:

WITH UNDERGROUND GARAGE

PRE2012-00066 REC Primary Parcel

Description:

FREE_APP- PW AND ART T PLEASE

CLIENT PROJECT INFO: OUR INTERESTS ARE TO REMODEL THE RESIDENCE WITHIN THE EXISTING FOOTPRINT AND POSSIBLY ADD UP TO 10% OF SQUARE FOOTAGE OR LESS. MY UNDERSTANDING OF THE COASTAL ZONE STANDARDS IS THAT IF WE STAY WITHIN THE EXISTING FOOTPRINT AND NOT ADD MORE THAN 10% OF THE SQUARE FOOTAGE WE WOULD NOT BE TRIGGERING A CONDITIONAL USE PERMIT. CAN YOU CONFIRM THAT? OUR CLIENT, DR. LEWIS, IS NOT AGREEING WITH THE COASTAL COMMISSIONS CONDITIONS TO BUILD A NEW RESIDENCE AND DOES NOT WANT TO GO FORWARD WITH A COMPLETELY NEW RESIDENCE. HE WANTS TO KNOW HOW TO CANCEL ALL OF THE PROGRESS MADE TOWARD A NEW RESIDENCE AND TAKE IT BACK TO KEEPING IT TO A SIMPLE SMALL REMODEL BY KEEPING THE SITE AS IS. WE WOULD BE UPGRADING THE EXISTING BATHROOMS, KITCHEN, PLUMBING, ELECTRICAL, ROOFING MATERIAL AND POSSIBLY FOUNDATION DEPENDING UPON THE ULTIMATE DESIGN, DRY ROT AND TERMITE DAMAGE TO THE EXISTING BUILDING. THE INTEREST IS TO UPDATE THE PROPERTY AND MAKE IT MORE SAFE, FUNTIONAL AND COMFORTABLE. SOME OF THE INFORMATION WHICH HAS BEEN GENERATED THROUGHOUT THE YEARS CAN STILL BE UTILIZED AS INFORMATION FOR THIS REMODEL.

ZON2008-00009 APV Primary Parcel

Description:

VACATION RENTAL - LICENSE # 0717413

ZON2009-00248 APV Primary Parcel

Description:

VACATION RENTAL -NAME CHANGE ONLY

ZON2013-00102 REC Primary Parcel

Description:

REQUEST TO REMOVE THREE (3) MONTEREY CYPRESS TREES LOCATED ATTHE NORTH END OF THE GROUP OF TREES; TREES HAVE SIGNIFICANT EROSION AND ARE HAZARDOUS.



Parcel Summary Report For Parcel # 064-281-009

3/26/2014
8:53:03AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

G860004T

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Related Parcel

Description:

LU REDUCE BUILDING HEIGHTS