



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 4/28/2014

TO: _____

FROM: Morgan Torell (805-781-5113 or mtorell@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2013-00089 KITTS – Proposed minor use permit to add a 598 sf garage with a 598 sf bedroom/bath above, plus 210 sf of new deck. Site location is 1340 Bay View Heights Dr., Los Osos. APN: 074-325-036

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Chris and Kyra Kitts Daytime Phone 305-1735
 Mailing Address 1340 Bay View Heights Dr L.O. CA Zip Code 93402
 Email Address: CKitts@calpoly.edu

Applicant Name SAME ↑ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Clayton Shong Daytime Phone 704-7986
 Mailing Address 1478 8th St, Los Osos CA Zip Code 93402
 Email Address: shongandsons@yahoo.com

PROPERTY INFORMATION

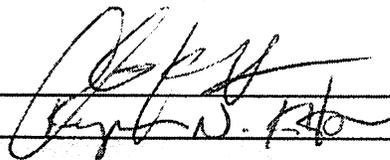
Total Size of Site: 1.21 acres / 52858 sq. ft. Assessor Parcel Number(s): 074-325-036
 Legal Description: Parcel 1 of 60-73-16 in lot II of block A of Bay View Heights Tract
 Address of the project (if known): 1340 Bay View Heights Dr.
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: LOVR West to left (South) on Bay View Heights Dr follow Bay View Heights to Quail Lane - project @ corner of Quail + Bay View Heights
 Describe current uses, existing structures, and other improvements and vegetation on the property: Existing SFR

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Add 598 sq. foot bedroom/bath addition over 598 sq. ft. garage addition and add 210 sq. ft of new deck

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 4/14/14
4/14/14

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: EXISTING DRIVEWAY TO REMAIN AND CONTINUE TO SERVICE THE RESIDENCE

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: SFR South: SFR
East: SFR West: SFR

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2900 sq. feet 6 % Landscaping: _____ sq. feet _____ % EXISTING
Paving: 1800 sq. feet 3 % EXISTING Other (specify) _____

Total area of all paving and structures: 4703 sq. feet acres

Total area of grading or removal of ground cover: 4550 sq. feet acres

Number of parking spaces proposed: 2 EXISTING Height of tallest structure: EXISTING NO CHANGE ± 24.5'

Number of trees to be removed: 0 Type: _____

Setbacks: Front 68'- Right 200'- Left 25 Back 90'-

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: GOLDEN STATE WATER
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL FIRE - SOUTH BAY FIRE STATION 15

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 2980

Total of area of the lot(s) minus building footprint and parking spaces: 52858 minus 4703 = 48155

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
 Level to gently rolling, 0-10% slopes: 1.21 acres
 Moderate slopes of 10-30%: _____ acres
 Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
 If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
 If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
 If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
 If yes, please explain: Single family residence built in 1970's
- Has a grading plan been prepared? Yes No
 If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No - individual septic
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
 If yes, please list: (E) SFL @ corner of Quail Ln, Bay View Heights Dr & La Mirada Ln

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? NO CHANGE FROM EXISTING
- 4. How many service connections will be required? EXISTING SINGLE SERVICE TO REMAIN
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: EXISTING SFR TO REMAIN
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? N/A feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
- 2. What is the amount of proposed flow? _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission Disposal
- 3. Where is the waste disposal storage in relation to buildings? Existing garbage cans
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: SLO Coastal Unified
- 2. Location of nearest police station: 2099 10th St. - Sheriff Coast Station
- 3. Location of nearest fire station: 2315 Bay View Heights Dr. - Cal Fire
- 4. Location of nearest public transit stop: corner 10th + L.O.V.R
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? < 1 mile feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Property has been used for a single family residence since 1970's
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____

2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____

4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county’s Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

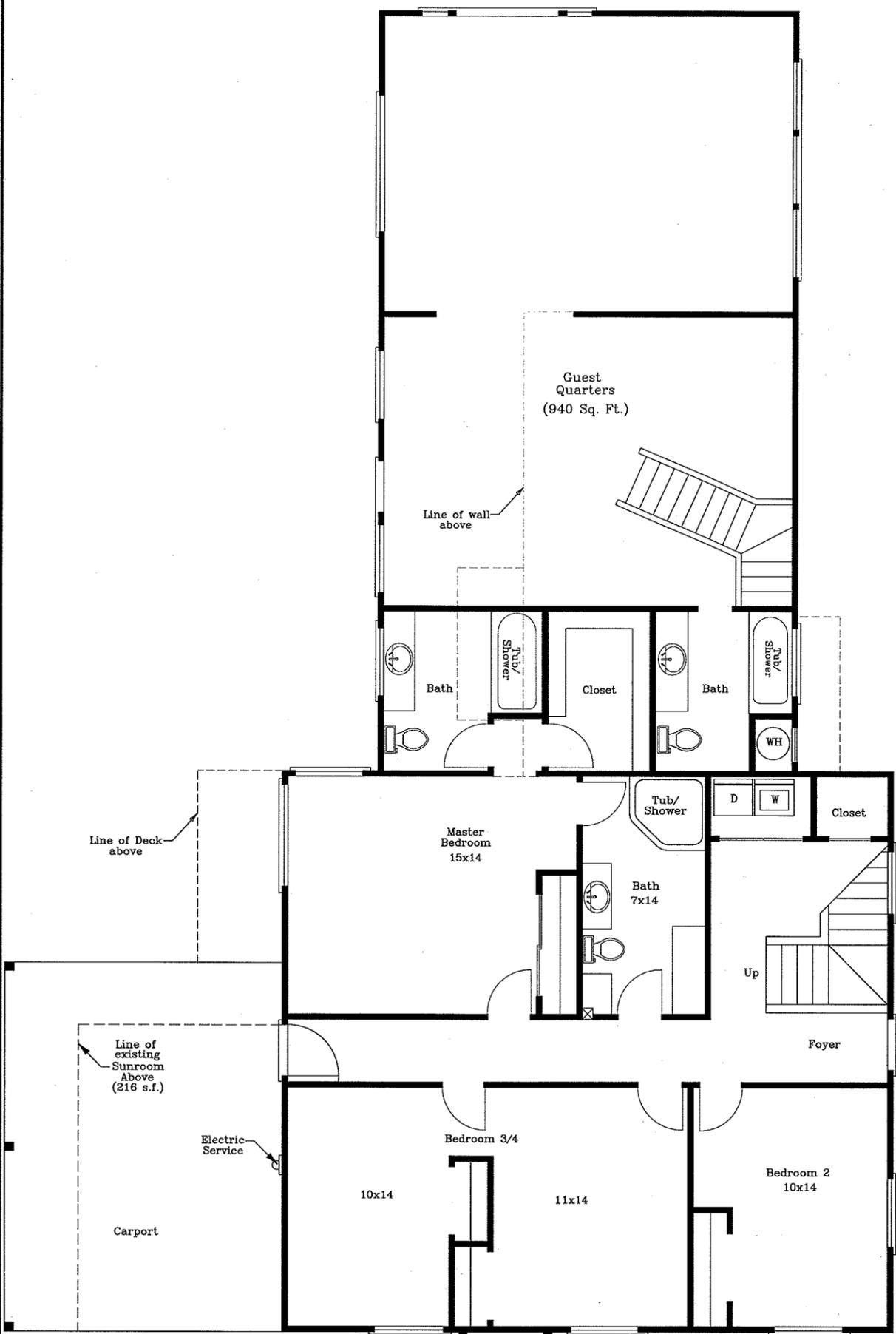
Yes No

If yes, please describe and provide "ED" number(s): _____

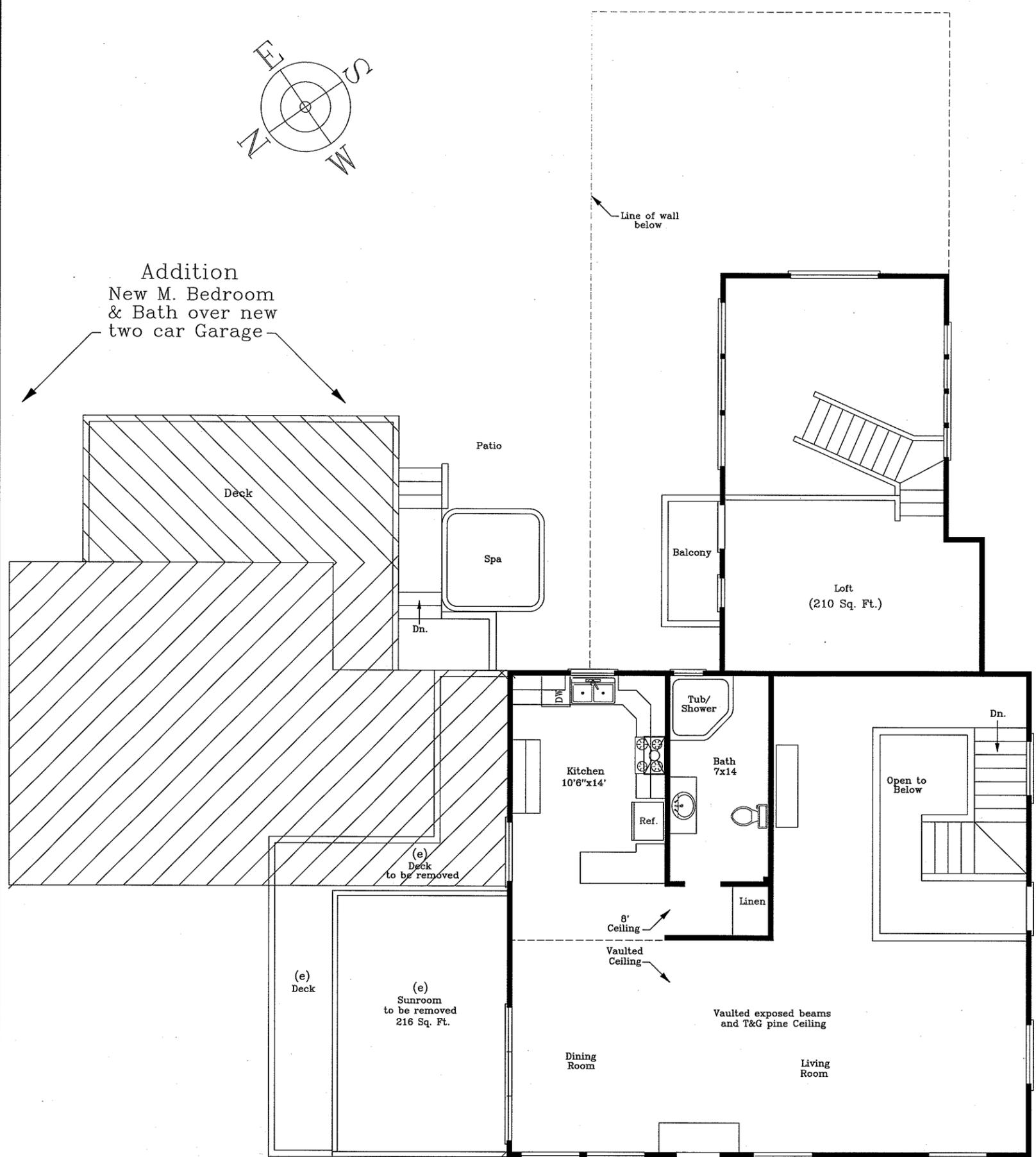
Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): SLO County Building Permit

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



Existing First Floor 1344 Sq. Ft.



Existing Second Floor 1038 Sq. Ft.

Total 2382 Sq. Ft.

Revisions

Dana Belmonte
Residential Design
1406 Morro Rd.
Atascadero, Ca 93422
(805) 461-8317
danabelmonte@gmail.com

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Chris & Kyra Kitts
1340 Bayview Heights Dr.
Los Osos, CA

Existing Floor Plan

Drawn: Dana Belmonte
Date: Feb. 25, 2014
Scale: 1/4" = 1'0"
Job Number: 1402
Sheet:

A-2

The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication hereof is restricted to such use. Reproduction or publication by any method, in whole or in part, is prohibited. DO NOT SCALE THESE DRAWINGS. See architect's plan for further description. The General Contractor shall verify and be responsible for all dimensions and existing conditions on the job, and shall be responsible for resolving any discrepancies prior to commencing the work.

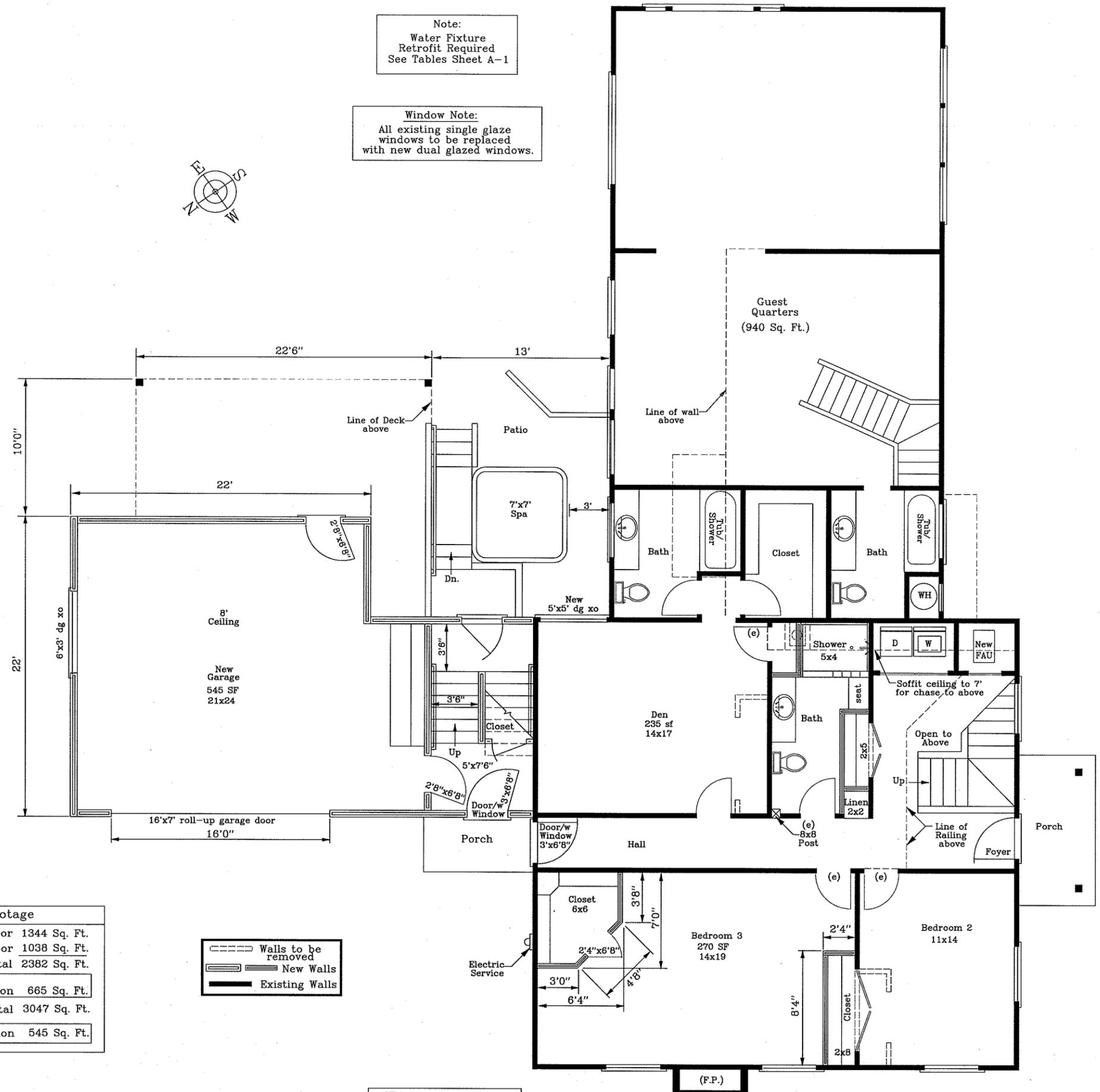
Chris & Kyra Kitts
1340 Bayview Heights Dr.
Los Osos, CA

New Floor Plan

Drawn: Dana Belmonte
Date: Feb. 25, 2014
Scale: 1/4" = 1'-0"
Job Number: 1402
Sheet:

Note:
Water Fixture
Retrofit Required
See Tables Sheet A-1

Window Note:
All existing single glaze
windows to be replaced
with new dual glazed windows.

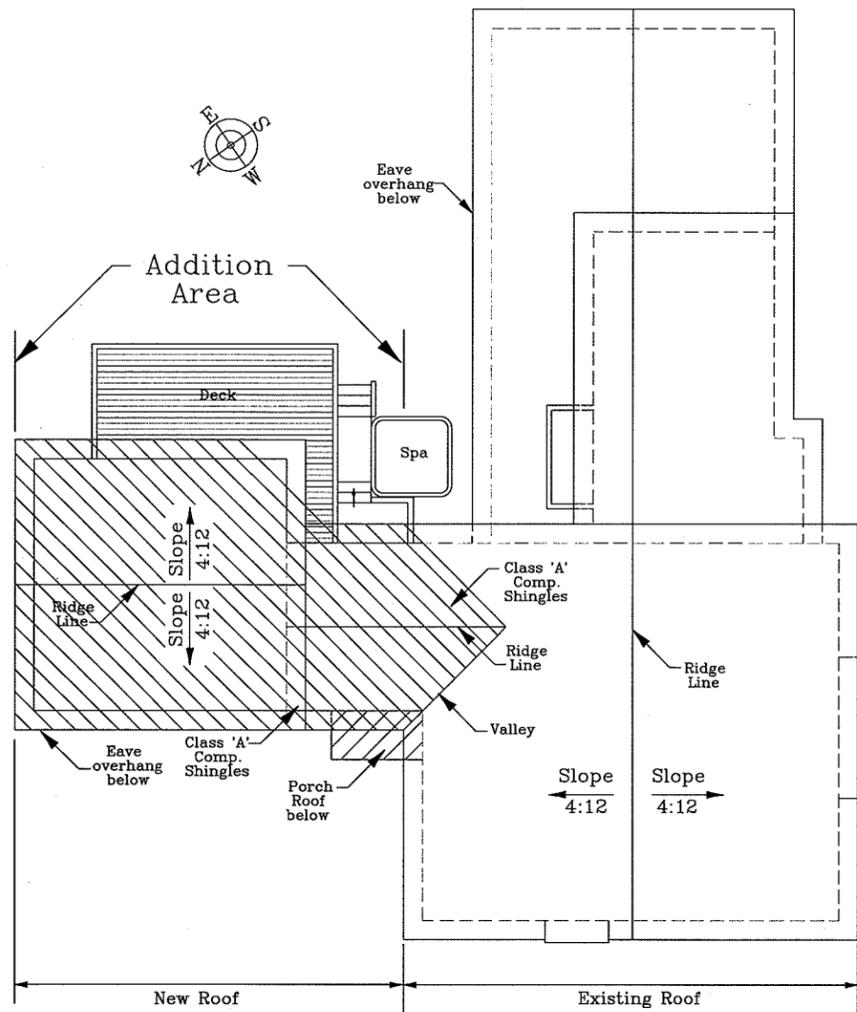


Square Footage	
(e) First Floor	1344 Sq. Ft.
(e) Second Floor	1038 Sq. Ft.
(e) - House Total	2382 Sq. Ft.
Bedroom/Bath and Stairwell Addition	665 Sq. Ft.
New - House Total	3047 Sq. Ft.
Garage Addition	545 Sq. Ft.

--- Walls to be removed
== New Walls
— Existing Walls

First Floor

(F.P.)



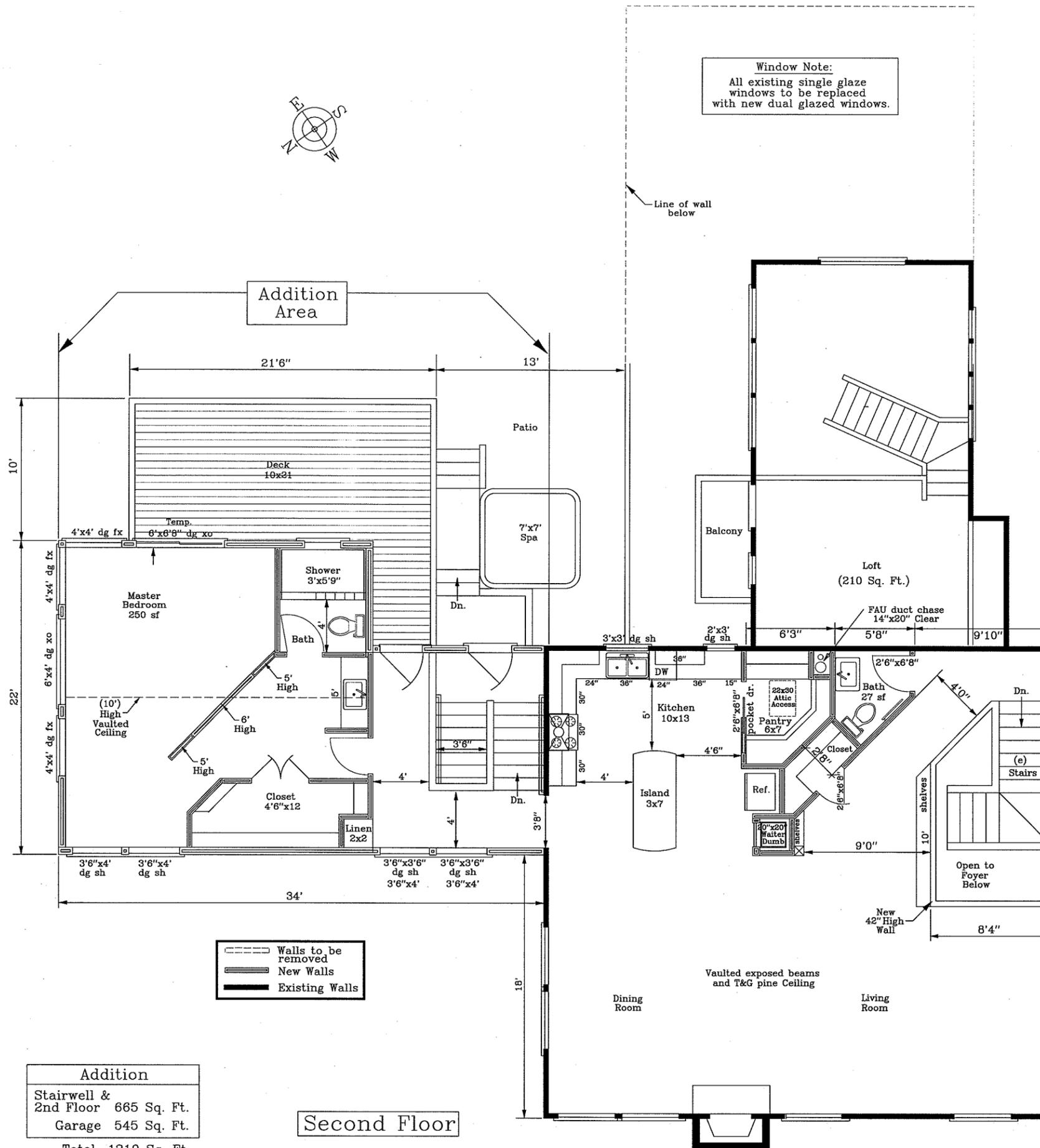
New Roof Plan

Manufactured Wood Trusses:

- Shall be fabricated in the shop of an ICBO approved fabricator in accordance with the UBC
- Truss calculations and details shall be submitted to and approved by Building Dept. prior to installation or with re-check.
- Trusses shall bear on exterior wall only, unless otherwise noted.
- Interior walls:
 - Shall be non-bearing (U.O.N.)
 - Interior or non-bearing walls shall be isolated from trusses with Simpson roof truss clips (STC/STCT/DTC) or equal.
- Blocking shall be provided at all bearing points and as per manufacturer's recommendations.
- Securing to bearing walls: Unless otherwise noted trusses shall be secured at all bearing points with Simpson seismic anchors (H1's).
- All truss calculations, details and installation instructions shall be on site with approved plans prior to roof nailing or any framing, shearwall or structural hardware inspections.

Roof Notes:

- Roofing materials and installation shall be in accordance with UBC Section 1501.2
- Flash crickets and valleys in accordance with UBC Section 150B
- Flash and counterflash junctions of roofs and vertical surfaces in accordance with UBC Section 1509
- Roofing Materials:
 - Underlayment: 30# Felt
 - Roofing: Class "A" Comp. Shingles
- Flash all plumbing, mechanical and electrical roof penetrations.
- Skylights shall be rated for a class "A" roof & conform to UBC Chapters 24&25. Manufacturer: ICBO Number:
- Provide attic cross ventilation as follows:
 - Net free ventilating area: 1/150 of attic area, or
 - 1/300 of attic area where at least 50 percent of required ventilating area is provided by ventilators located in the upper portion of attic at least three feet above eaves and the remaining ventilating area is provided by eave vents.
- Ventilating Calculation:
 - Attic area: 598 square feet.
 - Ventilating area required: 598 square feet at (x) 1/150, () 1/300 equal 4 square feet of vent.
 - Type of vent to use: Eave & gable end vents
- Protect attic vents against entrance of rain and snow.
- Cover attic vents with corrosion-resistant wire mesh with mesh openings of 1/4 inch.
- Provide fireplace chimneys with a substantially constructed spark arrester with mesh not exceeding 1/2 inch.
- Leave 1/8" gap at all plywood panel edges



Addition
 Stairwell & Garage 545 Sq. Ft.
 Total 1210 Sq. Ft.

Second Floor

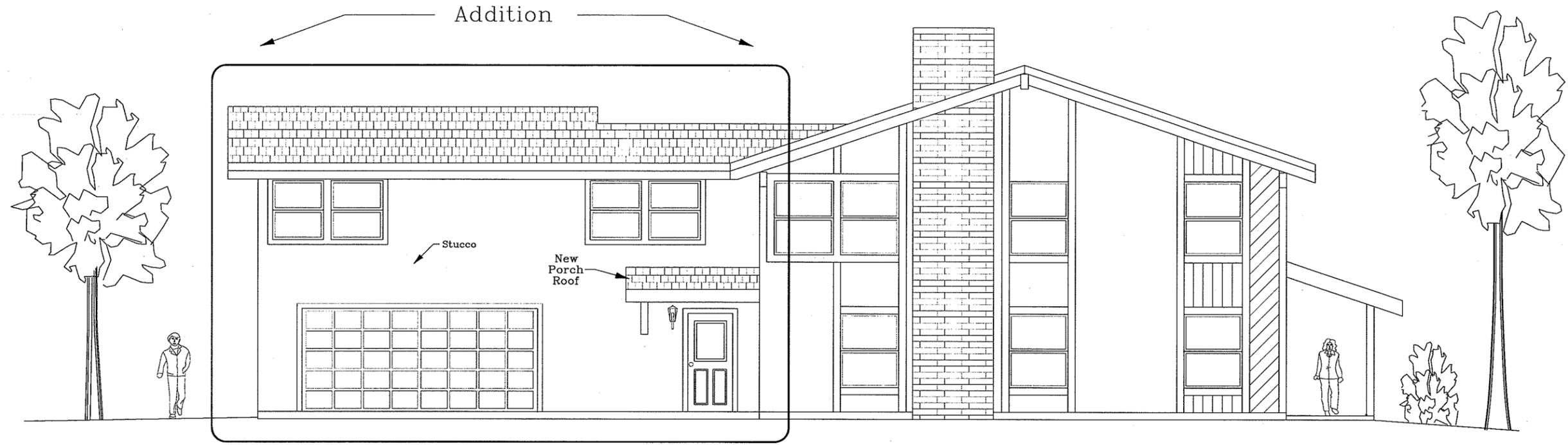
Dana Belmonte
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 dana@belmonte.com

The use of these plans and specifications shall be restricted to the original site for which they were prepared and no portion of these plans or specifications shall be used on any other project without the written consent of the author. The author shall not be responsible for any errors or omissions in these plans or specifications. The client shall be responsible for all dimensions and existing conditions to be shown, and shall report any discrepancies to the designer in writing prior to construction.

Chris & Kyra Kitts
 1340 Bayview Heights Dr.
 Los Osos, CA

New Floor Plan
 Drawn: Dana Belmonte
 Date: Feb. 25, 2014
 Scale: 1/4" = 1'0"
 Job Number: 1402
 Sheet:

Rain Gutter Note:
 Rain gutters subject to
 CBC Chapter 7A to be
 provided with the means
 to prevent accumulation
 of leaves and debris in
 the gutter. [CBC 704A.1.5]



West Elevation
 (Quail Lane)



South Elevation
 (Bayview Heights Dr.)

Revisions

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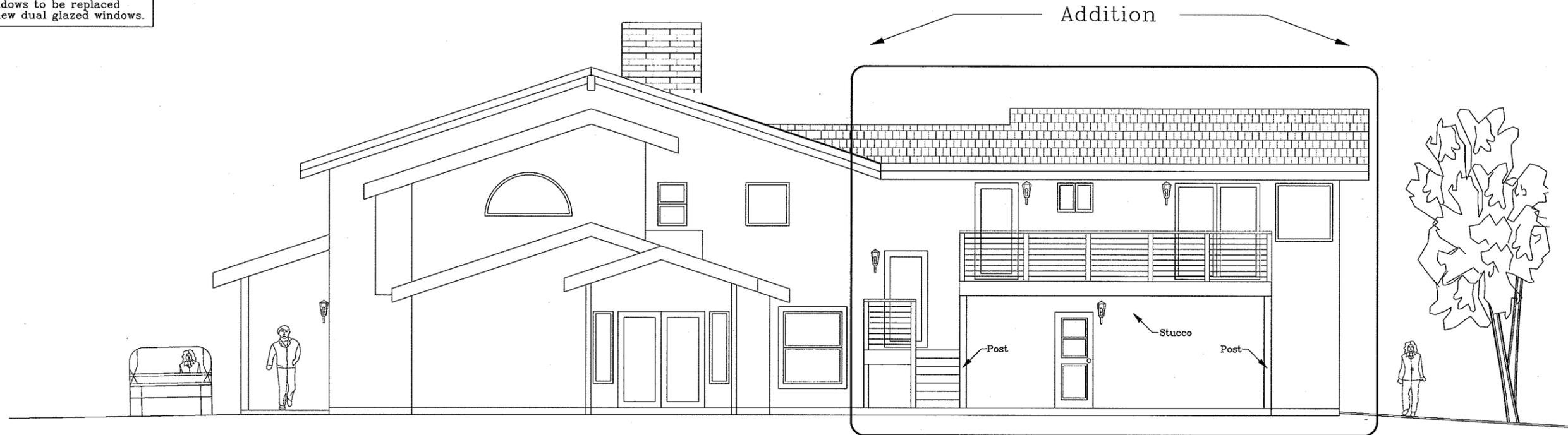
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South
 &
 West
 Elevations

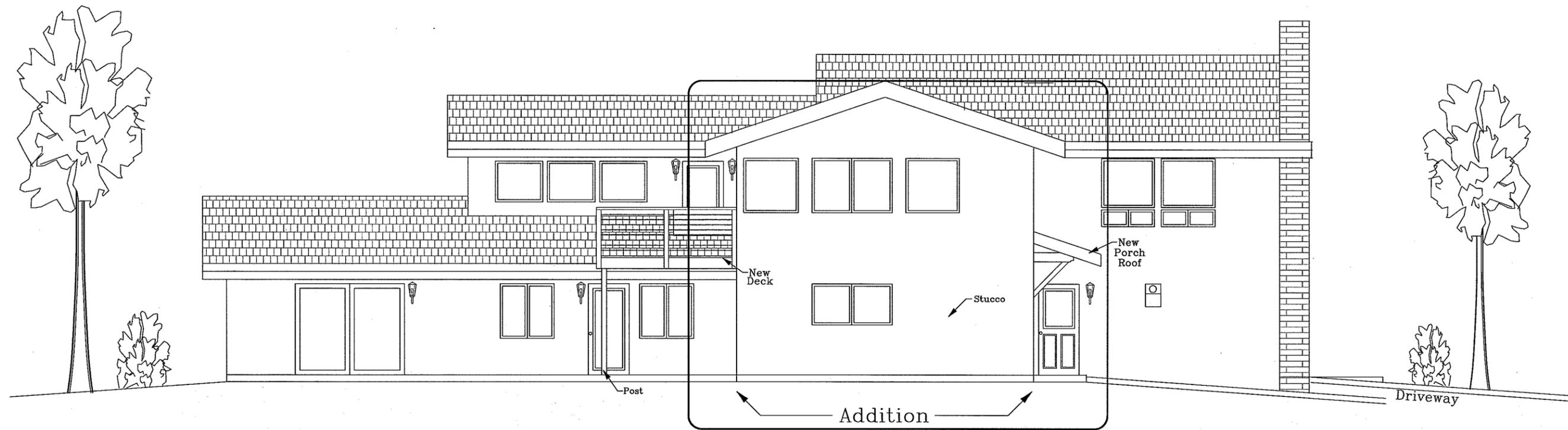
Drawn: *Dana Belmonte*
 Date: Feb. 25, 2014
 Scale: 1/4" = 1'0"
 Job Number: 1402
 Sheet:

A-5

Window Note:
 All existing single glaze windows to be replaced with new dual glazed windows.



East Elevation



North Elevation

Revisions

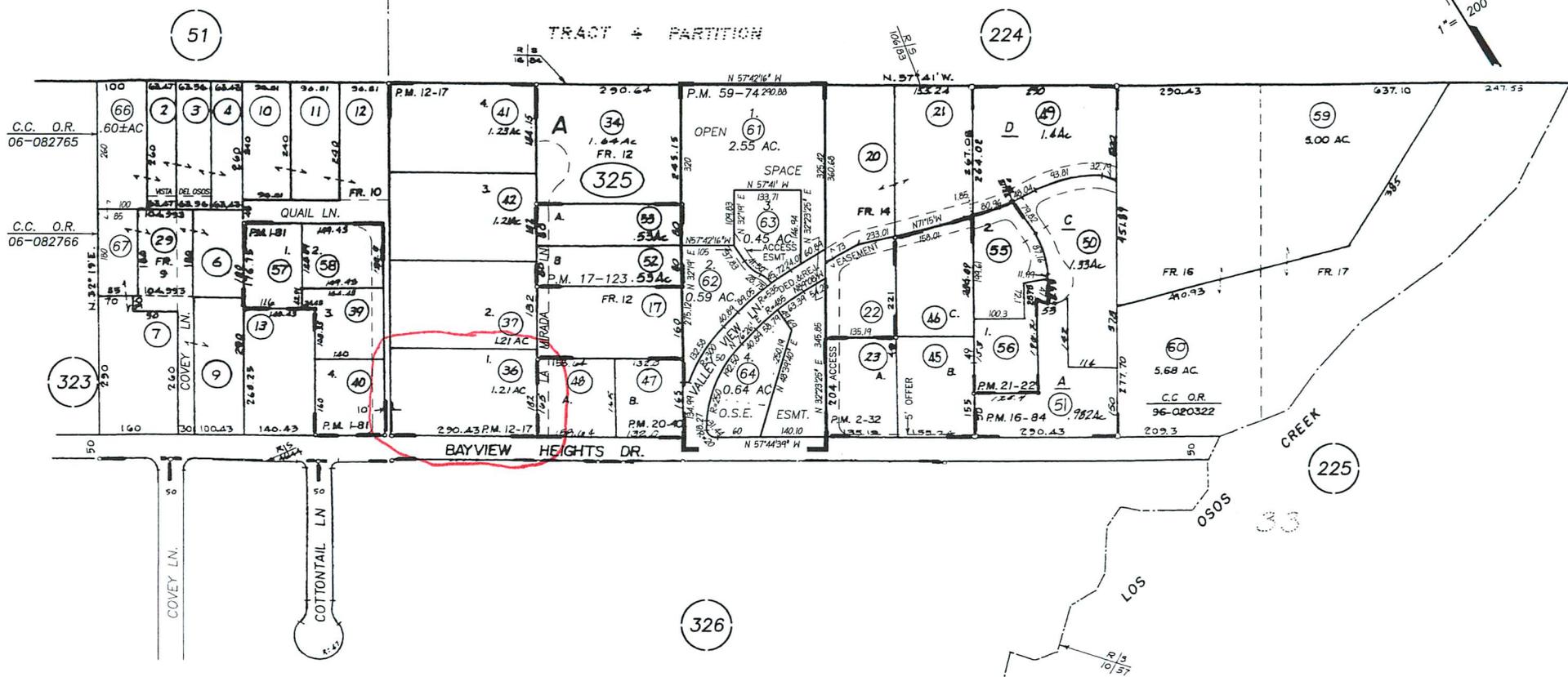
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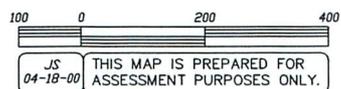
Chris & Kyra Kitts
 1340 Bayview Heights Dr.
 Los Osos, CA

North & East Elevations

Drawn: Dana Belmonte
 Date: Feb. 25, 2014
 Scale: 1/4" = 1'0"
 Job Number: 1402
 Sheet:



REVISIONS	
I.S.	DATE
NA	01-30-04
04-323	02-04-04
NA	04-29-09
14-143	01-08-14





BAYVIEW HEIGHTS DR

DUNBAR LN

LAFAYETTE LN

RSF

Los Osos URL

Western Planning Area
Planning Area

Coastal Zone
Planning Area

COTTON TAIL LN

GRANITE DRIVEWAY

VALLEYVIEW LN

RS



50 m

200 ft

POWERED BY
esi



Parcel Summary Report For Parcel # 074-325-036

4/17/2014
2:44:16PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN KITTS CHRISTOPHER L
 1340 BAYVIEW HTS DR LOS OSOS CA 93402-

OWN KITTS CHRISTOPHER L & KYRA N LIVING

OWN KITTS KYRA N

Address Information

<u>Status</u>	<u>Address</u>
P	01340 BAYVIEW HEIGHTS DR LSOS

Lot Information:

<u>Tract / Twنشp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
074325	036	0001	Los Osos	Estero	CAZ			N		
CO73-	016	0001	Los Osos	Estero	RSF	LCP	AS	Y		

Parcel Information

<u>Status</u>	<u>Description</u>
Active	BAYVW HTS PM 12/17 PAR 1

Notes

COASTAL FEELS NO SNAIL REPORT RQD ON AN ADDITION DUE TO PREVIOUS DISTURBANCE. 1/8/14 SWC/XZANDRIA. BASED ON PREVIOUS DISCUSSIONS WITH THE COASTAL TEAM NO SNAIL REPORT IS REQUIRED. WE SHOULD BE ABLE TO DO THIS MINOR USE PERMIT AS A CATEGORICAL EXEMPTION. THE FEE WOULD BE \$2909.00.

SAN LUIS COASTAL
 SAN LUIS OBISPO JT(27,40)
 NO. 02
 LOS OSOS, ZONE B
 AREA NO. 21



Parcel Summary Report For Parcel # 074-325-036

4/17/2014
2:44:17PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS

Case Information

Case Number:

Case Status:

87680 FNL Primary Parcel

Description:

CONSTRUCT ADD TO DECK AND SUNROOM

92601 FNL Primary Parcel

Description:

GAS HOOK-UP TO FIREPLACE

C4638 FNL Primary Parcel

Description:

CONVERT GARAGE TO DWELLING & ADD 2ND STORY LOFT ADD NEW BATHROOM

C8552 FNL Primary Parcel

Description:

PHOTOVOLTAIC SYSTEM FOR SFD

D000380P CMP Primary Parcel

Description:

ADD/ALT

DRC2013-00089 REC Primary Parcel

Description:

MUP TO ADD 598 SQ FT BEDROOM/BATH ADDITION OVER 598 SQ FT GARAGE ADDITION AND ADD 210 SQ FT OF NEW DECK.

PMT2002-25335 REC Primary Parcel

Description:

RE-ROOF W/ SHEATHING