



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 5/2/2014

TO: _____

FROM: Megan Martin (805-781-4163 or mamartin@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2013-00090 GREGORY – Proposed minor use permit to add a studio/shop addition of 488 sf to an existing 1,597 sf single family residence. Site location is 269 Butte Dr, Los Osos. APN: 074-461-019

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

MINOR USE PERMIT

MUP FOR AN ADDITION OF 488 SQ FT
STUDIO/SHOP TO EXISTING 1,597 SQ FT
EST/LSOS

AS COJ LCP RMF

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Plot Plan Zoning Clearance
- Site Plan Minor Use Permit Variance Other
- Conditional Use Permit/Development Plan Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver Modification to approved land use permit

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name JIM and SANDY GREGORY Daytime Phone (559) 393-0792
 Mailing Address 804 F Street, Reedley, CA. Zip Code 93654
 Email Address: sandygregory@hotmail.com

Applicant Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Jeffrey B. Lentz, Architect Daytime Phone (805) 927-4877
 Mailing Address 610 Warren Road, Cambria CA Zip Code 93428
 Email Address: archilentz@gmail.com

PROPERTY INFORMATION

Total Size of Site: 6,534 sf Assessor Parcel Number(s): APN 074-461-019

Legal Description: PM 28/56 PAR A

Address of the project (if known): 269 Butte Drive, Baywood-Los Osos, CA. 93402

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Butte Drive cul-de-sac past Sea Pines Golf Resort on Solano Street, from Skyline drive, Pecho Road, off Los Osos Valley Road.

Describe current uses, existing structures, and other improvements and vegetation on the property:
1,197 sf Home plus 400 sf Attached Garage with Ornamental Landscape

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 488 sf Studio/Shop Addition to Existing 1,597 sf Single Family Residence

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature *Jim Gregory Sandy Gregory* Date 3-25-14

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): None

Describe existing and future access to the proposed project site: Existing Driveway off Butte Drive to remain unchanged

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Multi-Family Residential South: Sea Pines Golf Resort
East: Multi-Family Residential West: Multi-Family Residential

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2,045 sq. feet 31.3 % Landscaping: 2,553 sq. feet 39.1 %

Paving: 1,936 sq. feet 29.6 % Other (specify) _____

Total area of all paving and structures: 3,981 sq. feet acres

Total area of grading or removal of ground cover: 1,126 sq. feet acres

Number of parking spaces proposed: 2 Existing Height of tallest structure: 15'-0"

Number of trees to be removed: None Type: _____

Setbacks: Front 25'-0" Corner Right 5'-0" Side Left 10'-0" Corner Back 10'-0"

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Los Osos C.S.D.

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other Pending Los Osos Sewer Connection

Community System - List the agency or company responsible for sewage disposal: Los Osos C.S.D.

Do you have a valid will-serve letter? Yes No (If yes, please submit copy) (pending)

Fire Agency: List the agency responsible for fire protection: Cal Fire Station 15

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 1,197 sf

Total of area of the lot(s) minus building footprint and parking spaces: 4,937 sf

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:

| | | |
|---|------------|------------|
| 6,534 sf | 0.15 acres | total Site |
| Level to gently rolling, 0-10% slopes: 4,356 sf | 0.10 acres | |
| Moderate slopes of 10-30%: 2,142 sf | 0.04 acres | |
| Steep slopes over 30%: 436 sf | 0.01 acres | |
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Existing Grading for House
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Butte Drive, Skyline Drive, Pecho Road (distant)

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? S.F.R.
4. How many service connections will be required? 1 Existing (single laundry sink to be added)
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: Existing S.F.R.
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 30' Location of connection: Butte Drive
2. What is the amount of proposed flow? S.F.R. _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission Country Disposal, L.O.C.S.D.
- 3. Where is the waste disposal storage in relation to buildings? Rear of Garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: San Luis Coastal Unified School District
- 2. Location of nearest police station: Morro Bay Police Dept. 850 Morro Bay Blvd.
- 3. Location of nearest fire station: Cal Fire Station 15, 2315 Bay View Heights Dr.
- 4. Location of nearest public transit stop: Los Osos Valley Road at Pine Street
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? 1.6 Miles feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Existing Single Family Residence
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



JEFFREY LENTZ
 ARCHITECT C-9114
 610 WARREN ROAD
 CAMBRIA, CA. 95428
 PH (805) 927-4877

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING ANY WORK, & REPORT ANY DISCREPANCIES OR CHANGES TO THE ARCHITECT AT ALL STAGES OF THE PROJECT, BEFORE PROCEEDING WITH CONSTRUCTION.

PROJECT DATA

| | |
|------------------------|----------|
| LOT SIZE: | 6,934 sf |
| EXISTING AREAS: | |
| HOME | 1,197 sf |
| GARAGE | 400 sf |
| HOUSE G.S.A. | 1,597 sf |
| FOOTPRINT: | 1,597 sf |
| PROPOSED AREAS: | |
| STUDIO/SHOP | 448 sf |
| TOTAL G.S.A. | 2,045 sf |
| ROOF DECK | 440 sf |
| FOOTPRINT: | 2,045 sf |

BUILDING HEIGHT

| | |
|-----------------|-------|
| LOW POINT | 5040' |
| Avg. Nat. Grade | 5072' |
| HIGH POINT | 5103' |
| PEAK ELEVATION | 5222' |
| BUILDING HEIGHT | 15'0" |

PROJECT DESCRIPTION

POTTERY STUDIO/SHOP with ROOF DECK

SITE

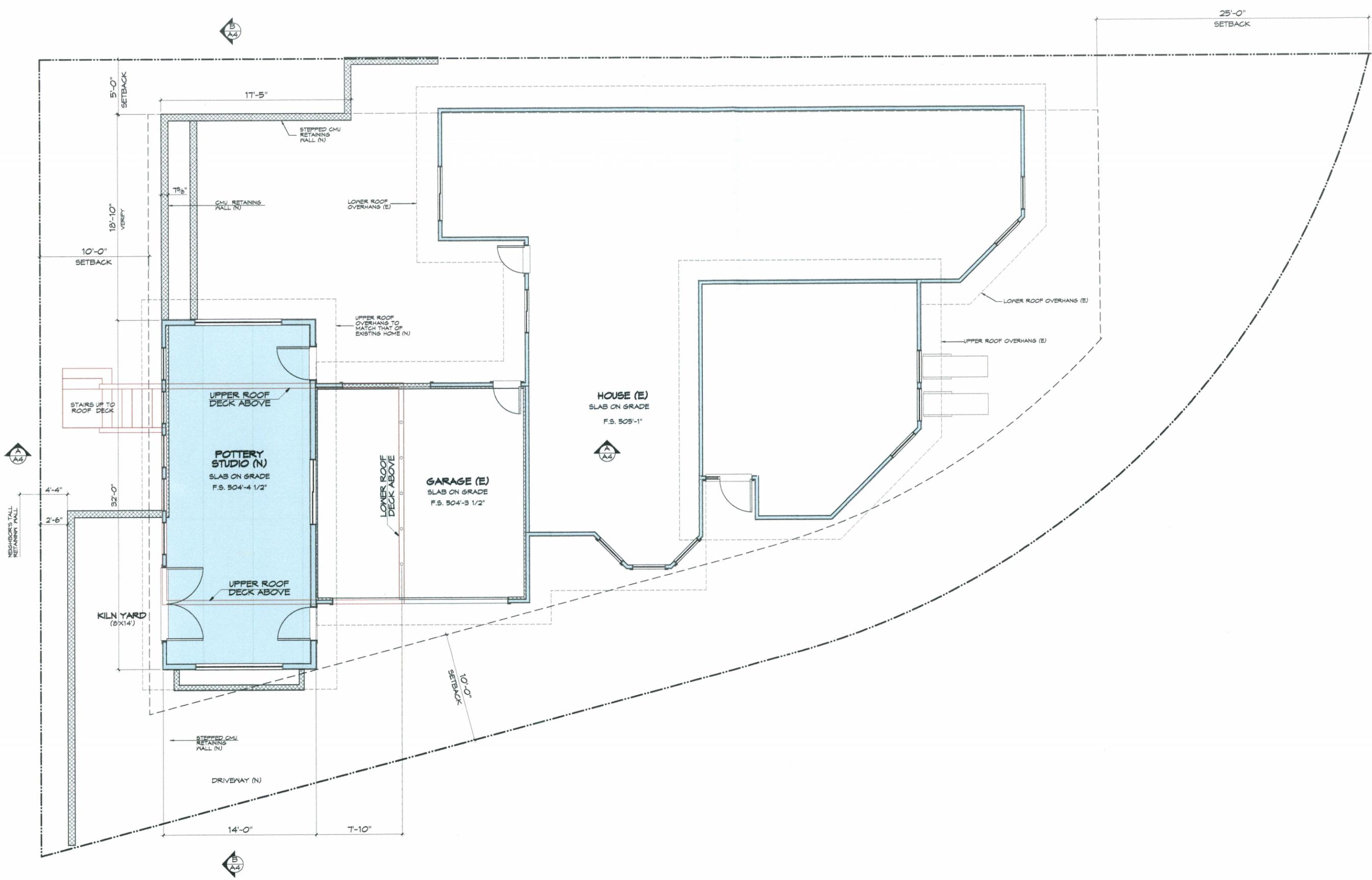
264 Butte Drive
 BRISBARD LOT 0808
 CA. 95432
 APN: 074-461-019
 PMT 2015-

SANDY and JIM GREGORY

804 F STREET
 REEDLEY, CA. 93654
 CELL (559) 934-0742

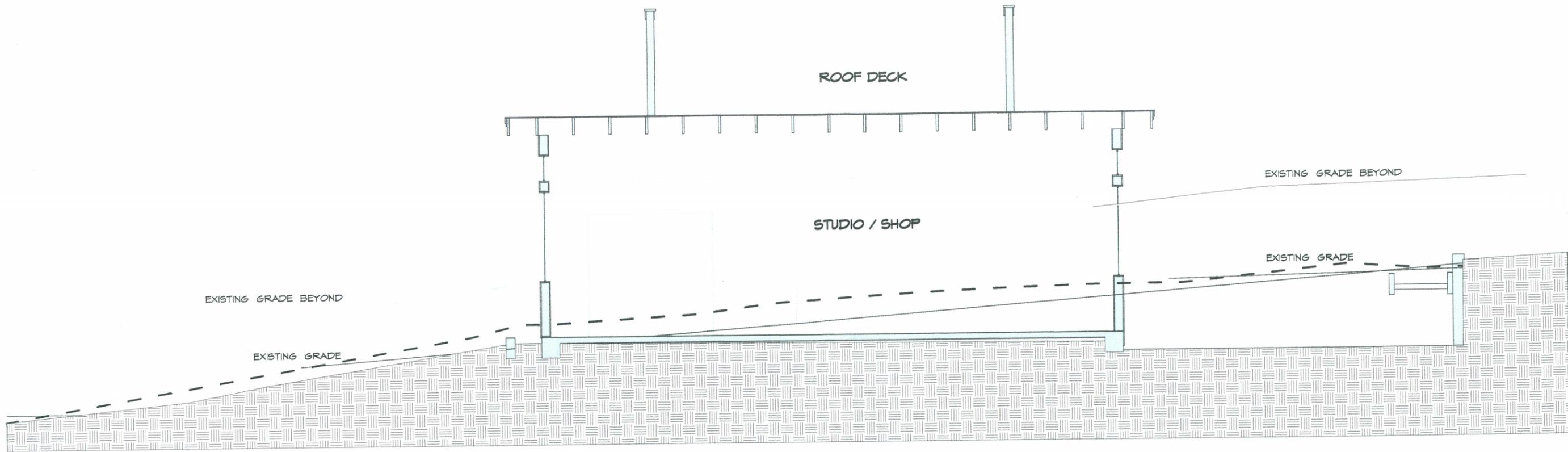
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 of 5 Sheets
 APRIL 17, 2014

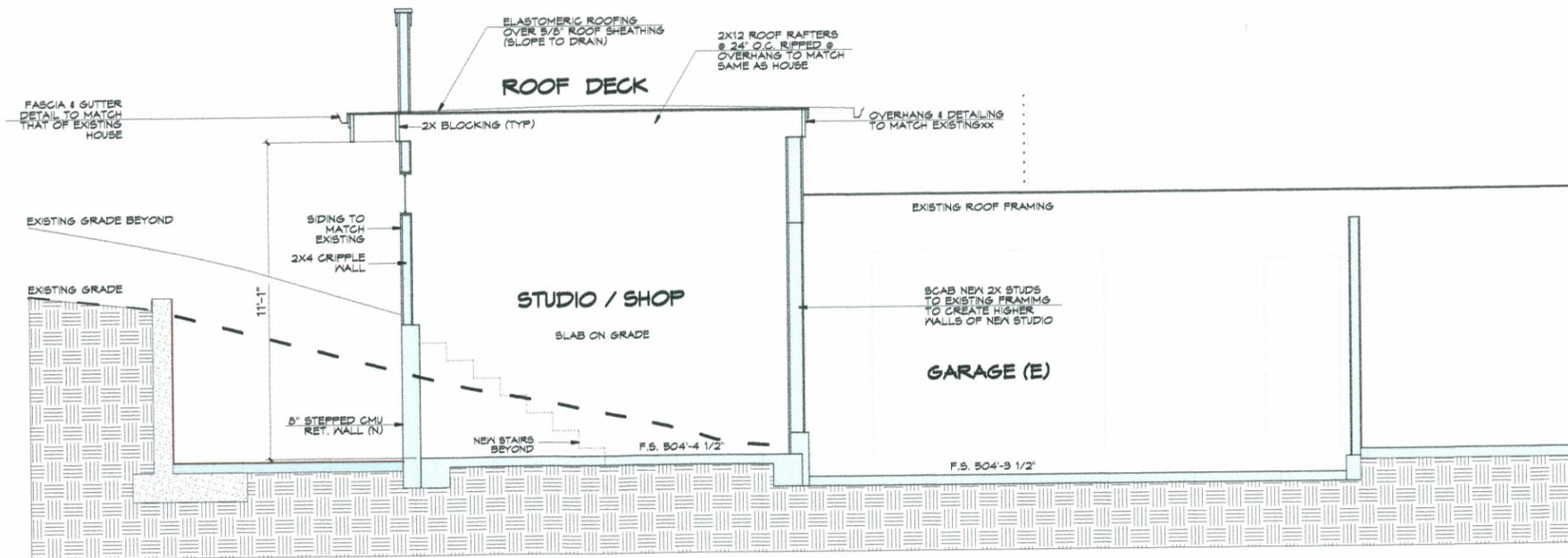


GROUND FLOOR
 SCALE: 1/4" = 1'-0"





SECTION B-B
SCALE: 1/2" = 1'-0"



SECTION A-A
SCALE: 1/2" = 1'-0"

SECTIONS

ARCHITECT'S
STAMP &
SIGNATURE

JEFFREY LENTZ
ARCHITECT C-9114
610 WARREN ROAD
CAMBRIA, CA. 95428
PH (805) 927-4877

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PROJECT DATA

| | |
|------------------------|----------|
| LOT SIZE: | 6,534 sf |
| EXISTING AREAS: | |
| HOME | 1,147 sf |
| GARAGE | 402 sf |
| HOUSE G.S.A. | 1,549 sf |
| FOOTPRINT: | 1,549 sf |
| PROPOSED AREAS: | |
| STUDIO/SHOP | 440 sf |
| TOTAL G.S.A. | 2,045 sf |
| ROOF DECK | 440 sf |
| FOOTPRINT: | 2,045 sf |

BUILDING HEIGHT

| | |
|-----------------|-------|
| LOW POINT | 5040' |
| Avg. Nat. Grade | 5072' |
| HIGH POINT | 5103' |
| PEAK ELEVATION | 5222' |
| BUILDING HEIGHT | 15'0" |

PROJECT DESCRIPTION

POTTERY STUDIO/SHOP with ROOF DECK

SITE

269 Butte Drive
Baywood-Los Osos
CA. 93432
APN: 074-461-019
PMT 2013-

SANDY and JIM GREGORY

504 F STREET
Reddy, CA. 93654
CELL (559) 434-0742

SHEET

A-2

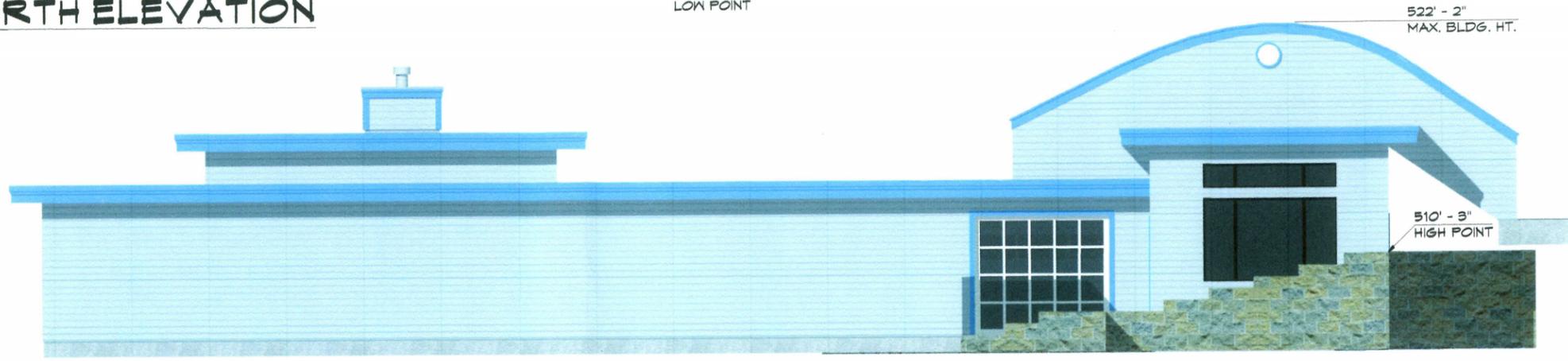
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APRIL 17, 2014



NORTH ELEVATION

522' - 2"
MAX. BLDG. HT.

504' - 0"
LOW POINT



WEST ELEVATION

522' - 2"
MAX. BLDG. HT.

510' - 3"
HIGH POINT



EAST ELEVATION

522' - 2"
MAX. BLDG. HT.

504' - 0"
LOW POINT



SOUTH ELEVATION

522' - 2"
MAX. BLDG. HT.

510' - 3"
HIGH POINT



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CAMBRIA, CA. 93428
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PROJECT DATA

| | |
|-----------------|----------|
| LOT SIZE: | 6,934 sf |
| EXISTING AREAS: | |
| HOME | 1,197 sf |
| GARAGE | 400 sf |
| HOUSE G.S.A. | 1,597 sf |
| FOOTPRINT: | 1,597 sf |
| PROPOSED AREAS: | |
| STUDIO/SHOP | 448 sf |
| TOTAL G.S.A. | 2,045 sf |
| ROOF DECK: | 440 sf |
| FOOTPRINT: | 2,045 sf |

BUILDING HEIGHT

| | |
|-----------------|--------|
| LOW POINT | 504'0" |
| Avg. Nat. Grade | 507'2" |
| HIGH POINT | 510'3" |
| PEAK ELEVATION | 522'2" |
| BUILDING HEIGHT | 19'0" |

PROJECT DESCRIPTION
POTTERY STUDIO/SHOP
with ROOF DECK

SITE
264 Butte Drive
Baywood-Los Osos
CA. 93432
APN: 074-461-019
PMT 2015-

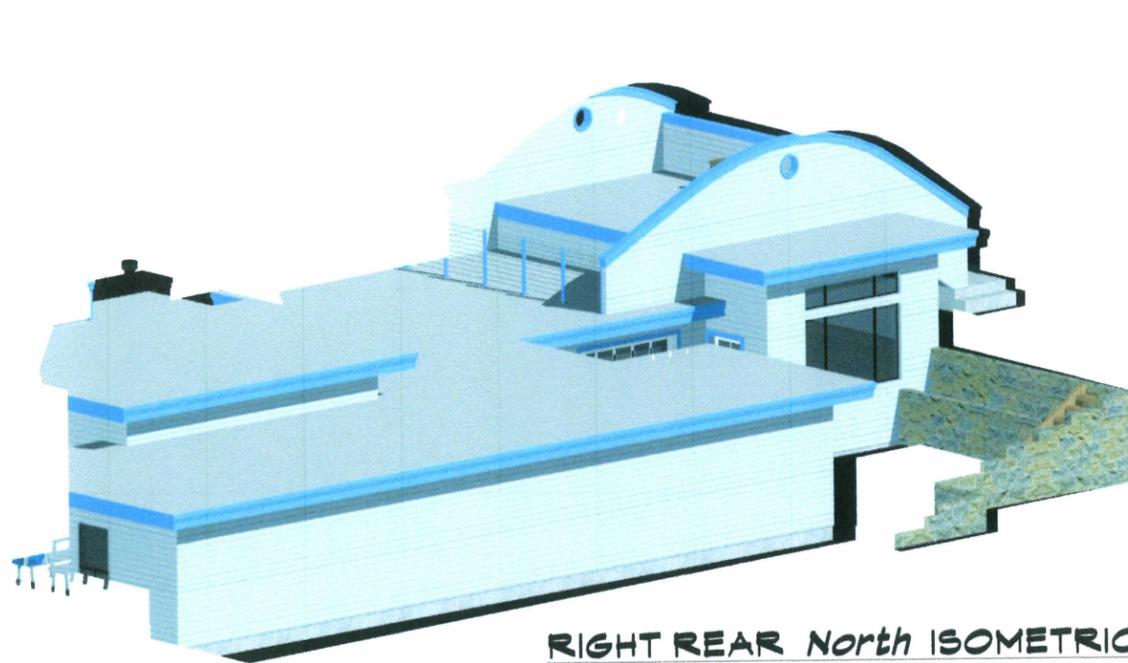
SANDY and JIM GREGORY
804 F STREET
Redding, CA. 96004
CELL (854) 499-0712

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of 5 Sheets
APRIL 17, 2014

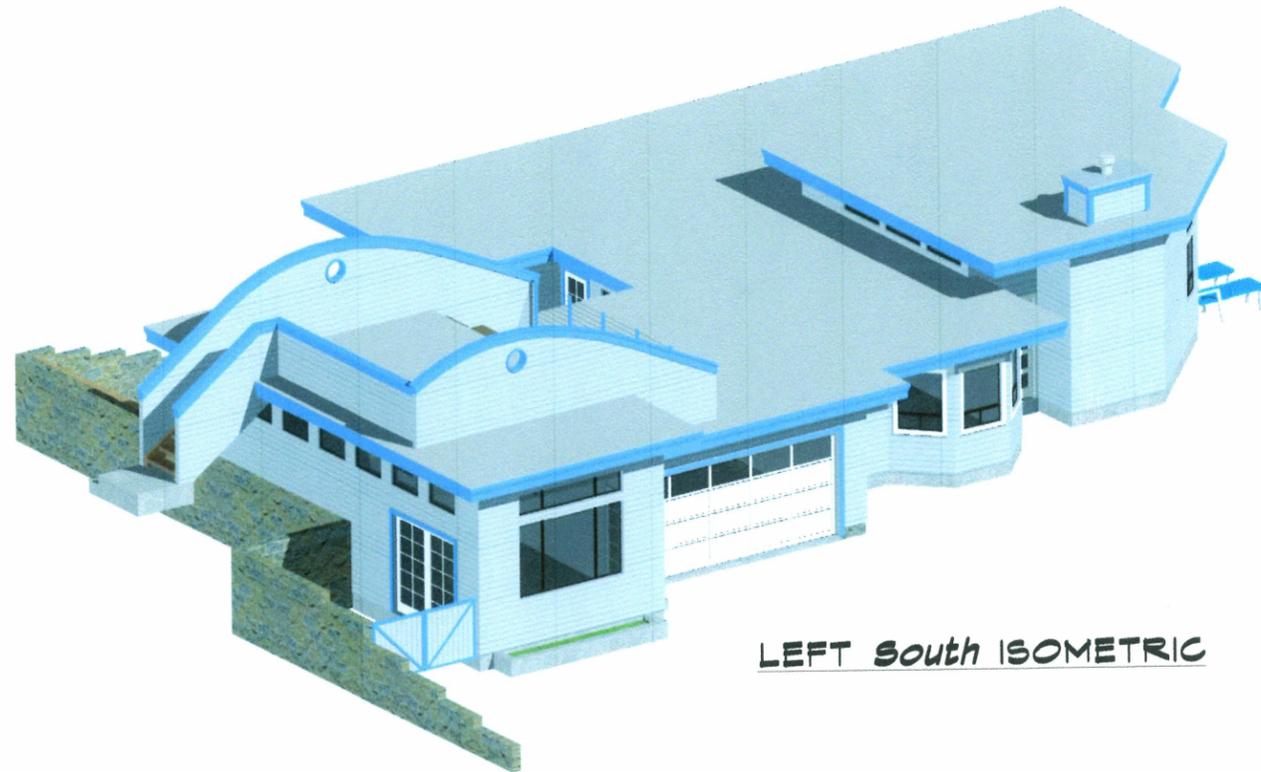
ELEVATIONS
SCALE: 1/4" = 1'-0"



RIGHT East ISOMETRIC



RIGHT REAR North ISOMETRIC



LEFT South ISOMETRIC



LEFT REAR West ISOMETRIC

ISOMETRIC VIEWS
NO SCALE



JEFFREY LENTZ
ARCHITECT C-91114
610 WARREN ROAD
CAMBRIA, CA. 95428
PH (805) 927-4877

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PROJECT DATA

| | |
|------------------------|----------|
| LOT SIZE: | 6,334 SF |
| EXISTING AREAS: | |
| HOME | 1,141 SF |
| GARAGE | 400 SF |
| HOUSE G.S.A. | 1,541 SF |
| FOOTPRINT: | 1,541 SF |
| PROPOSED AREAS: | |
| STUDIO/SHOP | 440 SF |
| TOTAL G.S.A. | 2,045 SF |
| ROOF DECK | 440 SF |
| FOOTPRINT: | 2,045 SF |

BUILDING HEIGHT

| | |
|-----------------|--------|
| LOW POINT | 804'0" |
| AVG. MS. GRADE | 807'2" |
| HIGH POINT | 810'3" |
| PEAK ELEVATION | 822'2" |
| BUILDING HEIGHT | 15'0" |

PROJECT DESCRIPTION

POTTERY STUDIO/SHOP
with ROOF DECK

SITE
264 Butte Drive
Baywood-Los Osos
CA 93432
APN: 074-461-019
PMT 2018-

SANDY and JIM GREGORY
804 F STREET
Redley, CA 93654
CELL (554) 434-0742

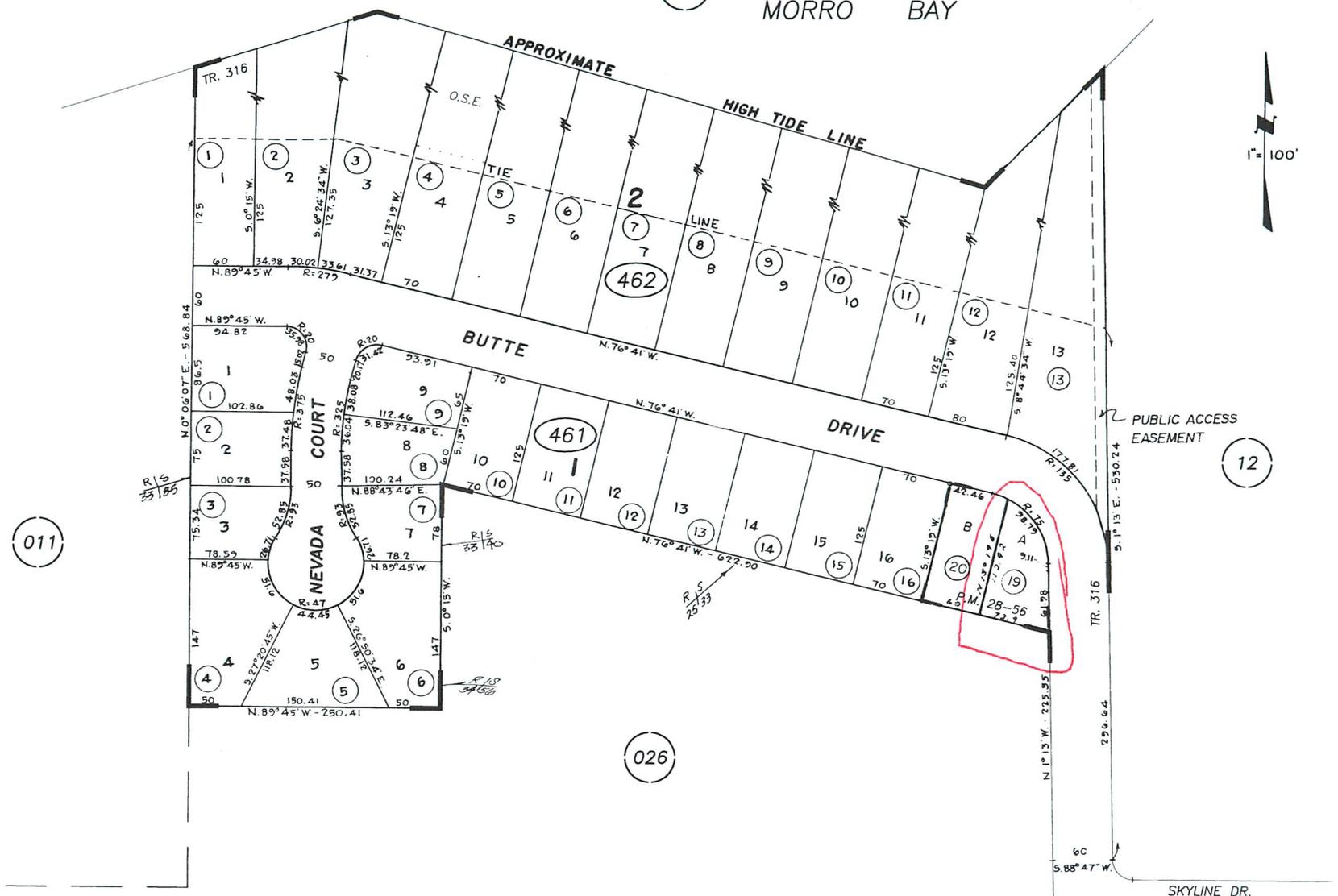
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MORRO BAY



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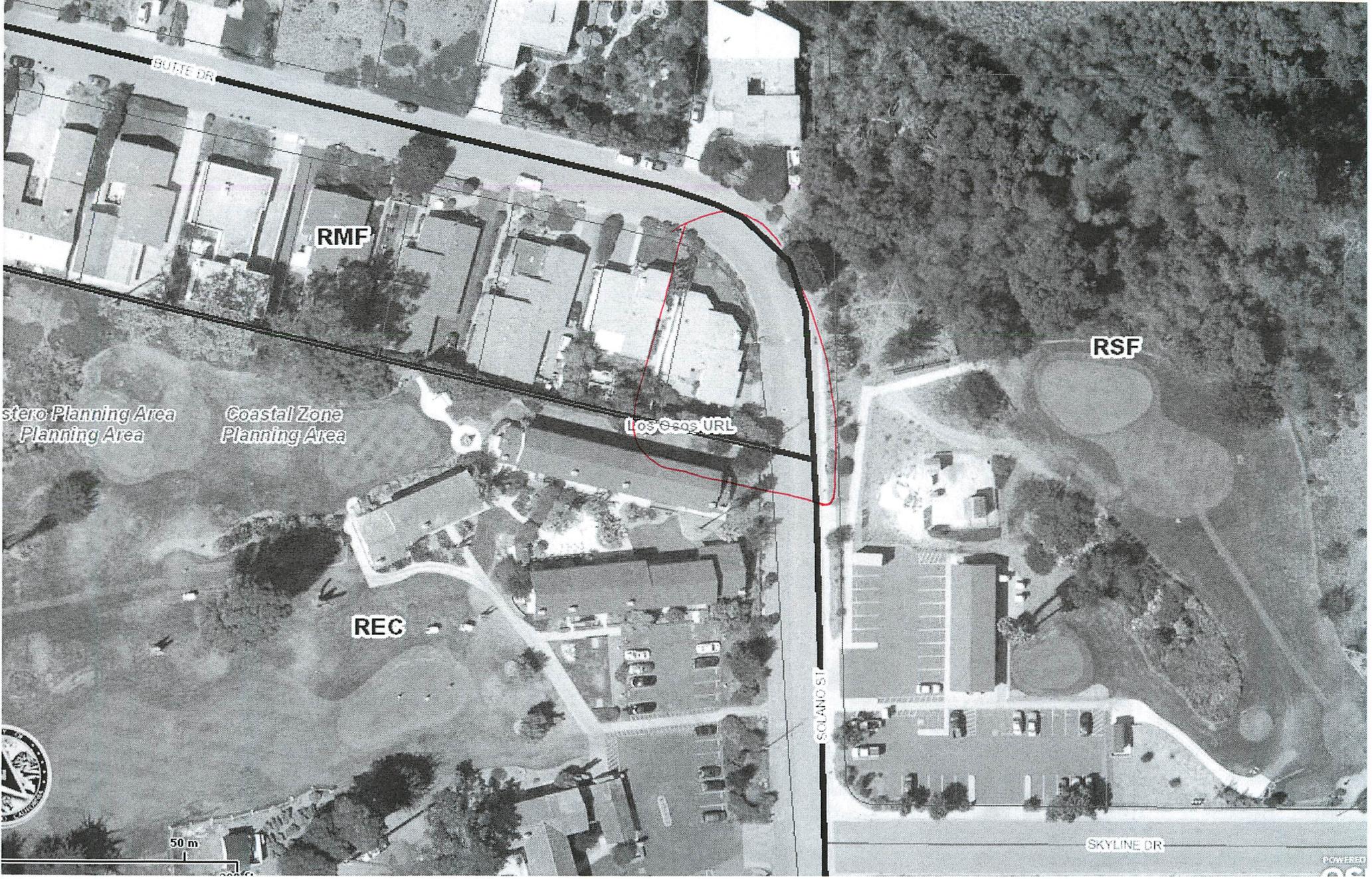
| REVISIONS | |
|-----------|----------|
| I.S. | DATE |
| NA | 01-30-08 |
| NA | 05-23-08 |
| | |
| | |
| | |
| | |
| | |
| | |



JAV 01-30-08 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

R.M. VOL. 7, PG. 12 - TRACT 316, SUNSET TERRACE UNIT NO. 4

LOS OSOS ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 074 PAGE 46



BURE DR

RMF

Los Casos URL

REC

RSF

SOLANO ST

SKYLINE DR

Stereo Planning Area
Planning Area

Coastal Zone
Planning Area

50 m



POWERED



Parcel Summary Report For Parcel # 074-461-019

4/28/2014
7:58:13AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN GREGORY JAMES S
 804 F ST REEDLEY CA 93654-2618

OWN GREGORY JAMES S & SANDRA L FAMILY T

OWN GREGORY SANDRA L

Address Information

Status Address
 00269 BUTTE DR LSOS

Lot Information:

| <u>Tract / Twnshp</u> | <u>Block / Range</u> | <u>Section</u> | <u>Community:</u> | <u>Plan/Area:</u> | <u>Lue 1:</u> | <u>Lue 2:</u> | <u>Lue 3:</u> | <u>Lot:</u> | <u>Flags:</u> | <u>Misc</u> |
|---------------------------|--------------------------|----------------|-------------------|-------------------|---------------|---------------|---------------|-------------|---------------|-------------|
| 074461 | 019 | 0001 | Los Osos | Estero | COJ | | | N | | |
| CO78- | 066 | A | Los Osos | Estero | RMF | LCP | AS | Y | | |

Parcel Information

Status Description
 Active PM 28/56 PAR A

Notes

Tax Districts

SAN LUIS COASTAL
 SAN LUIS OBISPO JT(27,40)
 NO. 02
 LOS OSOS, ZONE B
 AREA NO. 21



Parcel Summary Report For Parcel # 074-461-019

4/28/2014
7:58:14AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS

Case Information

Case Number:

DRC2013-00090

Case Status:

REC

Primary Parcel

Description:

MUP FOR AN ADDITION OF 488 SQ FT STUDIO/SHOP TO EXISTING 1,597 SQ FT RESIDENCE.