



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/14/2014

TO: _____

FROM: Megan Martin (805-781-4163 or mamartin@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2014-00032 NUTMEG – Proposed 104-unit storage facility, totaling 17,625 sf in five buildings; and demolition of three existing single family residences. Site location is 1990 Mountain View Dr, Los Osos. APN: 074-263-039

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
 NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
 NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

EST/LSOS

AS LCP RMF

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Amendment to approved land use permit

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Nutmeg Investments Daytime Phone 805-471-7245
 Mailing Address 1616 Buggywhip Lane, Paso Robles, CA Zip Code 93446
 Email Address: spikerhop@yahoo.com

Applicant Name John R. McGrath Daytime Phone 858-336-3320
 Mailing Address 5449 Taft Ave. LaJolla, CA Zip Code 92037
 Email Address: john@indeedsuperstorage.com

Agent Name J.H. Edwards Company - Jeff Edwards Daytime Phone 805.235.0813
 Mailing Address P.O. Box 6070, Los Osos CA Zip Code 93412
 Email Address: jhedwardscompany@gmail.com

PROPERTY INFORMATION

Total Size of Site: 1.04 acres Assessor Parcel Number(s): 074.263.039
 Legal Description: _____

Address of the project (if known): 1990 Mountain View Dr., Los Osos
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: East side of Mountain View Dr. just north of Santa Ynez Ave. Immediately adjacent to LOCSO Corporation yard.

Describe current uses, existing structures, and other improvements and vegetation on the property:
Three detached single family dwellings with parking and other appurtenances. No native vegetation, some ornamental.

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Storage Structures
PLEASE SEE THE ATTACHED LETTER

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature _____ Date 10/1/14
Agent for Applicant and Owner

FOR STAFF USE ONLY Reason for Land Use Permit: _____
--

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): None

Describe existing and future access to the proposed project site: Yes. Mountain View Dr.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? 1.04 acres

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: LOCSD Corp. Yard South: Mini-Storage
East: South Bay Blvd. / Residential West: Mini-Storage

For all projects, answer the following: Please see statistics page (A-1)

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet _____ % Landscaping: _____ sq. feet _____ %

Paving: _____ sq. feet _____ % Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: _____ sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: _____

Number of trees to be removed: _____ Type: _____

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Golden State Water Co.

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

(WO # 14631022)

Proposed sewage disposal: Individual on-site system Other N/A

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire - SLO County at South Bay

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: 17,625 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 1.04 acres
Moderate slopes of 10-30%: - acres
Steep slopes over 30%: - acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: IT IS A DEVELOPED PROPERTY
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: SOUTH BAY BLVD. & MOUNTAIN VIEW DR.

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain LANDSCAPE IRRIGATION ONLY & FIRE PROTECTION
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? .6 CCF/MO OR 5400gpy
4. How many service connections will be required? ONE
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: ON-SITE WELL (TO BE ABANDONED)
6. Has there been a sustained yield test on proposed or existing wells? N/A
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements? N/A
 Bacteriological? Yes No
 Chemical? Yes No
 Physical Yes No
 Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.
SPECIFICATIONS FOR PIPELINE WORK (WO# 14631022)

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used: N/A

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used: N/A

1. Is this project to be connected to an existing sewer line? Yes No
 Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? PERIODIC DUMPING
2. Name of Solid Waste Disposal Company: MISSION COUNTRY
3. Where is the waste disposal storage in relation to buildings? N/A
4. Does your project design include an area for collecting recyclable materials and/or composting materials? N/A Yes No

Community Service Information

1. Name of School District: N/A
2. Location of nearest police station: 1074 St 1/2 LOS OLIVOS AVS.
3. Location of nearest fire station: BAYVIEW HEIGHTS DR.
4. Location of nearest public transit stop: N/A
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? N/A feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
RESIDENTIAL
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: AUG. 2007 CULTURAL RESOURCE INVENTORY
3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application. DEC. 2010 PRELIMINARY RESULTS OF ARCHAEOLOGICAL EVALUATION

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 7 Hours of Operation: 24
2. How many people will this project employ? 1 - PARTTIME EMPLOYEE OR 0.5 FTE
3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: N/A
7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 5 Between 4:00 to 6:00 p.m. 5
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information N/A

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information N/A

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: LED LIGHTING

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

PLEASE SEE MITIGATED NEGATIVE DECLARATION NO. ED10-161 INCLUDING MITIGATION MEASURES FOR BIOLOGICAL RESOURCES BR-1, BR-2, BR-3 & BR4, CULTURAL RESOURCES CR-1, CR-2, CR-3, CR-4, CR-5 & CR-6, GEOLOGY AND SOILS GS-1 & GS-2.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: MOLLO SHOULDERBAND SNAIL
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): ED10-161

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): NONE

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

J. H. EDWARDS COMPANY
A REAL PROPERTY CONCERN
Specializing in Water Neutral Development

October 6, 2014

County of San Luis Obispo
Department of Planning and Building
County Government Center
San Luis Obispo CA, 93408

Dear Ladies and Gentlemen;

Enclosed please find an application for a Minor Use/ Coastal Development Permits including the applicable required filing documentation. By way of introduction, the proposed project includes the demolition of three (3) detached single-family dwellings on an approximately one (1) acre parcel located at 1990 Mountain View Avenue in Los Osos. The proposed redevelopment includes the construction of 104 storage units totaling 17,625 square feet in five (5) buildings.

The land in question is 100% disturbed and there is no native vegetation on the property. There are approximately three (3) trees that require removal. They will be replaced at a 1:1 ratio in the context of the landscape plan for the proposed project.

With regard to utilities, please be advised the applicant will extend the water main currently located in the intersection of Santa Ynez Ave. and Mountain view Dr. to the project site as part of a pending main extension agreement with the Golden State Water Company. Water use on the subject property will be for fire protection purposes and limited xeriscape only. There will be no domestic consumption. Also, no sanitary sewer service is required. Additionally, the applicant will extend electrical service to the site underground. Concerning drainage please be advised there is an existing concrete lined drainage swale along the south property line that will accept the surface water runoff during storm events.

An application for a self-storage project was submitted in 2007 and subsequently modified to become a residential multiple-family project. The approval DRC2006-000234 is valid until July 1, 2015 plus extensions. There are three fundamental reasons why the subject application is being made again for a self-storage project.

1. The above referenced approval includes two phases. The second phase includes seven multiple-family units. Given the water supply issues in Los Osos, as it relates to the Los Osos Groundwater Basin it is highly uncertain water will be available for the second phase of the project in the foreseeable future. Consequently, it is not feasible to proceed with phase one or phase two of the residential multiple-family project. Since 2007, the situation has worsened considerably.
2. The adjacent parcel to the north is owned by the Los Osos Community Services District. It is approximately 1 acre in area and is occupied by a number of uses. Most recently a Nitrogen Removal Facility including brine tank were constructed. Also, a wastewater project back up power station was built recently as well. The site has become increasingly industrial in its use

P.O. Box 6070, Los Osos, CA 93412 (805)235-0873 jhedwardscompany@gmail.com
ACQUISITION MARKETING LAND USE REDEVELOPMENT

J. H. EDWARDS COMPANY
A REAL PROPERTY CONCERN
Specializing in Water Neutral Development

and has become incompatible with higher density residential uses immediately adjacent. Please see the ground level photographs enclosed.

3. Since the application for self-storage was made in 2007 there has been no addition to the supply of self-storage units in the community of Los Osos. As a result of the "Great Recession" of 2009, homeownership in Los Osos has been reduced considerably. This, coupled with no increase in the supply of storage, a deficit has resulted. There appears to be a clear increase in demand for self-storage units for units that in large part serve multi-family tenants in the immediate area.

From a land use perspective, the subject proposal represents an ideal land use given the existing development in the neighborhood. New storage units at 1990 Mountain View Dr. will also create a visual and audio buffer between South Bay Blvd. traffic noise and residential uses to the west. Immediately south is an existing self-storage project (APN 074-263-044) the applicant has an interest in which includes 171 units at 2000 Mountain View Dr. The self-storage facility at 1380 Santa Ynez Ave. is also operated by the applicant and includes 388 units (APN 074-223-004). Please see the enclosed Google Earth aerial reflecting the subject property and the two adjacent self-storage developments. Currently, there are 1.5 full time employees and the addition of .5 for a total of 2.0 full time employees is expected.

I respectfully submit the previously issued Mitigated Negative Declaration (MND) ND10-161 should be adequate for the proposed project. I have also enclosed a copy of the MND for your convenience. Specifically, applicable mitigation measures include Biological Resources (BR 1-4), Cultural Resources (CR 1-6) and Geologic Stability (GS 1-2).

Lastly, please be aware the applicant intends to transfer the water and wastewater credits to another location. The exact receiving sites are not part of this application and will be reviewed under separate MUP/CDP applications once sites are identified. The proposal also includes the abandonment of the existing onsite well in connection to Golden State Water Company for fire protection purposes. The new units will be managed by existing infrastructure already in place at 1380 Santa Ynez Ave. Consequently, no office or administrative functions will occur at 1990 Mountain View Dr.

In advance, thank you for your review of the enclosed application. Please feel free to contact me with any questions you may have.

Sincerely,

Jeff Edwards

Jeff Edwards

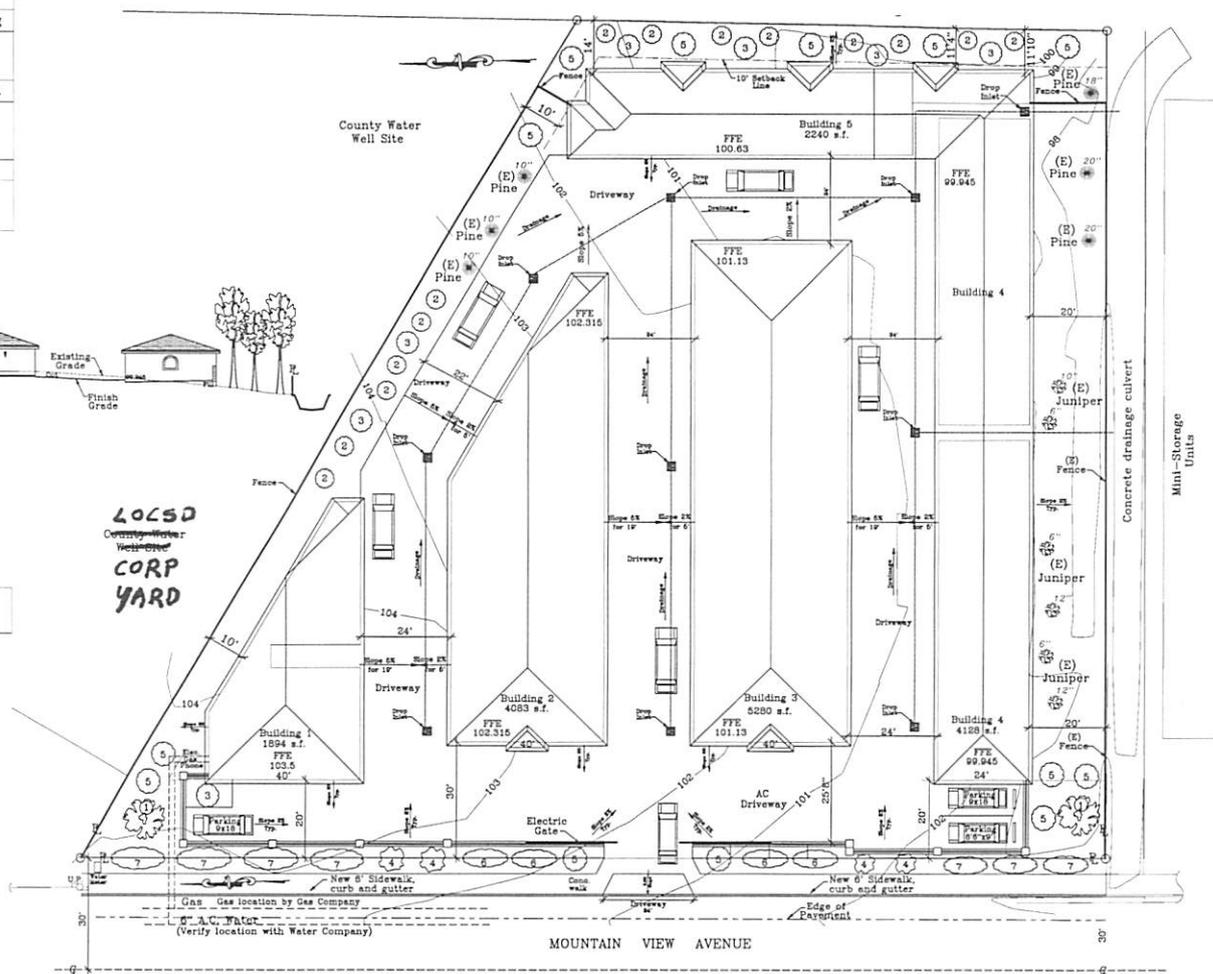
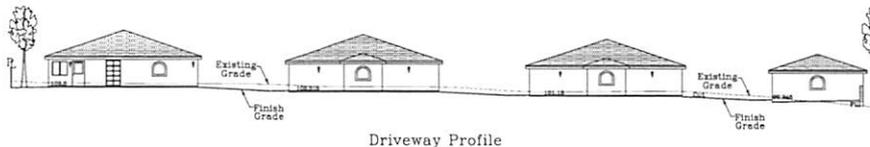
Cc: Mark Hoppe
John McGrath

P.O. Box 6070, Los Osos, CA 93412 (805)235-0873 jhedwardscompany@gmail.com
ACQUISITION MARKETING LAND USE REDEVELOPMENT

Project Data		Replace existing house and buildings with mini storage units	
Square Footage	Square Footage	Lot Coverage	Zoning
Existing House	Building 1 1894 s.f.	Lot Area 45,271 Sq. Ft.	RMF
Building 1 2250 Sq. Ft.	Building 2 4083 s.f.	Building Area 17,625 Sq. Ft.	
Building 2 760 Sq. Ft.	Building 3 5280 s.f.	Lot Coverage 38.9%	Height
Building 3 760 Sq. Ft.	Building 4 4128 s.f.		15'3"
Total 3770 Sq. Ft.	Total 17,625 s.f.		

Project shall comply with the 2001 edition of the California Building Code (Title 24), which adopts the 2000 UBC, UMC, UPC and the 1999 NEC

Drainage
Rain gutters w/ downspouts to Driveway and to drainage easement



Building 1 1894 s.f.	Building 2 4083 s.f.	Building 3 5280 s.f.	Building 4 4128 s.f.	Building 5 2240 s.f.
-------------------------	-------------------------	-------------------------	-------------------------	-------------------------

Owner 164 sf	16 188 sf	39 231 sf	67 225 sf	91 55 sf
1 164 sf	17 192 sf	40 188 sf	68 225 sf	92 55 sf
2 167 sf	18 188 sf	41 188 sf	69 225 sf	93 60 sf
3 167 sf	19 188 sf	42 188 sf	70 225 sf	94 63 sf
4 43 sf	20 188 sf	43 188 sf	71 225 sf	95 117 sf
5 43 sf	21 162 sf	44 188 sf	72 225 sf	96 82 sf
6 89 sf	22 162 sf	45 188 sf	73 225 sf	97 206 sf
7 89 sf	23 176 sf	46 188 sf	74 225 sf	98 220 sf
8 180 sf	24 155 sf	47 188 sf	75 70 sf	99 209 sf
9 86 sf	25 98 sf	48 188 sf	76 70 sf	100 200 sf
10 97 sf	26 86 sf	49 188 sf	77 70 sf	101 217 sf
11 60 sf	27 143 sf	50 188 sf	78 70 sf	102 212 sf
12 60 sf	28 85 sf	51 90 sf	79 70 sf	103 248 sf
13 174 sf	29 130 sf	52 90 sf	80 70 sf	104 120 sf
14 94 sf	30 130 sf	53 90 sf	81 225 sf	
15 56 sf	31 211 sf	54 90 sf	82 225 sf	
	32 182 sf	55 188 sf	83 225 sf	
	33 182 sf	56 188 sf	84 225 sf	
	34 188 sf	57 188 sf	85 225 sf	
	35 188 sf	58 188 sf	86 225 sf	
	36 188 sf	59 188 sf	87 41 sf	
	37 192 sf	60 188 sf	88 41 sf	
	38 188 sf	61 188 sf	89 85 sf	
		62 188 sf	90 85 sf	
		63 188 sf		
		64 188 sf		
		65 188 sf		
		66 231 sf		

Units	Square Footage
24	206 to 248
43	164 to 188
6	117 to 155
14	85 to 98
17	41 to 70
104	

Landscaping

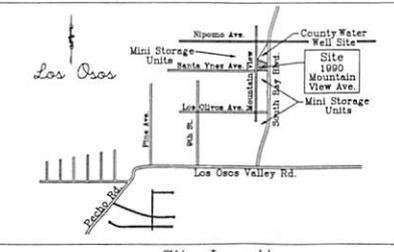
Plant List
[Trees]
① Black Pine (*Pinus thunbergii*)
[Shrubs]
② Monterey Ceanothus (*Ceanothus rigida*)
③ California Sagebrush (*Salvia californica*)
④ Lantana (*Lantana camara*)
⑤ Rosemary (*Rosmarinus officinalis*)
[Ground Covers]
⑥ Blue Fescue (*Festuca ovina 'glauca'*)
⑦ Prostrate Myoporum (*Myoporum parvifolium*)

Drip Irrigation
Provide one-gallon-per-hour emitters at each plant.
Note:
After planting, use a 3" mulch overlay around all plants to retain moisture & inhibit weed growth deeply water all plants through their first or second summer.

New Site Plan

Wrought Iron
Concrete Block

Fence on Mountain View Ave.



Dana Belmonte
Residential Design
10000 Santa Ynez Rd.
Atascadero, Ca. 93422
(805) 481-8877
dana@belmontedesign.com

THE STATE OF CALIFORNIA
COUNTY OF SAN LUIS OBISPO
I, Dana Belmonte, being the duly qualified and licensed architect, do hereby certify that the above is a true and correct copy of the plans as shown to me by the applicant, and that I am not aware of any other copies of the same.

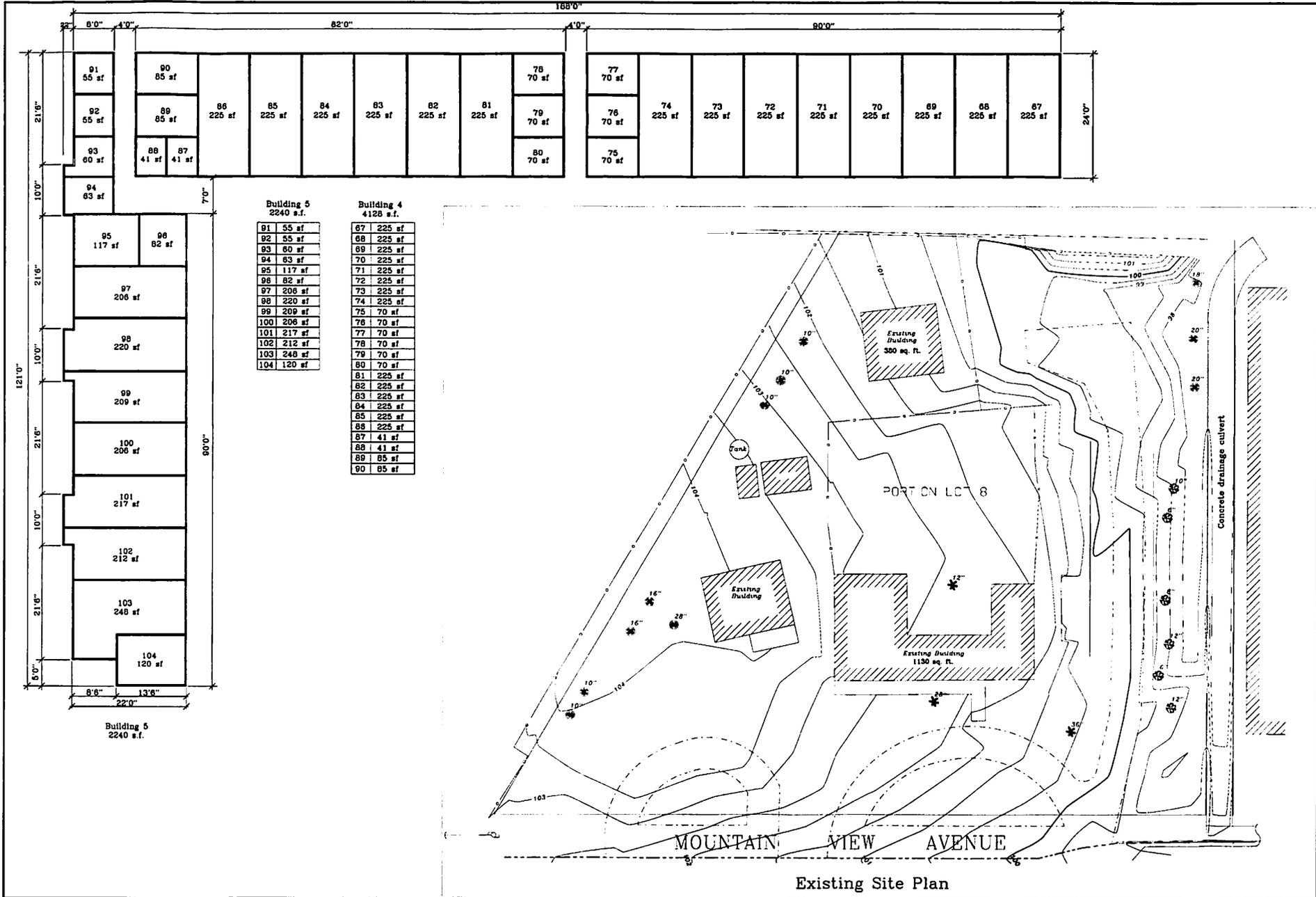
Applicant:
John R. McGrath Jr.
5449 Teft Ave.
La Jolla, CA 92037

Owner:
Mark Hoppe
1616 Buggwip Lane
Paso Robles, Ca. 93446
(805) 471-7245

Site Location
1990 Mountain View Ave.
APN 74-293-039
Portion of lot B
Block 'A' Tract 70
Los Osos, Ca.

Site Plan

Scale: 1/4"=1'-0"
Date: 0-23-14
Sheet: 0710
A-1



Dana Belmonte
Residential Design
14008 Morris Rd.
Alhambra, CA 91804
Tel: 626-281-1111
dab@belmontedesign.com

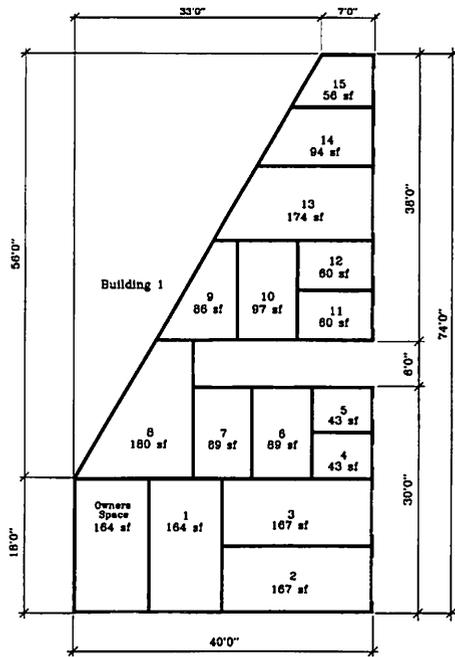
This site plan was prepared by the undersigned professional engineer and architect. It is based on the information provided by the client and is subject to the accuracy of the same. The engineer and architect assume no responsibility for the accuracy of the information provided by the client. The engineer and architect assume no responsibility for the accuracy of the information provided by the client.

1990 Mountain View Ave.
Los Osos, Ca.

Floor Plan & Existing Site Plan

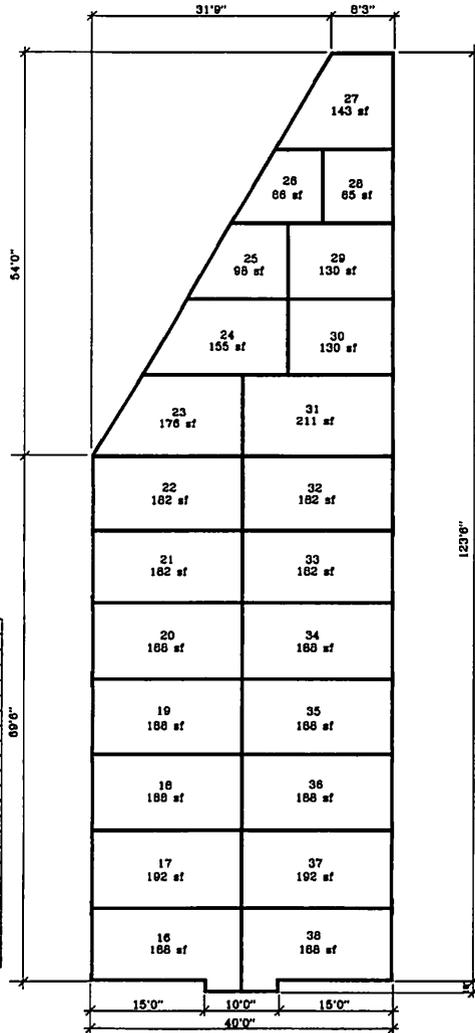
Dana Belmonte
6-7-07
1/4"=1'-0"
0710
A-2

0rc.	164 sf
1	164 sf
2	167 sf
3	167 sf
4	43 sf
5	43 sf
6	89 sf
7	89 sf
8	180 sf
9	86 sf
10	97 sf
11	60 sf
12	60 sf
13	174 sf
14	94 sf
15	56 sf



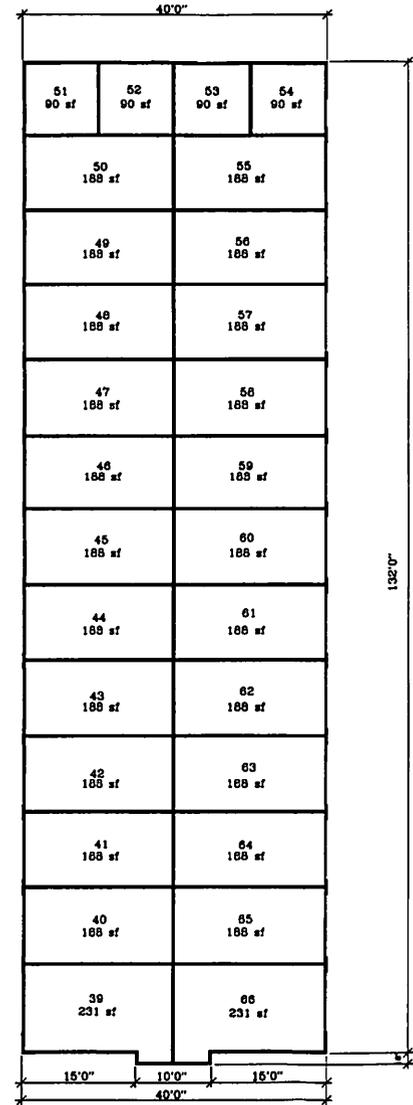
Building 1
1694 s.f.

16	166 sf
17	192 sf
18	188 sf
19	188 sf
20	188 sf
21	182 sf
22	182 sf
23	176 sf
24	155 sf
25	98 sf
26	86 sf
27	143 sf
28	85 sf
29	130 sf
30	130 sf
31	211 sf
32	182 sf
33	182 sf
34	188 sf
35	188 sf
36	188 sf
37	192 sf
38	188 sf



Building 2
4083 s.f.

39	231 sf
40	188 sf
41	188 sf
42	188 sf
43	188 sf
44	188 sf
45	188 sf
46	188 sf
47	188 sf
48	188 sf
49	188 sf
50	188 sf
51	90 sf
52	90 sf
53	90 sf
54	90 sf
55	188 sf
56	188 sf
57	188 sf
58	188 sf
59	188 sf
60	188 sf
61	188 sf
62	188 sf
63	188 sf
64	188 sf
65	188 sf
66	231 sf



Building 3
6280 s.f.

Architect

Dana Belmonte
Residential Design
14000 Marra Rd.
Alhambra, CA 91803
626-441-8877
dab@danabelmonte.com

The floor area of this plan is based on the gross area of the building. The floor area of the building is not to be used for any other purpose. The floor area of the building is not to be used for any other purpose. The floor area of the building is not to be used for any other purpose.

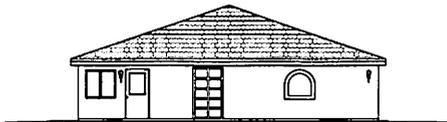
1990 Mountain View Ave.
Los Osos, Ca.

Floor Plan

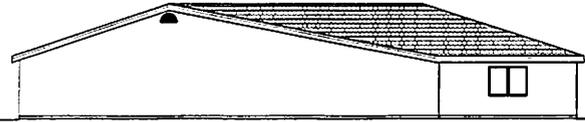
Dana Belmonte
Date: 9-23-14
Scale: 1/4"=1'-0"
Sheet: 0710



Building 1
East Elevation



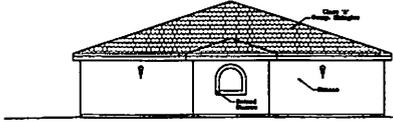
Building 1
West Elevation
Mountain View Ave. Elevation



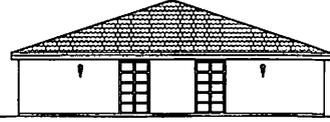
Building 1
North Elevation



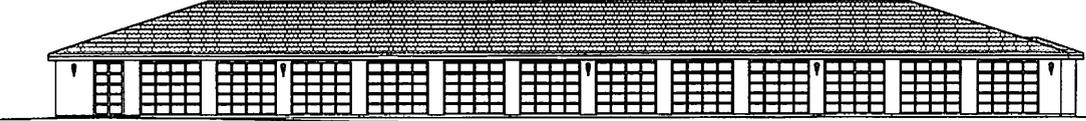
Building 1
South Elevation



Building 3
West Elevation
Mountain View Ave. Elevation



Building 3
East Elevation



Building 3
North Elevation



Building 3
South Elevation



Building 2
West Elevation
Mountain View Ave. Elevation



Building 2
East Elevation



Building 2
North Elevation



Building 2
South Elevation

Dana Belmonte
Residential Design
14008 Mountain View Ave.
Atascadero, Ca. 93422
(805) 461-6311

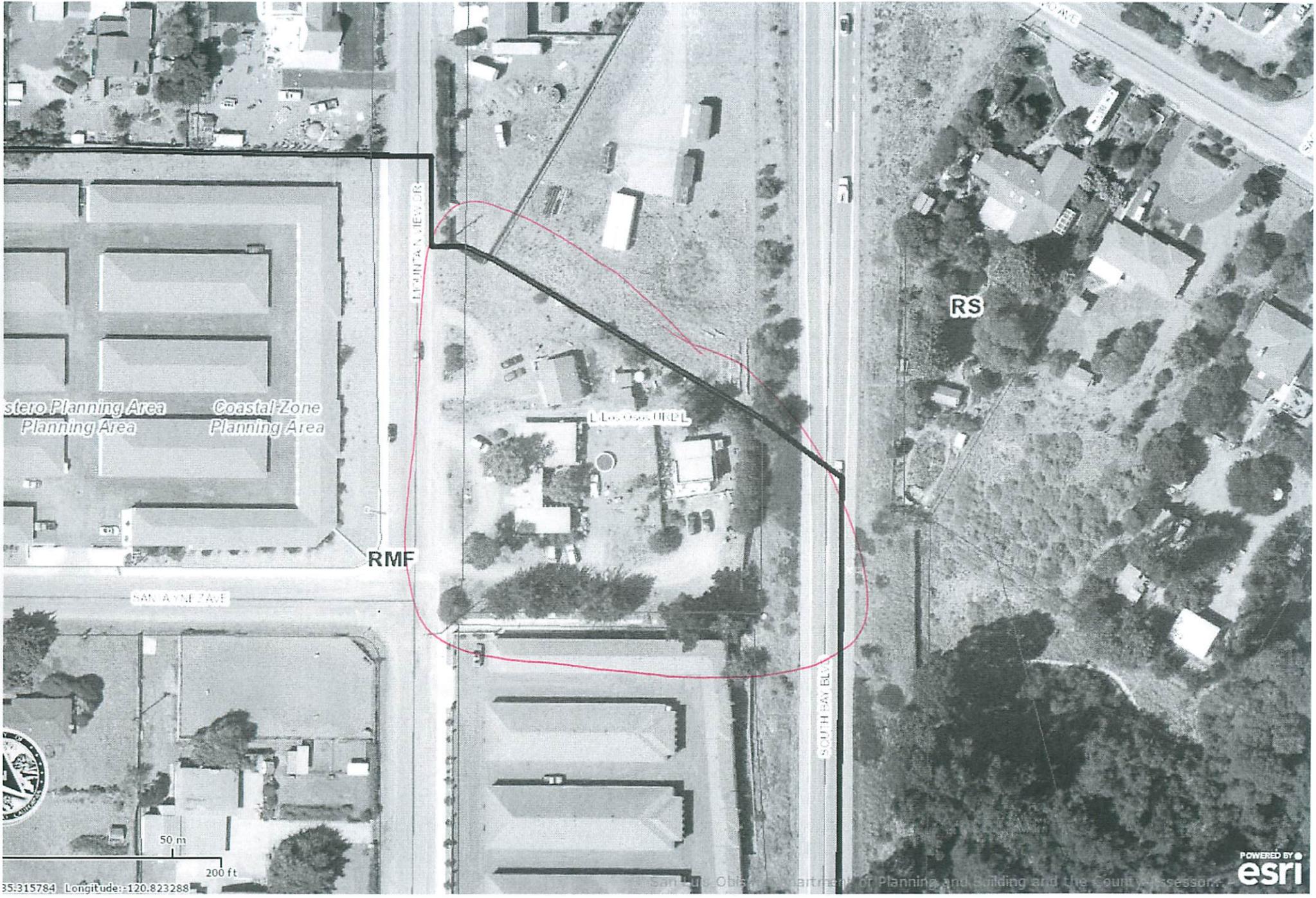
This set of drawings is to be used only for the project and site specified herein. It is not to be used for any other project or site. The architect assumes no responsibility for the construction of the project. All dimensions are to be taken from the finished work. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The architect is not responsible for the construction of the project.

1990 Mountain View Ave.
Los Osos, Ca.

Elevations
Buildings
1, 2 & 3

Dana Belmonte
9-23-14
1/4" = 1'0"
0710

A-4



Western Planning Area
Coastal Zone Planning Area

RMF

RS

L. LOS OSOS DR

MOUNTAIN VIEW DR

SAN ANNE AVE

SOUTH BAY BL



50 m

200 ft

35.315784 Longitude: 120.823288

San Luis Obispo County Department of Planning and Building and the County Assessor

POWERED BY
esri



Parcel Summary Report For Parcel # 074-263-039

10/7/2014
11:34:51AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN NUTMEG LLC
1616 BUGGY WHIP LN PASO ROBLES CA 93446-4200

Address Information

Status Address
P 01990 MOUNTAIN VIEW DR LSOS

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
074263	039	0001	Los Osos	Estero Plannin				N	VP	E990374S
70	A	8P	Los Osos	Estero Plannin	RMF	LCP	AS	Y	VP	E920770L / P930108Z ,

Parcel Information

Status Description
Active TR 70 BL A PTN LT 8

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
NO. 02
LOS OSOS, ZONE B
AREA NO. 21
LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS



Parcel Summary Report For Parcel # 074-263-039

10/7/2014
11:34:51AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

82391 FNL Primary Parcel

Description:

RENOVATION OF SFR

82810 FNL Primary Parcel

Description:

REPLACE SEPTIC SYSTEM

85688 FNL Primary Parcel

Description:

REPAIR LEACH LINE TO SFD

93449 FNL Primary Parcel

Description:

REPLACE DAMAGED ELEC ENTRANCE SERVICE TO SFD

96442 FNL Primary Parcel

Description:

CONST RE-ROOF FOR SINGLE FAMILY DWELLING

COD2013-00101 CLD Primary Parcel

Description:

VEHICLE STORAGE

DRC2006-00234 APV Primary Parcel

Description:

TWO PHASED REDEVELOPMENT OF THE SITE. THE FIRST PHASE INCLUDES DEMOLITION OF THREE EXISTING DETACHED SINGLE FAMILY RESIDENCES AND REDEVELOPMENT OF THE SITE INTO (2) 4-UNIT APARTMENTS (4-ATTACHED ONE BEDROOM UNITS), TOTALING 8 UNITS. THE SECOND PHASE INCLUDES (1) 4-UNIT APARTMENT (4-ATTACHED ONE BEDROOM UNITS) AND (1) 3-UNIT APARTMENT (3 ATTACHED ONE BEDROOM UNITS), TOTALING 7 UNITS. PHASE II WILL NOT OCCUR UNTIL A COMMUNITYWIDE WASTEWATER SYSTEM IS AVAILABLE. THE PROJECT WILL RESULT IN 15 TOTAL UNITS FOR BOTH PHASES. EACH UNIT IS APPROXIMATELY 892 SQUARE FEET IN SIZE, TWO-STORY AND INCLUDES A SINGLE CAR GARAGE.

DRC2014-00032 REC Primary Parcel

Description:

104-UNIT STORAGE FACILITY IN 5 BUILDINGS; DEMO 3 EXISTING SFRS

E990374 RES Primary Parcel

Description:

NO HEAT IN ROOMS SUBS



Parcel Summary Report For Parcel # 074-263-039

10/7/2014
11:34:51AM

San Luis Obispo County Department of Planning and Building

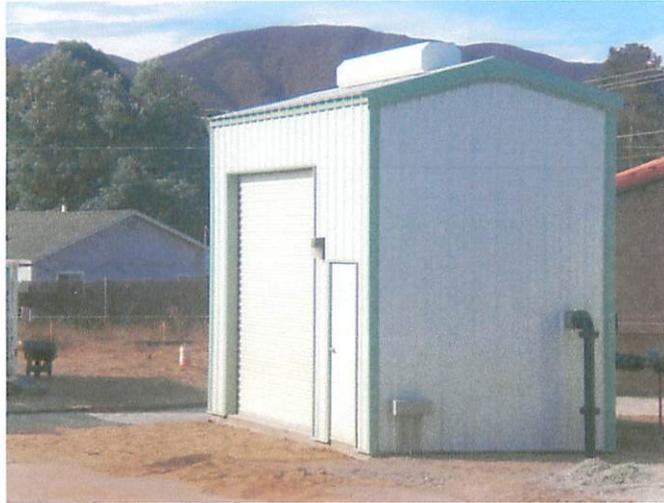
County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

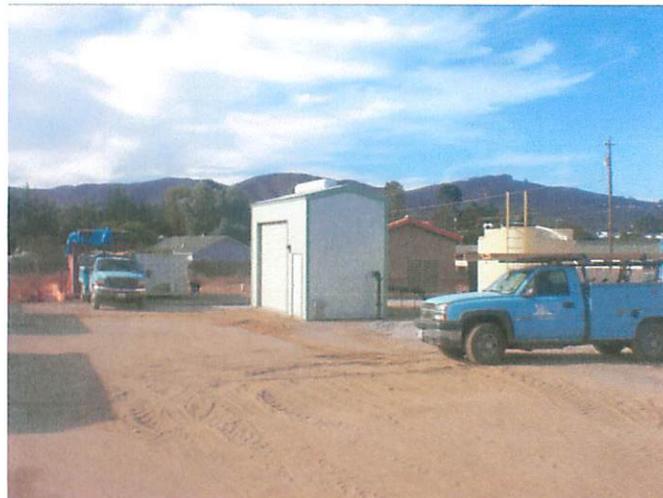
PMT2004-01918	FNL	Primary Parcel
Description: LEACH REPAIR		
PMT2007-00050	FNL	Primary Parcel
Description: LEACH REPAIR		
SEP2010-00480	ISS	Primary Parcel
Description: Septic Inspection		
SUB2012-00035	WIT	Primary Parcel
Description: PARCEL MAP-4 PARCELS		
DRC2007-00181	APV	Related Parcel
Description: NEW DOMESTIC COMMUNITY WELL SITE		
DRC2012-00008	APV	Related Parcel
Description: MODIFICATION OF PREVIOUS DEVELOPMENT PLAN DRC2007-00181		

LOCSD CORP YARD



OCTOBER 2014

LOCSO CORP YARD



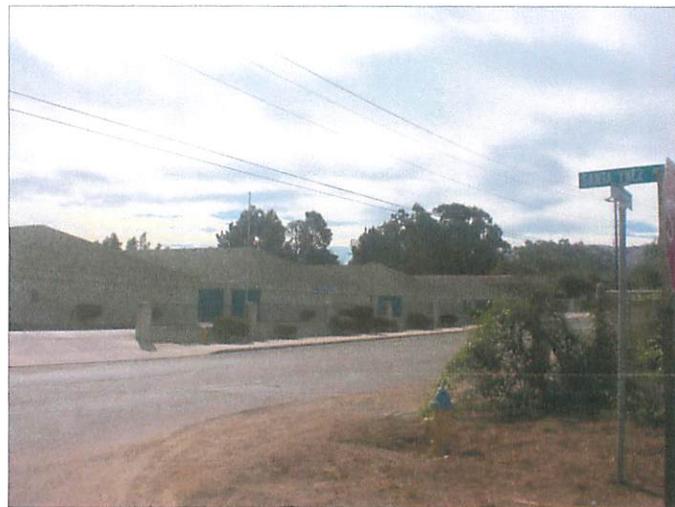
OCTOBER 2014

LOCSD CORP YARD



OCTOBER 2014

1380 SANTA YNEZ AVE.



2000 MOUNTAIN VIEW DR.