



SAN LUIS OBISPO COUNTY
DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/23/2014

TO: _____

FROM: Brandi Cummings (805-781-1006 or bcummings@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2014-00036 RAMIREZ – Proposed minor use permit for an additional 391 sf garage and 371 sf deck. Site location is 2786 Rodman Dr, Los Osos.
APN: 074-482-017.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

MINOR USE PERMIT

GARAGE AND DECK

EST/ LSOS

CAZ LCP RSF

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Site Plan
- Conditional Use Permit/Development Plan
- Curb, Gutter & Sidewalk Waiver
- Tree Permit
- Minor Use Permit
- Plot Plan
- Variance
- Surface Mining/Reclamation Plan
- Modification to approved land use permit
- Zoning Clearance
- Other

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name FRED RAMIREZ Daytime Phone (559) 361-4882
 Mailing Address 2786 RODMAN DR. LOS OSOS - Zip Code 93402
 Email Address: _____

Applicant Name Pinnacle Company - Brian Coates Daytime Phone (805) 556-5622
 Mailing Address 1375 E. Grand Ave. 103-137 Arroyo Grande Zip Code 93420
 Email Address: BRIAN@theagentsre.com

Agent Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site: .35 acre Assessor Parcel Number(s): 074-482-017
 Legal Description: _____
 Address of the project (if known): 2786 Rodman Dr Los Osos CA
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: _____

Describe current uses, existing structures, and other improvements and vegetation on the property:
Existing Residence

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): GARAGE 391^{sq}, Deck 371^{sq}

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Fred Ramirez Date _____

FOR STAFF USE ONLY
 Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: _____

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential
East: Residential

South: Residential
West: Residential

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet _____% Landscaping: _____ sq. feet _____%

Paving: _____ sq. feet _____% Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: _____ sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: _____

Number of trees to be removed: _____ Type: _____

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: _____

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 4

Total floor area of all structures including upper stories, but not garages and carports: 3206

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: _____
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: _____
2. Location of nearest police station: _____
3. Location of nearest fire station: _____
4. Location of nearest public transit stop: _____
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:

2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: _____ Hours of Operation: _____
2. How many people will this project employ? _____
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: _____
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____

2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____

4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

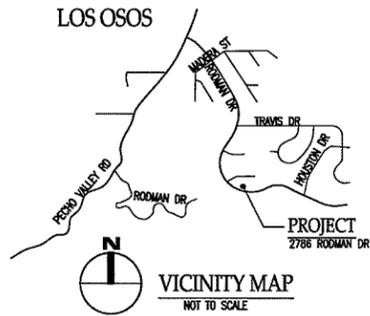
Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

THESE PLANS AND THE PROPOSED PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL (CRC), BUILDING (CBC), MECHANICAL (CMC), PLUMBING (CPC) ELECTRIC (CEC), AND GREEN BUILDING STANDARDS CODES, THE 2013 CALIFORNIA ENERGY (CEC) CODES, AND THE COUNTY OF SAN LUIS OBISPO ORDINANCES.

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE DRAWINGS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION.



Design Data

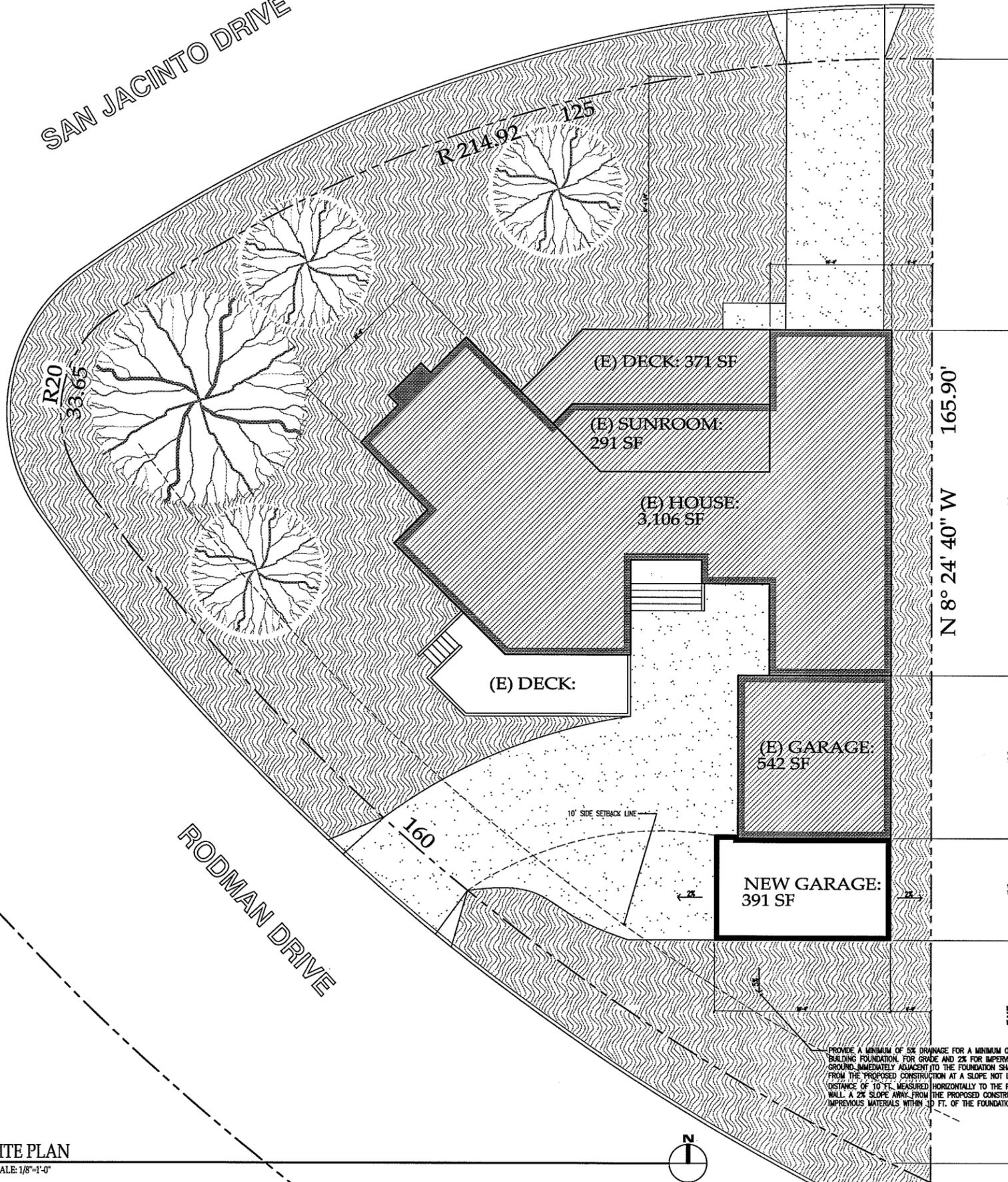
OCCUPANCY GROUP - R-3	
TYPE OF CONSTRUCTION - VB	
DESIGN INFORMATION:	
FLOOR LIVE LOADS:	40 psf
ROOF LIVE LOADS:	20 psf
BASIC WIND SPEED (3 SECOND GUST):	85/38 mph
EXPOSURE:	C
SEISMIC DESIGN CATEGORY:	D2
SITE CLASS:	D

APN: 074-482-017

S SITE PLAN
SCALE: 1/8"=1'-0"

SAN JACINTO DRIVE

RODMAN DRIVE



PROVIDE A MINIMUM OF 5% DRAINAGE FOR A MINIMUM OF 10 FEET AWAY FROM THE BUILDING FOUNDATION. FOR GRADE AND 2% FOR IMPERVIOUS MATERIAL. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE PROPOSED CONSTRUCTION AT A SLOPE NOT LESS THAN 5% TO A MINIMUM DISTANCE OF 10 FEET MEASURED HORIZONTALLY TO THE PERPENDICULAR FACE OF THE WALL. A 2% SLOPE AWAY FROM THE PROPOSED CONSTRUCTION IS REQUIRED FOR IMPERVIOUS MATERIALS WITHIN 10 FT. OF THE FOUNDATION.

The presented drawings, specifications, notes, design and arrangements represented hereafter and shall remain the property of the Designer. No part shall be reprinted, copied, duplicated or used in connection with any work or project other than the specific project for which they have been prepared and developed, without the written consent of the Designer. Visual content with these drawings shall constitute conclusive evidence of acceptance of these resolutions.

DRAFTSMAN

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date	revisions

NEW GARAGE ADDITION
FRED RAMIREZ RESIDENCE
2786 RODMAN DRIVE
LOS OSOS, CA 93402
OWNER: BRIAN COATES (805) 556-5622

date SEP 8 2014
printed
drawn by ariel zarate
project number 982
drawing **A1**
of
sheet **01**
of



GENERAL STRUCTURAL NOTES

GENERAL NOTES

- THE FOLLOWING NOTES, TYPICAL DETAILS AND SCHEDULES SHALL APPLY TO ALL PHASES OF THIS PROJECT UNLESS OTHERWISE SHOWN OR NOTED.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MINIMUM STANDARDS OF THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND SUCH OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK. THE CONTRACTOR SHALL HAVE A COPY OF THE CBC ON THE JOB SITE.
- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) AND SHALL NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK.
- ALL INFORMATION ON EXISTING CONDITIONS SHOWN ON DRAWINGS ARE BASED ON RECENT FIELD SURVEYS AND FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND INFORMATION SHOWN ON DRAWINGS OR IN THE SPECIFICATIONS (CONTRACT DOCUMENTS) BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS OF THE STRUCTURE.
- ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES CONCERNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES.
- THESE NOTES, DETAILS, DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) REPRESENT THE FINISHED STRUCTURE, AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE DRAWINGS AND GENERAL NOTES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ENSURE PROPER ALIGNMENT OF THE STRUCTURE AFTER THE INSTALLATION OF ALL STRUCTURAL AND FINISH MATERIALS. THIS SHALL INCLUDE ANY NECESSARY PRELIMINARY STRUCTURE TO DETERMINE FINAL POSITION OF THE COMPLETED WORK.
- OBSERVATION VISITS TO THE PROJECT SITE BY FIELD REPRESENTATIVES OF ARCHITECT AND/OR ENGINEER (SUPPORT SERVICES) SHALL NOT INCLUDE INSPECTIONS OF SAFETY OR PROTECTIVE MEASURES, NOR CONSTRUCTION PROCEDURES, TECHNIQUES OR METHODS. ANY SUPPORT SERVICES PERFORMED BY ARCHITECT OR ENGINEER DURING ANY PHASE OF CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES (AS REQUIRED BY ANY REGULATING GOVERNMENTAL AGENCY, IE. LOCAL BUILDING DEPARTMENT) PROVIDED BY OTHERS. THESE SUPPORT SERVICES OR WORK ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DOCUMENTS, BUT DO NOT GUARANTEE CONTRACTOR PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- PROVIDE OPENINGS AND SUPPORTS AS REQUIRED PER TYPICAL DETAILS AND NOTES FOR MECHANICAL AND ELECTRICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT SHALL BE PROPERLY "GUAY BRACED" AGAINST LATERAL FORCES.
- THESE NOTES, DETAILS, DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) DO NOT CARRY NECESSARY PROVISIONS FOR CONSTRUCTION SAFETY. THESE DOCUMENTS AND ALL PHASES OF CONSTRUCTION HEREBY CONTEMPLATED ARE TO BE GOVERNED AT ALL TIMES, BY APPLICABLE PROVISIONS OF THE CURRENT CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT.
- WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT WILL GOVERN.
- REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE WITH STRUCTURAL DRAWINGS AND ANY DISCREPANCY BETWEEN THESE DRAWINGS SHALL BE REFERRED TO THE ARCHITECT OR ENGINEER FOR CLARIFICATION BEFORE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DRAWINGS (NOTES, SCHEDULES, DETAILS AND PLANS) SHALL HAVE PRECEDENCE OVER STRUCTURAL CALCULATIONS.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
- NOT USED.
- A.S.T.M. DESIGNATION AND ALL STANDARDS REFER TO THE LATEST AMENDMENTS.
- MODIFICATIONS OF THESE NOTES, DETAILS, PLANS AND SPECIFICATIONS SHALL NOT BE MODIFIED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT OR ENGINEER.
- ONLY "APPROVED" STRUCTURAL WORKING DRAWINGS (AND OTHER CONSTRUCTION DOCUMENTS) ARE PERMITTED TO BE USED FOR CONSTRUCTION OF THIS PROJECT. ALL OTHER DRAWINGS ARE OBSOLETE AND ARE NOT PERMITTED ON THE JOB SITE. NOR SHALL THEY BE USED FOR ANY CONSTRUCTION PURPOSES. CONTRACTORS USING UNAPPROVED DRAWINGS ARE SOLELY RESPONSIBLE FOR ALL WORK NOT PERFORMED IN ACCORDANCE WITH THE "APPROVED" DRAWINGS.

FOUNDATION NOTES

- BASES: C.B.C. CHAPTER 18
- ALLOWABLE SOIL BEARING PRESSURE:
DEAD LOAD PLUS LIVE LOAD: 8000 P.S.F.
- UNDETECTED SOIL CONDITIONS, ALLOWABLE VALUES AND FOUNDATION DESIGN ARE BASED UPON ASSUMED SOIL CONDITIONS FOR THE LOCAL AREA. ACTUAL SOIL CONDITIONS WHICH DEVIATE APPRECIABLY FROM THAT WHICH IS COMMON FOR THE LOCAL AREA SHALL BE REPORTED TO THE PROJECT ARCHITECT/ENGINEER.
- NOT USED.
- EXCAVATE TO REQUIRED DEPTHS AND DIMENSIONS (AS INDICATED IN DRAWINGS) SQUARE AND SPOOT WITH FIRM LEVEL. BOTTOMS CARE SHALL BE TAKEN NOT TO OVEREXCAVATE FOUNDATION AT LOWER ELEVATION AND PREVENT DISTURBING OF SOILS AROUND HIGH ELEVATION.
- FOOTINGS SHALL BE POURED IN NEAT EXCAVATIONS, WITHOUT SIDE FORMS WHENEVER POSSIBLE.
- CARRY ALL FOUNDATIONS TO REQUIRED DEPTHS INTO COMPACTED FILL OR NATURAL SOIL (AS PER STRUCTURAL PLANS AND DETAILS).

REINFORCING STEEL

- FOUNDATIONS SHALL NOT BE POURED UNTIL ALL REQUIRED REINFORCING STEEL, SLEEVES, INSERTS, CONDUITS, PIPES, ETC. AND FORMWORK IS PROPERLY PLACED AND INSPECTED BY THE LOCAL BUILDING OFFICIAL/INSPECTOR.
- THE SIDES AND BOTTOMS OF EXCAVATIONS WHICH ARE TO HAVE CONCRETE CONTACT MUST BE MOISTENED SEVERAL TIMES JUST PRIOR TO POURING UPON THEM.
- DE-WATER FOOTINGS AS REQUIRED TO MAINTAIN DRY WORKING CONDITIONS.
- ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY PROJECT SOILS ENGINEER, PRIOR TO FORMING AND PLACEMENT OF REINFORCING OR CONCRETE.

CONCRETE

- ALL CONCRETE SUPPLIED AT THE JOBSITE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2800 P.S.I. AT 28 DAYS. ALL CONCRETE SHALL BE REGULAR WEIGHT (UNLESS SPECIFICALLY NOTED OTHERWISE).
- ALL CONCRETE WORK SHALL COMPLY WITH C.B.C. CHAPTER 18.
- CONCRETE INSPECTION (AS REQUIRED OR SPECIFIED) SHALL CONFORM TO C.B.C. CHAPTER 17.
- CEMENT SHALL BE PORTLAND CEMENT TYPE I OR II AND SHALL CONFORM TO C.B.C. CHAPTER 18.
- AGGREGATES SHALL CONFORM TO A.S.T.M. C33.
- WHERE NOT SPECIFICALLY DETAILED, THE MINIMUM CONCRETE COVER ON REINFORCING STEEL SHALL BE:
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH OR WEATHER: 3"
 - B. CONCRETE PLACED AGAINST FORMS, BUT EXPOSED TO EARTH OR WEATHER: 2"
 - C. SLABS, WALLS & JOISTS, NOT EXPOSED TO EARTH OR WEATHER: 3/4"
 - D. BEAMS, GIRDERS & COLUMNS, NOT EXPOSED TO EARTH OR WEATHER: 1 1/2"

LUMBER/TIMBER

- REINFORCING BARS LARGER THAN #8 ARE NOT PERMITTED UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
- MINIMUM LAP FOR ALL REINFORCING BARS AT SPICES: (SPICES TO BE STAGGERED)

#3, #4	12"	#5	18"
#6	18"	#7	24"
#8	24"	#9	30"
#10	30"	#11	36"
#12	42"	#13	48"
- THE MINIMUM RADIUS OF BEND FOR REINFORCING STEEL (MEASURED ON THE INSIDE OF BEND) SHALL BE AS FOLLOWS:

#3	4D	#4	4D
#5	4D	#6	4D
#7	4D	#8	4D
#9	4D	#10	4D
#11	4D	#12	4D
#13	4D	#14	4D
- ALL ANCHOR BOLTS USED IN CONCRETE CONSTRUCTION SHALL HAVE A MINIMUM TOTAL EMBEDMENT AS FOLLOWS:

5/8" DIA OR SMALLER	12"
3/4" DIA	18"
1" DIA	24"
1 1/8" DIA	30"
1 1/2" DIA	36"
- LOCATION OF ALL CONSTRUCTION JOINTS OTHER THAN SPECIFIED, SHALL BE APPROVED BY ARCHITECT/ENGINEER PRIOR TO POURING. CONSTRUCTION JOINTS SHALL BE THOROUGHLY AIR AND WATER CLEANED AND HEAVILY ROUGHENED SO AS TO EXPOSE COARSE AGGREGATES. ALL SURFACES TO RECEIVE CONCRETE SHALL BE MAINTAINED CONTINUOUSLY WET AT LEAST THREE HOURS IN ADVANCE OF POURING.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOUELS, INSERTS AND ANY OTHER HARDWARE TO BE SET IN CONCRETE SHALL BE WELL SECURED IN POSITION PRIOR TO POURING OF CONCRETE.
- ARCHITECT OR ENGINEER AND INSPECTOR SHALL BE NOTIFIED FOR REINFORCING INSPECTION PRIOR TO POURING ANY CONCRETE.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM ARCHITECT/ENGINEER PRIOR TO PLACING SLEEVES, PIPES, DUCTS, CHASES, CORNERS AND OPENINGS ON OR THROUGH STRUCTURAL CONCRETE BEAMS, WALLS, FLOORS AND ROOF SLABS, UNLESS SPECIFICALLY DETAILED OR NOTED. ALL PIPES OR CONDUITS PASSING THROUGH CONCRETE MEMBERS SHALL BE SLEEVED WITH STANDARD STEEL PIPES. SEE DETAIL FOR SLEEVE AT FOUNDATION.
- FORMWORK DESIGN AND REMOVAL SHALL CONFORM TO C.B.C. SECTION 1806.
- VIBRATE ALL CONCRETE (INCLUDING SLABS ON GRADE) AS IT IS PLACED. VIBRATING SHALL BE OPERATED BY EXPERIENCED PERSONNEL. THE VIBRATOR SHALL BE USED TO CONSOLIDATE THE CONCRETE, NOT TRANSPORT IT. REINFORCING AND FORMS SHALL NOT BE VIBRATED.
- ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. MANUALS OF CONCRETE PRACTICE.
- FORM REMOVAL: REMOVE FORMS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

SIDE FORMS FOOTINGS: MINIMUM 2 DAYS
EDGE FORMS OF SLAB ON GRADE STRIP 1' MINIMUM 1 DAY
- CONCRETE SHALL NOT FREE FALL MORE THAN SIX FEET. USE TREHIE, PUMP OR OTHER APPROVED METHODS.
- CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF 5 DAYS AFTER PLACEMENT.
- CONTRACTOR SHALL SUBMIT REQUESTS FOR USE OF ADMIXTURES TO ARCHITECT/ENGINEER FOR HIS REVIEW.
- MIX DESIGNS SHALL BE PREPARED BY AN APPROVED TESTING LABORATORY AND SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- ONLY ONE GRADE OF CONCRETE SHALL BE ALLOWED ON PROJECT SITE AT ANY ONE TIME.
- UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE, CONSTRUCTION AND CONTROL JOINTS SHALL BE PROVIDED IN ALL CONCRETE SLABS AND SHALL BE LOCATED SUCH THAT THE AREA WITHIN JOINTS DOES EXCEED 400 SQ. FT. AND IS ROUGHLY SQUARE.
- EVERY OPENING (EXCEEDING 24" IN EITHER DIRECTION) SHALL HAVE A MINIMUM OF 2-#5 DIRECTLY ADJACENT TO ALL SIDES AS WELL AS TOP AND BOTTOM (UNLESS AT FOUNDATION). REINFORCING BARS SHALL EXTEND A MINIMUM OF 24" PAST EDGE OF OPENING.
- DOUCEL ALL CONCRETE WALLS AND COLUMNS TO SUPPORTING CONCRETE WITH BARS OF THE SAME SIZE AND SPACING AS VERTICAL BARS IN WALL AND COLUMNS. SEE NOTE #9 FOR LAP LENGTH. DO NOT "KICKY" BARS. ALL DOUELS SHALL BE VERTICAL.
- AT THE END, AS WELL AS TOP, OF WALLS SHALL BE A MINIMUM OF 2 #5 CONTIGUOUS.
- CONCRETE STRENGTH SHALL BE VERIFIED BY STANDARD CYLINDER TESTS (IN ACCORDANCE WITH C.B.C. SECTION 1809) MADE BY AN APPROVED TESTING LABORATORY. CONTRACTOR SHALL MAINTAIN COPIES OF TEST REPORTS AT JOB SITE AND AVAILABLE FOR REVIEW AND INSPECTION BY BUILDING OFFICIALS. MAKE 3 TEST CYLINDERS FOR EACH DAY'S POUR. TEST EACH BATCH OF CYLINDERS AS FOLLOWS: 1 AT 1 DAYS, AND 2 AT 28 DAYS.

REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE DEFORMED INTERMEDIATE GRADE BARS CONFORMING TO A.S.T.M. A-615, GRADE 60 UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL NOT BE WELDED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- WELDING OF REINFORCING STEEL (WHERE SPECIFICALLY NOTED OR DETAILED) SHALL CONFORM TO C.B.C. CHAPTER 22. WELDED BARS SHALL BE LOW-ALLOY STEEL CONFORMING TO A.S.T.M. A106/A106M.
- TO HOLD REINFORCING BARS IN THEIR TRUE POSITION AND PREVENT DISPLACEMENT, STANDARD TIE AND ANCHORAGE DEVICES MUST BE PROVIDED. PLACING OF REINFORCEMENT SHALL CONFORM TO C.B.C. SECTION 1807.5 & ACI 318-08.
- SHOP DRAWINGS FOR FABRICATION OF ANY REINFORCING STEEL SHALL BE APPROVED BY CONTRACTOR AND SUBMITTED TO ARCHITECT OR ENGINEER FOR HIS REVIEW, PRIOR TO FABRICATION.
- REFER TO CONCRETE AND CONCRETE BLOCK NOTES FOR MINIMUM SPICE LENGTH AND MINIMUM RADIUS OF BEND, OF REINFORCING STEEL.
- STAGGER SPICES IN REINFORCING STEEL, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- FABRICATION, ERECTION AND PLACEMENT OF REINFORCING STEEL SHALL CONFORM TO CONCRETE REINFORCING STEEL INSTITUTE OF STANDARD PRACTICE.
- ALL WOVEN WIRE MESH SHALL CONFORM TO A.S.T.M. A-185. LAP ALL WIRE MESH TWO MODULES.
- REINFORCING STEEL SHALL BE CLEAN OF RUST, GREASE OR OTHER MATERIAL LIKELY TO IMPAIR BOND.

LUMBER/TIMBER

- LUMBER GRADES: DOUGLAS FIR-LARCH
2x STUDS, BLOCKING & PLATES:
BEARING WALLS * OR BETTER
NON-BEARING WALLS CONSTRUCTION OR BETTER
- 2x JOISTS * OR BETTER
4x BEAMS * OR BETTER
6x BEAMS: EXPOSED (INT/EXT) SELECT STRUCTURAL OR BETTER
- 4x POSTS * OR BETTER
6x POSTS * OR BETTER
- FOUNDATION SILL PLATES SHALL BE CALIFORNIA REDWOOD (CLOSE GRAIN) OR PRESURE TREATED DOUGLAS FIR. SEE SHEAR WALL SCHEDULES AND FOUNDATION PLAN FOR ANCHOR BOLT SIZE AND SPACING. SEE CARPENTRY/FRAMING NOTE #6.
- PLYWOOD/OSB SHALL BE RATED SHEATHINGS (OR BETTER), EXPOSED TO GRADES BY APA. PLYWOOD SHALL CONFORM TO UNITED STATES PRODUCT STANDARDS PS 1-95. OSB SHALL CONFORM TO PS 2-92.
- LUMBER SHALL CONFORM TO C.B.C. CHAPTER 23.
- MAXIMUM MOISTURE CONTENT FOR ALL STRUCTURAL MEMBERS SHALL NOT EXCEED 19% UNLESS SPECIFICALLY NOTED OTHERWISE.

FASTENERS

- NAILING FOR FRAMING SHALL BE WITH "COMMON" NAILS (LON).

F _u	= 2400 P.S.I.
F _v	= 180 P.S.I.
F _c	= 480 P.S.I.
E	= 1,800,000 P.S.I.
- LAG SCREWS SHALL BE SCREWED INTO PREDRILLED HOLES. CLEARANCE HOLE FOR THE SHANK PORTION AND LEAD HOLE FOR THREADED PORTION SHALL BE DRILLED IN ACCORDANCE WITH C.B.C. SECTION 2351.2.
- BOLTS SHALL HAVE STANDARD CAST IRON MALLEABLE IRON WASHERS (UNLESS USED WITH METAL SIDE PLATES OR ANGLES).
- BOLT HOLES THROUGH LUMBER SHALL BE DRILLED 1/16" LARGER HOLE THAN BOLT DIAMETER.
- ALL BOLTS SHALL CONFORM TO A.S.T.M. 307.
- WASHERS AT EACH BOLT HEAD AND NUT, AT LOCATIONS WITH NO METAL SIDE PLATES.
- BOLT TIGHTENING: TAKE UP SLUGS AND RETIGHTEN AT THE LATEST PRACTICABLE TIME DURING CONSTRUCTION.
- NAILS SHALL NOT BE DRIVEN CLOSER THAN 1/2 OF THEIR LENGTH, NOT CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 LENGTH, EXCEPT FOR SHEATHINGS.
- SUB-BORE WHEN NAILS TEND TO SPLIT WOOD. SUB-BORE FOR 2x4 AND LARGER NAILS. DRILL DIAMETER SHALL BE 0.25 TIMES NAIL DIAMETER.
- PROVIDE 22# x 3" x 3" STEEL PLATE WASHER AT ALL ANCHOR BOLTS.
- FASTENERS FOR PRESERVATIVE TREATED WOOD & FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE IN ACCORDANCE WITH A.S.T.M. A 53. FASTENERS OTHER THAN NAILS, TIEBARS, RIVETS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH A.S.T.M. A 635, CLASS 55 MINIMUM.

DEMOLITION NOTES

- SAFETY NOTE:
A. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS, AS THEY APPLY TO THIS PROJECT, OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA, LATEST EDITION, AND ALL OSHA REQUIREMENTS.
B. THE ARCHITECT, STRUCTURAL ENGINEER, AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTORS FAILURE TO COMPLY WITH THESE REQUIREMENTS.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED.
- SHORE BEAMS WHERE NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.
- NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING STRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND LOCATION OF SHORING.

CARPENTRY/FRAMING

- SEE C.B.C. TABLE 2304.1.1 FOR MINIMUM NAILING REQUIREMENTS.
- METAL FRAMING (ANGLES, ANCHORS, CLIPS, STRAPS, TIES, HOLD-DOWNS, ETC.) SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO. OR AN APPROVED EQUAL.
- PLYWOOD USED IN ROOFS, FLOORS AND DECKS, SHALL BE PLACED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PLYWOOD SHEETS SHALL BE STAGGERED.
- FACE NAIL ALL DOUCEL (AND TRIPLE) 2x STUDS AND JOISTS TOGETHER WITH 1/4" AT 12" O.C. STAGGER NAILS TOP & BOTTOM.
- PROVIDE 2x SOLID FIRE BLOCKING IN ALL STUD WALLS AT 8'-0" (MAX) VERTICAL SPACING.
- UNLESS OTHERWISE NOTED, THE MINIMUM SILL/PLATE BOLTING SHALL BE 5/8" DIA x 10" ANCHOR BOLT AT 48" O.C. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE WITH ONE BOLT WITHIN 6" TO 8" OF EACH END OF PLATE. SEE LUMBER/TIMBER NOTE #2 AND FASTENERS NOTE #2.

- INTERIOR NON-BEARING, NON-SHEAR, STUD WALL SILL PLATES MAY BE SECURED TO CONCRETE SLABS WITH "H.L.T.M." TYPE X-DN12 SHOT PINS @ 16" O.C. WITH STEEL WASHERS. INSTALLATION SHALL CONFORM TO I.C.C. ESR-1663.
- IN GENERAL, PLYWOOD PANEL EDGES (FOR SHEAR WALLS, ROOFS, FLOORS AND DECKS) SHALL BEAR ON FRAMING MEMBERS (2x MINIMUM) AND BUTT ALONG THEIR CENTER LINES.
- PLACE BEAMS WITH NATURAL CAMBER UPWARD.
- UNLESS OTHERWISE SPECIFICALLY NOTED OR DETAILED SPICES IN CONTINUOUS DOUBLE 2x TOP PLATES SHALL BE LAPPED 4'-0" (MIN) WITH 1/4" AT 3" O.C. (STAGGERED).
- WHERE WOOD STUD WALLS ABUT CONCRETE OR MASONRY WALLS, THE END STUD (TRIPLE OR REDWOOD) SHALL BE BOLTED TO CONCRETE/MASONRY WITH 1/2" DIA. A.B. (WITH EMBEDMENT OF 2x WALL THICKNESS) 12" FROM TOP AND BOTTOM OF STUD AND AT 4'-0" O.C.
- PROVIDE 2x SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT ALL SUPPORTS AND UNDER ALL PARTITIONS. PROVIDE 2x SOLID BLOCKING (OR APPROVED SUBSTITUTES) AT 8'-0" O.C. BETWEEN AT 2x 12" AND LARGER JOIST AND RAFTERS.
- NO STRUCTURAL MEMBERS (JOISTS, PLATES, STUDS, BEAMS, COLLARS, ETC.) SHALL BE NOTCHED, CUT OR DRILLED (EXCEPT FOR THOSE HOLES REQUIRED FOR BOLTS) UNLESS SPECIFICALLY NOTED (SEE NOTE #4 & #5) OR DETAILED OTHERWISE, OR WITH WRITTEN APPROVAL FROM ARCHITECT/ENGINEER.
- HOLES AND NOTCHES IN JOISTS:
 - A. NOTCHES IN THE TOP & BOTTOM OF JOISTS SHALL NOT EXCEED ONE EIGHTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF SPAN OR WITHIN 12" OF SUPPORTS.
 - B. HOLES BORED IN JOISTS SHALL NOT EXCEED ONE EIGHTH OF JOIST DEPTH AND SHALL BE LOCATED WITHIN MIDDLE 2/3 OF SPAN AND WITHIN THE MIDDLE THIRD OF JOISTS DEPTH.
- HOLES AND NOTCHES IN STUDS, PLATES AND SILLS: BORED HOLES MAY BE PLACED IN STUDS AND SILLS PROVIDED THEY ARE ACCURATELY CENTERED ABOUT STUD, SPACED A MINIMUM OF 12" APART AND HOLE DIAMETER DOES NOT EXCEED 25% OF STUD WIDTH. STUDS MUST BE NOTCHED PRIOR TO INSTALLATION. NOTCH DEPTH DOES NOT EXCEED 25% OF STUD WIDTH. WHEN BORED HOLE EXCEEDS 25% OF STUD WIDTH, REINFORCE PLATE, SILL OR STUDS AS FOLLOWS:
 - A. PLATES: 1 1/2" x 1/8" STRAP EACH SIDE OF HOLE. NAILS WITH 4 - 16d NAILS EACH SIDE OF HOLE. HOLES OVER 33% OF PLATE WIDTH ARE NOT PERMITTED IN ANY PLATE. ANY PIPE OR CONDUIT REQUIRING A HOLE LARGER THAN 33% OF THE PLATE WIDTH SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
 - B. SILLS: SPICE IN A MANNER SIMILAR TO PLATES ABOVE. AT HOLES BETWEEN 25% AND 33% OF BOLT SIZE, HOLES MAY BE COMPLETELY CUT ON EACH SIDE OF A PIPE OR CONDUIT PROVIDED AN ADDITIONAL ANCHOR BOLT OR 6 - 16d IS PLACED WITHIN 12" OF THE END OF THE SILL, EACH SIDE OF THE PIPE OR CONDUIT.
 - C. STUDS: BLOCK ON EACH SIDE OF STUD WITH BLOCK OF 6x6" MATERIAL AND DIMENSION AS STUD. EXTEND 2 STUD WIDTHS EACH SIDE OF HOLE AND PROVIDE 3 - 16d NAILS TO STUD EACH SIDE OF HOLE. BORED HOLES GREATER THAN 33%, BUT LESS THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED, WHERE EACH STUD IS DOUBLED AND NOT MORE THAN TWO SUCCESSIVE DOUBLE STUDS ARE BORED AND EACH BORED STUD IS REINFORCED AS ABOVE.

GLUED-LAMINATED LUMBER

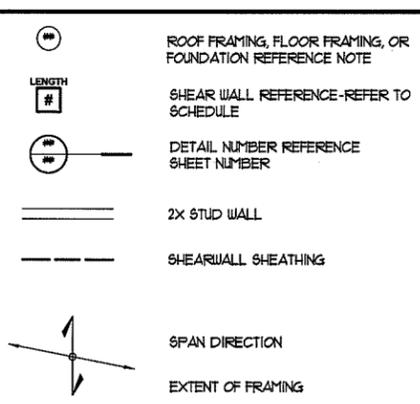
- ALL GLUED-LAMINATED BEAMS SHALL BE OF THE FOLLOWING:
 - A) STANDARD LAM BEAMS (GLUE) 2400# DOUGLAS FIR, (24F-V8 DFD) INDUSTRIAL APPEARANCE GRADE. (24F-V4/D1/D2) MAY BE USED FOR SILENCE SPANS)

F _u	= 2400 P.S.I.
F _v	= 180 P.S.I.
F _c	= 480 P.S.I.
E	= 1,800,000 P.S.I.
 - B) STANDARD LVL (ML) SHALL BE 1 3/4" USE US:

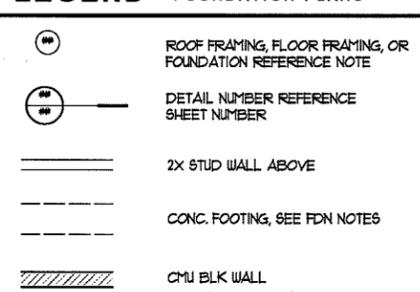
F _u	= 2600 P.S.I.
F _v	= 285 P.S.I.
F _c	= 1760 P.S.I.
E	= 1,800,000 P.S.I.
 - C) PARALLAM (FSL) BEAMS SHALL BE 20E US:

F _u	= 2300 P.S.I.
F _v	= 230 P.S.I.
F _c	= 650 P.S.I.
E	= 1,200,000 P.S.I.

LEGEND - FRAMING PLANS



LEGEND - FOUNDATION PLANS



SPECIAL INSPECTIONS

SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE (PER C.B.C. 1707) (THIS SECTION MAY BE SATISFIED BY INSPECTIONS CONDUCTED BY THE ENGINEER OF RECORD)

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODIC DURING TASK LISTED
1. DURING FIELD GLUING OF ALL EXPANSION & EPoxy ANCHORS & FTG DOUELS.	X	---
2. SHEARWALLS, SHEAR PANELS, & DIAPHRAGMS WHERE THE SHEATHING FASTENER SPACING IS LESS THAN OR EQUAL TO 4" O.C. INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM.	---	X

DESIGN INFORMATION

TRUSS DESIGN CRITERIA: ROOF DEAD LOAD = LIVE LOAD =	24 PSF 20 P.S.F.
DEFLECTION =	L/240, (D+ LL)
FLOOR DEAD LOAD = LIVE LOAD = PARTITION DEAD LOAD = DEFLECTION =	12 PSF 40 PSF 20 P.S.F. L/480 (LIVE LOAD)
WIND: 1. BASIC WIND SPEED= 2. WIND IMPORTANCE FACTOR (I)= 3. WIND EXPOSURE= 4. ANALYSIS PROCEDURE USED:	85 MPH 1.0 C WFCM 2001
SEISMIC: 1. SEISMIC IMPORTANCE FACTOR (I)= 2. S _s = S ₁ = 3. SITE CLASS= 4. SDS= SD1= 5. SEISMIC DESIGN CATEGORY= 6. BASIC SEISMIC FORCE RESISTING SYSTEM (ASCE 7-10, TABLE 12.2-1)= 7. DESIGN BASE SHEAR= 8. SEISMIC RESPONSE COEFF. (C _s)= 9. RESPONSE MODIF. FACTOR (R)= 10. ANALYSIS PROCEDURE USED:	1.0 1.5g NA D 1.4 NA D A-13 NA NA 6.5 SIMPLIFIED DESIGN PROCEDURE



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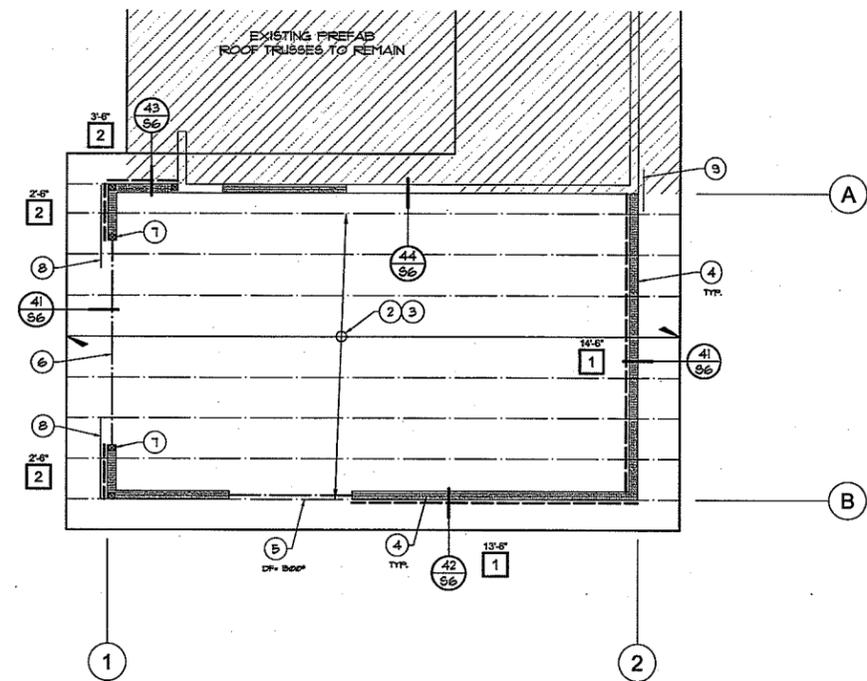
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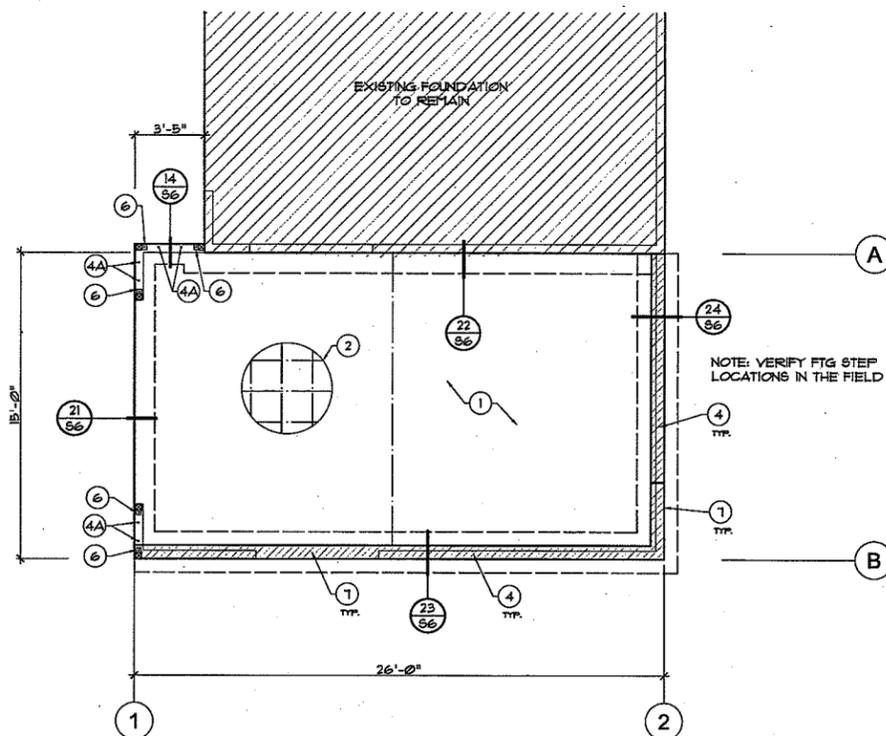
PROJECT TITLE:
RAMIREZ ADDITION/REMODEL
2786 RODMAN DRIVE
LOS OSOS, CA

REVISIONS:
DATE: 09/24/14
SCALE: AS SHOWN
DRAWN BY: DAN
JOB NO: 14049
SHEET TITLE:

GENERAL STRUCTURAL NOTES



ROOF FRAMING PLAN (REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS)
SCALE: 1/4"=1'-0"



FOUNDATION PLAN (VERIFY ALL DIMENSIONS WITH ARCH'L PLANS)
SCALE: 1/4"=1'-0"

WALL LEGEND

(N) 2X4 BRG WALL

ROOF FRAMING REFERENCE NOTES

- GENERAL TYPICAL NOTES: SEE GENERAL STRUCTURAL NOTES SHEET 6-1.
 - REFER TO ARCHITECTURAL FLOOR PLANS FOR INTERIOR NON-BEARING WALLS, SOFFITS AND EAVE DETAILS, AND MISCELLANEOUS NON-STRUCTURAL DETAILS AND REQUIREMENTS.
- TYPICAL ROOF SHEATHING: 5/8" PLYWOOD/OSB, APA RATED (PSI OR PS2).
 - PANEL INDEX 32/16.
 - USE EXTERIOR GRADE WHERE PLYWOOD IS EXPOSED TO WEATHER.
 - NAIL WITH 6d # 6-1/2" O.C. (TYPICAL UO/L).
 - LAY WITH FACE GRAIN PERPENDICULAR TO FRAMING.
 - STAGGER SHEETS.
- PRE-ENGINEERING ROOF TRUSSES AT 24" O.C.
 - SEE TRUSS NOTES, SHEET 6-1.
 - TRUSS MANUFACTURER SHALL DESIGN ALL TRUSS TO TRUSS HANGERS.
- 2X STUD BEARING WALL.
 - 2X4 STUDS @ 16" O.C.
 - USE 2X4 DF # 2 (7IN) HEADER OVER ALL DOORS AND WINDOWS (UO/L).
 - SEE DETAIL B156 FOR TYPICAL TOP PLATE SPLICE.
 - BALLOON FRAME WALLS AT ALL VAULTED AREAS.
- 4X4 DF # 1 HEADER.
 - SEE DETAIL B156.
- 4X4 POST.
 - SIMPSON LCE, HEADER TO POST.
- BLOCK 4 STRAP FOR EXTENT OF SHEARWALL AT HEADER.
 - SEE DETAIL B376.
- SIMPSON ST6224 STRAP AT PLATE TIE.
 - SEE DETAIL B376.

SHEAR WALL SCHEDULE GARAGE ADD.

SYMBOL	SHT'G (1, 2, 3, 6)	NAILING (1)	SILL CONNECTION	SILL ANCHOR BOLTS (4)	REMARKS
1	1/2" PLYUD	16d @ 6-1/2" O.C.	NA	5/8" DIA. AB. @ 12" O.C. (3)	
2	1/2" PLYUD (1)	16d @ 3-1/2" O.C. (1)	NA	2-5/8" DIA. AB. EQ. SPACED (3)	

SHEAR WALL SCHEDULE NOTES

- "COMMON" TYPE NAILS. ALL PLYWOOD NAILS SHALL BE COMMON FOR THIS SCHEDULE (6d/8-1/2" X 1 1/2" X 1 1/2" DIA. 1 1/2" X 1 1/2" X 1 1/2" DIA). NAILS SHALL HAVE 1/2" MINIMUM EDGE DISTANCE. NAILS PENETRATING PRESSURE TREATED LUMBER SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL.
- CDX STRUCTURAL I, C-D, OR C-C PLYWOOD WITH ALL EDGES BLOCKED.
 - OSB "APARATED" SHEATHING MAY BE USED IN PLACE OF CDX PLYWOOD.
- 2X (OR 3X) PTDF SILL PLATE. MIN. TWO ANCHOR BOLTS PER PLATE WITH ONE ANCHOR BOLT 6" TO 12" FROM EACH END OF PLATE. ANCHOR BOLTS SHALL HAVE 1" MIN EMBEDMENT.
 - PROVIDE 229" X 3" X 3" PLATE WASHERS AT ALL ANCHOR BOLTS.
- SAME DIAMETER X 6" WEDGE ANCHORS MAY BE SUBSTITUTED FOR SPECIFIED ANCHOR BOLTS PROVIDED THE ANCHORS ARE EMBEDDED 4" INTO EXISTING CONCRETE AND MINIMUM EDGE DISTANCE REQUIREMENTS ARE MET.
 - PROVIDE 229" X 3" X 3" PLATE WASHERS AT ALL ANCHOR BOLTS.
- SHEATHING SHALL BE CONTINUOUS ENTIRE HEIGHT OF WALL (FLOOR TO FLOOR, OR FLOOR TO ROOF).
- CONTINUE SHEATHING (AND NAILING) OVER SIDE OF POST AT END OF SHEARWALL.
- 2X (MIN) STUDS AND BLOCKING AT ALL ADJOINING PANEL EDGES, STAGGER NAILING AT ALL ADJOINING PANEL EDGES AND AT BOTTOM PLATE.

FOUNDATION REFERENCE NOTES

- GENERAL TYPICAL NOTES: SEE STRUCTURAL NOTES, SHEET 6-1. ALL CONCRETE SHALL BE 2800 PSI. AT 28 DAYS. SEE ARCHITECTURAL DRAWINGS FOR ALL EMBEDDED ITEMS AND NON-STRUCTURAL COMPONENTS ASSOCIATED WITH CONCRETE WORK.
- 4" CONCRETE SLAB WITH 1/2" O.C. AT MID-DEPTH OF SLAB OVER 4" COMPACTED SAND BASE WITH WATERPROOF MEMBRANE AT MID-DEPTH OF SAND.
 - SEE DETAIL 12/86.
- CONCRETE CONTROL JOINT.
 - PROVIDE TOOLED EDGE AT JOINT.
 - OPTION: SAW CUT. SEE DETAIL 13/86.
- 2X PTDF SILL WITH 5/8" DIA. ANCHOR BOLTS @ 6-1/2" O.C. (MINIMUM) PROVIDE 229" X 3" X 3" STEEL PLATE WASHERS AT ALL ANCHOR BOLTS.
 - 2-5/8" DIA. AB. EQ. SPACED.
- SIMPSON HD12 W/ DOUBLE 2X POST MIN.
 - SEE DETAIL 32/86.
 - SIMPSON 807820 ANCHOR BOLT.
- SIMPSON HD14 W/ 4X POST MIN.
 - SEE DETAIL 32/86.
 - SIMPSON 807824 ANCHOR BOLT.
- CHU BLK RETAINING WALL - SOLID GROUTED.
 - SEE DETAILS 23/86 & 24/86.

GENERAL FOUNDATION NOTES

- THE FOUNDATION DESIGN SHALL BE BASED ON THE MINIMUM REQUIREMENTS AS SET FORTH IN CHAPTER 19 OF THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE IF ANY UNUSUAL CONDITIONS EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING WITH ANY ADDITIONAL WORK.
- PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, A SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT:
 - THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH C.B.C. AND/OR SOILS ENGINEER'S RECOMMENDATIONS.
 - THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED.
 - THE FOUNDATION EXCAVATIONS COMPLY WITH THE SOILS ENGINEER'S RECOMMENDATIONS.
 - THE SOILS EXPANSION INDEX IS VERIFIED.
- HOLDINGS, ANCHOR BOLTS, TIEDOWN ANCHORS, FOUNDATION STRAPS, ETC. SHALL BE IN PLACE HELD BY TEMPLATES OR WIRE TIES, PRIOR TO CONCRETE INSPECTION.
- HOLDOWN ANCHORS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.



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2786 RODMAN DRIVE
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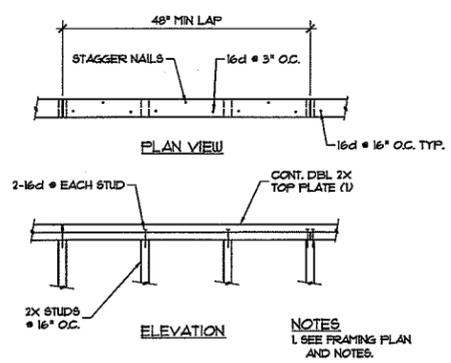
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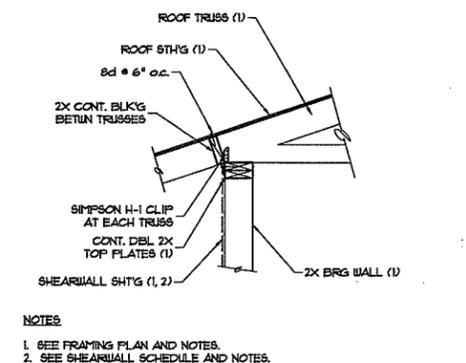
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GARAGE FOUNDATION & ROOF FRAMING PLANS

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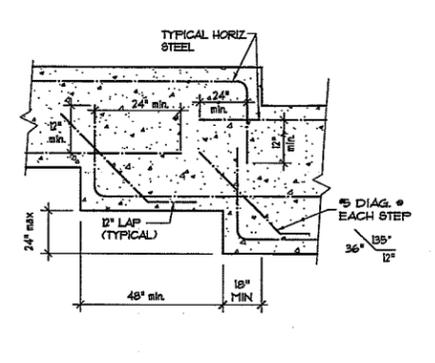
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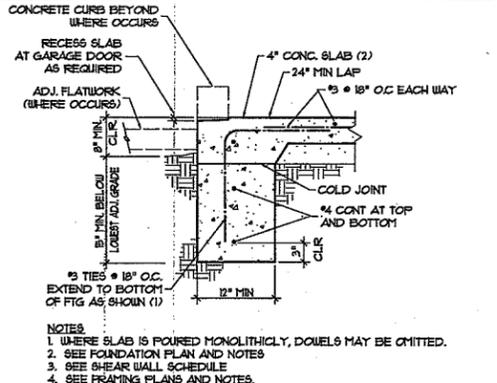
TOP PLATE SPLICE (51)
N.T.S.



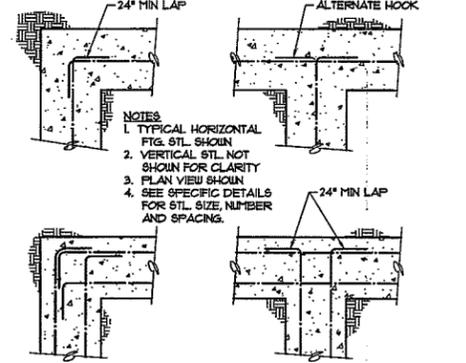
TRUSS AT BRG WALL (41)
N.T.S.



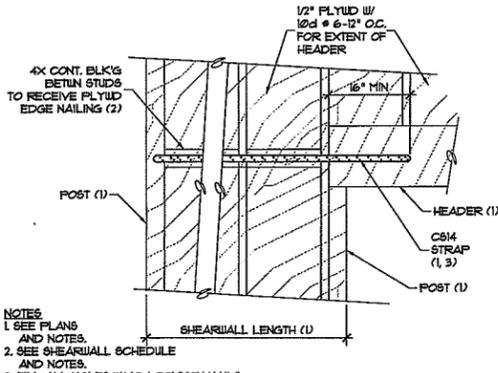
STEPPED FTG (31)
N.T.S.



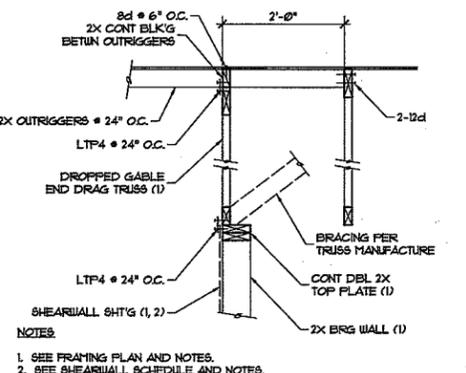
CONC. FTG AT GARAGE DR. (21)
N.T.S.



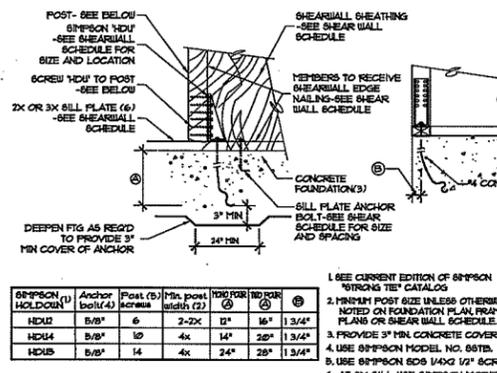
TYP. CONC CORNER (11)
N.T.S.



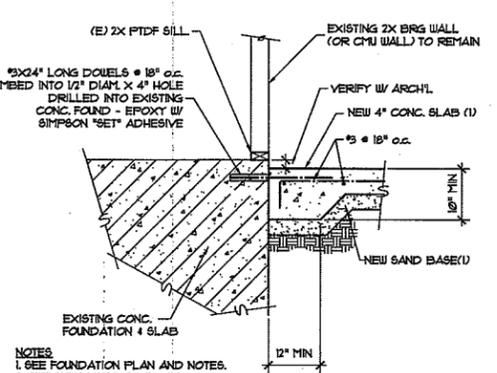
BLK & STRAP AT HEADER (52)
N.T.S.



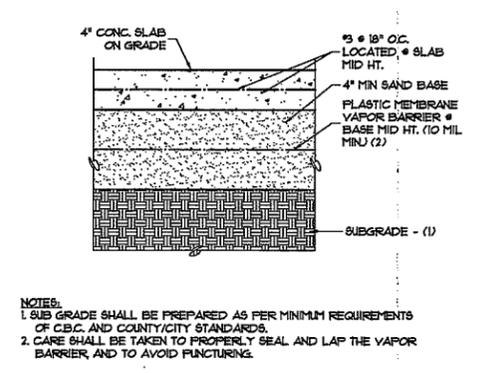
GABLE END (42)
N.T.S.



TYP. HOLDOWN (32)
N.T.S.



(N) SLAB AT (E) FND (22)
N.T.S.



TYP. SLAB SECTION (12)
N.T.S.

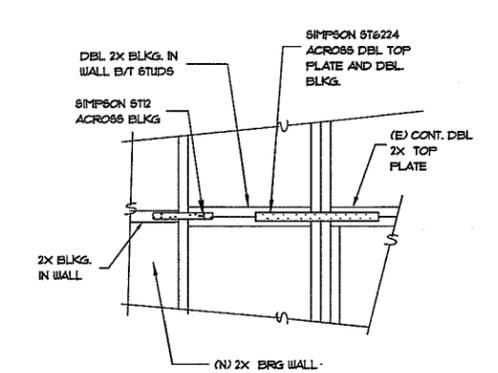
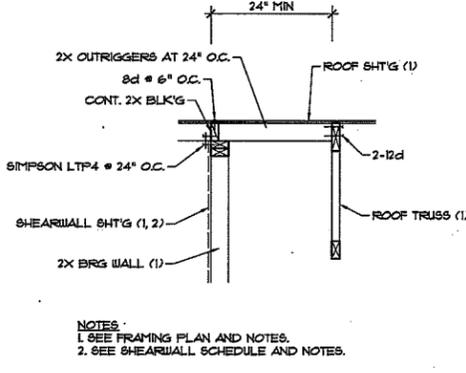
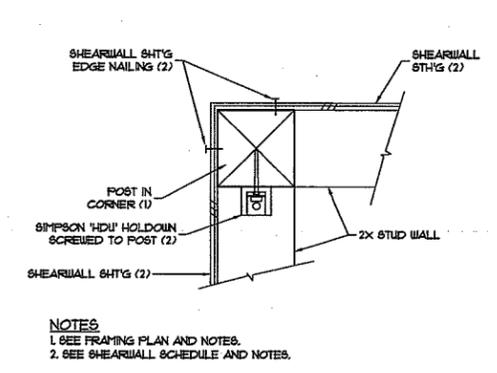


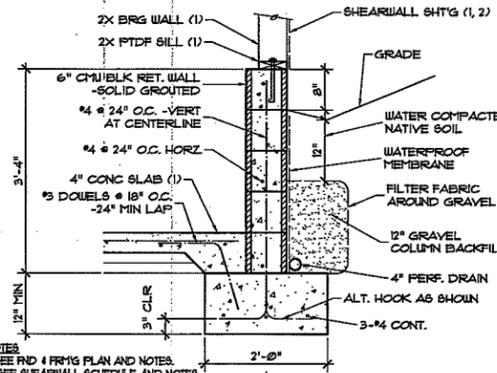
PLATE TIE @ (E) TOP PLATE (53)
N.T.S.



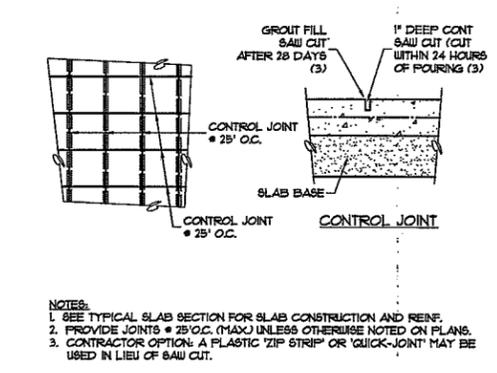
GABLE END - BALLOON FRAMED (43)
N.T.S.



HOLDOWN AT CORNER (33)
N.T.S.



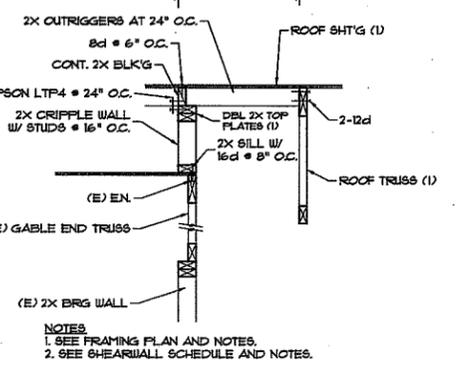
CMU BLK RET. WALL (23)
N.T.S.



CONTROL JOINT (13)
N.T.S.



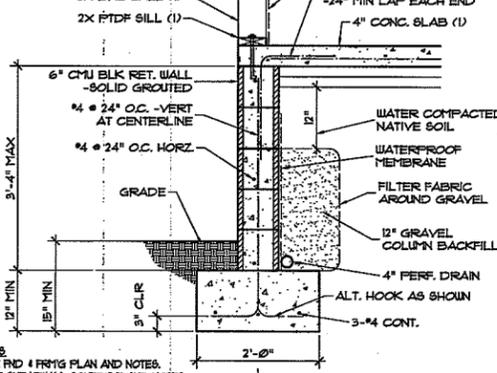
(N) ROOF AT (E) (54)
N.T.S.



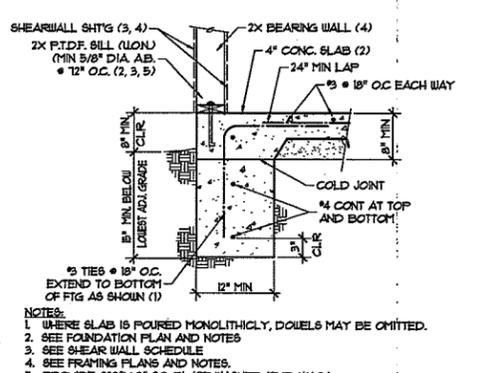
(N) ROOF AT (E) (44)
N.T.S.



CMU BLK RET. WALL (34)
N.T.S.



CMU BLK RET. WALL (24)
N.T.S.



EXTERIOR CONC. FTG (14)
N.T.S.



S&E ENGINEERING, INC.
STRUCTURAL DESIGN & ANALYSIS
P.O. Box 481, Arroyo Grande, CA 93421
Ph: 805.748.5705
Email: info@s2engineering.com

FOR REVIEW
09/26/2014
5:38:54 PM

NOTES:
THESE PLANS, INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES AND DETAILS ARE THE PROPERTY OF S&E ENGINEERING, INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF S&E ENGINEERING, INC.

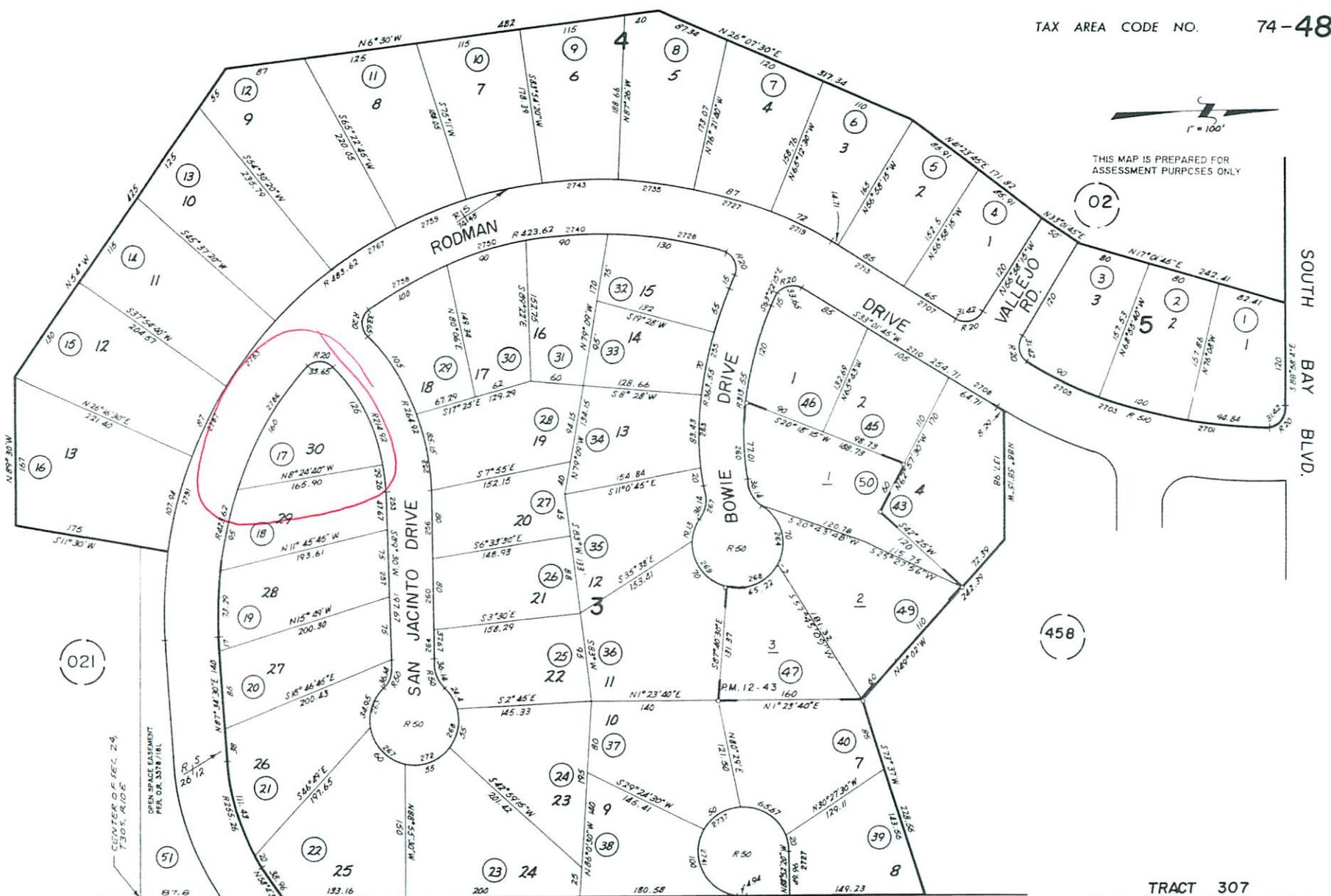
PROJECT TITLE:
RAMIREZ ADDITION/REMODEL
2786 RODMAN DRIVE
LOS OSOS, CA

REVISIONS:
DATE: 09/26/14
SCALE: AS SHOWN
DRAWN BY: DAN
JOB NO: 14049
SHEET TITLE:

STRUCTURAL DETAILS
SHEET NUMBER:
S - 6



THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY



021

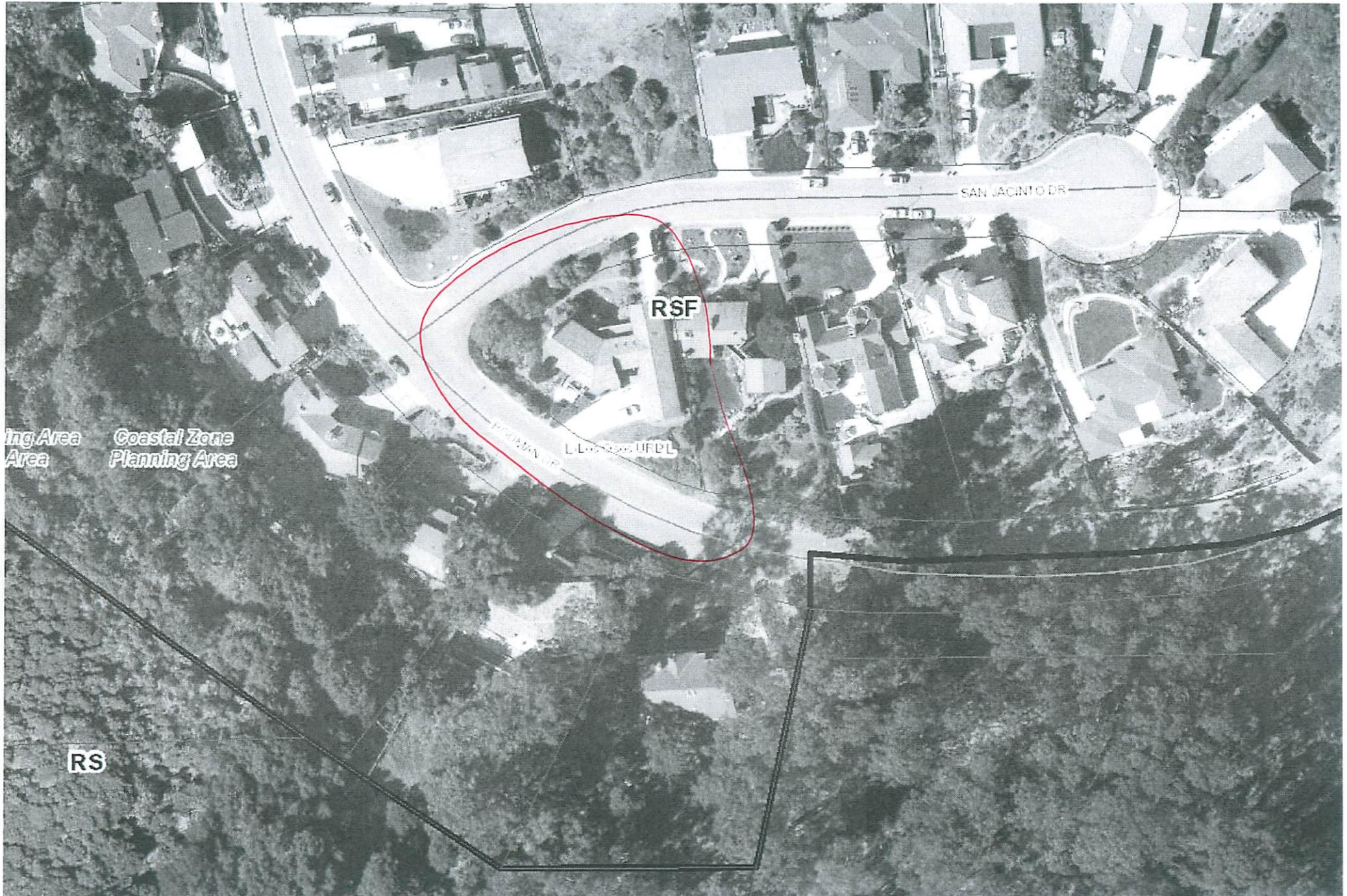
458

CENTER OF REC. 24
7305, RIDE
OPEN SPACE EQUIPMENT
PER. OR. 3378 / RL

REV 5-21-79
10-10-69

NOTE—ASSESSOR'S BLOCK & LOT NUMBERS SHOW IN CIRCLES
(PTN.) TRACT 307 — CABRILLO ESTATES RM BK.7 PG.47

TRACT 307
SAN LUIS OBISPO COUNTY
CALIFORNIA



SAN JACINTO DR

RSF

L.L. ... UFDL

ing Area Area
Coastal Zone Planning Area

RS



Parcel Summary Report For Parcel # 074-482-017

10/17/2014
1:26:23PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN RAMIREZ FRED
PO BOX 8528 PORTERVILLE CA 93258-8528

Address Information

Status Address
P 02786 RODMAN DR LSOS

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
307	0003	0030	Los Osos	Estero Plannin	RSF	LCP	CAZ	Y		

Parcel Information

Status Description
Active TR 307 BL 3 LT 30

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS
NO. 02
LOS OSOS, ZONE B
LOS OSOS, ZONE D



Parcel Summary Report For Parcel # 074-482-017

10/17/2014
1:26:23PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

73776 FNL Primary Parcel

Description:

REPAIR LEACH LINES TO SFD

COD2011-00104 CLD Primary Parcel

Description:

VACATION RENTAL OUT OF COMPLAINE

COD2011-00278 CLD Primary Parcel

Description:

REPORTED UNSECURED PROPERTY WITH HOTTUB

DRC2014-00036 REC Primary Parcel

Description:

GARAGE AND DECK

PMT2011-01050 FNL Primary Parcel

Description:

REPLACE & REPAIR GAS LINE FROM METER TO DWELLING

PMT2014-00976 REC Primary Parcel

Description:

REMODEL - 633 SQ FT REMODEL AND CONVERT 291 SQ FT DECK TO UNCONDITIONED SUNROOM. DECK AND GARAGE ON FUTURE PERMIT.

SEP2010-00252 ISS Primary Parcel

Description:

Septic Inspection

ZON2007-00009 APV Primary Parcel

Description:

VACATION RENTAL