



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/23/2014

TO: \_\_\_\_\_

FROM: Kerry Brown (805-781-5713 or kbrown@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2014-00039 STEINMANN – Proposed minor use permit for a single family residence (1,357 sf) with carport (400 sf). Site location is Cabrillo St (x-street 13<sup>th</sup>). Cayucos. APN: 073-095-007

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

MINOR USE PERMIT

SFR (1357 SQ FT), CARPORT (400 SQ FT)

EST/ EST

AG GS LCP

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

### APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Joseph Steinmann Daytime Phone 772-7411  
 Mailing Address 785 Quintana Rd. P.M.B.161. Morro Bay, Ca. Zip Code 93442  
 Email Address: \_\_\_\_\_

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

Agent Name San Luis Sustainability Group Daytime Phone 438-4452  
 Mailing Address 16550 Oracle Oak Way, Santa Margarita, Ca. Zip Code 93453  
 Email Address: slog@slonet.org

### PROPERTY INFORMATION

Total Size of Site: 2.17 acres Assessor Parcel Number(s): 073-095-007  
 Legal Description: Portion of Lot 53 of the subdivision of the Rancho Morro Y Cayucos  
 Address of the project (if known): Corner of Cabrillo and 13th Streets  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: 13th Street to Cabrillo Ave

Describe current uses, existing structures, and other improvements and vegetation on the property:  
None

### PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): SFR-(1357 sq ft), Carport ( 400 sq ft)

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Joseph Steinmann Date 9-6-14

**FOR STAFF USE ONLY**  
 Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: \_\_\_\_\_  
Access from abandoned county road- Cabrillo Ave

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: None/open South: Residential  
East: Open/Residential West: Ca. Hwy 1

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 1757 sq. feet 1.8 % Landscaping: \_\_\_\_\_ sq. feet \_\_\_\_\_ %  
Paving: 1339 sq. feet 1.4 % Other (specify) Elevated deck-558 sq ft-0.6%  
Total area of all paving and structures: \_\_\_\_\_ 3654  sq. feet  acres  
Total area of grading or removal of ground cover: 3701  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 19'  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 25' Right 30' Left 30' Back 30'

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire-SLO

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 2  
Total floor area of all structures including upper stories, but not garages and carports: 1357 sq ft  
Total of area of the lot(s) minus building footprint and parking spaces: 90871.2 sq ft- 2.08 acres

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: \_\_\_\_\_ acres  
Moderate slopes of 10-30%: ✓ \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site? (370' to Resid.)  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: Ca.Hwy 1, Cabrillo Ave

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 20 gal/day
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements? (Proposed new well, Not yet tested)  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 200' feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: \_\_\_\_\_ Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

1. What type of solid waste will be generated by the project?  
 Domestic    Industrial    Agricultural    Other, please explain? \_\_\_\_\_
2. Name of Solid Waste Disposal Company: Cayucos Comm. Service
3. Where is the waste disposal storage in relation to buildings? East side of buildings
4. Does your project design include an area for collecting recyclable materials and/or composting materials?    Yes    No

**Community Service Information**

1. Name of School District: Cayucos-Morro
2. Location of nearest police station: 1.5 miles
3. Location of nearest fire station: 1.5 miles
4. Location of nearest public transit stop: .25 miles
5. Are services (grocery/other shopping) within walking distance of the project?    Yes    No  
If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

1. Please describe the historic use of the property:  
Zoned Ag.-none
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?    Yes    No  
If yes, please describe: \_\_\_\_\_
3. Has an archaeological surface survey been done for the project site?    Yes    No  
If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
2. How many people will this project employ? \_\_\_\_\_
3. Will employees work in shifts?    Yes    No  
If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes    No   If yes, please explain: \_\_\_\_\_
5. Will this project increase the noise level in the immediate vicinity?    Yes    No  
If yes, please explain: \_\_\_\_\_  
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
7. Will hazardous products be used or stored on-site?    Yes    No  
If yes, please describe in detail: \_\_\_\_\_
8. Has a traffic study been prepared?    Yes    No   If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_ Passive solar resid.

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

Screen planting, Maintain Clearnace from slide area, Minimize footprint and grading

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): \_\_\_\_\_

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

**CUT/FILL QUANTITIES**

CUT	= 117 CU.YRD.	(6' MAX. CUT)-NORTH RESID.
FILL	= 99 CU.YRD.	(3' MAX. FILL)-BELOW DRIVE
CUT + FILL	= 216 CU.YRD.	

**RETAINING WALLS**

<b>CMU RETAINING WALLS</b>		
BELOW RESID.		
<4'	-18 L.F.	
(4'-6')	-72 L.F.	
NORTH OF RESID.		
<4'	-21 L.F.	
(4'-6')	-72 L.F.	

**AREA OF SITE DISTURBANCE**

34,000 SQ. FT. - .5 ACRES

**SOILS INSPECTION/TESTING**

ACCORDING TO THE SOILS REPORT FOR THE PROJECT (#SLO-001205-1 BY GEOSOLUTIONS, INC.) THE SOIL ENGINEER WILL PERFORM A PROGRAM OF MONITORING AND TESTING DURING CONSTRUCTION TO CHECK COMPLIANCE WITH THE RECOMMENDATIONS GIVEN IN THE REPORT. THE RECOMMENDED TESTING AND OBSERVATION WILL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

- OBSERVATION AND TESTING DURING SITE PREPARATION, GRADING, PLACING OF ENGINEERED FILL, FOUNDATION CONSTRUCTION, AND UTILITY TRENCH CONSTRUCTION.
- THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED BY A REPRESENTATIVE OF THE SOIL ENGINEER PRIOR TO PROCESSING AND PLACING OF FILL.
- IMPORT SOIL CAN BE EVALUATED, BUT WILL NOT BE PREQUALIFIED BY THE SOIL ENGINEER. IMPORT IS TO BE EVALUATED BY THE SOIL ENGINEER AFTER MATERIAL IS AT THE PROJECT SITE. IT IS RECOMMENDED THAT THE SOILS ENGINEER BE RETAINED TO ALLOW FOR DESIGN CHANGES IN THE EVENT THAT SUBSURFACE CONDITIONS DIFFER FROM THOSE ANTICIPATED PRIOR TO THE START OF CONSTRUCTION.
- IF SOILS BECOME UNSTABLE DURING GRADING DUE TO EXCESSIVE SUBSURFACE MOISTURE, RECOMMENDATIONS FOR STABILIZATION SHOULD BE PROVIDED BY THE SOILS ENGINEER AS NEEDED DURING CONSTRUCTION.
- BACKFILL OPERATIONS OF UTILITY TRENCHES SHOULD BE OBSERVED AND TESTED BY THE SOILS ENGINEER TO MONITOR COMPLIANCE WITH THE REPORT RECOMMENDATIONS.
- FOUNDATION EXCAVATIONS SHOULD BE VISUALLY OBSERVED BY A REPRESENTATIVE OF THE SOILS ENGINEER AFTER EXCAVATION, BUT PRIOR TO PLACING REINFORCING STEEL OR CONCRETE.

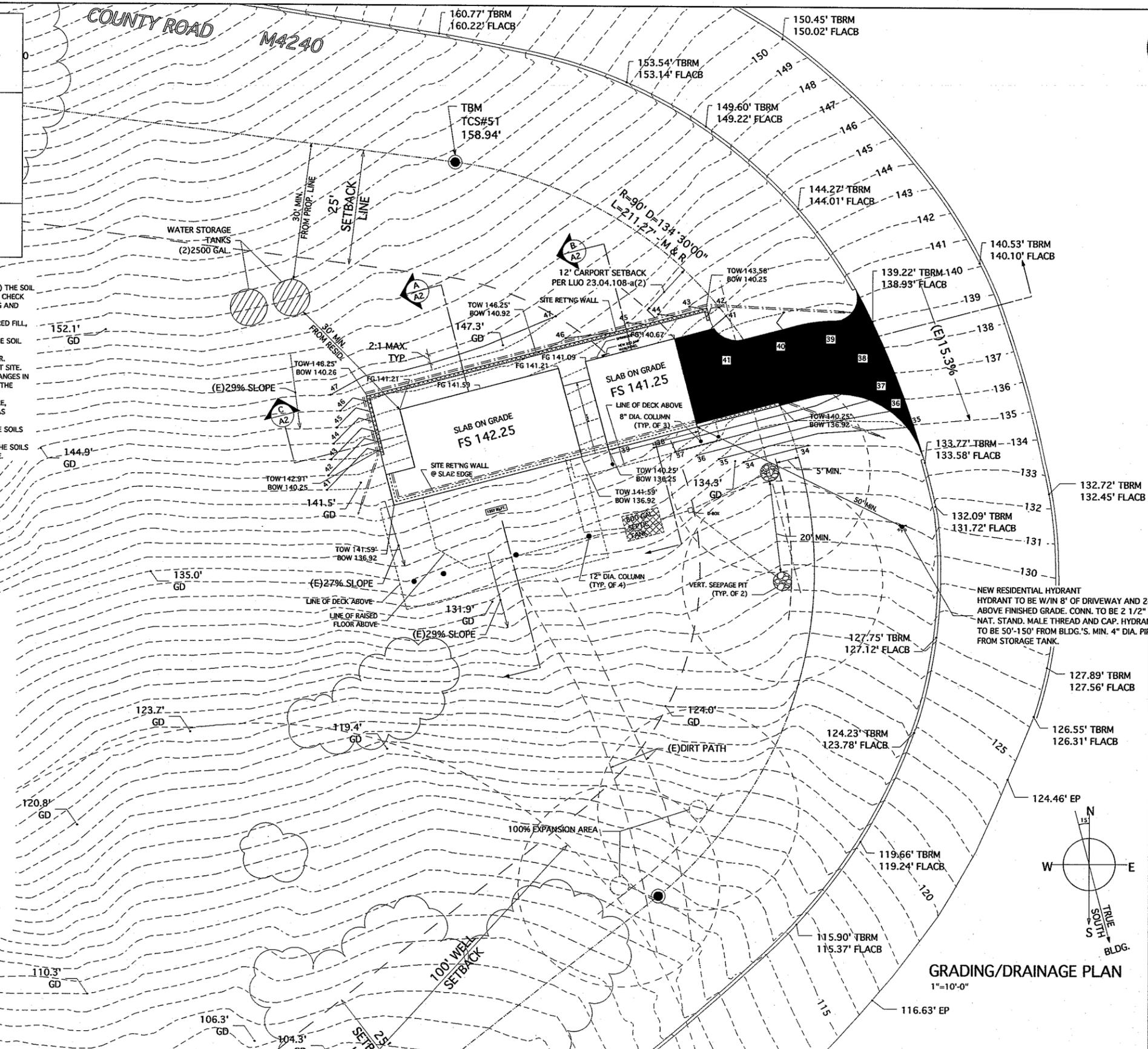
**APN 073-095-007**  
**2.17 ACRES**

**GRADING PLAN NOTES**

- FOR EARTHWORK PURPOSES THESE PLANS ASSUME A HOLDDOWN FOR THE DRIVEWAY OF 12". OTHER AREAS ARE ASSUMED TO HAVE A 8" HOLDDOWN. FINAL STRUCTURAL SECTION TO BE DETERMINED IN THE FIELD BY PROJECT SOILS ENGINEER.
- INSTALL 12" DRAINAGE BASIN AS PER ADS DRAINAGE PRODUCTS OR APPROVED EQUIV.
- INSTALL 8" C.I. GRATE (BOLT-DOWN) PER ADS DRAINAGE PRODUCTS OR APPROVED EQUIV.
- INSTALL 6" HDPE STORMDRAIN TO INVERT ELEVATIONS SHOWN, S=.005 MIN.
- INSTALL 8" DIA. HDPE FLARED END SECTION PER MANUF. SPEC.
- PLACE "LIGHT" CLASS ROCK, METHOD B PLACEMENT, PER CALTRANS STAND. SPEC. 72-2. SEE PLAN FOR QUANTITY OF ROCK
- CONNECT ROOF DRAINS TO DRAINAGE INLET AS SHOWN ON PLANS.
- EXTEND BACK OF WALL SUBDRAIN TO DAYLIGHT AT S=.005 MIN. AS SHOWN ON PLAN
- DOWNSPOUT FROM ABOVE WITH GRAVEL BASIN PER
- DOWNSPOUT FROM ABOVE. SURFACE FLOW TO OVERALL SITE DRAINAGE
- TYPICAL EARTHEN SWALE. SLOPE TO DRAIN. S=.01 MIN.

**PAD CERTIFICATION/REPORT REQUIRED**

A FINAL REPORT PREPARED BY A SOIL OR CIVIL ENGINEER SHALL BE SUBMITTED TO THE FIELD INSPECTOR STATING THAT THE WORK PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT SHALL INCLUDE ANY FIELD PROGRESS REPORTS, COMPACTION DATA, ETC.



THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE SOLE PROPERTY OF SAN LUIS SUSTAINABILITY GROUP. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

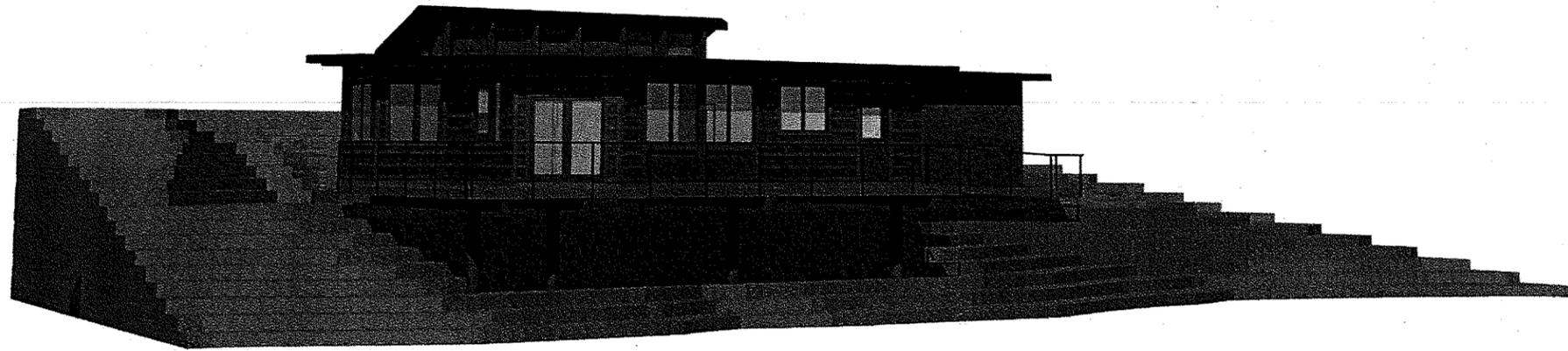
**San Luis Sustainability Group**  
16550 Orange Oak Way, Santa Margarita, CA 93453  
(805) 438-4452 sls@sustainabilitygroup.com

STEINMANN RESIDENCE  
APN #: 073-095-007

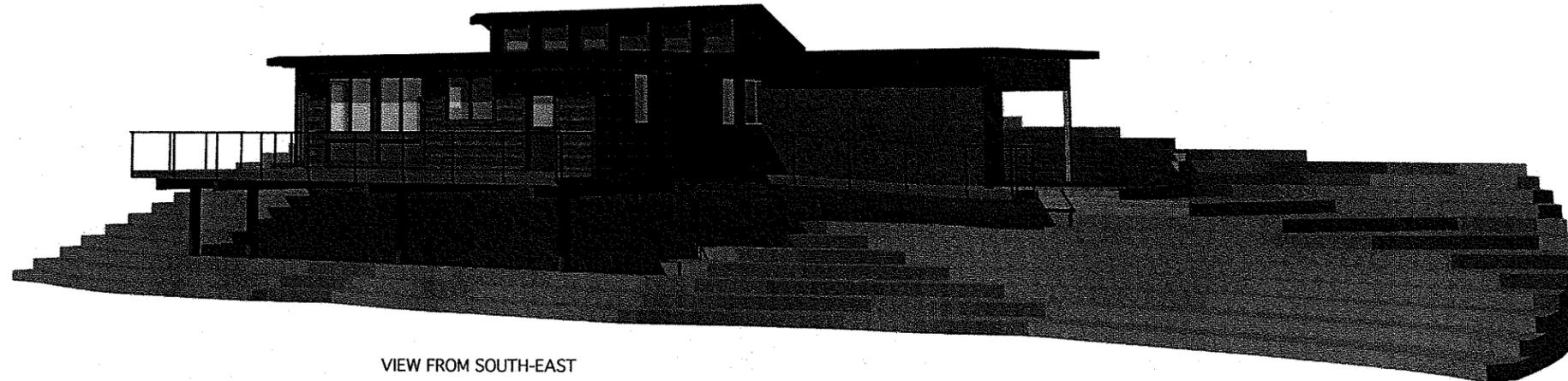
GRADING / DRAINAGE PLAN  
1" = 10'-0"

Revision	Date

Drawing No. **C2.1**



VIEW FROM SOUTH-WEST



VIEW FROM SOUTH-EAST

INDEX	
COVER SHEET	T1
PRELIM. GRADING PLAN 1"=10'	C2.1
SITE PLAN 1"=20'	A1.1
SITE PLAN 1"=10'	A1.2
SITE SECTIONS	A2
FLOOR PLAN	A3
SECTIONS	A4
ELEVATIONS	A5
EXTERIOR LIGHTING PLAN	L1



THE ABOVE DRAWINGS AND SPECIFICATIONS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR USED IN CONNECTION WITH ANY WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**San Luis Sustainability Group**  
 16550 Oracle Oak Way, Santa Margarita, Ca 93453  
 (805) 438-4454    sls@sustgroup.org

STEINMANN RESIDENCE  
 APN #: 073-095-007

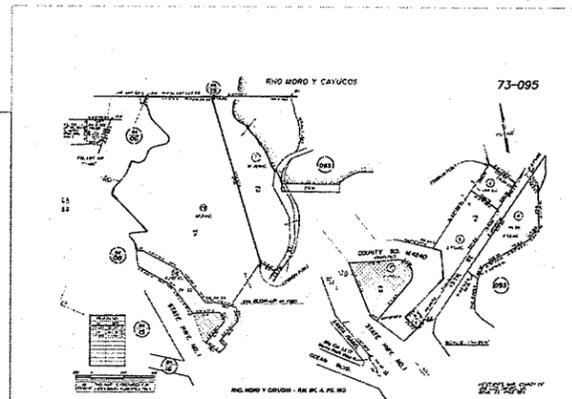
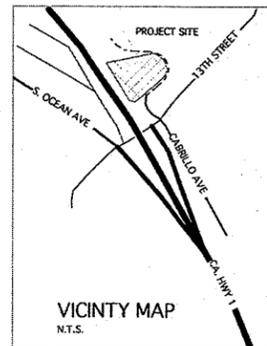
COVER SHEET

Revision Dates

10/14/14

Drawing No.

T1



**APPLICABLE CODES**

- 2013 California Energy Code
- 2013 California Building Code, Vols 1 & 2 (2010 IBC & CA amend.)
- 2013 California Electric Code (2012 NEC & CA amend.)
- 2013 California Fire Code (2012 IFC)
- 2013 California Green Building Code, (New)
- 2013 California Mechanical Code (2012 UMC)
- 2013 California Plumbing Code (2012 UPC, & CA amend.)
- 2013 California Reference Standards Code
- 2013 California Residential Code (New)(2012 IRC)
- County Building & Construction Ordinance - Title 19
- County Coastal Zone Land Use Ordinance - Title 23
- County Fire Code Ordinance - Title 16
- County Land Use Ordinance - Title 22
- California Title 24: CA State Energy & Accessibility Standards

**SCOPE OF WORK**

- SINGLE FAMILY RESIDENCE ( 1357 SQ. FT.-1285 SQ. FT. CFA)
- 2 BDRM, 2 BATH
- ATTACHED GARAGE (400 SQ. FT.)
- DECK AREA (558 SQ.FT. TOTAL)
- NEW SEPTIC/LEACH FIELD
- NEW SERVICES (PROPANE, PHONE, ELECTRICAL, & WATER FROM NEW WELL)
- NEW A/C DRIVEWAY

**DRAWINGS DATED**

OCT. 14, 2014

SUPERCEDES ALL DRAWINGS WITH PREVIOUS DATES



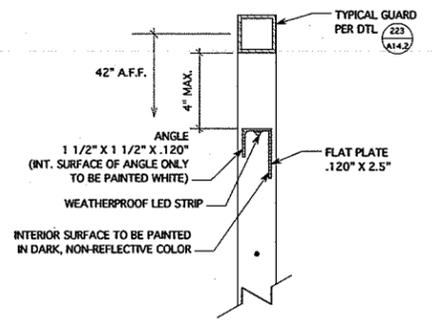








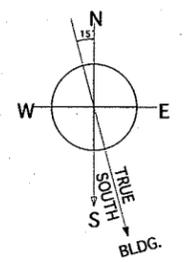
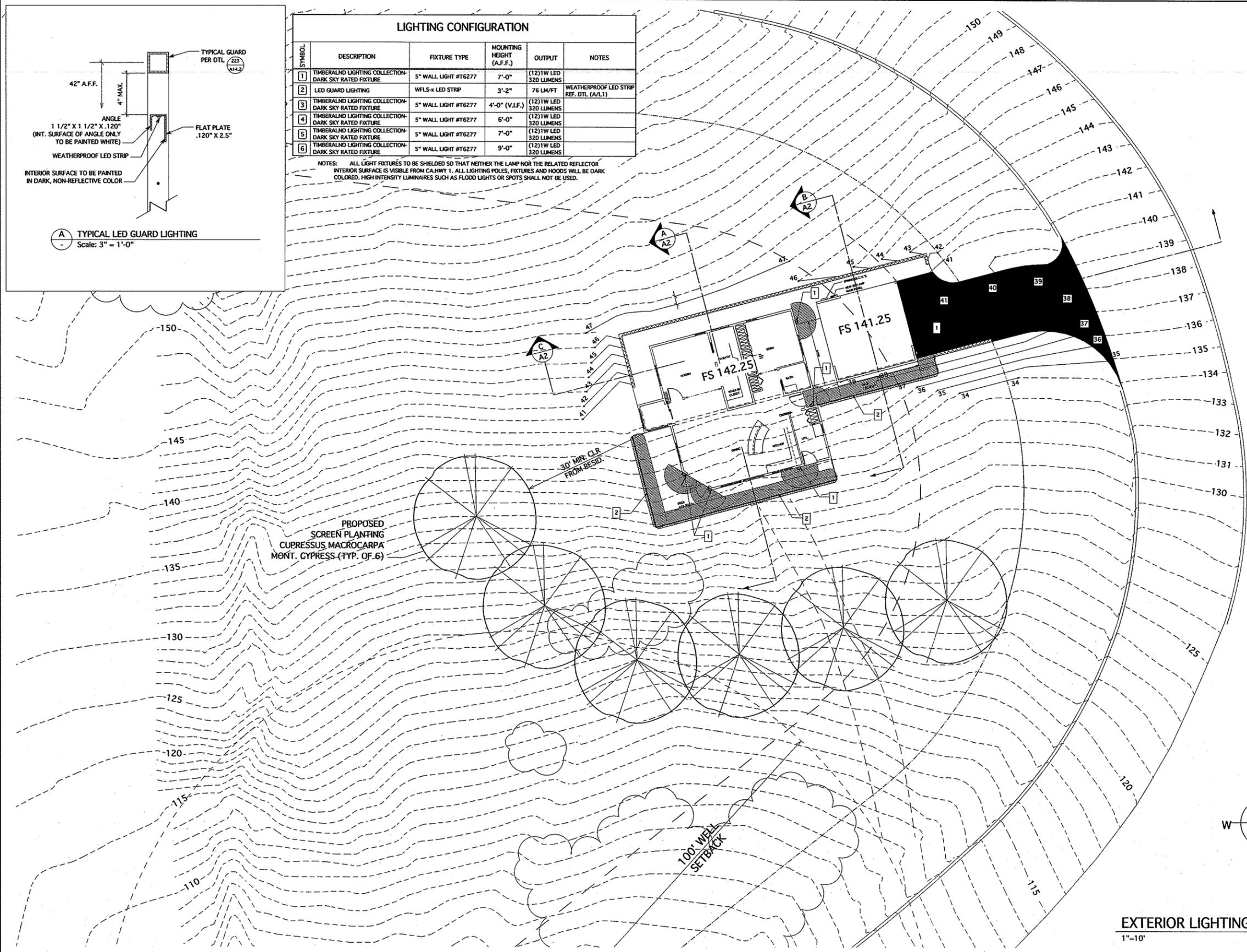




A TYPICAL LED GUARD LIGHTING  
Scale: 3" = 1'-0"

LIGHTING CONFIGURATION					
SYMBOL	DESCRIPTION	FIXTURE TYPE	MOUNTING HEIGHT (A.F.F.)	OUTPUT	NOTES
1	TIMBERLAND LIGHTING COLLECTION- DARK SKY RATED FIXTURE	5" WALL LIGHT #16277	7'-0"	(12)1W LED 320 LUMENS	
2	LED GUARD LIGHTING	WFLS-X LED STRIP	3'-2"	76 LM/FT	WEATHERPROOF LED STRIP REF. DTL. (A/L1)
3	TIMBERLAND LIGHTING COLLECTION- DARK SKY RATED FIXTURE	5" WALL LIGHT #16277	4'-0" (V.I.F.)	(12)1W LED 320 LUMENS	
4	TIMBERLAND LIGHTING COLLECTION- DARK SKY RATED FIXTURE	5" WALL LIGHT #16277	6'-0"	(12)1W LED 320 LUMENS	
5	TIMBERLAND LIGHTING COLLECTION- DARK SKY RATED FIXTURE	5" WALL LIGHT #16277	7'-0"	(12)1W LED 320 LUMENS	
6	TIMBERLAND LIGHTING COLLECTION- DARK SKY RATED FIXTURE	5" WALL LIGHT #16277	9'-0"	(12)1W LED 320 LUMENS	

NOTES: ALL LIGHT FIXTURES TO BE SHIELDED SO THAT NEITHER THE LAMP NOR THE RELATED REFLECTOR INTERIOR SURFACE IS VISIBLE FROM CA HWY 1. ALL LIGHTING POLES, FIXTURES AND HOODS WILL BE DARK COLORED. HIGH INTENSITY LUMINAIRES SUCH AS FLOOD LIGHTS OR SPOTS SHALL NOT BE USED.



EXTERIOR LIGHTING PLAN  
1" = 10'



THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE SOLE PROPERTY OF LEONARD ARCHITECT. NO OTHERS SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**San Luis Sustainability Group**  
16550 Oracle Oak Way, Santa Margarita, CA 93453  
(805) 438-4452 s105@slonet.org

STEINMANN RESIDENCE  
APN #: 073-095-007

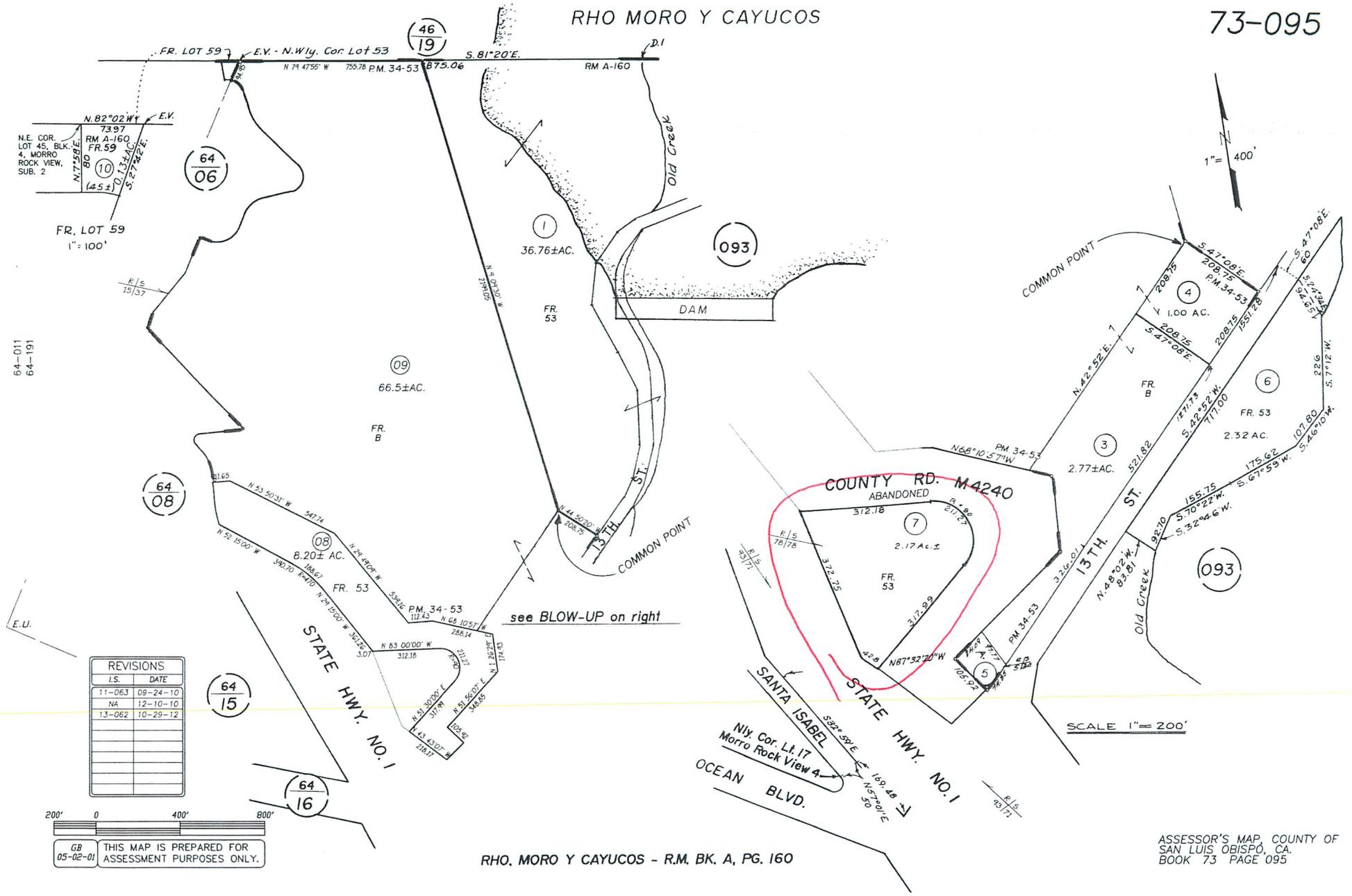
EXTERIOR LIGHTING PLAN  
1" = 10'

Revision Dates

Drawing No. **L1**

RHO MORO Y CAYUCOS

73-095



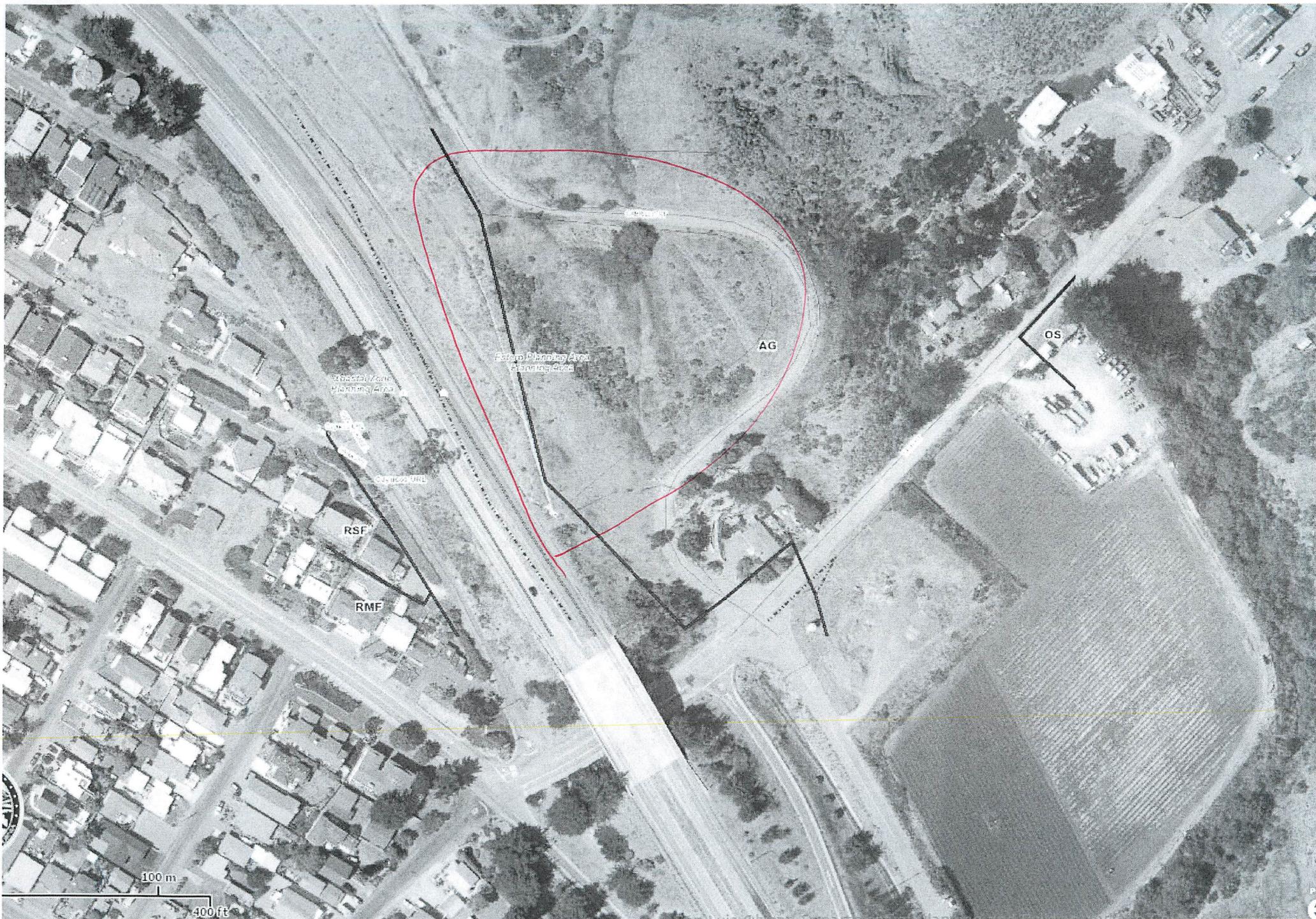
REVISIONS	
I.S.	DATE
11-063	09-24-10
NA	12-10-10
13-062	10-29-12



GB 05-02-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

RHO. MORO Y CAYUCOS - R.M. BK. A, PG. 160

ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 73 PAGE 095





# Parcel Summary Report For Parcel # 073-095-007

10/21/2014  
2:22:19PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    STEINMANN JOSEF M  
785 QUINTANA RD PMB 161 MORRO BAY CA 93442-1943

### Address Information

Status            Address  
P                    00000 CABRILLO AV EST

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
APV.C99-	291	0001	Estero Planning	Estero Plannin				N		
RHOMORCY	0001	53P	Estero Planning	Estero Plannin	AG	GS	LCP	Y		

### Parcel Information

Status    Description  
Active    RHO MORRO CAY PTN LT 53

### Notes

WE CONCLUDED THAT THIS LOT IS BUILDABLE W MUP FOR A SINGLE FAM DWELLING, INC WELL AND SEPTIC. NOTE STEEP SLOPES +28% AND EXISTING GEOLOGIC PROBLEMS AND NEED FOR GEO REPORT. SEE ROAD VACATION RESOLUTION 2010-159. (JCH + NF 11/19/12) THIS IS IN THE CRITICAL VIEWSHED AREA SEE PLANNING AREA STDS.

### Tax Districts

COAST (SB1537)  
CAYUCOS  
SAN LUIS OBISPO JT(27,40)  
AREA NO. 21  
CAYUCOS-MORRO  
CAYUCOS COUNTY  
NO. 02  
AREA NO. 10



# Parcel Summary Report For Parcel # 073-095-007

10/21/2014  
2:22:19PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### Case Information

**Case Number:**

**Case Status:**

DRC2014-00039      REC              Primary Parcel

**Description:**

SFR (1357 SQ FT), CARPORT (400 SQ FT)

PRE2004-00069      REC              Primary Parcel

**Description:**

ON 2.17 ACRES

PRE2013-00022      MET              Primary Parcel

**Description:**

SINGLE FAMILY RESIDENCE (1200 SQ FT), WELL, PRIVATE SEPTIC

S990111C              RDD              Primary Parcel

**Description:**

PROP ONE CERT OF COMP