



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/30/2014

TO: \_\_\_\_\_

FROM: Airlin Singewald (805-781-5198 or asingewald@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2014-00040 DOSTER – Proposed minor use permit to allow two existing greenhouses of 384 sf and 120 sf. Site location is 1152 Tenth St, Los Osos.  
APN: 038-061-037

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

MINOR USE PERMIT

2 EXISTING GREEN HOUSES (384 SQ FT)  
AND (120 SQ FT)  
EST/LSOS

SWC

AS CAZ LCP RSF

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Site Plan
- Conditional Use Permit/Development Plan
- Curb, Gutter, & Sidewalk Waiver
- Tree Permit
- Minor Use Permit
- Plot Plan
- Variance
- Surface Mining/Reclamation Plan
- Amendment to approved land use permit
- Zoning Clearance
- Other

### APPLICANT INFORMATION

Check box for contact person assigned to this project  
 Landowner Name CHARLES DOSTER Daytime Phone 805 235-4951  
 Mailing Address 1152 TENTH ST. LOS OSOS CA. Zip Code 93402  
 Email Address: cdoster528@charter.net

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

Agent Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

### PROPERTY INFORMATION

Total Size of Site: 6,250 Assessor Parcel Number(s): APPN 38-061-37

Legal Description: \_\_\_\_\_  
 Address of the project (if known): 1152 TENTH ST. LOS OSOS CA. 93402

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: TENTH ST. LOS OSOS SANTA YSABEL SOUTH BAY BLVD LOS OSOS VALLEY ROAD

Describe current uses, existing structures, and other improvements and vegetation on the property:  
1- 384 sq ft GREEN HOUSE 1- 200 sq ft GREEN HOUSE  
1- 4 BED ROOM RESIDENTIAL HOME 1- 120 sq ft OUT BUILDING

### PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): PERMIT TWO EXISTING GREEN HOUSES 1- 16'x21' (384 sq ft) 1- 20'x6' OR (120 sq ft) GREEN HOUSE

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature]

Date OCT 15 2014

**FOR STAFF USE ONLY**

Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: ACCESS FROM TENTH ST.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RESIDENTIAL South: RESIDENTIAL  
East: RESIDENTIAL West: RESIDENTIAL

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 4,563 sq. feet 25 % Landscaping: 3,398 sq. feet 54.3 %  
Paving: 833 sq. feet 13 % Other (specify) PROPOSED GREEN HOUSES 456 sq. ft.  
Total area of all paving and structures: 2,396  sq. feet  acres 7.3 %  
Total area of grading or removal of ground cover: -0-  sq. feet  acres  
Number of parking spaces proposed: -0- Height of tallest structure: EXISTING 22 FT.  
Number of trees to be removed: -0- Type: N/A PROPOSED 9'4"  
Setbacks: Front 25 Right 5 Left 5 Back 3

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: LOS OBISPO COUNTY FIRE DEPT.

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres

Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 4

Total floor area of all structures including upper stories, but not garages and carports: 2500

Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer ALL of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- 1. Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 1/6 acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- 2. Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: SALT MARSH 300' AWAY - MORRO BAY
- 3. Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- 4. Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- 6. Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- 8. Is a railroad or highway within 300 feet of your project site?  Yes  No
- 9. Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? \_\_\_\_\_
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: WATER METER HOUSEHOLD SYSTEM
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: -0-    Location of connection: 10TH STREET
2. What is the amount of proposed flow? 1- HOME G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic    Industrial    Agricultural    Other, please explain? NONE
- 2. Name of Solid Waste Disposal Company: N/A MISSION DISPOSAL
- 3. Where is the waste disposal storage in relation to buildings? FRONT DRIVE WAY
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes    No

**Community Service Information**

- 1. Name of School District: \_\_\_\_\_
- 2. Location of nearest police station: TENTH AND LOS GILLOS
- 3. Location of nearest fire station: BAY WOOD HEIGHTS
- 4. Location of nearest public transit stop: 15TH ST AND SANTA YSABEL
- 5. Are services (grocery/other shopping) within walking distance of the project?    Yes    No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
USED AS A SINGLE FAMILY RESIDENCE  
BACKYARD USED FOR DOG - NO EXISTING VEGETATION OR NATIVE TREES
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?    Yes    No  
 If yes, please describe: - AREA HAS 4' OF FILL
- 3. Has an archaeological surface survey been done for the project site?    Yes    No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

**Only complete this section if you are proposing a commercial or industrial project or zoning change.**

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?    Yes    No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes    No   If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?    Yes    No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?    Yes    No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?    Yes    No   If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. NONE Between 4:00 to 6:00 p.m. NONE
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No  
If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: NATURAL PASSIVE GREENHOUSE HEAT AND LIGHTING H2O CONSERVATION THROUGH GREEN HOUSE INSULATION COEFFICIENT
- \*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
LOW NOISE FAN - LOW BUILDING HEIGHT MAX 9' (NINE FEET)  
ORGANIC COMPOSTING ORGANIC FERTILIZERS  
RECYCLING OF GREEN WASTE - ORGANIC FODDIES AND PESTICIDES  
OXYGEN GENERATION BY PLANTS  
CO2 PROCESSING BY PLANTS

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): NONE (ELECTRICAL PERMIT - COUNTY)

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

- 1. WALLS**
- a. All walls shall be built on a foundation. Where walls bear directly on the ground, they shall be built on a foundation of concrete or masonry.
  - b. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.
  - c. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.
  - d. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.
  - e. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.
  - f. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.
  - g. Walls to be built on a foundation shall be built on a foundation of concrete or masonry.

- 2. CONCRETE**
- a. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - b. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - c. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - d. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - e. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - f. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.
  - g. Concrete shall conform to requirements for grade 4000 light weight aggregate concrete.

- 3. REINFORCING STEEL**
- a. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - b. Bars shall not be bent to facilitate bending or for any other purpose.
  - c. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - d. Bars shall not be bent to facilitate bending or for any other purpose.
  - e. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - f. Bars shall not be bent to facilitate bending or for any other purpose.
  - g. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - h. Bars shall not be bent to facilitate bending or for any other purpose.

- 4. MULTI-LAYER REINFORCING**
- a. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - b. Bars shall not be bent to facilitate bending or for any other purpose.
  - c. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - d. Bars shall not be bent to facilitate bending or for any other purpose.
  - e. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - f. Bars shall not be bent to facilitate bending or for any other purpose.
  - g. All reinforcing steel shall be continuous. Steel shall be lapped 30 bar diameters.
  - h. Bars shall not be bent to facilitate bending or for any other purpose.

The proposed residence described in these plans are in substantial compliance with the Zone 5 requirements of the 1982 Residential Energy Code.

All mandatory features and devices of part 1 of the energy code shall be complied with. These features and devices are not limited to: certified windows, caulking, backdraft dampers, water heater blanket, certified water heater, shower heads and faucets. General lighting in kitchens and bathrooms shall not have an efficiency of less than 25 lumens per watt.

*Juan P. Gutierrez*  
DOCUMENTATION AUTHORITY TITLE 24

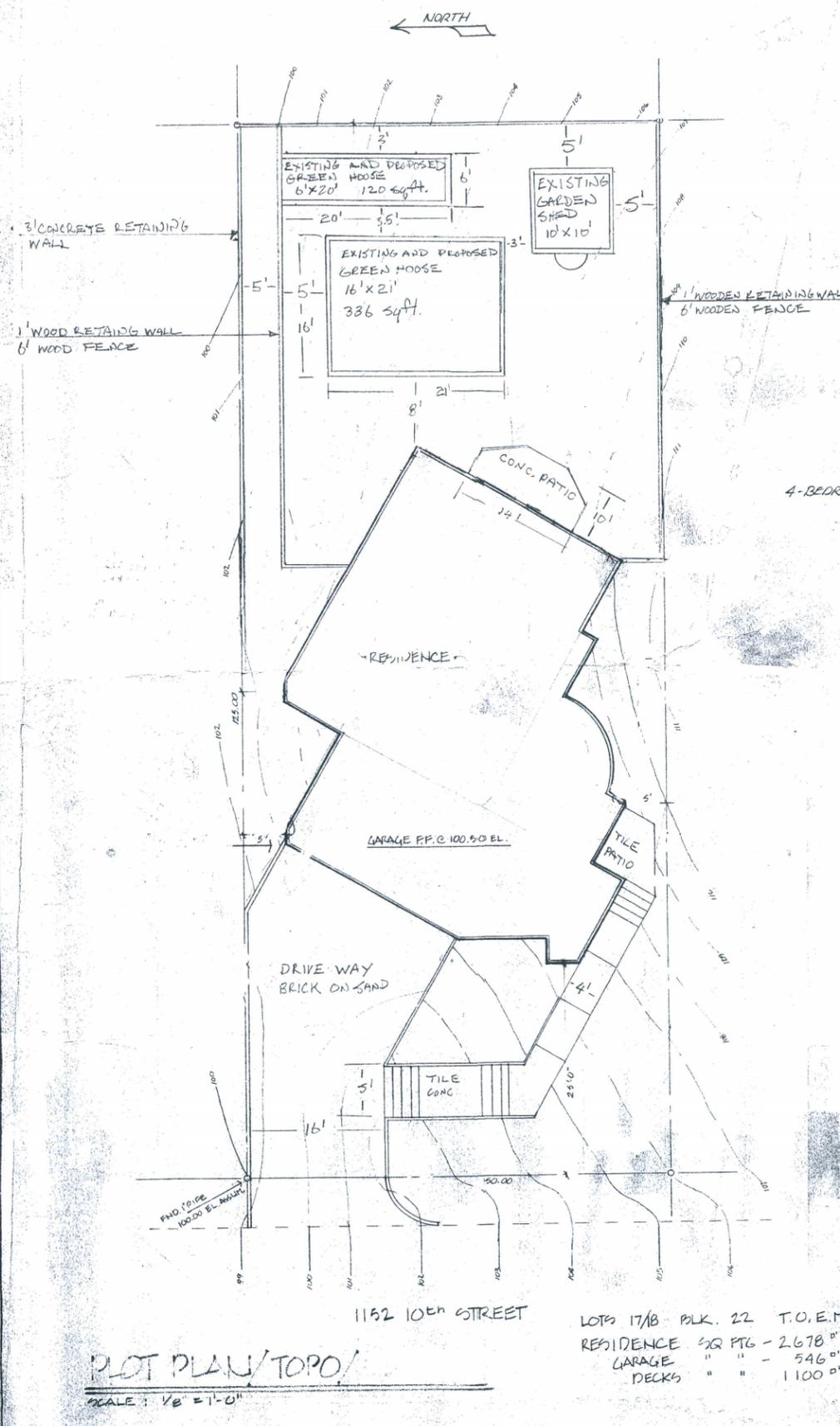
- 5. ROOFING**
- a. All roofing shall conform to Chapter 10 of the Uniform Building Code.
  - b. All roofs shall be built on a foundation of concrete or masonry.
  - c. All roofs shall be built on a foundation of concrete or masonry.
  - d. All roofs shall be built on a foundation of concrete or masonry.
  - e. All roofs shall be built on a foundation of concrete or masonry.
  - f. All roofs shall be built on a foundation of concrete or masonry.
  - g. All roofs shall be built on a foundation of concrete or masonry.

- 6. SCOPE OF STRUCTURAL WORK**
- a. All work and materials shall be in full accordance with the rules and regulations of the Uniform Building Code, 1982 Edition, and all local codes and ordinances.
  - b. It shall be the Contractor's responsibility to insure that details required by the various codes, but not specifically noted in these plans, are completed according to the codes.
  - c. All work shall be first class workmanship. The Contractor shall be responsible for the latent of these drawings.
  - d. All written dimensions shall take precedence over scale of drawings.
  - e. Notes in the working drawings shall take precedence over the general notes.
  - f. The Contractor shall verify all dimensions at the job site, and on the plan prior to any construction, and shall notify the Architect in writing of any discrepancies.
  - g. Any changes to these plans shall be verified in writing by the Architect prior to construction.
  - h. No cutting or drilling of structural members shall be permitted without written permission of the Architect.

- 7. SHEAR WALLS**
- a. Shear walls shall have either 3/8" or 1/2" - 24" x 8" - 021 piling (see shear wall details in plans). All edges shall be blocked and nailed. Rebars shall be placed with face grain vertical.
  - b. Piling shall extend from the sill plate to the uppermost top plate and from end post to end post. Where beams or drag studs occur above or below shear walls, the wall piling shall extend over and lap the beams.
  - c. Shear wall piling patterns are specified for shear walls. The first two numbers indicate perimeter nail spacing and the last number is the field nail spacing, e.g., 6-6-12 indicates the following:  
Vertical edges nailed 6" o.c.  
Horizontal edges nailed 6" o.c.  
Interior walls 12" o.c.
  - d. All piling edges in shear walls shall be blocked and nailed with full perimeter nailing.
  - e. Where shear walls terminate with end posts greater than 2x stud, or with multiple studs, each 2" minimum of the vertical element shall receive one full row of perimeter nailing, e.g., 4" o.c. at the end of each wall shall receive 3 rows of perimeter nailing.
  - f. Top and bottom sill plates in shear walls shall be nailed into elements above and below with 16d nails at 6" o.c. in many cases. These walls are listed in the wall schedule.
  - g. Split anchor shall be placed along the entire end of all shear walls to which they are applied.

- 8. STRUCTURAL STEEL**
- a. All structural steel plates, angles, straps, beams, and rods shall conform to ASTM-A36.
  - b. All pipe columns shall conform to ASTM-A53, or ASTM-A60.
  - c. All steel tubing shall conform to ASTM-A500, grade B.
  - d. All structural steel shall be fabricated to the shop of an approved and certified fabricator.
  - e. All structural steel shall be primed and painted in the shop of the approved fabricator in accordance with the guidelines set forth in "A Guide to the Shop Practices of Structural Steel", as published in the AISC Steel Construction Manual, 7th or 8th Edition.
  - f. After erection, field welds, field bolts and drilled portions shall be cleaned and given an additional spray coat over of the same paint material.
  - g. All exterior structural steel shall be galvanized in accordance to ASTM-A123, with average weight per square foot of 2.5 ounces and not less than 1.6 ounces per square foot.
  - h. Touch-up of any abraded areas of galvanized surfaces shall be done with "Galvalume" or "Galvalume".

- 9. CONCRETE NOTES**
- a. Unless otherwise noted, f'c = 4,000 p.s.i. in 28 days for slabs, footings and walls. The 3000' slump.
  - b. All concrete shall be reinforced. All reinforcing steel shall be protected from contact with earth by:  
(1) 2" minimum concrete separation where concrete is poured against the earth.  
(2) 2" minimum concrete separation where concrete is exposed to earth but placed in form.
  - c. Forms are to be tight enough to prevent leaking of concrete or bulging of form. Forms are to be left in place for a minimum of one day after pour. Formwork should be constructed with all brades for provision of all shores, chases, and knock-outs for other work.
  - d. A moisture barrier to be placed on the earth or sand, free of sharp objects, organic material or rubble. All joints of membrane shall be lapped 6" with joints oriented or taped. A minimum of 2" of clean sand shall be provided over barrier, with all penetrations of membrane lapped.
  - e. All concrete shall be placed subject to the following tolerances:  
Linear: 1/8" + 20"  
Plan: 1/8" + 12"  
Slab deviation with a true plane, multi directions, not to exceed: 1/8" + 10"  
Concrete shall not be allowed to free fall from any height which would tend to cause, or result in, segregation of the mix. In no case will such height restrictions be greater than 6 feet. Trucks or additional chutes shall be provided where this condition occurs.
  - f. All concrete work shall be unobstructed; no topping will be required or permitted unless expressly indicated on the drawings.
  - g. Should the concrete have excessive pockets or if any reinforcing steel is exposed, or if concrete does not comply in any other way with the drawings and specifications, the defective concrete shall be removed and replaced as directed by the Architect.
  - h. All slabs are to be finished with a power driven disc float only. Quantity of concrete shall be correct to within 1% of the specified quantity.
  - i. After initial concrete set, concrete shall be hand finished to a smooth finished surface, free of any tool marks, exposed aggregate, or other defects.
  - j. All concrete work shall be cleaned and patched to a uniform finish. All high spots, plops, edges, etc., shall be removed as directed by the Owner or the Architect.



COUNTY OF SAN LUIS OBISPO  
PLANNING DEPARTMENT  
BUILDING DIVISION

APPROVED with noted corrections

DATE \_\_\_\_\_  
BY \_\_\_\_\_

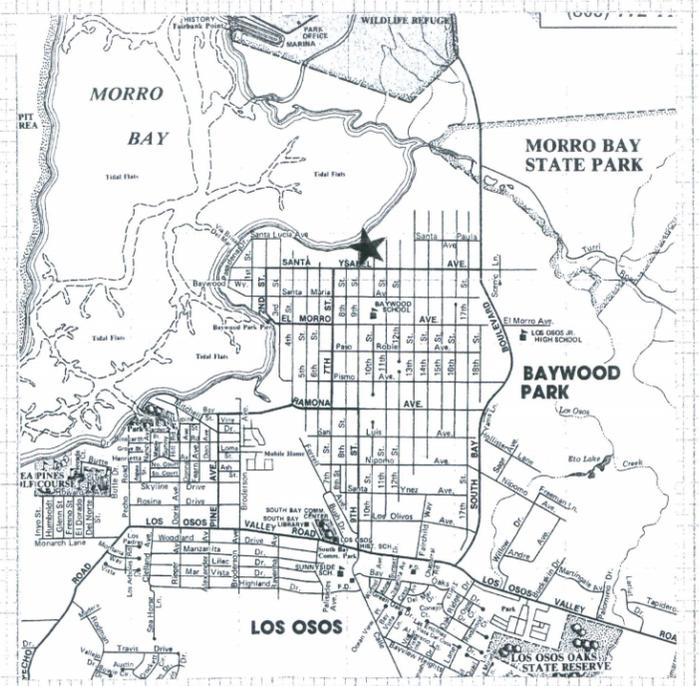
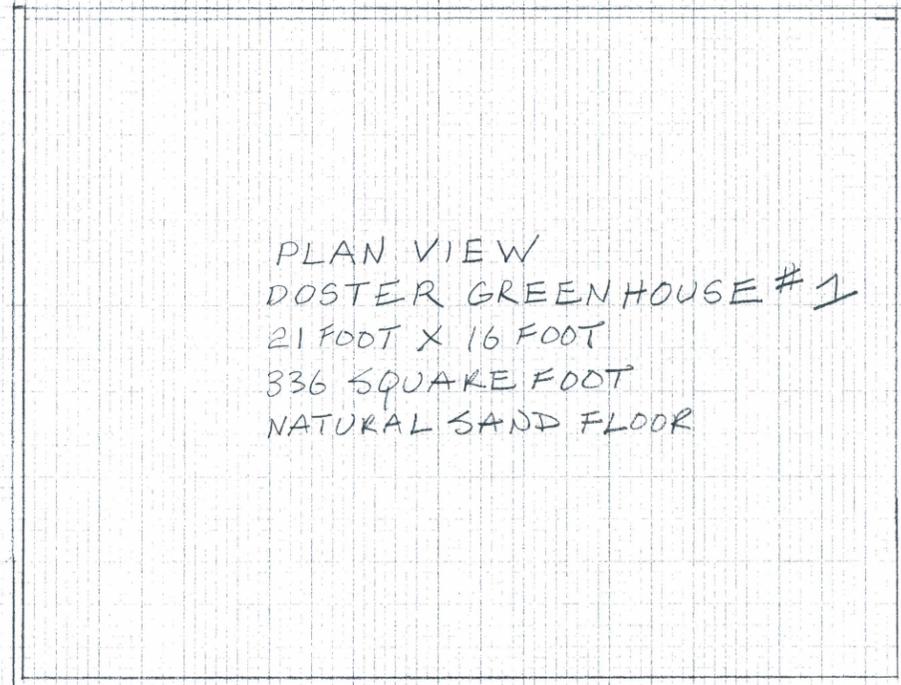
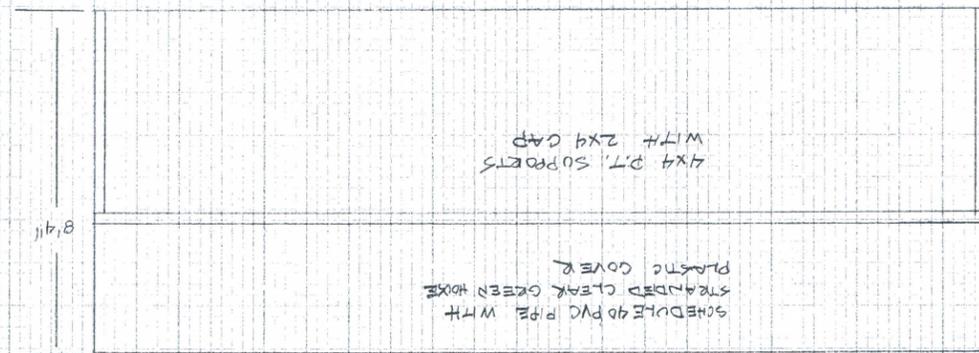
1152 10th STREET  
RESIDENCE 528 PPG - 2,678'  
GARAGE " " - 546'  
DECKS " " - 1,100'

LOT 17/8 BLK. 22 T.O.E.M.

The approval of these plans shall not be construed to permit violation of any county ordinance or State Law, and shall not prevent the County of San Luis Obispo from requiring correction of errors or deficiencies in plans, specifications or construction. A set of these approved plans shall be kept on job site at all times.

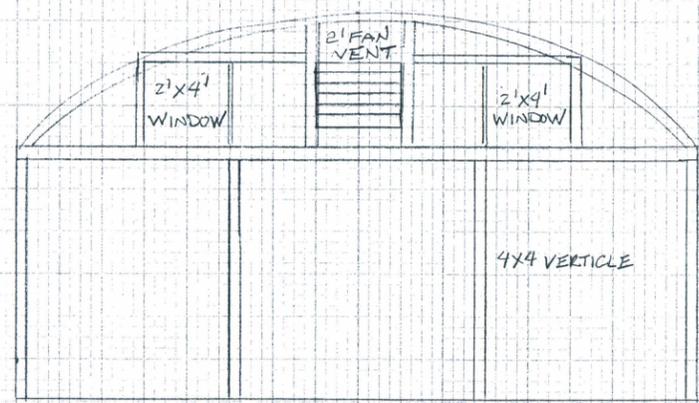
DRAWN: WDH  
CHECKED: WDH  
DATE: OCT 21 1988  
SCALE: NOTED  
JOB NO: DOSTER  
SHEET: 1  
OF 1 SHEETS

EAST ELEVATION

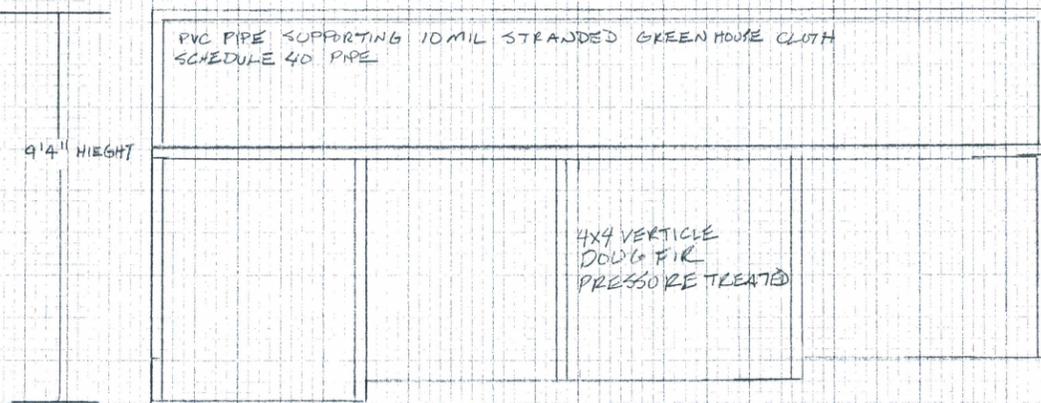


1152 TENTH ST  
 LOS OSOS CA  
 OCT 21 2014  
 DRAWN BY  
 CHARLES DOSTER

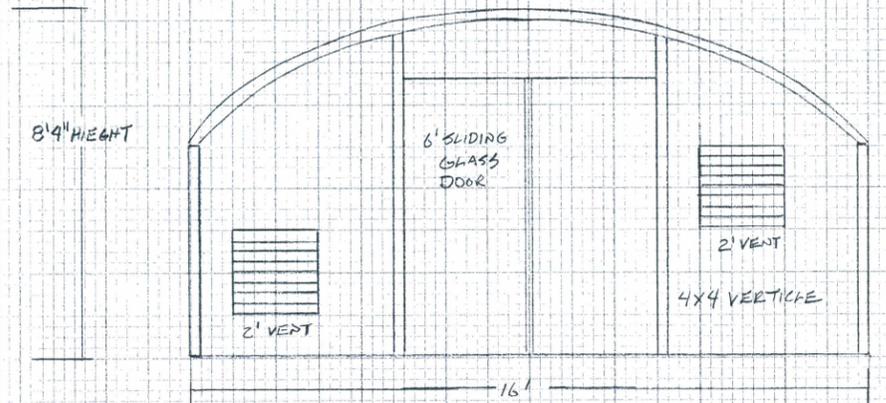
SCALE 1" = 2'  
 1 INCH EQUALS  
 2 FEET



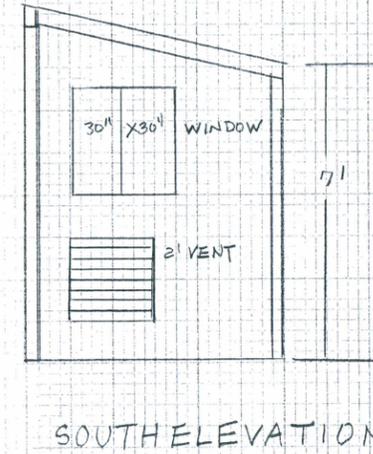
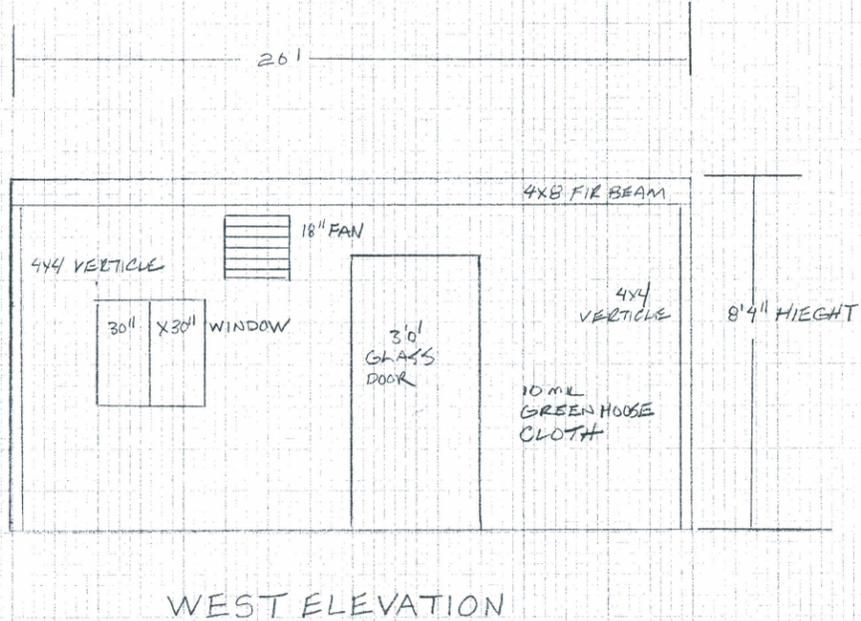
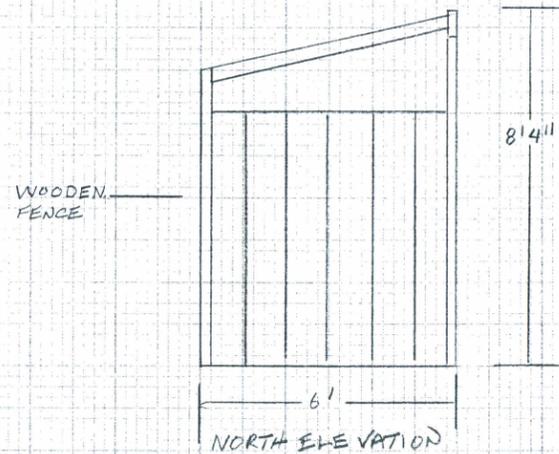
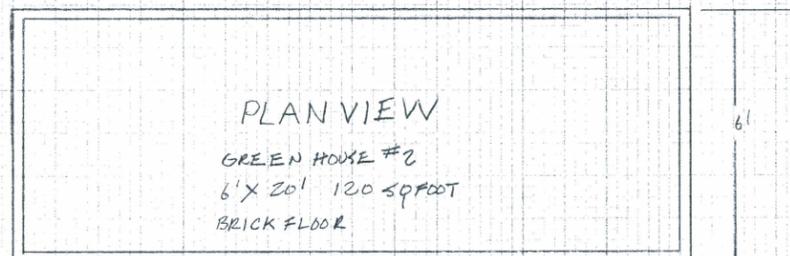
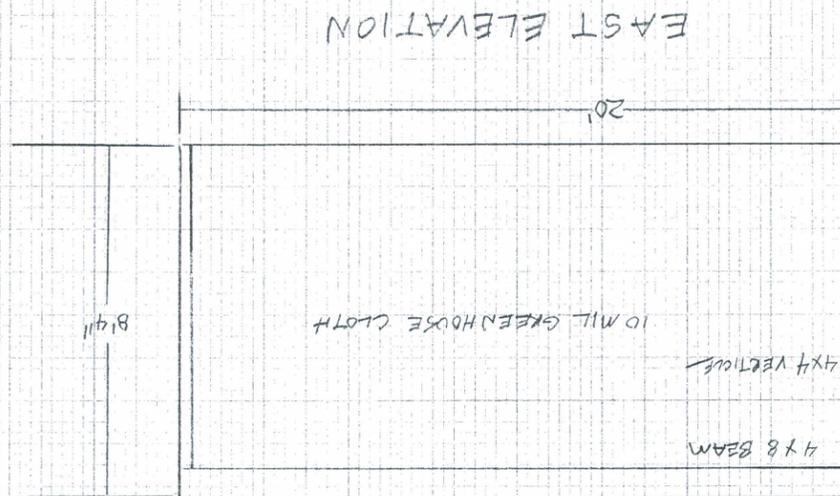
NORTH ELEVATION



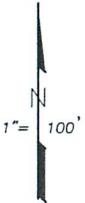
WEST ELEVATION



SOUTH ELEVATION



1152 TENTH ST LOS 0606 CA  
 93402 DRAWN BY CHARLES DOSTER  
 SCALE 1" = 2 FEET OCT 21 2014  
 GREEN HOUSE #2  
 805 235-4951



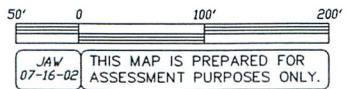
05

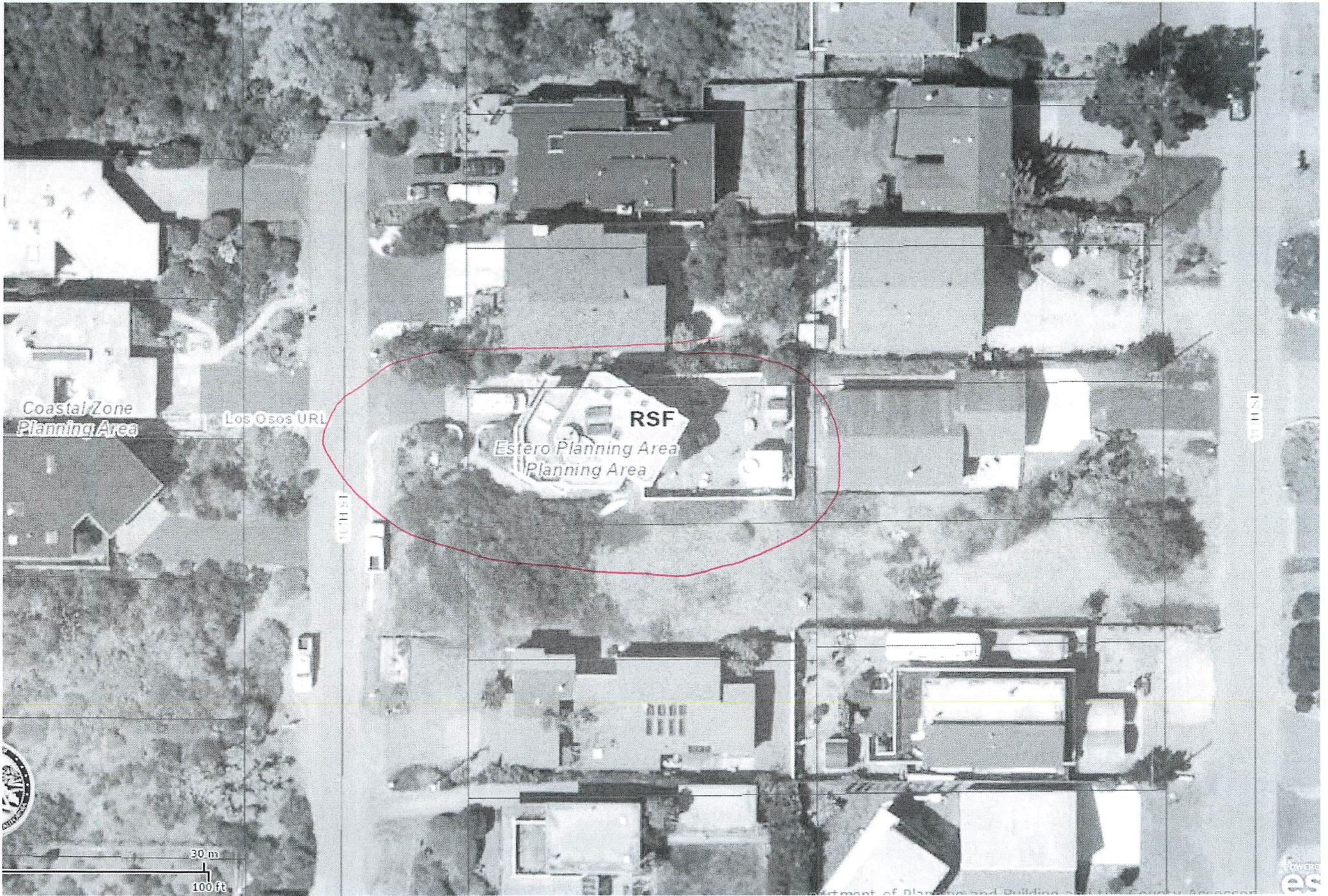
07

70

14

REVISIONS	
I.S.	DATE
NA	12-02-04
03-295	02-17-05





Coastal Zone  
Planning Area

Los Osos URL

**RSF**  
Estero Planning Area  
Planning Area

30 m

100 ft

Department of Planning and Building

POWER  
es



# Parcel Summary Report For Parcel # 038-061-037

10/24/2014  
10:20:17AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    DOSTER CHARLES E SR  
1 WHITT CT CLAYTON CA 94517-

OWN    DOSTER CHARLES E

OWN    DOSTER CHARLES E & SARAH H 1986 INT

OWN    DOSTER SARAH H

### Address Information

Status            Address  
P                    01152 10TH ST LSOS

### Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
ELMORO	0022	0017	Los Osos	Estero Plannin	RSF	LCP	AS	Y	L2	
ELMORO	0022	0018	Los Osos	Estero Plannin	CAZ			Y	L2	

### Parcel Information

Status    Description  
Active    TN EL MORO LTS 17 & 18 BL 22

### Notes

### Tax Districts

SAN LUIS COASTAL

SAN LUIS OBISPO JT(27,40)

NO. 02



# Parcel Summary Report For Parcel # 038-061-037

10/24/2014  
10:20:17AM

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San Luis Obispo, California 93408

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LOS OSOS, ZONE A  
LOS OSOS, ZONE B  
LOS OSOS, ZONE H  
AREA NO. 21  
LOS OSOS, ZONE J  
LOS OSOS, ZONE K  
LOS OSOS

### Case Information

**Case Number:**

**Case Status:**

C7615 FNL Primary Parcel

**Description:**

ELECTRICAL UPGRADE TO 200 AMP FOR SFD

COD2014-00082 REC Primary Parcel

**Description:**

GREENHOUSES IN SETBACK AND NOISE FROM FANS

DRC2014-00040 REC Primary Parcel

**Description:**

2 EXISTING GREEN HOUSES (384 SQ FT) AND (120 SQ FT)

ZON2010-00633 APV Primary Parcel

**Description:**

CARPET CLEANING