



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 12/30/2014

TO: \_\_\_\_\_

FROM: Schani Siong (805-781-4374 or ssiong@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2014-00067 VANDENBERG – Proposed minor use permit to demolish an existing single family residence and construct a new single family residence of 1945 sf. Site location is 41 23<sup>rd</sup> St, Cayucos. APN: 064-184-012

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

MINOR USE PERMIT

DEMOLISH EXISTING RESIDENCE, BUILD A NEW 1945 SQ FT RESIDENCE EST/ CAYU

AS LCP RSF SSN

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Amendment to approved land use permit

### APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Jon and Vicki van den Berg Daytime Phone (408) 221-5894  
 Mailing Address 17528 Tourney Road, Los Gatos, Ca Zip Code 95030  
 Email Address: jon.vandenberg11@gmail.com

Applicant Name Same as Landowner above Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

Agent Name BryceEngstrom- Architect Daytime Phone (805) 235-3385  
 Mailing Address 210 Traffic Way Suite E, Arroyo Grande, CA Zip Code 93420  
 Email Address: brycethearchitect@gmail.com

### PROPERTY INFORMATION

Total Size of Site: 3520 sq.ft. Assessor Parcel Number(s): 064-184-012

Legal Description: \_\_\_\_\_

Address of the project (if known): 41 23rd Street, Cayucos CA

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Highway 1 south, Exit at 24th St., Right on 23rd Street

Describe current uses, existing structures, and other improvements and vegetation on the property:  
Existing is 1568 sq.ft. single story SFR, Wood deck at front, Concrete patio in rear.

### PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Demolish exist. residence, Build new 1945

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature *[Handwritten Signature]* Date 12/16/2014

**FOR STAFF USE ONLY**  
 Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): None

Describe existing and future access to the proposed project site: Access is from 23rd St, no proposed changes.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: Residential  
East: Residential West: Residential

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1272 sq. feet 36 % Landscaping: 1500 sq. feet 42 %  
Paving: 400 sq. feet 11 % Other (specify) \_\_\_\_\_

Total area of all paving and structures: 1672  sq. feet  acres

Total area of grading or removal of ground cover: 3520  sq. feet  acres

Number of parking spaces proposed: 2 Height of tallest structure: 27 ft. 8 in.

Number of trees to be removed: 0 Type: \_\_\_\_\_

Setbacks: Front 10ft./20ft garage Right 4 ft Left 4 ft Back 10 ft.

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: Cayucos CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: Cayucos CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire, Station 11

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres

Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 2298

Total of area of the lot(s) minus building footprint and parking spaces: 2036

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

**Your site plan will also need to show the information requested here:**

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 3520 acres sq.ft.  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: Graded decades ago for residential lots
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well       Shared well       Community water system
2. What is the proposed use of the water?  
 Residential       Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 400 gal. per day
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: Existing CSD water at site
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach. No wells
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?       Yes       No  
Chemical?               Yes       No Presumably  
Physical                 Yes       No  
Water analysis report submitted?     Yes       No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter       Water Quality Analysis     OK or     Problems  
 Will Serve Letter         Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study       Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?       Yes       No  
Distance to nearest sewer line: 30 ft.      Location of connection: Existing to remain
2. What is the amount of proposed flow? 350 \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?       Yes       No Presumably- CSD

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: Cayucos CSD
- 3. Where is the waste disposal storage in relation to buildings? No on site storage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Cayucos
- 2. Location of nearest police station: Sherrif station at 2099 10th St., Los Osos
- 3. Location of nearest fire station: 201 Cayucos Drive, Cayucos
- 4. Location of nearest public transit stop: Ocean at Cayucos Dr.
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? 0.9 miles feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
Residential single family
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: Known Chumash Burial Site
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_  
\_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_  
\_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_  
\_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: Grid-tied solar PV system

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
Floating conc. slab with shallow footings to reduce ground disturbance to lessen possibility of uncovering archaeological items.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Minor Use Permit, Coastal Development Permit, County Building Permit

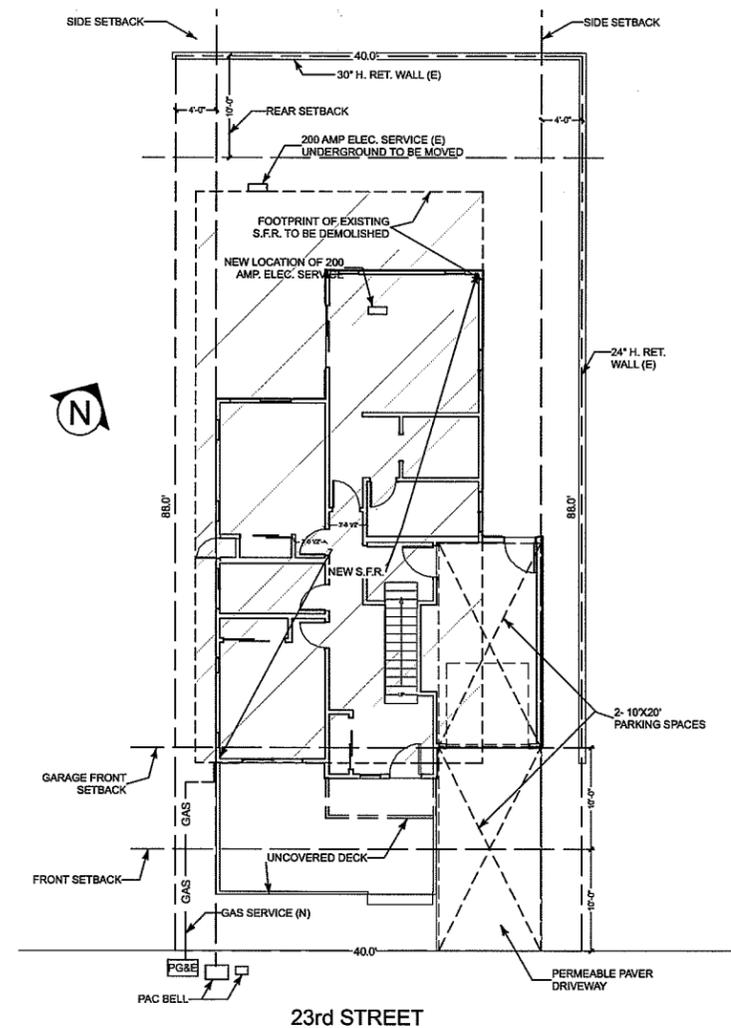
(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

**GENERAL NOTES:**

- (THESE NOTES APPLY TO ALL PORTIONS, PHASES & SUBCONTRACTS OF THIS PROJECT)  
 USE OF PLANS: THESE PLANS ARE THE PROPERTY OF BRYCE ENGSTROM ARCHITECT AND MAY NOT BE USED WITHOUT EXPRESS WRITTEN CONSENT
1. ALL WORK SHALL CONFORM TO: A) THE MINIMUM STANDARDS OF THE LATEST EDITION OR THE CURRENT EDITION IN EFFECT OF THE CALIFORNIA BUILDING CODE AND ALL RELATED DOCUMENTS THAT ARE PUBLISHED BY THE I.C.C., WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; B) ALL REGULATION AND ORDINANCE OF ALL LOCAL GOVERNING AGENCIES; AND C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES.
  2. A CERTIFICATE OF CONSTRUCTION COMPLIANCE, SIGNED BY THE GENERAL CONTRACTOR BASED UPON HIS OBSERVATION OF THE CONSTRUCTION WORK SHALL BE SUBMITTED TO THE INSPECTING BUILDING OFFICIAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  3. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.
  4. OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
  5. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWING SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
  6. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.5
  7. THE SOILS ENGINEER WILL NEED TO VERIFY IN WRITING BY FOOTING INSPECTION, AND PRIOR TO STEEL PLACEMENT, THAT THE FOOTINGS ARE INTO UNIFORM COMPETENT NATIVE MATERIAL OR OTHERWISE PREPARED ACCORDING TO SOILS ENGINEER RECOMMENDATIONS.
  8. ANY PERSON USING A TORCH OR OTHER FLAME-PRODUCING DEVICE FOR SWEATING PIPE JOINTS FROM OR IN ANY BUILDING OR STRUCTURE SHALL PROVIDE ONE APPROVED FIRE EXTINGUISHER ON THE PREMISES WHERE SAID BURNING OPERATION IS PERFORMED. COMBUSTIBLE MATERIAL IN THE CLOSE PROXIMITY OF OPEN FLAME SHALL BE PROTECTED AGAINST IGNITION BY SHIELDING, WETTING OR OTHER MEANS. IN ALL CASES, A FIRE WATCH SHALL BE MAINTAINED IN THE VICINITY OF THE OPERATION FOR ONE-HALF HOUR AFTER THE TORCH OR FLAME-PRODUCING DEVICE HAS BEEN USED. REFER TO C.F.C. CHAPTER 3 FOR ADDITIONAL MEASURES.
  9. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM BRYCE ENGSTROM ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.
  10. TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS, SUCH FACILITIES INCLUDE BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARTHAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
  11. PROTECTION AND SAFETY: CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TIMES (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER LOCAL, STATE, AND FEDERAL REQUIREMENTS INCLUDING EARTHQUAKES, FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST, ETC.) STAGING OF MATERIALS AND EQUIPMENT SHALL NOT OVERLOAD ANY EXISTING, NEW AND/OR TEMPORARY STRUCTURES ON THE BUILDING SITE.
  12. CHANGES: CHANGES TO APPROVED PLANS AND SPECIFICATIONS SHALL BE MADE ONLY IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY AND COSTS FOR ALL CHANGES LATER IN THE PROJECT CAUSED BY THE ORIGINAL CHANGE.
  13. SUBSTITUTIONS: SUBSTITUTIONS REQUIRE OWNER AND ARCHITECTS APPROVAL FAILURE TO GAIN APPROVAL IS SUFFICIENT GROUNDS FOR ORDERING REMOVAL OF PRODUCT AT CONTRACTORS EXPENSE.
  14. ALL APPLIANCES, PLUMBING FIXTURES, CABINETS/BUILT-INS, ACCESSORIES AND FINISHES LISTED ON THE DRAWINGS SHALL BE SPECIFIED BY THE OWNER OR OWNER'S REPRESENTATIVE U.O.N.
  15. THE CONTRACTOR SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND PRINTED INSTRUCTIONS ON HOW TO USE THE EFFECTIVELY. (CAC TITLE 24, SECTION 1403.5)
  16. ALL MECHANICAL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH 2010 CALIFORNIA MECHANICAL CODE
  17. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.
  18. PRIOR TO FINAL ENVIRONMENTAL HEALTH DEPT. SHALL APPROVE WELL WATER QUALITY PER TITLE 22 CALIFORNIA CODE OF REGULATIONS DIVISION 4 CHAPTER 15.



**VAN DEN BERG RESIDENCE  
 41 23RD ST.  
 CAYUCOS, CA**



**APPLICABLE CODES**

- California Building Code, Vols 1 & 2 (2012 IBC)
- California Residential Code (2012 IRC)
- California Plumbing Code (2012 UPC)
- California Mechanical Code (2012 UMC)
- California Electrical Code (2011 NEC)
- California Energy Code (v.2008 until 7/1/2014)
- California Green Building Code
- California Fire Code (2012 IFC)
- California Reference Standards Code

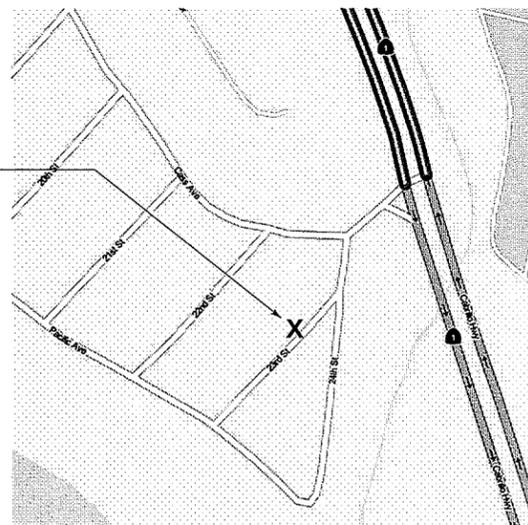
**REQUIRED REFERENCE STANDARDS**

- ASCE 7-10 (Minimum Design Loads)
- AISC 341-10 (2005 Seismic Design for Steel Bldgs.)
- AISC 358-10 (Prequalified Connections for Special and Intermediate Moment Frames)
- AISC 360-10 (2005 Steel Specs.13th ed)
- ACI 318-11 (Concrete Design)
- ACI 530-11 (Masonry Design)
- AF&PA/NDS-2012 (Wood Design)
- WFCM-01 (Wood Frame Const. Manual 1-2 SFD)

**SLO COUNTY GREEN BUILDING ORDINANCE REQUIREMENTS:**

1. NEW AND EXISTING WATER FIXTURES SHALL BE BROUGHT UP TO CAL GREEN MANDATORY REQUIREMENTS:
  - SHOWER HEADS 2.5 GPM @ 80 PSI
  - LAVATORY FAUCETS (RESIDENTIAL) 2.2 GPM @ 60 PSI
  - LAVATORY FAUCETS (NON-RESIDENTIAL) 0.5 GPM @ 60 PSI
  - KITCHEN FAUCETS 2.2 GPM @ 60 PSI
  - WATER CLOSETS 1.6 GALLONS PER FLUSH
  - URINALS 1.0 GALLONS PER FLUSH
2. HOME ENERGY RATING REQUIRED TO BE PERFORMED BY A H.E.R.S. RATER PRIOR TO CONSTRUCTION COMPLETION.

**PROJECT LOCATON**



**VICINITY MAP (NO SCALE)**

**PROJECT DATA:**

A.P.N. 064-184-012  
 PLANNING AREA: SAN LUIS BAY INLAND  
 ZONING DESIGNATION: RSF  
 TOTAL NUMBER OF UNITS: 1 (NO PROPOSED CHANGES)  
 OCCUPANCY GROUP: R3  
 CONSTRUCTION TYPE V- SPRINKLERS  
 LOT SIZE: 3520 SQ.FT.

**EXISTING COVERAGE:**

EXIST. GROSS STRUCTURAL AREA (GSA): 1568 SQ.FT.  
 TOTAL: 1568/3520= 45%  
 EXISTING RESIDENCE TO BE DEMOLISHED

PROPOSED TOTAL GSA: 1917 SQ.FT.  
 TOTAL: 1917/3520= 54%

**PROPOSED COVERAGE:**

NEW RESIDENCE GSA 1ST FLOOR: 1272 SQ.FT.  
 TOTAL: 1272/3520= 36%  
 SECOND FLOOR GSA: 645 SQ.FT.  
 TOTAL: 645/1272=50% OF 1ST FLOOR  
 1ST FLOOR UNCOVERED DECK: 264 SQ.FT.  
 2ND FLOOR UNCOVERED DECK: 317 SQ.FT.

TOTAL LANDSCAPED AREA: APPROX. 1500 SQ.FT.= 43%

USE DESCRIPTION:  
 EXIST. RESIDENCE IS A 1568 SQ.FT., 3 BEDROOM RESIDENCE

PROPOSED NEW RESIDENCE IS A 1917 SQ.FT., 3-BEDROOM RESIDENCE

**SITE PLAN 1/8"=1'-0"**

SHEET INDEX	
SHEET TITLE	
A-1	SITE PLAN, VICINITY MAP, PROJECT DATA, GENERAL NOTES
A-1.2	DRAINAGE, SEDIMENTATION, AND EROSION CONTROL PLAN AND NOTES
A-2	EXISTING PLAN AND ELEVATIONS
A-3	NEW FLOOR PLANS
A-4	NEW ELEVATIONS
A-4.1	INTERIOR ELEVATIONS, ROOF PLAN
A-5	SECTIONS

NUMBER	DATE	REVISION BY	DESCRIPTION



BY: BRYCE ENGSTROM ARCHITECT  
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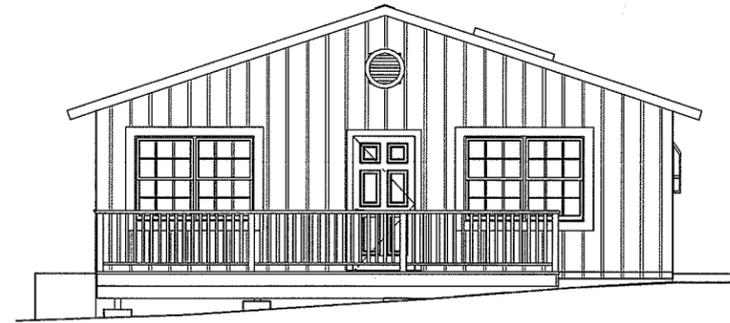
**VAN DEN BERG RESIDENCE  
 41 23RD ST.  
 CAYUCOS, CA**

OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (408) 221-5894

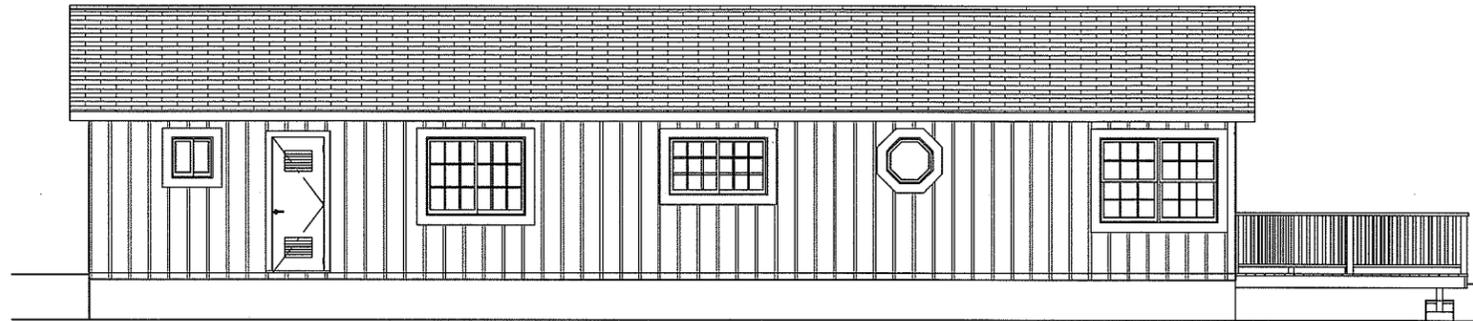
ARCHITECT:  
 BRYCE ENGSTROM  
 454 PRINTZ ROAD  
 ARROYO GRANDE, CA 93420  
 (805) 255-5385

SHEET:  
**A-1**  
 DESCRIPTION:  
 SITE PLAN, VICINITY MAP,  
 PROJECT DATA,  
 GENERAL NOTES

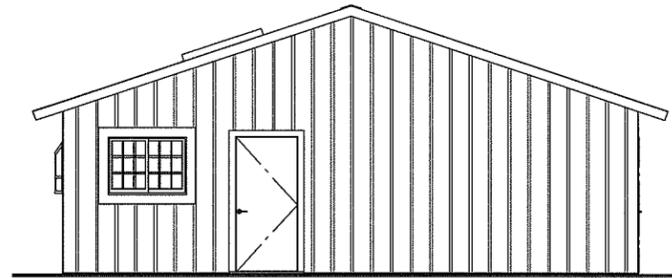




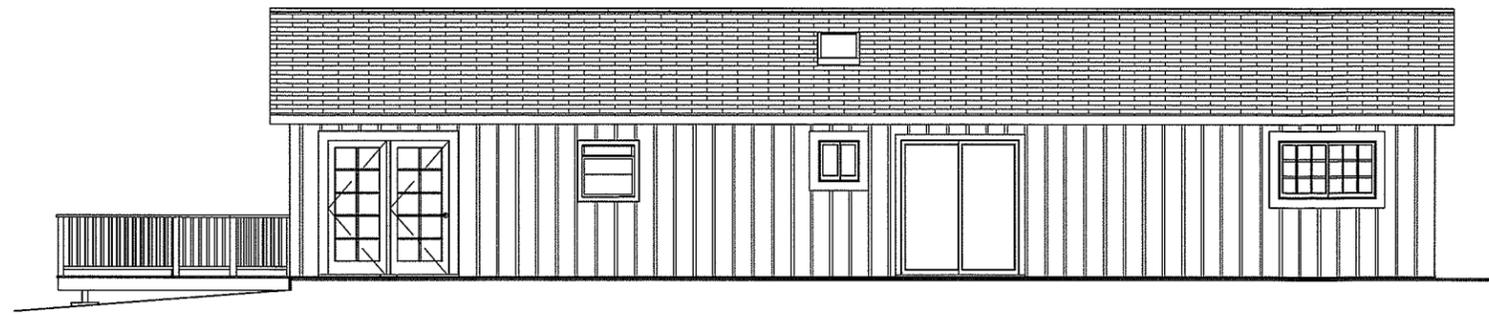
EXISTING SOUTH ELEVATION SCALE: 1/4"=1'-0"



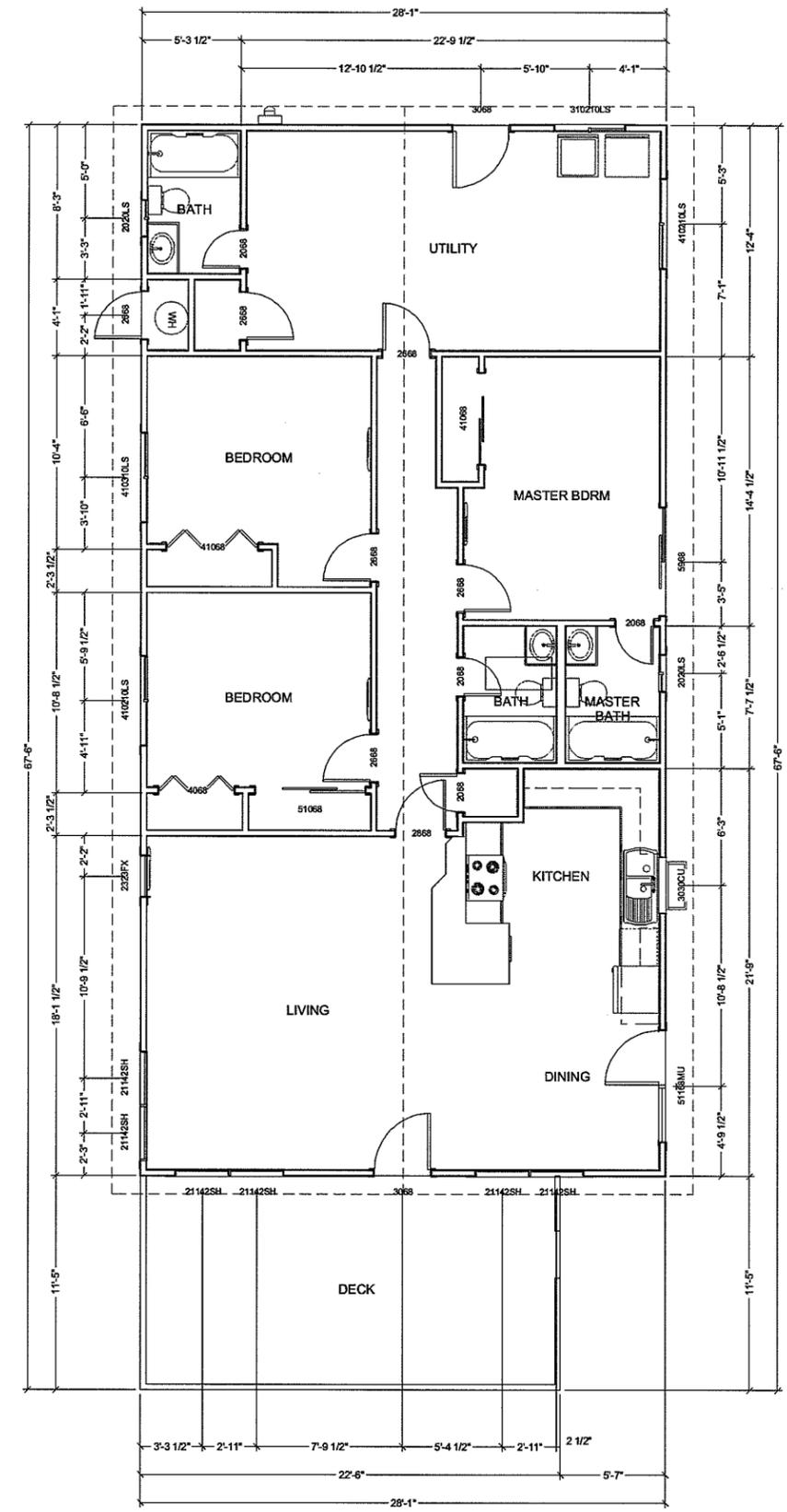
EXISTING WEST ELEVATION SCALE: 1/4"=1'-0"



EXISTING NORTH ELEVATION SCALE: 1/4"=1'-0"



EXISTING EAST ELEVATION SCALE: 1/4"=1'-0"



EXISTING FLOOR PLAN SCALE: 1/4"=1'-0"

NOTE: ENTIRE EXISTING RESIDENCE TO BE DEMOLISHED

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



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 Architect.

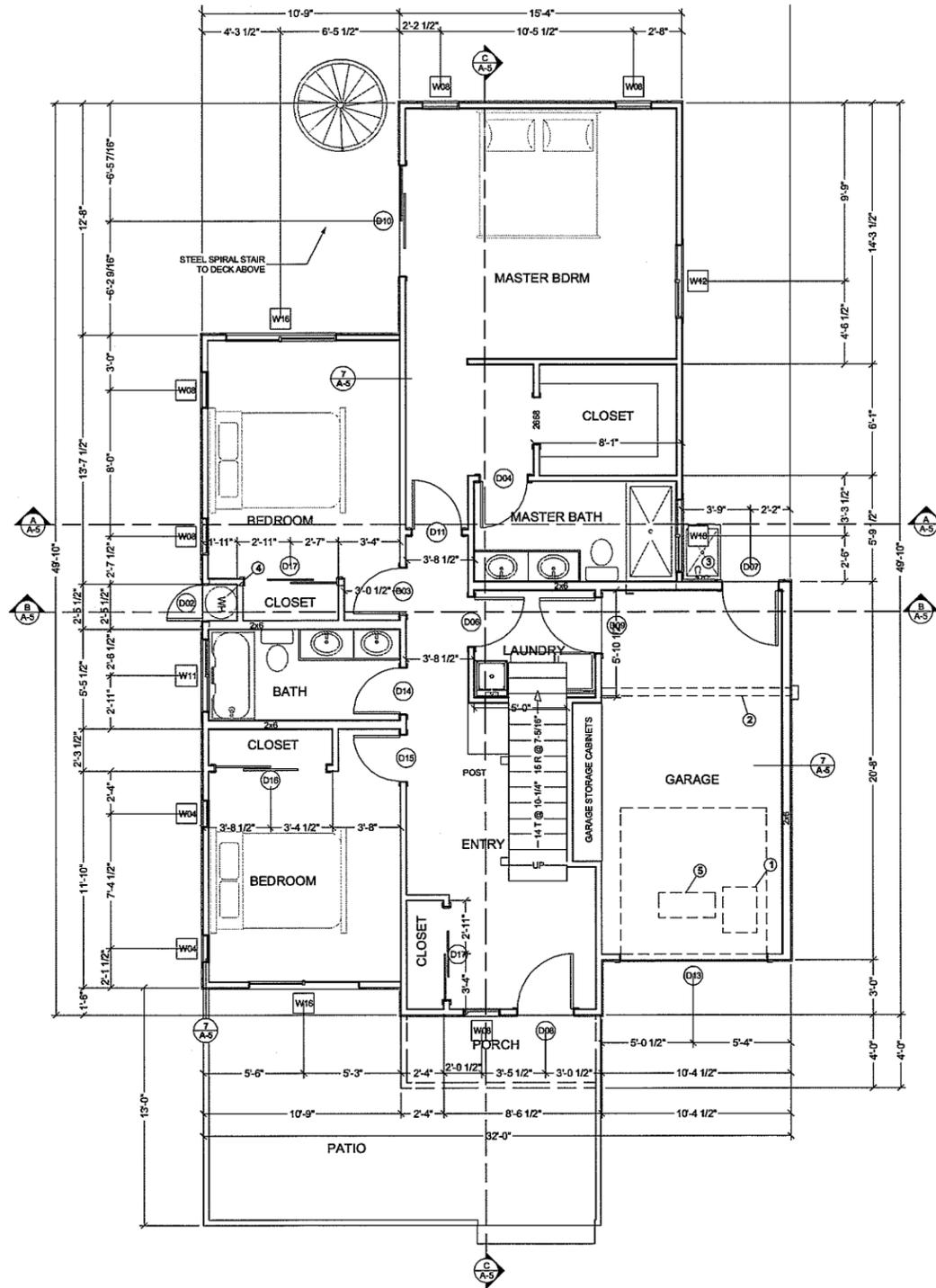
VAN DEN BERG RESIDENCE  
 41 23RD ST.  
 CAYUCOS, CA

OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (909) 221-1594

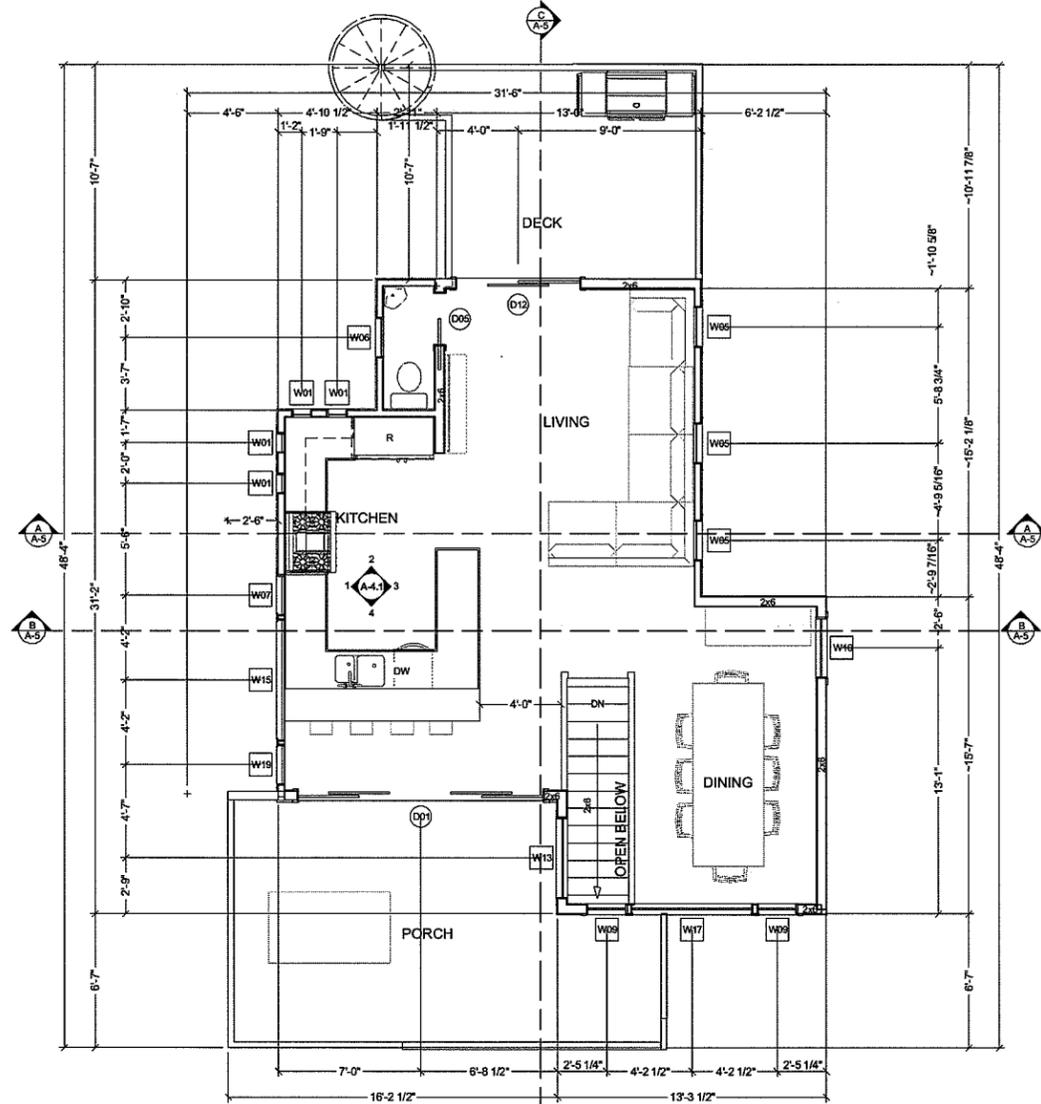
ARCHITECT:  
 BRUCE ENGSTROM  
 454 PRINZ ROAD  
 ARROYO GRANDE, CA 95420  
 (805) 253-5385

SHEET:  
**A-2**

DESCRIPTION:  
 EXISTING PLAN AND  
 ELEVATIONS



NEW FIRST FLOOR PLAN SCALE: 1/4"=1'-0"



NEW SECOND FLOOR PLAN SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES BY NUMBERED SYMBOL: ①

1. 22X30 ATTIC ACCESS
2. DRYER VENT UNDER SLAB PER GENERAL NOTES MECHANICAL #5
3. OUTDOOR SHOWER/DOG WASH RACK
4. NAT. GAS WATER HEATER PER T-24 DOCS
5. ATTIC MOUNTED NAT. GAS FAU-SEE T-24 DOCS

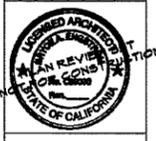
WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION	TEMPERED	COMMENTS
W01	4	2	1610PX		FIXED GLASS	YES	OBSCURED OR ACRYLIC BLOCK
W02	3	1	1414AW		AWNING		CLERESTORY-SEE ELEVATIONS
W03	3	1	1616AW		AWNING		CLERESTORY-SEE ELEVATIONS
W04	2	1	1640CH		DOUBLE HUNG		CLERESTORY-SEE ELEVATIONS
W05	2	2	2020AW		AWNING		
W06	1	2	2030DH		DOUBLE HUNG		
W07	1	2	2030DH		DOUBLE HUNG		
W08	5	1	2040DH		DOUBLE HUNG		
W09	2	2	2060DH		DOUBLE HUNG		
W10	1	2	2060DH		DOUBLE HUNG		
W11	1	1	2018.S		LEFT SLIDING		
W12	1	1	2040.S		LEFT SLIDING		
W13	1	2	2060PX		FIXED GLASS		
W14	1	1	3114SPX		FIXED GLASS		
W15	1	2	8036PX		FIXED GLASS		
W16	2	1	8040.S	YES	LEFT SLIDING		
W17	1	2	8068PX		FIXED GLASS		
W18	1	1	4018.S		LEFT SLIDING	YES	
W19	1	2	2030DH		DOUBLE HUNG	YES	

DOOR SCHEDULE

NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	THICKNESS	COMMENTS	TEMPERED
D01	1	2	12068 L/R EX	EXT. QUAD SLIDER GLASS	1 3/4"		YES
D02	1	1	2068 L EX	EXT. HINGED S.C.	1 3/4"	VENT'S TOP AND BOTTOM	
D03	1	1	2668 L IN	HINGED H.C.	1 3/8"		
D04	1	1	2668 R IN	HINGED S.C.	1 3/8"		
D05	1	2	2668 L IN	POCKET S.C.	1 3/8"		
D06	1	2	2668 L IN	HINGED S.C.	1 3/8"		
D07	1	1	3068 L EX	EXT. HINGED S.C.	1 3/4"		
D08	1	1	3068 R EX	EXT. HINGED GLASS	1 3/4"	20 MIN. RATED. PROVIDE CLOSER	YES
D09	1	1	3068 R EX	EXT. HINGED S.C.	1 3/4"		
D10	1	1	5068 L EX	EXT. SLIDER GLASS	1 3/4"		YES
D11	1	1	2668 L IN	HINGED PANEL	1 3/8"		
D12	1	2	6068 L IN	SLIDER GLASS	1 3/4"		YES
D13	1	1	8080	GARAGE-OBSCURED GLASS PANEL	1 3/4"	TEMPERED OR ACRYLIC	
D14	1	1	2668 L IN	HINGED S.C.	1 3/8"		
D15	1	1	2668 R IN	HINGED H.C.	1 3/8"		
D16	1	1	5068 R IN	SLIDER H.C.	1 3/8"		
D17	2	1	5068 R IN	SLIDER PANEL	1 3/8"		

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



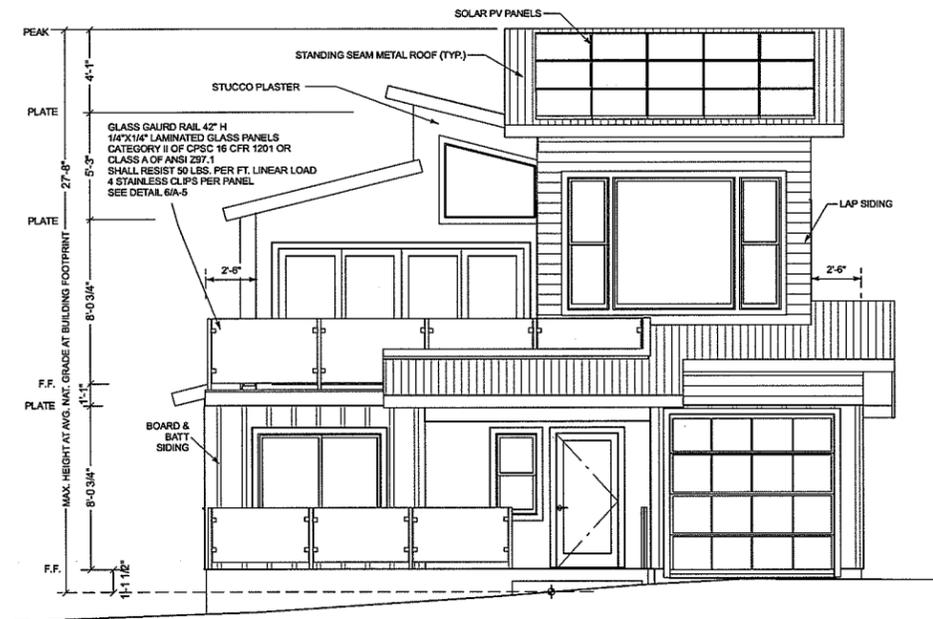
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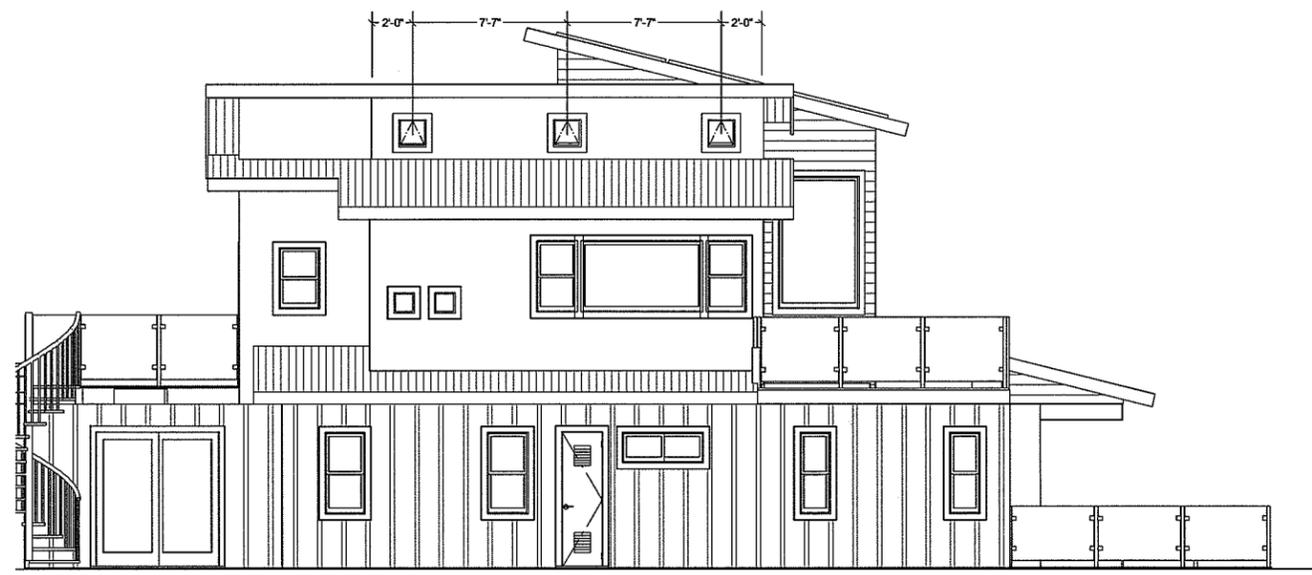
OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (408) 221-1894

ARCHITECT:  
 BRYCE ENGSTROM  
 454 PRINTZ ROAD  
 ARROYO GRANDE, CA 95420  
 (408) 235-3385

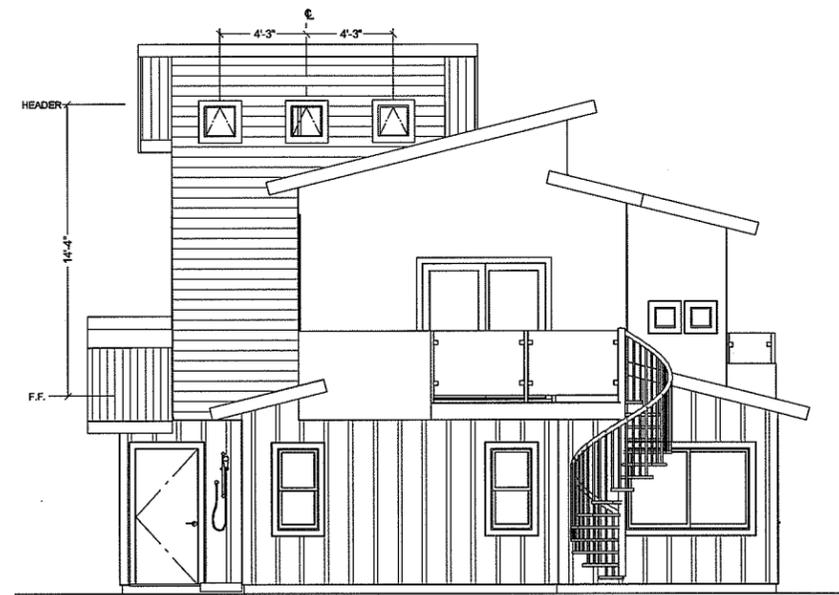
SHEET:  
**A-3**  
 DESCRIPTION:  
 NEW FLOOR PLANS



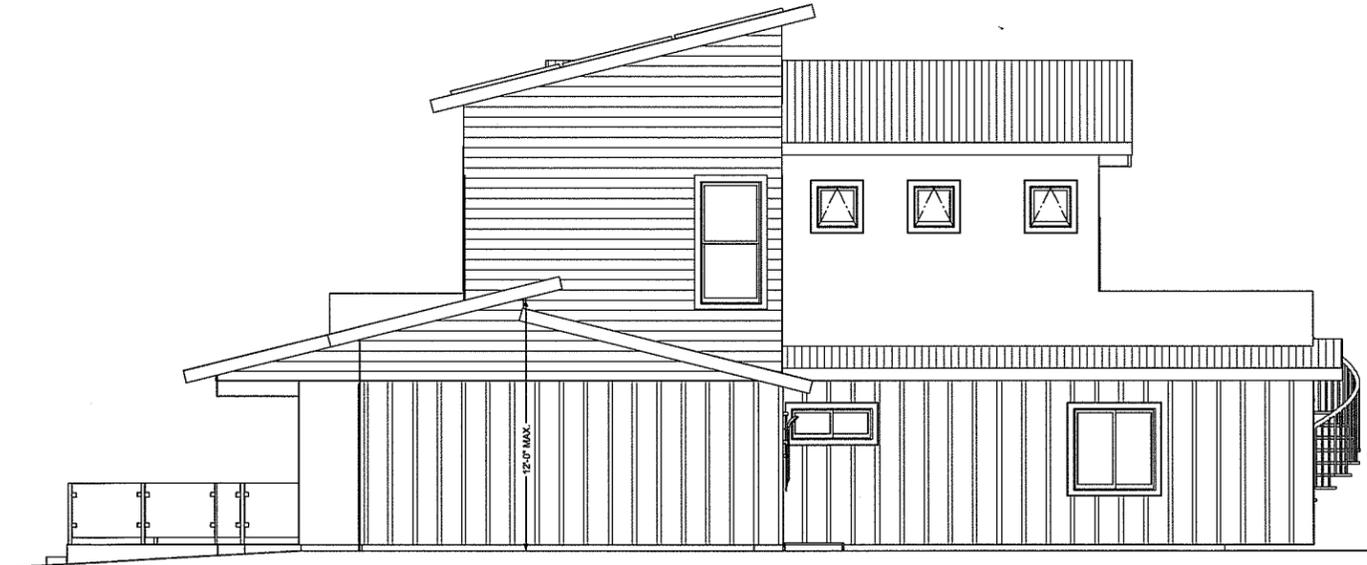
NEW SOUTH ELEVATION SCALE: 1/4"=1'-0"



NEW WEST ELEVATION SCALE: 1/4"=1'-0"



NEW NORTH ELEVATION SCALE: 1/4"=1'-0"



NEW EAST ELEVATION SCALE: 1/4"=1'-0"

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



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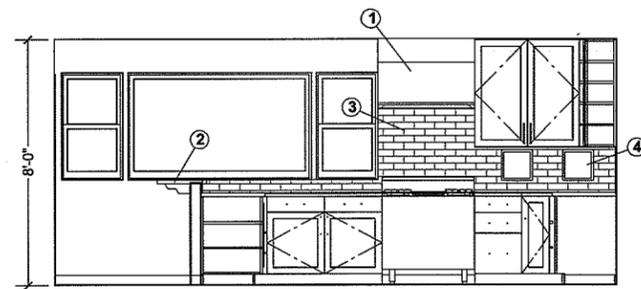
VAN DEN BERG RESIDENCE  
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 CAYUCOS, CA

OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (415) 221-9894

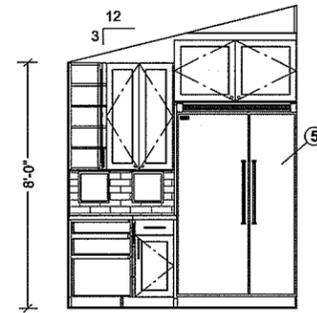
ARCHITECT:  
 BRUCE ENGSTROM  
 454 PRINTZ ROAD  
 APOLO GRANDE, CA 95420  
 (415) 221-9894

SHEET:  
**A-4**

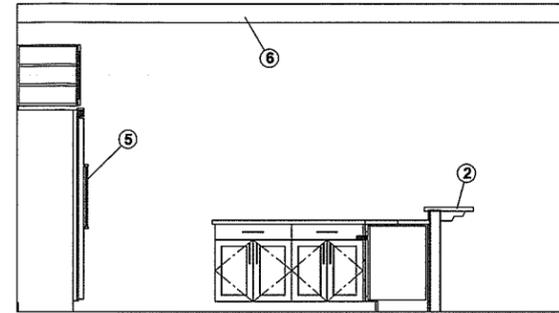
DESCRIPTION:  
 NEW ELEVATIONS



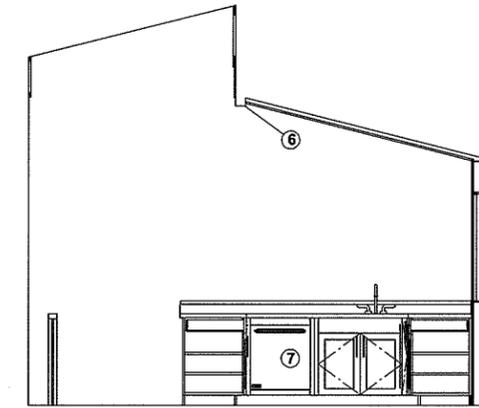
INTERIOR ELEVATION 1 SCALE: 3/8"=1'-0"



INTERIOR ELEVATION 2 SCALE: 3/8"=1'-0"



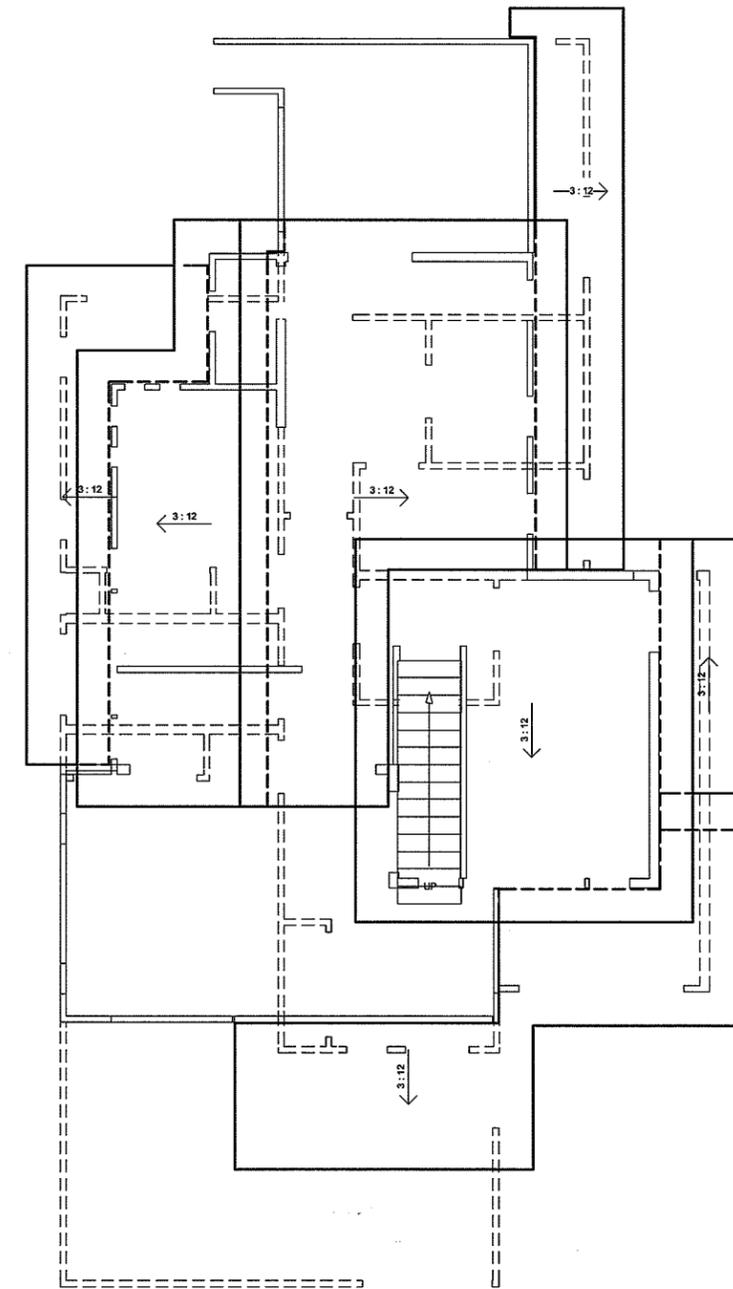
INTERIOR ELEVATION 3 SCALE: 3/8"=1'-0"



INTERIOR ELEVATION 4 SCALE: 3/8"=1'-0"

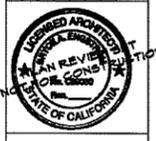
**INTERIOR ELEVATION NOTES  
BY NUMBERED SYMBOL: ①**

1. STAINLESS STEEL EXHAUST HOOD
2. 42" H RAISED BAR COUNTER ON WOOD CORBELS
3. BACKSPLASH TO BOTTOM OF CABINETS/HOOD/  
WINDOW
4. FIXED OPAQUE GLASS WINDOWS OR GLASS/ACRYLIC  
BLOCK - SEE WINDOWS SCHEDULE
5. 48" WIDE CABINET DEPTH FRIDGE
6. BOTTOM OF BEAM
7. DISHWASHER



ROOF PLAN SCALE: 1/4"=1'-0"

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



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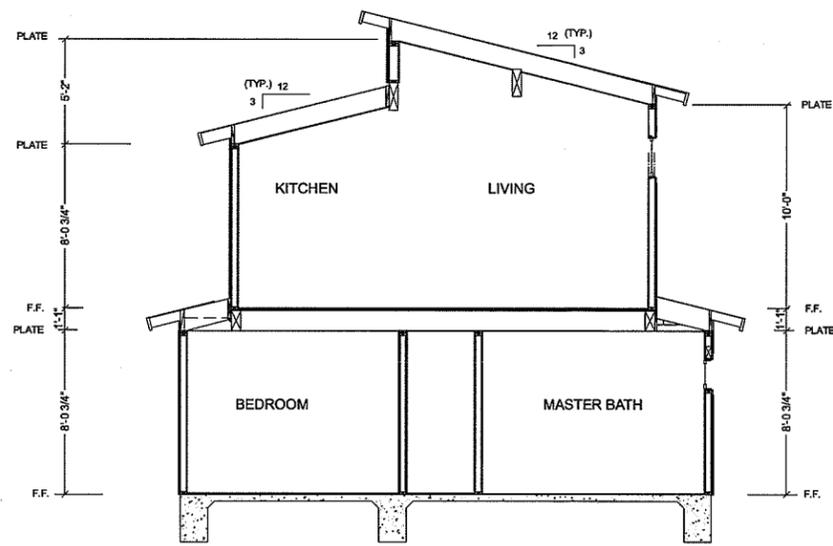
**VAN DEN BERG RESIDENCE**  
 41 23RD ST.  
 CAYUCOS, CA

OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (408) 221-1894

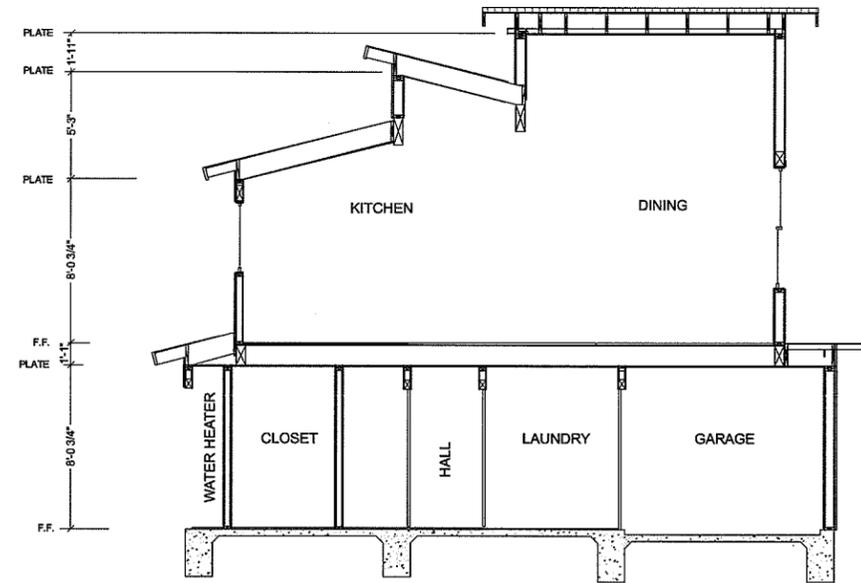
ARCHITECT:  
 BRYCE ENGSTROM  
 454 PRINZ ROAD  
 ABEROYO GRANDE, CA 95420  
 (408) 235-3385

SHEET:  
**A-4.1**

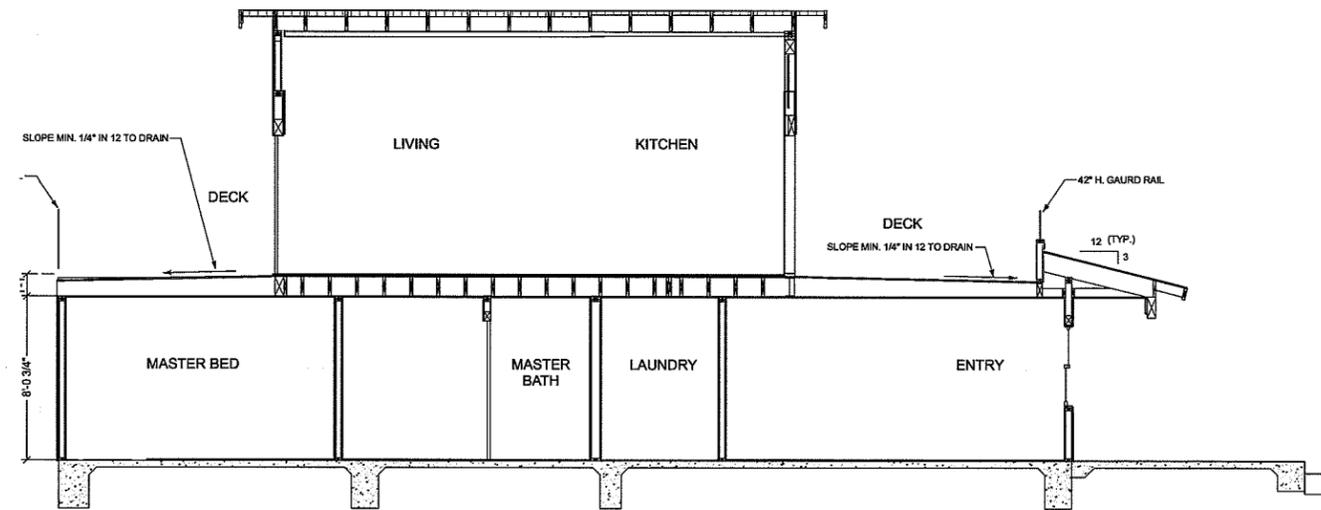
DESCRIPTION:  
 INTERIOR ELEVATIONS,  
 ROOF PLAN



SECTION A SCALE: 1/4"=1'-0"



SECTION B SCALE: 1/4"=1'-0"



SECTION C SCALE: 1/4"=1'-0"

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



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 CAYUCOS, CA

OWNER:  
 JON & VICKY VAN DEN BERG  
 41 23RD STREET  
 CAYUCOS, CA 95430  
 (408) 221-9894

ARCHITECT:  
 BRUCE ENGSTROM  
 454 PRINTZ ROAD  
 ARROYO GRANDE, CA 93420  
 (805) 235-5383

SHEET:  
**A-5**

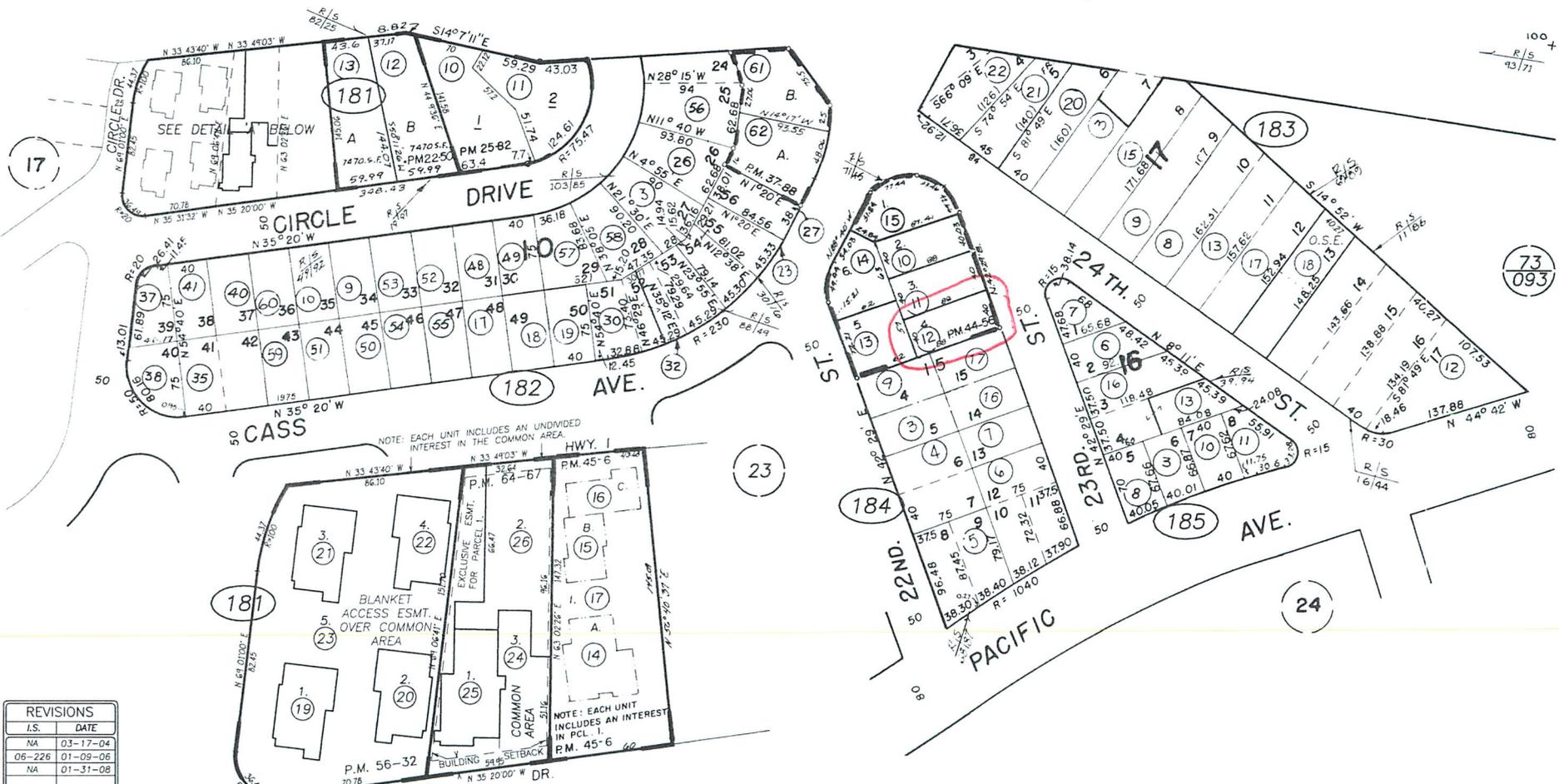
DESCRIPTION:  
 SECTIONS



CALIFORNIA STATE HIGHWAY NO. 1

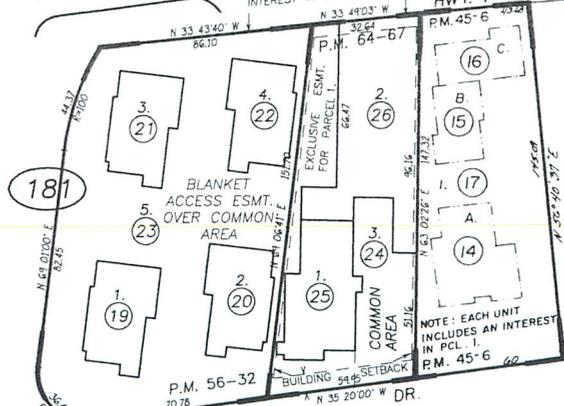
R/S  
43/71

100'  
R/S  
43/71



NOTE: EACH UNIT INCLUDES AN UNDIVIDED INTEREST IN THE COMMON AREA.

NOTE: EACH UNIT INCLUDES AN INTEREST IN PCL-1.



DETAIL 'A'  
(SCALE: 1"=50')

REVISIONS	
I.S.	DATE
NA	03-17-04
06-226	01-09-06
NA	01-31-08

50' 0 100' 200'

GB  
05-03-99

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Coastal Zone  
Planning Area

Cayucos URL

**RSF**  
Estero Planning Area  
Planning Area

30 m



PCW



# Parcel Summary Report For Parcel # 064-184-012

12/22/2014  
1:44:26PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role   Name and Address

OWN   VANDENBERG JONATHAN  
10026 CRESCENT RD CUPERTINO CA 95014-  
OWN   VANDENBERG VICKY A

### Address Information

Status            Address  
P                    00041 23RD ST CAYU

### Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064184	012	0001	Cayucos	Estero Plannin	SSN			N		
COAL88-	001	0004	Cayucos	Estero Plannin	RSF	LCP	AS	Y	CD	D860224D / D880203P

### Parcel Information

Status    Description  
Active    PM 44/56 PAR 4

### Notes

#### Tax Districts

COAST (SB1537)  
CAYUCOS  
SAN LUIS OBISPO JT(27,40)  
CAYUCOS-MORRO  
CAYUCOS COUNTY  
NO. 02  
CAYUCOS



# Parcel Summary Report For Parcel # 064-184-012

12/22/2014  
1:44:26PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AREA NO. 10

AREA NO. 21

### Case Information

**Case Number:**

**Case Status:**

DRC2014-00067 REC Primary Parcel

**Description:**

DEMOLISH EXISTING RESIDENCE, BUILD A NEW 1945 SQ FT RESIDENCE

PMT2010-01214 FNL Primary Parcel

**Description:**

REPLACE ELECTRIC METER - 200 AMP - SERVING SFD

PMT2014-00168 HLD Primary Parcel

**Description:**

REPLACEMENT SFD (1,680 SF), UNCONDITIONED UTILITY ROOM (283 SF), DECKS (2) (607 SF) (PMT2014-00169 - DEMO 1568 SF DWELLING, PER ASSESSOR'S RECORDS)

PMT2014-00169 REC Primary Parcel

**Description:**

DEMO 1568 SF DWELLING, PER ASSESSOR'S RECORDS (REPLACEMENT SFD - PMT2014-00168)

PMT2002-17833 EXP Related Parcel

**Description:**

GRADING FOR D880203P

PMT2002-17845 EXP Related Parcel

**Description:**

DEMO FOR D880203P MOTEL

S870140L RDD Related Parcel

**Description:**

LOT LINE ADJUSTMENT OF 6 PARCELS