



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 3/30/2015

TO: _____

FROM: Cody Scheel (805-781-5157 or cscheel@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2014-00114 FITZGERALD – Proposed minor use permit for a master bedroom addition (400 sf) on the second floor of a single family residence. Site location is 325 Surf Ave, Oceano. APN: 061-061-027

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2014-00114

FITZGERALD PATI

MINOR USE PERMIT

NEW 2ND STORY (399 SQ FT) MASTER
BEDROOM ADDITION
SOCST/ OCNO

APPLICATION TYPE - CHECK ALL THAT APPLY

- | | | |
|--|---|---|
| <input type="checkbox"/> Emergency Permit | <input type="checkbox"/> Tree Permit | <input type="checkbox"/> |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Use Permit | <input type="checkbox"/> AR AS CAZ COJ LCP RMF |
| <input type="checkbox"/> Conditional Use Permit/Development Plan | <input type="checkbox"/> | <input type="checkbox"/> SSN |
| <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver | <input type="checkbox"/> | <input type="checkbox"/> Modification to approved land use permit |

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name PAT FITZGERALD Daytime Phone 805 896 7454
Mailing Address 305 SURF AVE Zip Code _____
Email Address: chconstruction1@gmail.com

Applicant Name _____ Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name CHRIS HENRIKSON Daytime Phone 805 896 7454
Mailing Address 572 HANOLULU AVE OCEANO Zip Code 93445
Email Address: chconstruction1@gmail.com

PROPERTY INFORMATION

Total Size of Site: 3000 +/- Assessor Parcel Number(s): 061-061-027

Legal Description: _____

Address of the project (if known): 305 SURF AVE

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: _____

Describe current uses, existing structures, and other improvements and vegetation on the property: _____

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): New 2nd story 399 sq ft MASTER Bedroom Addition

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Pat Fitzgerald Date 3/18/15

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: STREET & ALLEY ACCESS

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RESIDENTIAL

South: RESIDENTIAL

East: RESIDENTIAL

West: RESIDENTIAL

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet _____ %

Landscaping: _____ sq. feet _____ %

Paving: _____ sq. feet _____ %

Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: 0 sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: 22'

Number of trees to be removed: _____ Type: _____

Setbacks: Front 15 Right 3 Left 3 Back 10

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: OCSO

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: OCSO

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: OCSO

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 2

Total floor area of all structures including upper stories, but not garages and carports: 1703 +

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: SURF AVE

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 10 GALS MAX
4. How many service connections will be required? 0
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: EXISTING HOME
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 10' Location of connection: EAST SIDE YARD
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: _____
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: LUCIA MAR
2. Location of nearest police station: OCEANO 1/2 MILE
3. Location of nearest fire station: OCEANO 1/2 MILE
4. Location of nearest public transit stop: 1/2 MILE
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? 1/2 MILE feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
SFR
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: _____ Hours of Operation: _____
2. How many people will this project employ? _____
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: _____
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

ABBREVIATIONS

●	AT	JT	JOINT
⊕	CENTER LINE	KT	KITCHEN
⊥	PENNY	KD	KNOCKDOWN
∠	NUMBER OR POUND	LAV	LAVATORY
∠	PERPENDICULAR	LH	LEFT HAND
∠	ANGLE	LT	LIGHT
AB	ANCHOR BOLT	LVR	LOUVER
ABV	AST IRON	MATL	MATERIAL
A/C	AIR CONDITIONING	MAX	MAXIMUM
AC	ASPHALTIC CONCRETE	MB	MACHINE BOLT
ACT	ACOUSTICAL CEILING TILE	MESH	MECHANICAL
ADD	ADDENDUM/ADDENDUM	MED	MEDIUM
ADJ	ADJACENT/ADJUSTABLE	MEMB	MEMBRANE
ALT	ALTERNATE	MFR	MANUFACTURER
ALUM	ALUMINUM	MH	MAN HOLE
ANOD	ANODIZED	MIN	MINIMUM
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECT/ARCHITECTURAL	MOLD'S	MOLDINGS
BD	BOARD	MO	MASONRY OPENING
BLDG	BUILDING	MOD	MODULAR
BLK(S)	BLOCKING	MTD	MOUNTED
BM	BEAM	MTL	METAL
BOT	BOTTOM	N	NORTH
BRG	BEARING	NEW	NEW
BUR	BUILT UP ROOFING	NAT	NATURAL
CAR	CARPET	NG	NOT IN CONTRACT
CB	CATCH BASIN	NO	NUMBER
CEM	CEMENT	NOM	NOMINAL
CER	CERAMIC	NTS	NOT TO SCALE
CF	CUBIC FEET/FOOT	O	OVER
CI	CAST IRON	OBSC	OBSCURE
CJ	CEILING JOIST/	OC	ON CENTER
	CONSTRUCTION JOINT	OD	OUTSIDE DIAMETER
CL6	CEILING	OFCL	OWNER FURNISHED,
CLR	CLEAR		CONTRACTOR INSTALLED
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CO	CLEAN OUT	OPP	OPPOSITE
COL	COLUMN	P	PAINT
CONC	CONCRETE	PARTN	PARTITION
CONN	CONNECTION	PL	PROPERTY LINE
CONST	CONSTRUCTION	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PLAS	PLASTER
CONTR	CONTRACTOR	PLYND	PLYWOOD
COTG	CLEAN OUT TO GRADE	PNL	PANEL
COTM	CLEAN OUT TO WALL	POC	POINT OF CONNECTION
CTSK	COUNTERSINK(SINK)	PR	PROPERTY
CTR	CENTER(ED)	PROP	PROPERTY
CM	COLD WATER	PSF	POUNDS/SQUARE FOOT
D	DEEP	PSI	POUNDS/SQUARE INCH
DBL	DOUBLE	PT	PAPER TOWEL/POINT
DEPT	DEPARTMENT	PTHF	PRESSURE TREATED HEM FIR
DF	DRINKING FOUNTAIN	PVC	POLYVINYLE CHLORIDE
DI	DROP INLET	R	RADIUS/RISER
DIA	DIAMETER	RD	ROOF DRAIN/ROUND
DIAG	DIAGONAL	RDND	REDWOOD
DM	DIMENSION	REC	RECEPTION/RECEPTACLE
DISP	DISPENSER	REF	REFRIGERATOR
DN	DIVISION	REG	REGISTER
DN	DOWN	RENF	REINFORCEMENT
DO	DICTIONARY	REQD	REQUIRED
DPRG	DESIGN PROFESSIONAL IN	REV	REVISE/REVISION
	RESPONSIBLE CHARGE	RH	RIGHT HAND/ROUND HEAD
DR	DOOR	RM	ROOM
DS	DOWNPOUT	RO	ROUGH OPENING
DTL	DETAIL	ROM	RIGHT OF WAY
DM	DISHWASHER	SC	SOLID CORE
DWS	DRAWING	SCAD	SCHEDULE
(E)	EXISTING	SCD	SEWER CLEAN OUT
EA	EACH	SD	STORM DRAIN
EB	EXPANSION BOLT	SEL	SECTION
EB	EXPANSION JOINT	SEL	SELECT
ELEV	ELEVATION	SERV	SERVICE
ELEC	ELECTRIC/ELECTRICAL	SHR	SHOWER
EMER	EMERGENCY	SHT	SHEET
ENAM	ENAMEL	SHTG	SHEATHING
ENCL	ENCLOSURE/ENCLOSURE	SHWR	SHOWER
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SLDG	SLIDING
EXH	EXHAUST	SM	SHEET METAL
EXP	EXPOSED	SMAGNA	SHEET METAL MANUAL
EXT	EXTERIOR	SMH	SEWER MAN HOLE
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDTN	FOUNDATION	SQ	SQUARE
FEIG	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FF	FINISHED FLOOR	STD	STANDARD
F6	FINISHED GRD/FIXED GLASS	STL	STEEL
FN	FLAT HEAD	STRUC	STRUCTURAL
FN6	FLAT HEAD WOOD SCREW	SUSP	SUSPENDED
FNH	FINISH	SV	SHEET VINYL
FX	FIXTURE	SYM	SYMMETRICAL
FJ	FLOOR JOIST	T	TREAD
FL	FLOW LEVEL	T&G	TONGUE & GROOVE
FL6	FLASHING FLOOR	TB	TOP OF BERM
FLJCR	FLUORESCENT	TC	TOP OF CONCRETE/
FOC	FACE OF CONCRETE	TC	TOP OF CONCRETE/
FOP	FACE OF FRESH	TC	TOP OF CURE
FOM	FACE OF MASONRY	TCB	TOP OF CATCH BASIN
FOS	FACE OF STUD	THK	THICK
FP	FIREPLACE	TEL	TELEPHONE
FRZR	FREEZER	TEMP	TEMPERATURE OR TEMPERED
FT	FOOT OR FEET	TP	TOP OF PAVEMENT/
FTS	FOOTING	TP	TOP OF PAVING
		TSS	TOP SET BASE
GA	GAUGE	TV	TELEVISION
GAL	GALLON	TM	TOP OF WALL
GALV	GALVANIZED	TY	TYPICAL
G1	GALVANIZED IRON	UNO	UNLESS NOTED OTHERWISE
GL	GLASS/GLAZING	V	VENT
GLB	GLUE LAMINATED BEAM	VAR	VARIABLE
GND	GROUND	VNTL	VINYL ASBESTOS TILE
GRD	GRADE	VNT	VINYL COMPOSITION TILE
GYP BD	GYP/SUM BOARD	VCT	VERTICAL
		VTR	VENT THRU ROOF
HB	HOSE BEB	WC	WATER CLOSET
HC	HOLLOW CORE/HANDICAPPED	WD	WOOD
HDR	HEADER	WF	WIDE FLANGE
HEX	HEXAGONAL	WH	WATER HEATER
HM	HOLLOW METAL	WHI	WOODWORK INSTITUTE OF
HORIZ	HORIZONTAL	WHI	CALIFORNIA
HR	HOUR	WP	WATERPROOF
HT	HEIGHT	WPC	WOOD SCREW
HTR	HEATING	WPC	WOOD SCREW
HVAC	HEATING, VENTILATING &	WPC	WOOD SCREW
	AIR CONDITIONING	WPC	WOOD SCREW
HM	HOT WATER	WPC	WOOD SCREW
HN	INSIDE DIAMETER	WPC	WOOD SCREW
IN	INCH	WPC	WOOD SCREW
INCL	INCLUDED/INCLUDING	WPC	WOOD SCREW
INSUL	INSULATION/INSULATION	WPC	WOOD SCREW
INT	INTERIOR	WPC	WOOD SCREW
INTL	INTERNATIONAL	WPC	WOOD SCREW
INV	INVERT	WPC	WOOD SCREW

SECOND STORY ADDITION

325 SURF AVENUE
OCEANO, CALIFORNIA 93445

APN: 061-061-027

No fire sprinkler system is proposed.

SHEET INDEX

SHEET #	SHEET TITLE
T1.0	TITLE & GENERAL NOTES
T2.0	TITLE 24 DOCUMENTS
T3.0	TITLE 24 DOCUMENTS
C1.0	SITE PLAN
A1.0	EXISTING FLOOR PLAN
A2.0	FLOOR PLAN
A3.0	ELEVATIONS
A4.0	SECTIONS
A5.0	ROOF PLAN
A6.0	DETAILS
S1.0	FOUNDATION PLAN
S2.0	FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S4.0	DETAILS
S5.0	DETAILS
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S7.0	SPECIFICATIONS
S8.0	STRUCTURAL OBSERVATION PLAN
OMF-1	SIMPSON MOMENT FRAME DETAILS
MEP1.0	MECHANICAL, ELECTRICAL, AND PLUMBING
MEP1.0	MECHANICAL, ELECTRICAL, AND PLUMBING PLAN

COUNTY ORDINANCE

THESE PLANS ARE IN COMPLIANCE WITH CURRENT SANTA BARBARA COUNTY (SBCCO) BUILDING ORDINANCE #4125 AND SBCCO GRADING ORDINANCE #4166. ANY DISCREPANCY BETWEEN THESE PLANS AND THE SBCCO, THE SBCCO SHALL GOVERN.

PROJECT SCOPE

A NEW BEDROOM ADDITION TO AN EXISTING HOME. A BATHROOM AND CLOSET WILL BE INCLUDED IN THE NEW BEDROOM.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED BUILDING CODE REGULATIONS AND REQUIREMENTS OF THE COUNTY OF SANTA BARBARA.
- ALL WORK DESCRIBED HEREIN SHALL BE FIELD VERIFIED FOR DIMENSION, GRADE, EXTENT, COMPATIBILITY AND RELATIONSHIP TO SITE, BUILDING AND/OR SYSTEM CONDITIONS. DISCREPANCIES AND UNEXPECTED CONDITIONS WHICH AFFECT OR PREVENT THE IMPLEMENTATION OF THE WORK SHALL BE BROUGHT TO THE ARCHITECT'S/ENGINEER'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREAS OF THE DISCREPANCIES UNTIL THE ISSUE HAS BEEN RESOLVED.
- CONTRACTOR(S) WHO INTEND TO PROVIDE SERVICES ON THIS PROJECT SHALL VISIT THE SITE AND MAKE THEMSELVES COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMISSION OF PROPOSALS FOR THE WORK.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. CONTRACTOR(S) SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THIS JOB.
- CONTRACTOR(S) SHALL PROTECT ALL EXISTING WORK. ANY DAMAGED WORK SHALL BE REPAIRED AND/OR REPLACED WITH THE SAME MATERIALS, MATCHING EXISTING COLORS AND TEXTURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR THEIR OWN CLEANUP AND WORK PROGRESSES.
- ALL WORK IS NEW UNLESS NOTED OTHERWISE.
- EXISTING WORK IS SHOWN FOR REFERENCE ONLY. THE OWNER AND/OR ARCHITECT/ENGINEER DO NOT GUARANTEE THE STATUS OF THE EXISTING CONDITIONS AS INDICATED ON THESE DRAWINGS.
- NOTATIONS MARKED "TYPICAL" (TYP) SHALL BE CONSISTENT THROUGHOUT ALL SUCH REFERENCE NOMENCLATURE, SYMBOLS AND DRAWING INDICATIONS OF LIKE OR SIMILAR WORK.
- THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THIS BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPARTMENT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS AS MANY OF THESE FIRE PROTECTION REQUIREMENTS MAY REQUIRE THE INSTALLATION OF FIRE SPRINKLERS/ SPECIAL SAFETY GLAZED WINDOWS/ NON COMBUSTIBLE EXTERIOR CONSTRUCTION AND ROOFS/ SPECIAL SETBACKS / SPECIAL DRIVEWAY ROADWAY REQUIREMENTS OR OTHER SPECIAL CONSTRUCTION.

PROJECT DIRECTORY

OWNER	ARCHITECTURE
BARBARA & PATRICK FITZGERALD 325 SURF AVENUE OCEANO CA 93445 PH: (805) 478-2817	ACS PREMIER, INC. 3190 SKYWAY DR. SUITE 301 SANTA MARIA CA 93455 PH: (805) 922-4777 FAX: (805) 922-7106
CIVIL	STRUCTURAL
ACS PREMIER, INC. 3190 SKYWAY DR. SUITE 301 SANTA MARIA CA 93455 PH: (805) 922-4777 FAX: (805) 922-7106	ACS PREMIER, INC. 3190 SKYWAY DR. SUITE 301 SANTA MARIA CA 93455 PH: (805) 922-4777 FAX: (805) 922-7106
BUILDING DEPARTMENT	SOILS LABORATORY
COUNTY OF SAN LUIS OBISPO BUILDING AND PLANNING DEPARTMENT 624 WEST FOSTER ROAD, SUITE C SANTA MARIA CA 93455 PH: (805) 934-6280	N/A
CONTRACTOR	TBD

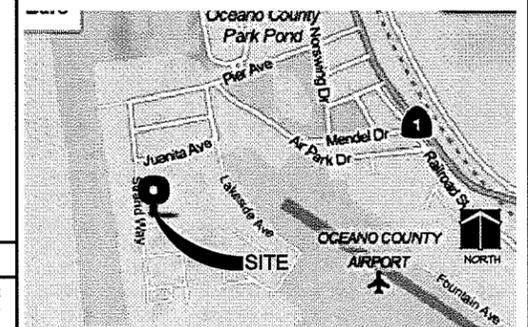
BUILDING CODE DATA

GOVERNING BUILDING CODES	
ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS THAT ARE CURRENTLY IN EFFECT:	
2019 CAC, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, PART 1	
2019 CBC, CALIFORNIA BUILDING CODE, TITLE 24, PART 2, VOLUME 1&2	
2019 CEC, CALIFORNIA ELECTRICAL CODE, TITLE 24, PART 3	
2019 CMG, CALIFORNIA MECHANICAL CODE, TITLE 24, PART 4	
2019 CFC, CALIFORNIA FIRE CODE, TITLE 24, PART 5	
2019 CFE, CALIFORNIA ENERGY CODE, TITLE 24, PART 6	
2019 CFC, CALIFORNIA FIRE CODE, PART 4	
2019 CRC, CALIFORNIA RESIDENTIAL CODE, TITLE 24, PART 23	
COUNTY OF SANTA BARBARA REGULATIONS	
THESE REQUIREMENTS SHALL APPLY TO GROUP U OCCUPANCY AS WELL AS	
R-3	
CODE ANALYSIS	
PROJECT:	NEW BEDROOM ADDITION ABOVE GARAGE
OCCUPANCY GROUP:	R-3
OCCUPANCY SEPARATIONS:	1 HR
TYPE OF CONSTRUCTION:	V-B
EXISTING HOME:	1,709 SQ. FT.
NEW LIVING AREA:	341 SQ. FT.
TOTAL CONDITIONED LIVING SPACE:	2,102 SQ. FT.
OCCUPANCY:	R
HIGH FIRE:	NO
SPRINKLERED:	NO
ROOF RATING:	B
BUILDING HEIGHT:	2-STORY MEAN BLDG HT = 21'
SEISMIC DESIGN CATEGORY:	D
OCCUPANCY CATEGORY:	II
FIRE NOTES	
ADDRESS NUMBERS: NUMBERS SHALL BE CLEARLY VISIBLE FROM THE CENTERLINE OF THE ROADWAY FRONTING THE BUILDING AND THEY SHALL CONTRAST WITH THEIR BACKGROUND. NUMBER HEIGHT SHALL BE A MINIMUM OF SIX (6) INCHES.	

PROPERTY INFORMATION

PROPERTY OWNER:	FITZGERALD, PATRICK & BARBARA
ADDRESS:	325 SURF STREET, OCEANO CA
APN:	061-061-027
ZONING:	RMF AR
TOTAL SITE AREA:	3,000 SQ. FT.
PROPERTY SETBACKS:	REAR: 20' SIDE: 5' FRONT: 20'

VICINITY

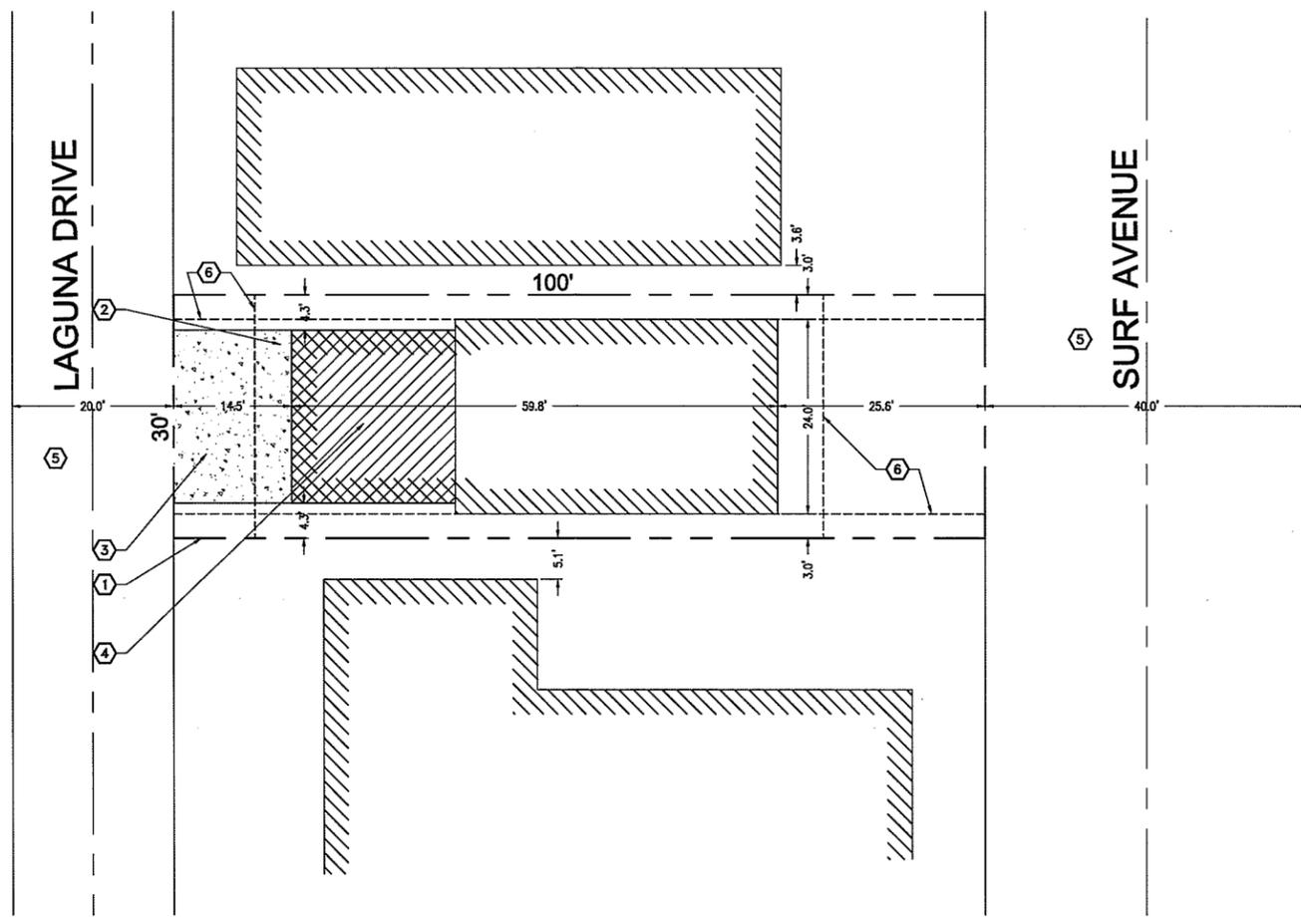


SPECIAL INSPECTION

- SOILS INSPECTION (SEE SHEET S1.00)

SYMBOLS

(1)	○	⊕	⊗	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢	⊣	⊤	⊥	⊦	⊧	⊨	⊩	⊪	⊫	⊬	⊭	⊮	⊯	⊰	⊱	⊲	⊳	⊴	⊵	⊶	⊷	⊸	⊹	⊺	⊻	⊼	⊽	⊾	⊿	⊀	⊁	⊂	⊃	⊄	⊅	⊆	⊇	⊈	⊉	⊊	⊋	⊌	⊍	⊎	⊏	⊐	⊑	⊒	⊓	⊔	⊕	⊖	⊗	⊘	⊙	⊚	⊛	⊜	⊝	⊞	⊟	⊠	⊡	⊢
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SITE PLAN
SCALE: 1" = 10'

SITE INFORMATION

APN#: 061-061-027
 ZONING: RMF AR
 TOTAL SITE AREA = 3,000 SQ.FT.
 EXISTING STRUCTURES:
 ALL EXISTING STRUCTURES ARE SHOWN ON THE SITE PLAN
 NEW STRUCTURE:
 BEDROOM ADDITION TO EXISTING HOME

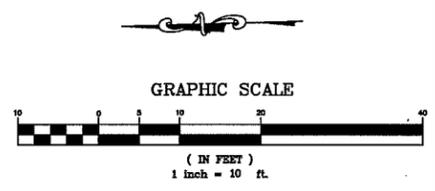
CALLOUT NOTES

- ① PROPERTY LINE
- ② (E) 200 AMP ELECTRICAL PANEL
- ③ (E) CONCRETE DRIVEWAY TO REMAIN
- ④ LOCATION OF ADDITION
- ⑤ DIRT ROAD
- ⑥ SET-BACK LINE

NOTES

1. ALL KNOWN EXISTING EASEMENTS HAVE BEEN INDICATED ON THE ADJACENT MAP.
2. NO UNDERGROUND UTILITIES HAVE BEEN VERIFIED AT THIS TIME.

THERE IS NO SITE GRADING AS PART OF THIS PROJECT



ACS PREMIER, INC.
 3130 SKYWAY DRIVE, SUITE 308, SANTA MARIA CA 93465
 PHONE: (805) 922-4777 FAX: (805) 922-7708
 E-MAIL: contact@acspremier.com
 ENGINEERING - PLANNING
 STRUCTURAL ANALYSIS - SURVEYING

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Project:
325 SURF AVENUE
 OCEANO CA 93445

Client:
PAT & BARBARA FITZGERALD
 325 SURF AVENUE
 OCEANO CA 93445
 (805) 473-2817

Sheet Name:
SITE PLAN

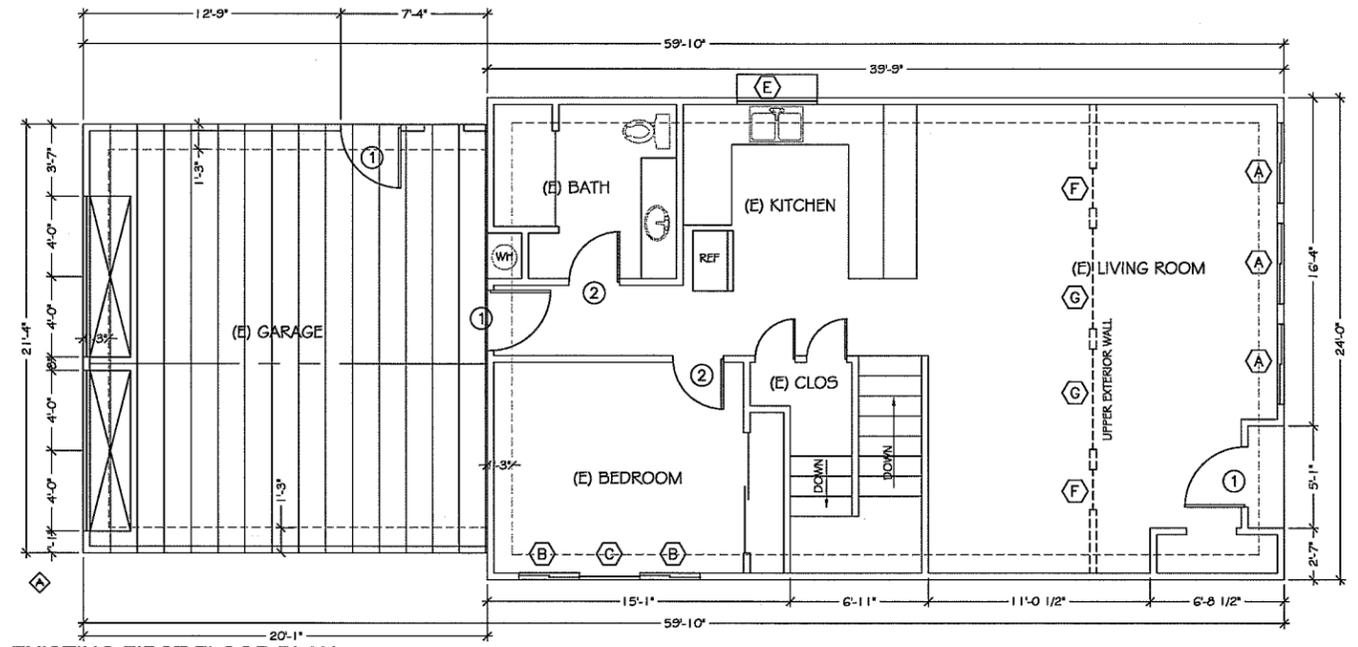
Revisions:
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Job # & File Location:
 14071.00
 14071.00/dwg/buildingplans
 DRAWN BY: CAS

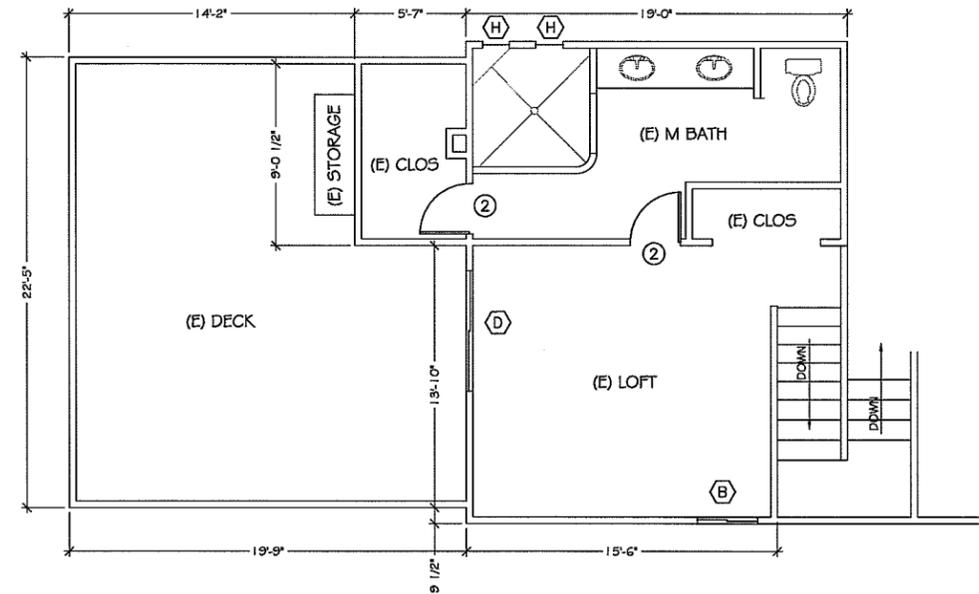
Date:
 JANUARY 19, 2015

Sheet:

C1.0



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'

(E) DOOR SCHEDULE							
NUMBER	MATERIAL	TYPE	FIN	THICKNESS	GLASS	SIZE	REMARKS
①	WOOD	SOLID CORE	PAINT	1 3/4"	N/A	3'-0" X 6'-8"	FLAT w/ WOOD TRIM
②	WOOD	HOLLOW CORE	PAINT	1 1/2"	N/A	2'-6" X 6'-8"	FLAT w/ WOOD TRIM

(E) WINDOW SCHEDULE					
TYPE	MAT'L	GLASS	SIZES	REMARKS	SHEET
A	ALUM	DUAL GLAZED SLIDER (XO)	4'-0" X 5'-0"		A1.0
B	ALUM	DUAL GLAZED SLIDER (XO)	3'-0" X 3'-6"		A1.0
C	ALUM	DUAL GLAZED FIXED	3'-0" X 3'-6"		A1.0
D	ALUM	DUAL GLAZED SLIDING DOOR	6'-0" X 6'-8"		A1.0
E	ALUM	DUAL GLAZED ATRIUM	4'-0" X 4'-0"		A1.0
F	ALUM	DUAL GLAZED FIXED	2'-0" X 3'-6"		A1.0
G	ALUM	DUAL GLAZED FIXED	4'-0" X 3'-6"		A1.0
H	ALUM	DUAL GLAZED CRANK TYPE	1'-4" X 1'-4"		A1.0

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 325 SURF AVENUE
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 (805) 473-2817

Sheet Name:
EXISTING FLOOR PLAN

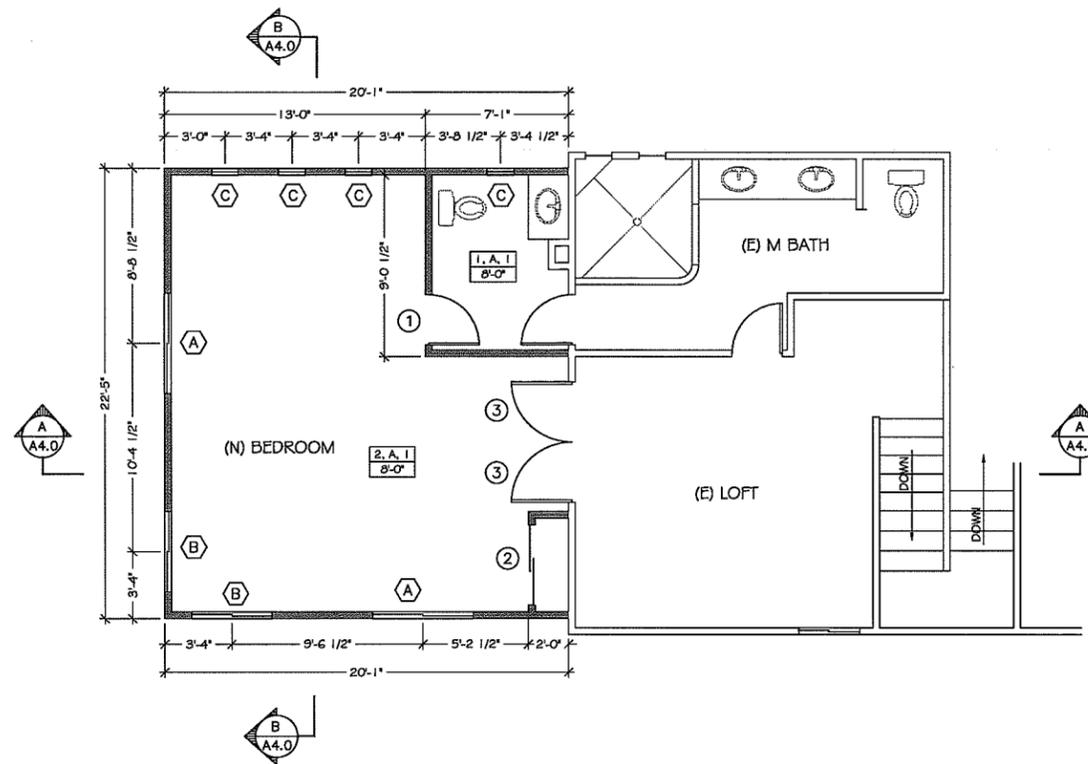
Revisions:
 A
 B
 C

Job # & File Location:
 14071.00
 14071.00/dwg/Buildingplans
 DRAWN BY: CAS

Date:
 JANUARY 19, 2015

Sheet:

A1.0



SECOND STORY FLOOR PLAN
SCALE: 1/4" = 1'

KEYNOTES

- 1 INFILL WALL AT EXISTING WINDOW
- 2 (N) 2x4 WOOD FRAMED WALL
- 3 LINE OF 24" ROOF OVERHANGS
- 4 ADD NEW WINDOW PER SCHEDULE
- 5 VANITY SINK
- 6 CLOSET
- 7 LINEN CLOSET
- 8 PROVIDE SMOKE AND CO DETECTOR

GENERAL NOTES

1. CONTROLS FOR THE ACCESSIBLE WATER CLOSETS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS-FORCE.
2. RESTROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4".
3. WALLS AND PARTITIONS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FEET ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIAL USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
4. LAVATORY FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS-FORCE. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS (PREFERABLE) ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
5. LAVATORIES, WHEN LOCATED ADJACENT TO A SIDE WALL OR PARTITION, SHALL BE A MINIMUM OF 18" TO THE CENTERLINE OF THE FIXTURE. ALL LAVATORIES THAT ARE DESIGNATED TO BE ACCESSIBLE SHALL BE A MINIMUM 17" IN HORIZONTAL DEPTH AND MOUNTED WITH THE RIM OR CURTER EDGE NO HIGHER THAN 34" ABOVE THE FINISH FLOOR AND WITH VERTICAL CLEARANCE MEASURED FROM THE BOTTOM OF THE APRON OR THE OUTSIDE BOTTOM EDGE OF THE LAVATORY 28" REDUCING TO 27" AT A POINT LOCATED 8" BACK FROM THE FRONT EDGE. IN ADDITION, A MINIMUM 9" HIGH TOE CLEARANCE MUST BE PROVIDED EXTENDING BACK TOWARD THE WALL TO A DISTANCE NO MORE THAN 6" FROM THE BACK WALL. THE TOE CLEARANCE SPACE MUST BE FREE OF EQUIPMENT OR OBSTRUCTIONS.

AGS PREMIER, INC.
3130 SKYWAY DRIVE, SUITE 305, SANTA MARIA, CA 93445
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Client:
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325 SURF AVENUE
OCEANO CA 93445
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Sheet Name:
**NEW SECOND
STORY FLOOR PLAN**

Revisions:
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▲
▲

Job # & File Location:
14071.00
14071.00/dwg/Buildings
DRAWN BY: CAS

Date:
JANUARY 19, 2015

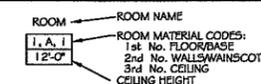
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DOOR SCHEDULE							
NUMBER	MATERIAL	TYPE	FIN	THICKNESS	GLASS	SIZE	REMARKS
1	WOOD	HOLLOW CORE	PAINT	1 3/4"	N/A	2'-6" X 6'-8"	FLAT w/ WOOD TRIM
2	WOOD	HOLLOW CORE	PAINT	1 3/4"	N/A	2'-4" X 6'-8"	DOUBLE FLAT w/ WOOD TRIM
2	WOOD	HOLLOW CORE	PAINT	1 3/4"	N/A	3'-0" X 6'-8"	DOUBLE FLAT w/ WOOD TRIM

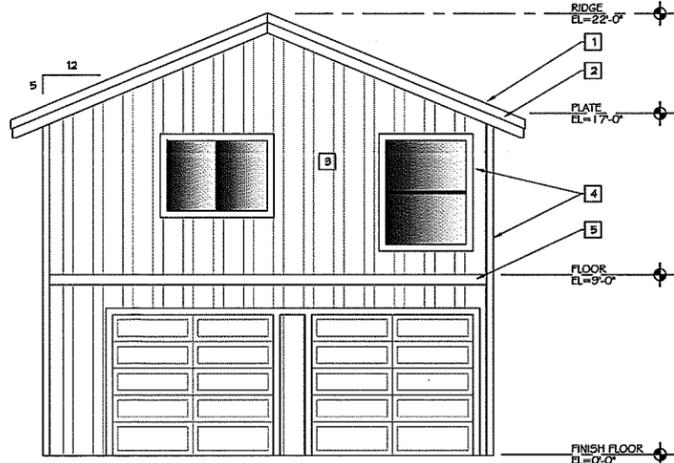
WINDOW SCHEDULE						
TYPE	MAT'L	GLASS	SIZES	REMARKS	SHEET	MIN FIRE RATING
A	ALUM	DUAL GLAZED SLIDER (XO)	5'-0" X 3'-6"	-	A2.0	20 MINUTE / ASTM 257
B	ALUM	DUAL GLAZED DBL HUNG	4'-0" X 5'-2"	TEMPERED GLASS	A2.0	20 MINUTE / ASTM 257
C	ALUM	DUAL GLAZED CRANK TYPE	16" X 16"	MATCH (E) BATH	A2.0	20 MINUTE / ASTM 257

ROOM FINISH LEGEND

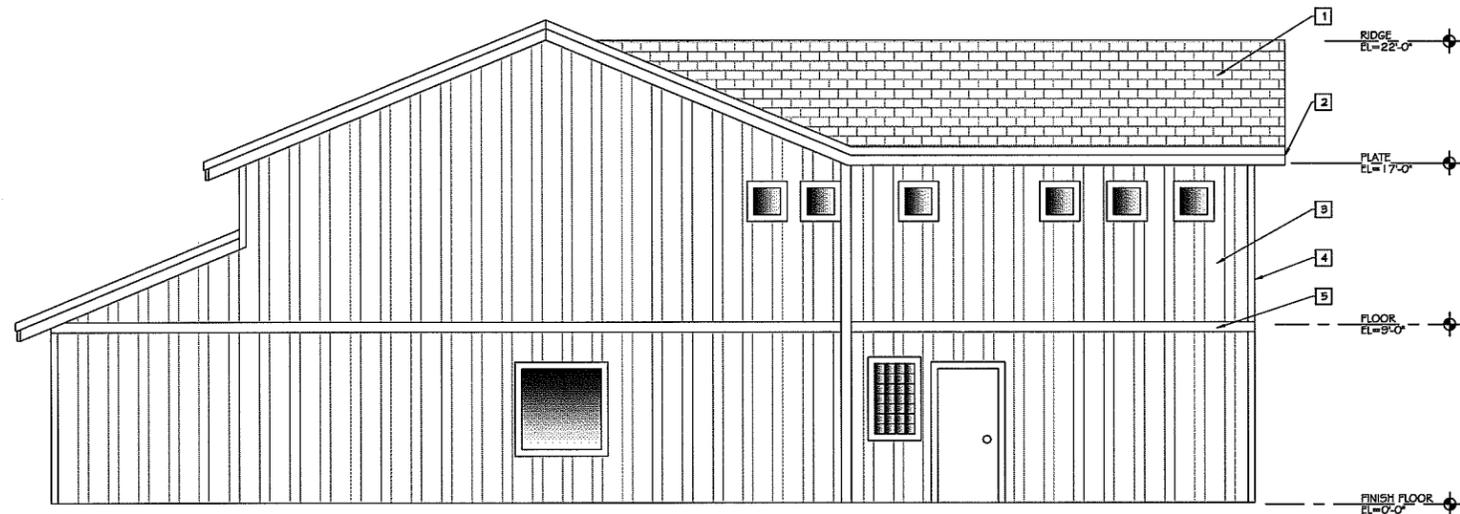


ROOM FINISH SCHEDULE

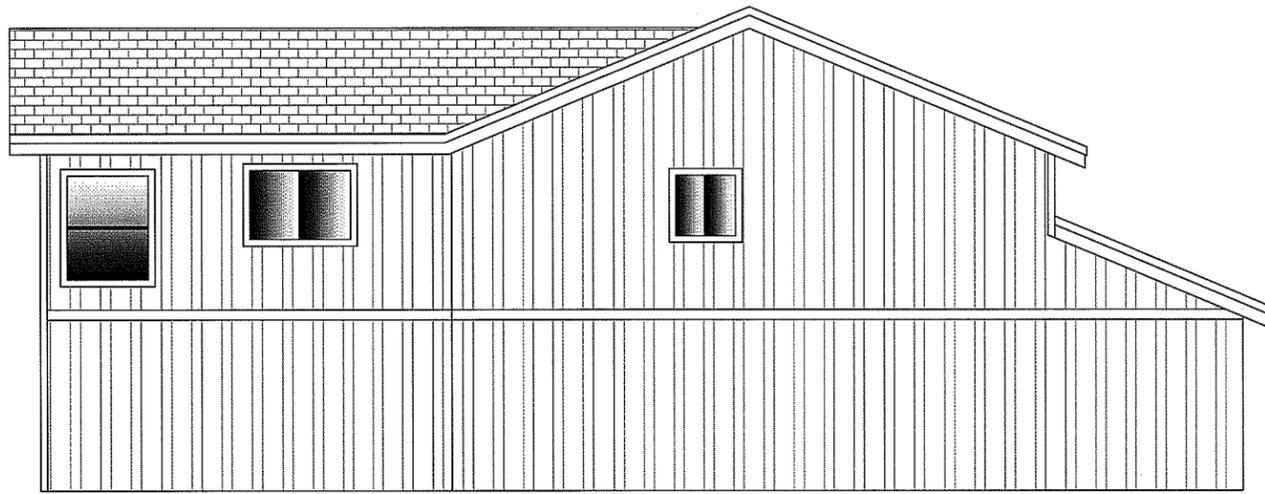
FLOOR / BASE	WALLS / WAINSCOT	CEILING
1 TILE FLOOR w/ 4" WOOD BASE	A 1/2" TYPE X GYP. BD. MATCH EXISTING TEXTURE, EGG SHELL PAINT	1 1/2" TYPE X GYP. BD. MATCH EXISTING TEXTURE, EGG SHELL PAINT
2 CARPET w/ 4" WOOD BASE	B	2
3	C	3



NORTH ELEVATION
SCALE: 1/4" = 1'



EAST ELEVATION
SCALE: 1/4" = 1'



WEST ELEVATION
SCALE: 1/4" = 1'

Callout Notes

- 1 COMPOSITE SHINGLE ROOF OVER 1/2 POUND FELT, OVER SOLID SHEATHING SEE STRUCTURAL PLAN FOR SHEATHING AND NAILING REQUIREMENTS
- 2 2x HEM FIR FASCIA BOARD TO MATCH EXISTING
- 3 T-111 FINISH OVER 2 LAYERS 1/2 LB. FELT.
- 4 4" WIDE TRIM TO MATCH EXISTING
- 5 6" WIDE TRIM TO MATCH EXISTING

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3130 SKYWAY DRIVE, SUITE 308, SANTA MARIA, CA 93445
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PAT & BARBARA FITZGERALD
325 SURF AVENUE
OCEANO CA 93445
(805) 473-2817

Sheet Name:
ELEVATIONS

Revisions:
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▲
▲

Job # & File Location:
14071.00
14071.00/dwg/Buildingplans
DRAWN BY: CAS

Date:
JANUARY 19, 2015

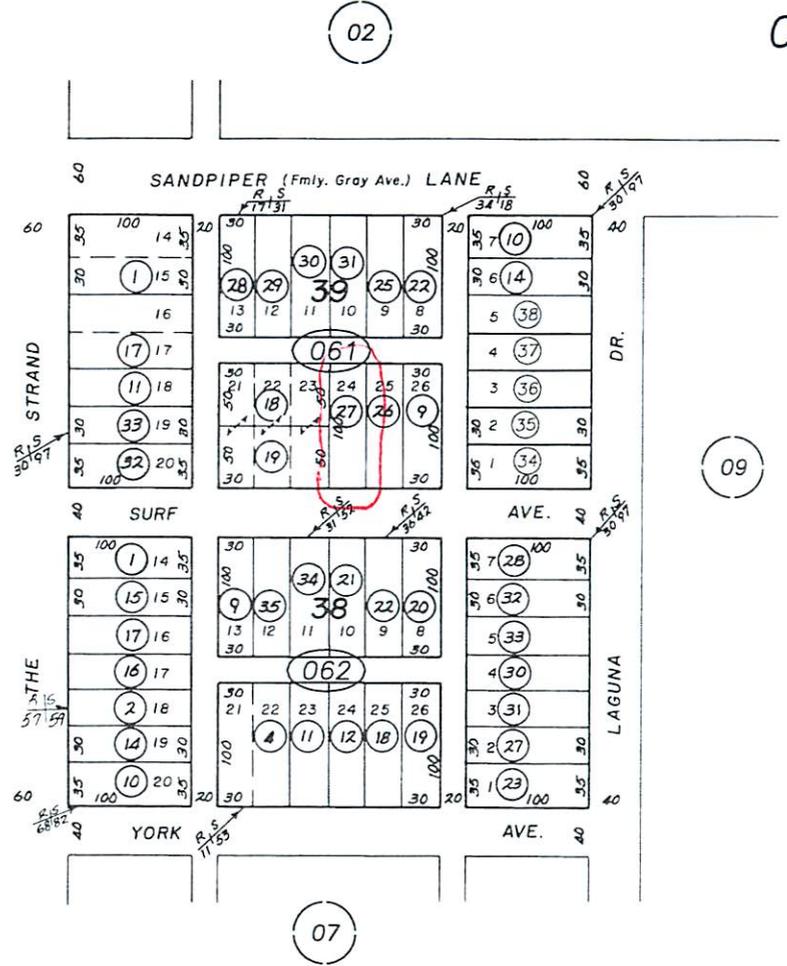
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PACIFIC OCEAN



09



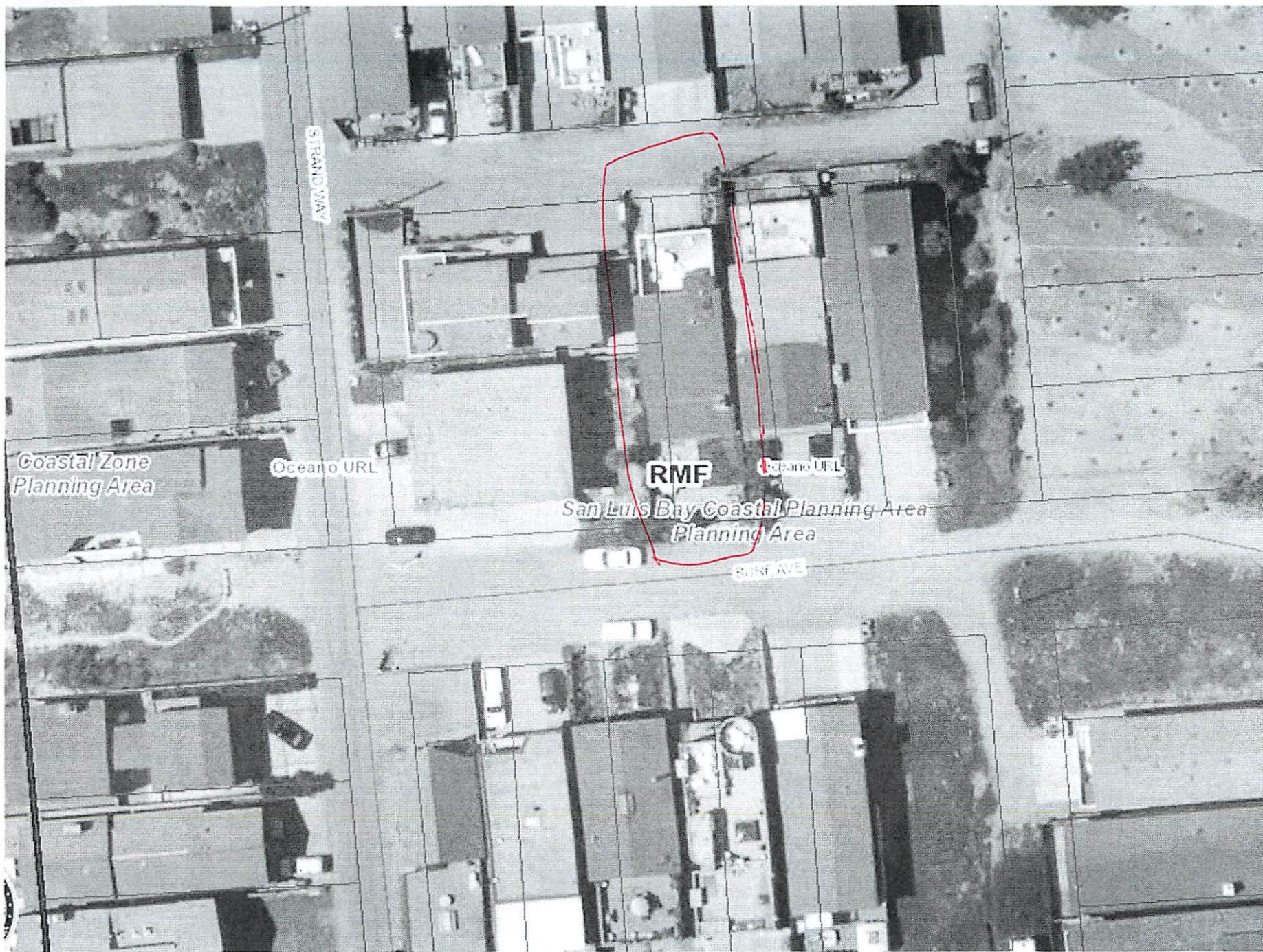
09

07

REVISIONS	
I.S.	DATE
09-070	06-03-08



LZ 12-16-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



STAND WAY

Coastal Zone
Planning Area

Oceanic URL

RMF

Oceanic URL

San Luis Bay Coastal Planning Area
Planning Area

SURF AVE



Parcel Summary Report For Parcel # 061-061-027

3/24/2015
11:28:21AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN FITZGERALD PATRICK D
 325 SURF AVE OCEANO CA 93445-9725
OWN FITZGERALD BARBARA H

OWN FITZGERALD PATRICK & BARBARA FAMILY

Address Information

Status **Address**
 00325 SURF AV OCN0

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
061061	027	0001	Oceano	South County C	SSN	CAZ	COJ	N		
061061	027	0002	Oceano	South County C	AS			U		
OCNOBCH2	0039	0024	Oceano	South County C	RMF	AR	LCP	Y	ZL	

Parcel Information

Status **Description**
Active OCEAN BCH TR BL 39 LT 24

Notes

Tax Districts

LUCIA MAR
SAN LUIS OBISPO JT(27,40)
ARROYO GRANDE
COASTAL SAN LUIS



Parcel Summary Report For Parcel # 061-061-027

3/24/2015
11:28:22AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

COUNTY-ZONE NO. 01

COUNTY-ZONE NO. 03

SAN LUIS

NO. 04

SOUTH SAN LUIS OBISPO COUNTY

OCEANO

AREA NO. 21

Case Information

Case Number:

Case Status:

70147

ISS

Primary Parcel

Description:

ELEC 100 AMP SERVICE UPGRADE TO SFD

DRC2014-00114

REC

Primary Parcel

Description:

NEW 2ND STORY (399 SQ FT) MASTER BEDROOM ADDITION