



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 4/3/2015

TO: _____

FROM: Brandi Cummings (805-781-1006 or bcummings@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2014-00116 CRITCHLEY – Proposed minor use permit to remove an existing deck of 165 sf and replace with a new 290 sf deck. Site location is 350 Huntington Rd, Cambria. APN: 022-313-024

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
 NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
 NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

MINOR USE PERMIT

REMOVE 165 SQ FT DECK & BUILD 290 SF DECK
NOCST/ CAMB

AS CAZ LCP RSF TH

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Cathleen Critchley Daytime Phone 559 970 6416
 Mailing Address 350 Huntington Cambria Ca Zip Code 93428
 Email Address: cccritch_10@yahoo.com

Applicant Name owner Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Bruce Koontz Daytime Phone 660-3371
 Mailing Address 2755 Trenton Ave Cambria Ca Zip Code 93428
 Email Address: bkoontz@chautau.net

PROPERTY INFORMATION

Total Size of Site: 5,360 ^{sq} Assessor Parcel Number(s): 022 313 024
 Legal Description: L 10-12 BLK 64 CPU# 5
 Address of the project (if known): 350 Huntington Rd Cambria
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Hwy 1 to Windsor (L) to Huntington (L) 4th home on right.

Describe current uses, existing structures, and other improvements and vegetation on the property:
SFD

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Remove 165^{sq} deck & build 290^{sq} deck

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 3.23.15

FOR STAFF USE ONLY
 Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): Ø

Describe existing and future access to the proposed project site: exist paved drive

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: R-1
East: R-1

South: PEC/Ag Preserve. Fiscalini Ranch
West: R-1

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:
Buildings: 1350 sq. feet 25 % Landscaping: 400 sq. feet 7 %
Paving: 450 sq. feet 8 % Other (specify) _____
Total area of all paving and structures: 1,800 sq. feet acres
Total area of grading or removal of ground cover: Ø sq. feet acres
Number of parking spaces proposed: 0, 2 exist Height of tallest structure: 25'
Number of trees to be removed: Ø Type: _____
Setbacks: Front 10 Right 15 Left 5 Back 12

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: CCSD - Exists
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____
 Community System - List the agency or company responsible for sewage disposal: CCSD - Exist.
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cambria Fire

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres
Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3
Total floor area of all structures including upper stories, but not garages and carports: 2,264
Total of area of the lot(s) minus building footprint and parking spaces: 4,010

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: 5,360 ~~7~~ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system exist.
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 1 EDU exist.
4. How many service connections will be required? 0
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: CCSD
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No EXIST.
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: CCSD - Sewer - exist.
- 3. Where is the waste disposal storage in relation to buildings? NA
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Coast Union
- 2. Location of nearest police station: Sherrif sub station
- 3. Location of nearest fire station: Burton Dr.
- 4. Location of nearest public transit stop: Windsor / Hwy 1
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? 1 feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
SFD
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No
If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No
If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

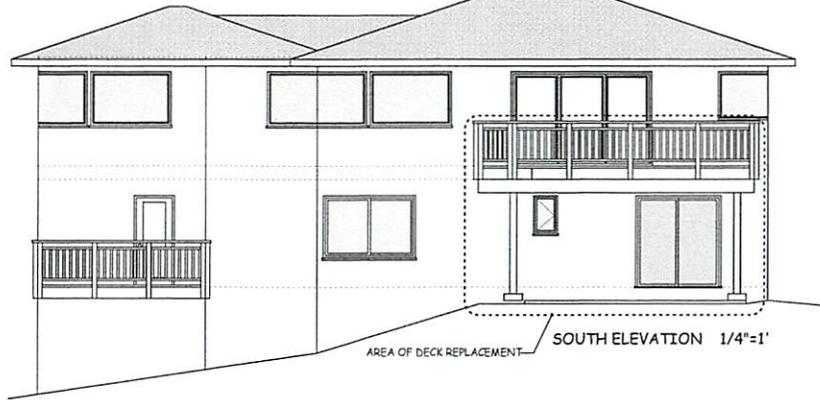
Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): DMUP @ Const Permit

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



EAST ELEVATION 1/4"=1'



SOUTH ELEVATION 1/4"=1'

SITE KEY	
NAT. GRADE	_____
FIN. GRADE	_____
PROPERTY LINE	_____
SETBACK LINE	_____
UTILITY LINE	_____
BUILDING OUTLINE	_____
PROPERTY CORNER	_____
PINE/OAK TREE	(Symbol)
NAT GAS MAIN	(Symbol)
WATER METER	(Symbol)
ELECT SVCFANL	(Symbol)
TV CABLE	(Symbol)
TELEPHONE	(Symbol)

GENERAL NOTES

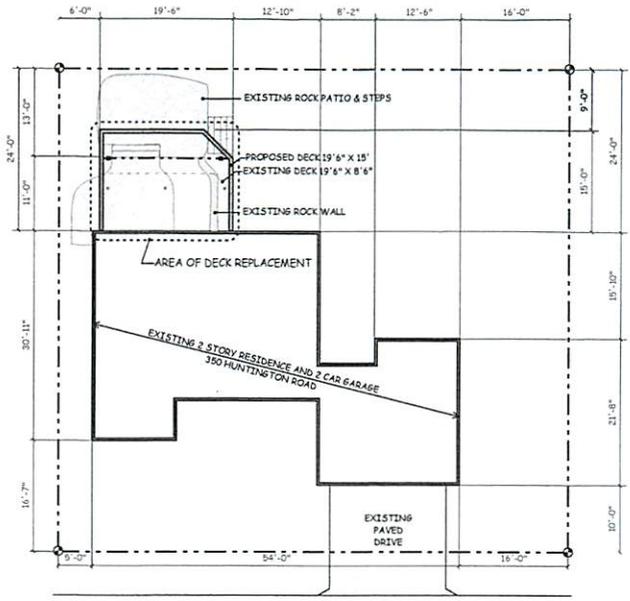
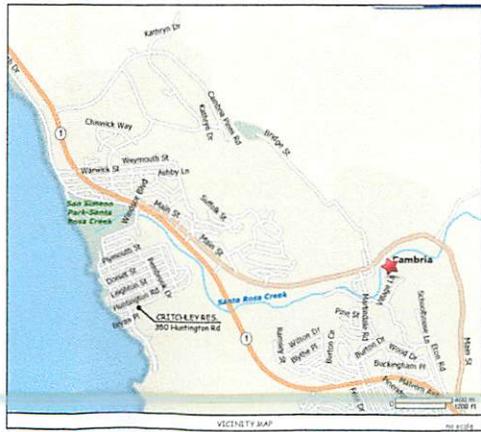
1. ALL CONSTRUCTION TO CONFORM TO THE LATEST CODES AND ALL LOCAL CODES:
 - 2013 Ca Building Code, Vol 1 & 2
 - 2013 Ca Electrical Code
 - 2013 Ca Energy Code
 - 2013 Ca Fire Code
 - 2013 Ca Green Building Code
 - 2013 Ca Mechanical Code
 - 2013 Ca Plumbing Code
 - 2013 Ca Firearm Standards Code
 - 2013 Ca Residential Code
2. ALL CONTRACTORS SHALL EXAMINE THE PLANS AND BUILDING SITE, AND VERIFY ALL DIMENSIONS PRIOR TO BIDDING AND CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. REPORT ANY DISCREPANCY TO THE DESIGNER FOR CORRECTION. CONSULT DESIGNER REGARDING ANY FIELD CHANGES TO PLAN. (Survey and topo, setbacks, sewer line depth/connection, underground utilities, building height, overhangs in setbacks, hidden locations, bearing walls, connections for beams, glazing, egress and tempered req's, dimension floor to floor, stone headrun etc.)
3. CODES GOVERN OVER DRAWINGS.
4. DIMENSIONS GOVERN OVER SCALE.
5. VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.
6. BLUE-LAM BEAMS - MANUFACTURER TO CERTIFY BEAMS & IDENTIFY OWNER, JOB ADDRESS, GRADE & SIZES OF W/ALLS.
7. DESIGNER IS AVAILABLE FOR ANY QUESTIONS DURING CONSTRUCTION. CONTRACTOR TO CONSULT WITH DESIGNER PRIOR TO CHANGES TO PLANS, ADDITION OR DELETION OF WINDOWS, ETC.
8. THIS PROJECT COMPLIES WITH CALIFORNIA ENERGY COMMISSION TITLE 24 REQUIREMENTS.
9. The approved project allowed to be constructed by the building permit shall conform to the fire safety plan requirements as deemed necessary by the fire department. Prior to beginning construction the property owner shall read the fire safety plan issued by the fire department and become fully aware of all necessary fire protection requirements as many of these fire protection requirements may require the installation of fire approved/special safety glazed windows/non-combustible exterior construction and roofs/special setbacks/special driveway-roadway requirements and other special construction.
10. 1. Cambria CSD requirements include:
 - Existing water features shall be retrofitted to current standards under District Ordinance 3-88 as amended.
 - The owners shall provide the District with a copy of county building permit issued for this project.
 - Landscape per landscape plan and requirements, this sheet.
 - VERIFY: ZONING, BOUNDARY & ZONING REQUIREMENTS FOR CAMBRIA FIRE PLAN APPROVAL.
 - The Public Works Department.
 - All runoff from impervious surfaces such as roofs, driveways, walks, patios, decks, shall be collected and detained on-site, or passed on through an effective erosion control device or drainage system approved by the County Engineer as shown on plans.
 - Prior to foundation inspection:
 - All runoff from impervious surfaces such as roofs, driveways, walks, patios, decks, shall be collected and detained on-site, or passed on through an effective erosion control device or drainage system approved by the County Engineer.
 - Permanent erosion control devices shall be installed prior to or concurrently with onsite grading activities.
 - Grading, filling or site disturbance of existing rock & vegetation shall be limited to the min area necessary.
 - Driveways and other disturbed areas shall be protected from rain and erosion by plastic sheets or other covering.
 - All areas disturbed by grading activities shall be revegetated with temporary or permanent erosion control devices in place.

CAMBRIA COMMUNITY SERVICES DISTRICT REQUIREMENTS

- PRIOR TO COUNTY'S FOUNDATION INSPECTION**
1. CSD sewer sign-off: For new sewer connections, it is necessary for an inspection by CSD of the sewer. The county building inspector will not approve and sign card without a signature by a CSD staff on the County building inspection card.
 2. CSD hot water recirculation system sign-off: All framing prior to insulation, it is necessary for CSD to inspect the hot water recirculation system. The county building inspector will not approve and sign card without a signature by a CSD staff on the County building inspection card.
 3. Cambria Fire District sign-off: All projects that are required to have a fire sprinkler system will need an inspection by the Cambria Fire Department before installing insulation and before the County Building Inspector's framing sign-off.
- PRIOR TO COUNTY'S FINAL INSPECTION**
1. CSD low flow fixture sign-off: At final, it is necessary for CSD to inspect the low flow fixtures. The county building inspector will not approve and sign card without a signature by a CSD staff on the County building inspection card.
 2. Cambria Fire District sign-off: All projects which require fire pipes will need a final inspection by the Fire Department prior to the County's building inspector's final sign-off.

WILDLAND/URBAN INTERFACE REQUIREMENTS (WUIR)

1. Building permits applied for after 1/1/09 shall comply with WUIR provisions of CBC Ch 7A.
2. Valley flashing shall be #20 gal corrosion resistant metal installed over a min 3/8" wide underlayment consisting of one layer of #72 ASTM cap sheet running the full length of the valley.
3. Roof gutters to have debris protection provided by manufacturer, installed per mfr specs.
4. Vents for attic and crawlspace shall be designed to resist the intrusion of flame and embers using corrosion resistant non-combustible wire mesh. Openings in mesh shall be min 1/8" and max 1/8".
5. Windows and exterior door glazing shall be dual glazed with a min of one tempered pane or shall be glass block units or shall have a fire-resistance rating of not less than 20 minutes.
6. Projections such as decks, porches, balconies, patio covers, trellises, etc. shall be of non-combustible or non-low fire-radiation-emitted or approved exterior fire-retardant treated wood or modified heavy timber construction consisting of roof framing with min 2x 1&6 decking, 4x6 rafters, 6x6 columns/posts and/or floor framing with min 2x decking, 4x6 or 6x6 beams, 4x4 joists, 6x6 columns/posts per framing plan.



HUNTINGTON ROAD
SITE PLAN 1/8"=1'

SITE NOTES:

1. SITE USE-RESIDENTIAL.
2. ALL FILLS WITHIN THE FOOTPRINT OF THE BUILDING SHALL BE REMOVED AND A COMPACT TEST AND REPORT DONE.
3. MAXIMUM SLOPE OF UNRETIRED CUTS SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
4. MAXIMUM SLOPE OF UNRETIRED FILLS SHALL BE 2 HORIZONTAL TO 1 VERTICAL.
5. AREA TO BE FILLED SHALL BE CLEARED FREE OF ALL VEGETATION AND TREES.
6. ALL NONCOMPLYING FILL IN THE FILL AREA SHALL BE REMOVED.
7. REMOVE ALL UNSTABLE SOIL IN THE AREA TO BE FILLED.
8. ALL EXISTING SOIL IN THE AREA TO BE FILLED SHALL BE SCARIFIED.
9. FILL MATERIAL- SANDY LOAM.
10. FILL AREAS SHALL BE COMPACTED TO 90%.
11. SEDIMENTATION AND EROSION SHALL BE KEPT TO A MINIMUM WHEN CUTS AND FILLS ARE DONE DURING THE RAINY MONTHS. ALSO DURING RAINY MONTHS USE MAY SALES STRAED WITH REBAR AT TOP OF SLOPE AND SILT FENCE BELOW DISTURBED SOIL.
12. ACCESSIBLE SHALL BE LOCATED AS TO BE PLAINLY VISIBLE AND A COLOR CONTRAST WITH BACKGROUND.
13. FRESH GRADE AROUND THE BUILDING SHALL SLOPE AWAY FROM BUILDING FOUNDATION, MIN 5% FOR FIRST 10' WHERE POSSIBLE.
14. USE ROOF GUTTERS TO COLLECT ALL ROOF RUN-OFF TO DIRECT TO DISPERSION DITCH OR SWALE AT ROAD, WITH POPE OR SWALE.
15. ALL ELECTRICAL, TELECOMMUNICATION AND OTHER UTILITIES SHALL BE IDENTIFIED AND MARKED IN AN APPROVED METHOD OF CONSTRUCTION. THIS APPLIES TO UTILITIES ON SITES THAT ARE LESS THAN FIVE ACRES AND SERVING NEW STRUCTURES AND/OR NEW UTILITY DISTRIBUTIONS.

PROJECT SUMMARY:

LOT:
LOT 10-12 BLOCK 64 TRACT CPU#S
APN:
LOT SIZE: 5,360 SQ FT (9250 = factor)
ADDRESS:
350 Huntington Rd, Cambria, Ca

OWNER:
Cathy Critchley
350 Huntington Rd, Cambria, Ca 93428
559 970-6416

Total Site Disturbance Proposed = 0

LOT COVERAGE:
LOT TYPE: Typical
MAX TDC ALLOWED = 400 sq ft

FOOTPRINT (1,700 sq ft allowed)
1,481 sq ft existing

G.S.A. (2,600 sq ft existing)
2,699 sq ft existing

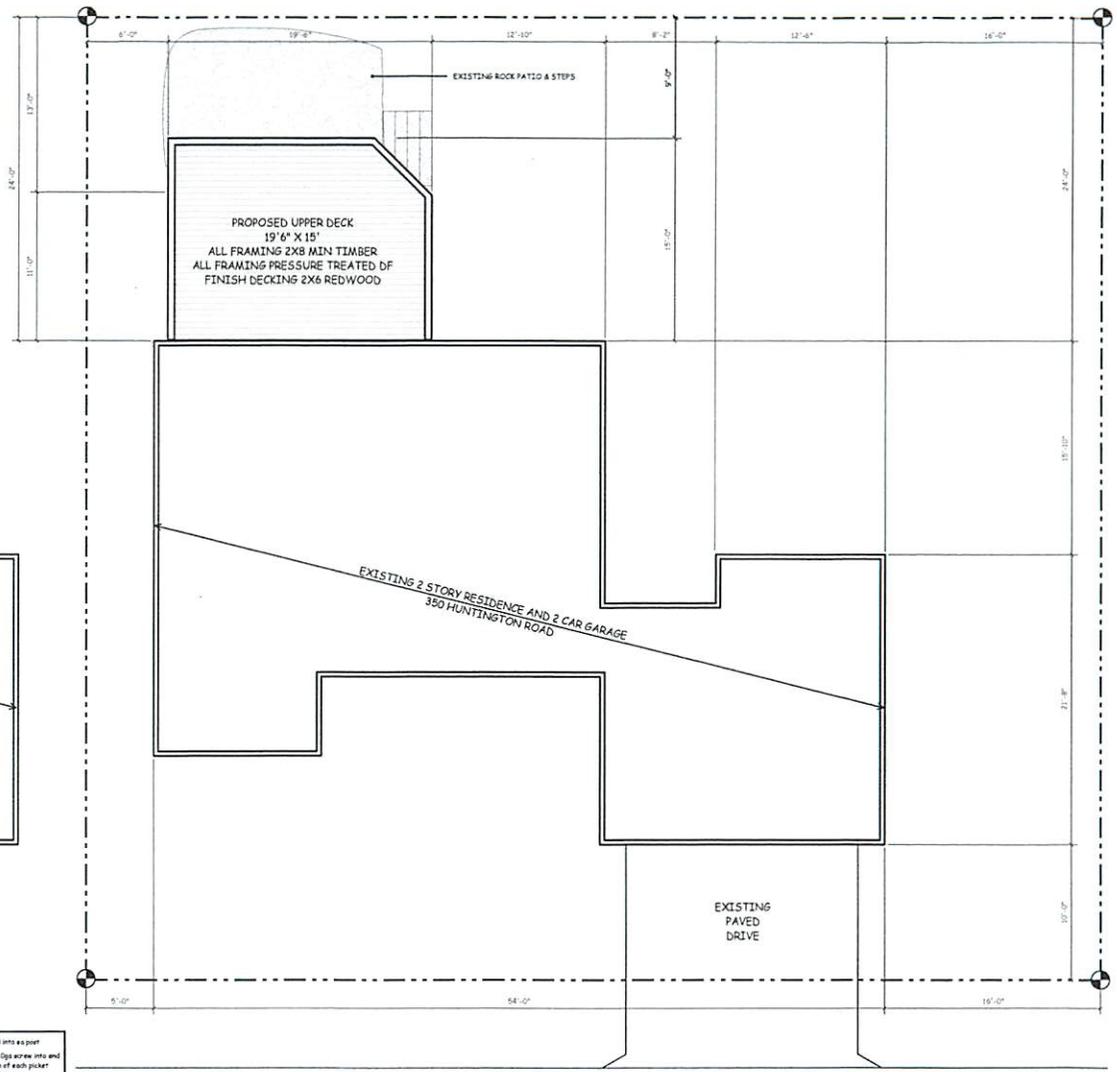
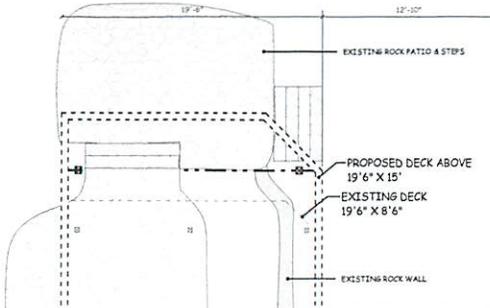
LIVING AREA 2,264 sq ft existing
GARAGE 427 sq ft - Existing
DECKS 290 sq ft - Proposed
60 sq ft - Existing
350 sq ft - Total Proposed

BUILDING HEIGHT CALCULATION
NA AS ONLY DECK IS BEING REPLACED.

SITE PLAN	1/8"=1'	Cathy Critchley Deck Repair/Replace at 350 Huntington Rd, Cambria, Ca
ELEVATIONS	1/4"=1'	
drawn by Bruce Koontz	koontzdesigns.com	sheet 1 of 2
date 3/17/15	Residential Design	revisions
	2785 Trenton Ave, Cambria, Ca 93428	
	(805) 927-9597	

CONTENTS:
SHEET 1 - SITE PLAN
- ELEVATIONS
VICINITY MAP
SHEET 2 - FLOOR PLAN

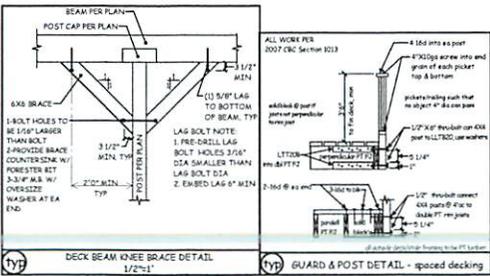
922-313-024



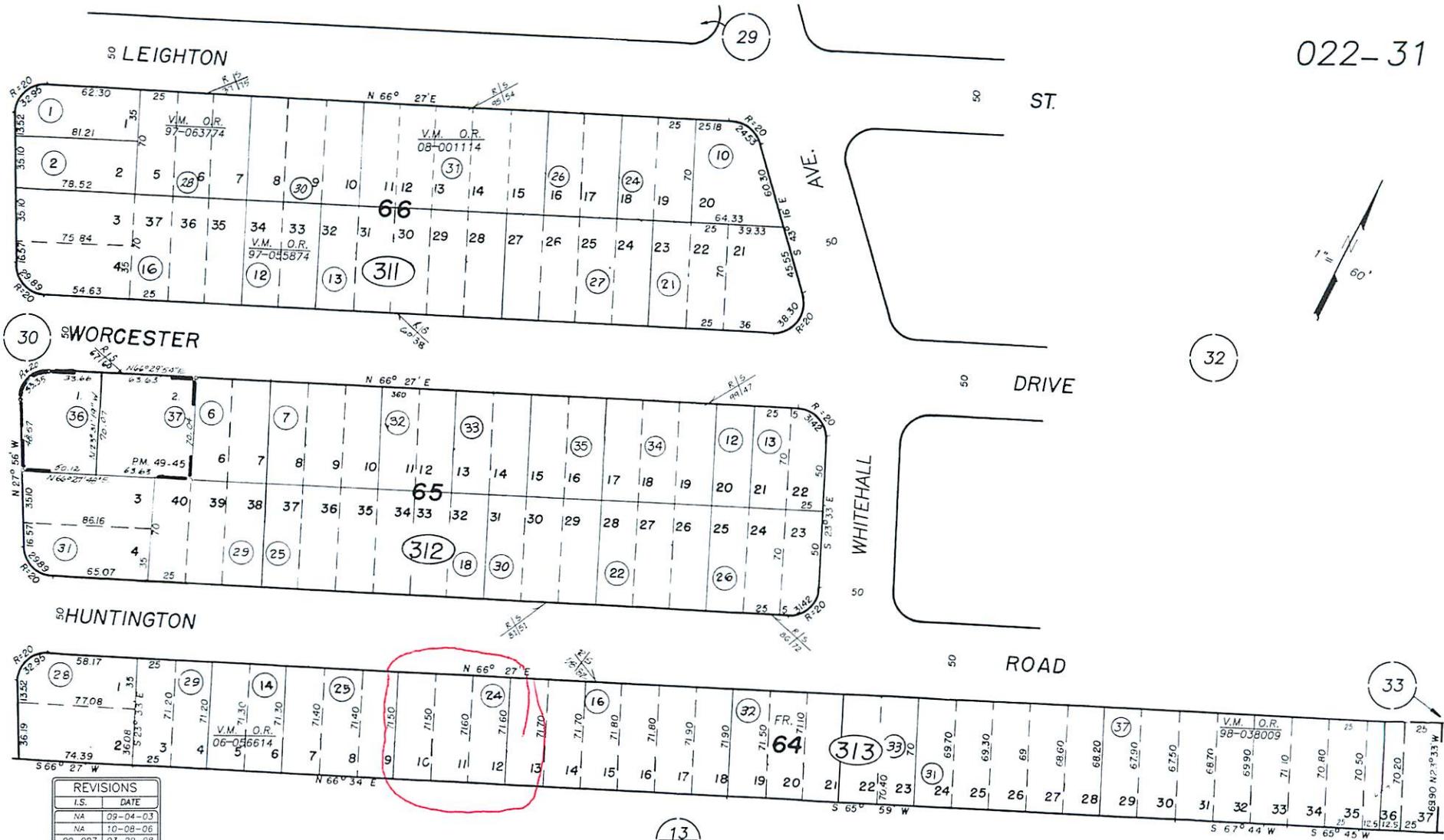
- FRAMING NOTES**
1. ALL HORIZONTAL FRAMING LUMBER TO BE DOUGLAS FIR #2 OR BETTER FOR EX JOIST & DFH; FOR AK UNLESS OTHERWISE NOTED
 2. ALL OTHER LUMBER TO BE CONSTRUCTION OR BETTER UNLESS OTHERWISE NOTED
 3. DOUBLE FLOOR JOISTS UNDER ALL BEARING PARTITIONS
 4. CONVENTIONAL WALL BRACING - 2" MAX BRACED WALL LINE SPACING WITH 12" OF WOOD STRUCTURAL PANELS (3/4" PANELS FOR 8" HIGH PLATES OR (3)-2" @ ALTERNATE BRACED PANELS OR (3) ENGINEERED SHEAR PANEL PRODUCTS. ONE STORY ONLY AND A 14" COMPLE WALL EQUALS A STORY. THE CODE NOW INCLUDES FIGURES OF IRREGULAR STRUCTURES. 2010 CBC 2308.12
 5. ALL DOOR AND WINDOW HEADERS AND UNLESS OTHERWISE NOTED
 6. PROVIDE FLOORING AT FLOOR, CEILING COVERS AND SOFFITS. IN CONCEALED SPACES OF STUD WALLS
 7. PROVIDE LATERAL CROSS BRACE AT THE PLATE LINE OF GARAGE
 8. CEILING JOIST SPANS SHALL COMPLY WITH IRC TABLES
 9. RAFTER SPANS SHALL COMPLY WITH 2003 CBC TABLES
 10. BEAM LAM BEAM MANUFACTURER SHALL PROVIDE CERTIFICATION PROPERLY IDENTIFYING THE LOCATION AND SPECIFIC JOB SITE GRADE AND SPECIES FOR THE BEAM AT TIME OF INSPECTION
 11. ALL GUARDRAILS AND STAIR HANDRAILS SHALL BE DESIGNED TO RESIST A HORIZONTAL LOAD OF 200 PER LINEAL FOOT APPLIED AT THE TOP OF THE RAIL
 12. LOWER FLOOR ACCESS SHALL BE A MINIMUM OF 18" X 24" CLEAR W/ OUT PIPE OR DUCT INTERFERENCE
 13. ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30" (30" X 30" FINANCE)
 14. PROVIDE ATTIC VENTILATION AREA OF 1/150 OF THE AREA TO BE VENTILATED - SEE ELEVATIONS NOTE
 15. PROVIDE UNDER FLOOR VENTILATION AREA OF 1 SQ FOOT OF VENT FOR EVERY 150 SQ. FT. OF AREA TO BE VENTED
 16. ALL METAL FLASHINGS AND GUTTER FLASHINGS SHALL BE OF NOT LESS THAN #26 U.S. GAUGE CORROSION RESISTANT METAL 3/8" THICK
 17. GIVE LAM BEAM MARKETS TO CERTIFY BMS AND IDENTIFY OWNER, JOB ADDRESS, GRADE AND SPECIES OF MATERIAL
 18. HEADERS TO BE AK2 DFH UNLESS NOTED OTHERWISE
 19. USE DOUBLE TRIMMERS WHEREVER BEAMS OR HEADERS SPAN W/ OR HORE
 20. SOLID BLOCKING AT ALL SUPPORTS AND MID-SPAN, 8" OC MAX. PER 2003 CBC TABLES
 21. CEILING HEIGHTS FOR HALLS, BATHS AND BED ROOMS TO BE 7'6". HALLS, LAUNDRY ROOMS, KITCHENS, AND BATHROOMS MAY BE 7'0"
 22. NAILING PER IRC TABLES

LOWER PATIO PLAN 1/4"=1'
only change is post placement

UPPER DECK PLAN 1/4"=1'



FLOOR PLAN	Cathy Critchley Deck Repair/Replace at 350 Huntington Rd, Cambria, Ca
drawn by Bruce Koontz	koontzdesigns.com sheet 2 of 2
date 3.17.15	Residential Design 2755 Trenton Ave, Cambria, Ca 93428 (805) 927-4957
	revisions:



REVISIONS	
I.S.	DATE
NA	09-04-03
NA	10-08-06
09-007	03-20-08

30 0 60 120

LZ 11-25-97 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Coast Planning Area

Coastal Zone Planning Area

RSF

Cambria URL

OS



Parcel Summary Report For Parcel # 022-313-024

3/27/2015
10:43:19AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN CRITCHLEY CATHLEEN C
2515 20TH AVE KINGSBURG CA 93631-1260
OWN CRITCHLEY CATHLEEN C DECLARATION OF

Address Information

Status Address
A 00350 HUNTINGTON RD CAMB

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CPUNIT5	0064	0010	Cambria	North Coast P	RSF	LCP	AS	Y	L3	P85030401
CPUNIT5	0064	0011	Cambria	North Coast P	CAZ			Y	L3	
CPUNIT5	0064	0012	Cambria	North Coast P				Y	L3	

Parcel Information

Status Description
Active CAM PINES U 5 BL 64 LTS 10 TO 12

Notes

Tax Districts

COAST (SB1537)
SAN LUIS OBISPO JT(27,40)
CAMBRIA PUBLIC
COAST UNIFIED SCHOOL - IMP. NO. 1
CAMBRIA (SB1537 BLO)
CAMBRIA COMMUNITY



Parcel Summary Report For Parcel # 022-313-024

3/27/2015
10:43:20AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

NO. 02
CAMBRIA
AREA NO. 21

Case Information

<u>Case Number:</u>	<u>Case Status:</u>	
A2137	FNL	Primary Parcel
<u>Description:</u> REMODEL EX-SFD/ADD 2-CAR GAR/UPSTAIR FAMRM & DECK		
A2138	FNL	Primary Parcel
<u>Description:</u> GRADING FOR PARKING AREA		
D960313P	CMP	Primary Parcel
<u>Description:</u> ADD/ALT SFD		
DRC2014-00116	REC	Primary Parcel
<u>Description:</u> REMOVE 165 SQ FT DECK & BUILD 290 SF DECK		