



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 6/18/2015

TO: \_\_\_\_\_

FROM: Schani Siong (805-781-4374 or ssiong@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2014-00155 CORNWALL – Proposed minor use permit to add a second floor addition of 402 sf to an existing single family residence. Site location is 51 Mannix Ave, Cayucos. APN: 064-443-017

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2014-00155

CORNWALL MAR

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

2ND FLOOR ADDITION TO EXISTING SFR  
(402 SQFT)  
EST/ CAYU

CAZ LCP RSF SSN

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Darcy: Mark Cornwall Daytime Phone 805-896-6177  
Mailing Address 51 Mannix Cayucos CA 9 Zip Code 93430  
Email Address: Mannix

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent Name John MacDonald Daytime Phone 925-1398  
Mailing Address 2817 Santa Barbara Cayucos CA Zip Code 93430  
Email Address: jmacd@charter.net

## PROPERTY INFORMATION

Total Size of Site: 2640 s.f. Assessor Parcel Number(s): 062-443-017  
Legal Description: lot 1 Bl 7 Morro Strand # 1  
Address of the project (if known): 51 Mannix Cayucos  
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: \_\_\_\_\_

Describe current uses, existing structures, and other improvements and vegetation on the property:  
Est SFR

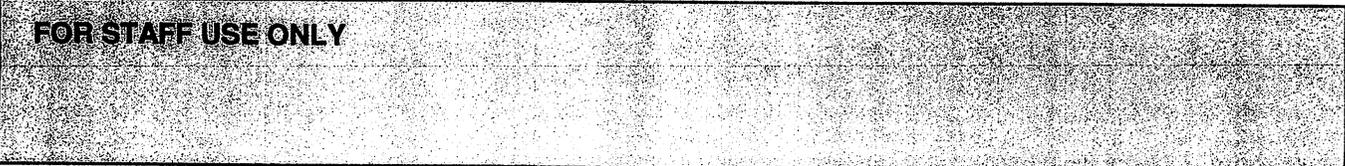
## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 402 2<sup>nd</sup> Floor addition

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 11-29-14



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: Studio Dr. Cayucos

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: R-1 South: R-1  
East: R-1 West: R-1

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 1240 sq. feet 48 % Landscaping: 1200 sq. feet 48 %  
Paving: 120 sq. feet 5 % Other (specify) \_\_\_\_\_  
Total area of all paving and structures: 1360  sq. feet  acres  
Total area of grading or removal of ground cover: 0  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 24'  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 10 Right 5 Left 4 Back 5

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: CSA 10R  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: Cayucos Sanitary  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cayucos

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 2  
Total floor area of all structures including upper stories, but not garages and carports: 1396 s.f.  
Total of area of the lot(s) minus building footprint and parking spaces: +/- 1100

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

**Your site plan will also need to show the information requested here:**

- 1. Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 2640 acres *S.F.*  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- 2. Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- 3. Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- 4. Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- 6. Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- 8. Is a railroad or highway within 300 feet of your project site?  Yes  No
- 9. Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? \_\_\_\_\_
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: Existing meter
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: +/- 20'    Location of connection: Studio Dr.
2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: Morgan
- 3. Where is the waste disposal storage in relation to buildings? Side yard
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?     Yes     No

**Community Service Information**

- 1. Name of School District: Cayucos
- 2. Location of nearest police station: Lot 0209
- 3. Location of nearest fire station: Cayucos Dr
- 4. Location of nearest public transit stop: Studios Dr / Hwy 1
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
SFR
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

**Only complete this section if you are proposing a commercial or industrial project or zoning change.**

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: Standard Title 24

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
N/A

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): MUP / Building

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



John MacDonald, Architect  
 2813 Santa Barbara Avenue  
 Cayucos, CA 93430  
 Office 805.935.1398  
 FAX 805.935.1544

JOHN MACDONALD EXPRESSLY RESERVES  
 HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY  
 RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE  
 NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY  
 FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE  
 ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING  
 THE EXPRESS WRITTEN PERMISSION AND CONSENT OF  
 JOHN MACDONALD

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE  
 PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS  
 SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
 AND CONDITIONS ON THE JOB AND SHALL REPORT ANY  
 DISCREPANCIES TO THE ENGINEER OR ARCHITECT FOR  
 RESOLUTION PRIOR TO COMMENCING WORK IN QUESTION.

**FIRE SAFETY PLAN**  
 THE APPROVED PROJECT COVERED BY THIS PERMIT  
 SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS  
 DETERMINED NECESSARILY BY THE FIRE DEPARTMENT  
 HAVING JURISDICTION FOR THIS PERMIT. PRIOR  
 TO STARTING CONSTRUCTION THE PROPERTY OWNER  
 SHALL READ THE FIRE SAFETY PLAN AND BECOME  
 AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS.  
 REQUIREMENTS THAT INCLUDE: FIRE APPARATUS / SPECIAL  
 SAFETY GLAZING / NON-COMBUSTIBLE EXTERIOR CONSTRUCTION  
 AND ROOFING / SETBACKS / DRIVEWAY-ROADWAY REQUIREMENTS  
 AND OTHER SPECIAL CONSTRUCTION

**SITE DRAINAGE**

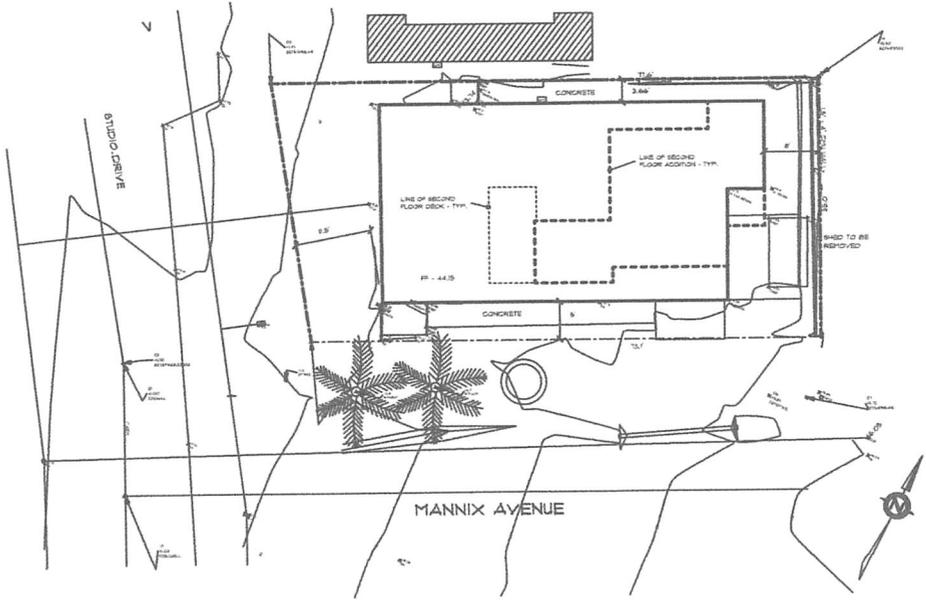
THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL  
 BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS  
 THAN SIX PER CENT FOR A MINIMUM DISTANCE OF TEN FEET PERPENDICULAR  
 TO THE FACE OF WALL.  
 PERVIOUS SURFACES WITHIN 10' OF BUILDING FOUNDATION SHALL  
 BE SLOPED TEN PER CENT AWAY FROM BUILDING.  
 IF PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT 10' OF HORIZONTAL  
 DISTANCE, A SIX PER CENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE  
 METHOD OF DIVERTING WATER AWAY FROM FOUNDATION.  
 WALLS USED FOR THESE PURPOSES SHALL BE SLOPED A TEN PER CENT  
 OF 24 INCHES LOCATED WITHIN 10' OF THE BUILDING FOUNDATION.

PAVING PREPARATION AS PER SOils REPORT  
 BY GEOSOLUTIONS DATED MARCH 1, 2009.  
 PRIOR TO PLACING STEEL REPRESENTATIVE OF SOils FIRM  
 SHALL INSPECT ALL EARTH WORK AND SUBMIT A  
 REPORT IN WRITING TO BUILDING OFFICIAL THAT  
 PAVING WAS PREPARED IN ACCORDANCE WITH SOils  
 REPORT AND IS SUITABLE TO SUPPORT THE  
 INTENDED STRUCTURE.

EROSION CONTROL AND BEST MANAGEMENT PRACTICES  
 MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST  
 INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY  
 ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE  
 EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL  
 WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION  
 CONTROL MEASURES ARE FUNCTIONAL.

**GRADING AND EROSION CONTROL NOTES**

- ALL GRADING CONSTRUCTION SHALL CONFORM TO GRADING-03.
- DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION
- NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1)
- ALL DISTURBED AREA SHALL BE HYDRO-SEEDING OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER COMPLETED CONSTRUCTION
- HIGHER SLOPES AWAY FROM BUILDINGS SHALL BE 2% FOR FIRST TWO FEET RESPONSIBLE PARTY FOR SEDIMENTATION AND EROSION CONTROL MARK CORNWALL - (805)
- DUST MITIGATION MEASURES:
  - 1) CONSTRUCTION VEHICLE SPEED AT WORK SITE MUST BE LIMITED TO FIFTEEN (15) MPH OR LESS.
  - 2) PRIOR TO ANY GROUND DISTURBANCE SUFFICIENT WATER MUST BE APPLIED TO THE AREAS TO BE DISTURBED TO PREVENT VISIBLE EMISSIONS FROM CROSSING PROPERTY LINE
  - 3) AREAS TO BE GRADED OR EXCAVATED MUST BE KEPT ADEQUATELY WETTED TO PREVENT VISIBLE EMISSIONS FROM CROSSING THE PROPERTY LINE
  - 4) STORAGE PILES MUST BE KEPT ADEQUATELY WETTED, TREATED WITH A CHEMICAL DUST SUPPRESSANT, OR COVERED WITH MATERIAL. & NOT BEING ACCED OR REMOVED FROM PILES.
  - 5) EQUIPMENT MUST BE WASHED DOWN BEFORE MOVING FROM PROPERTY ONTO A PAVED PUBLIC ROAD AND
  - 6) VISIBLE TRACK-OUT ON THE PAVED PUBLIC ROAD MUST BE CLEANED USING HOT WATERING OR A WASH PILE ON EQUIPPED VACUUM DEVICE WITHIN 24 HOURS
- EROSION CONTROL AND BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.



**SITE PLAN**

1/8" = 1'-0"

PROPOSED RESIDENCE FOR  
**D'ARCY & MARK CORNWALL**  
 51 MANNIX AVENUE  
 CAYUCOS, CA

**SITE PLAN**

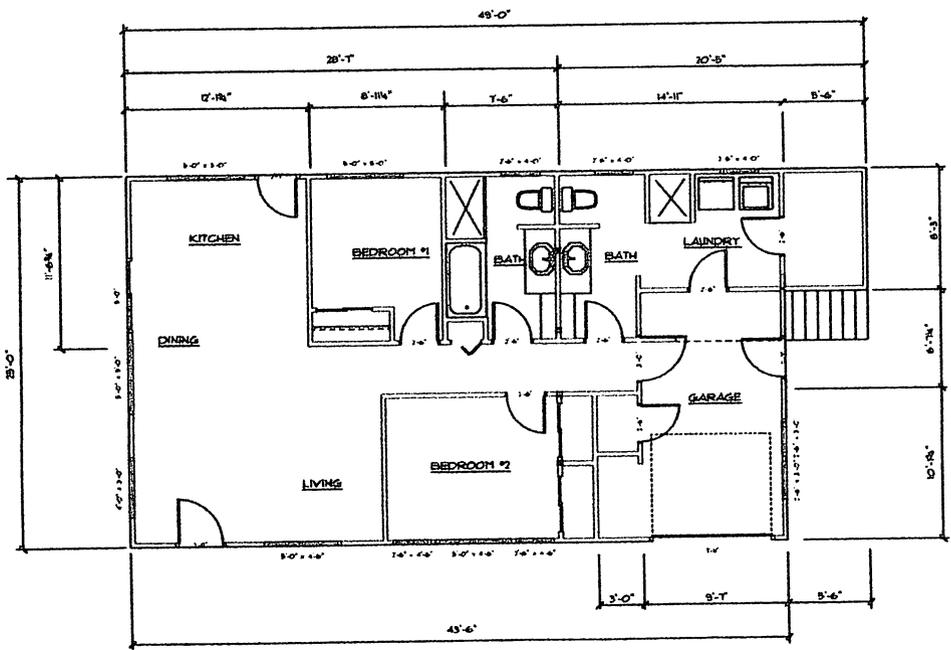
DRAWN BY:	JMH
DATE:	12.14
REVISIONS:	DATE

**SHEET**  
**A-1**  
 OF 7 SHEETS

John MacDonald, Architect  
 2813 Santa Barbara Avenue  
 Cayucos, CA 93430  
 Office 805.935.1398  
 Fax 805.935.1544

ALL DIMENSIONS EXCEPT AS NOTED  
 TO CENTER LINE UNLESS NOTED OTHERWISE.  
 THESE DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR  
 TRANSMITTED IN ANY FORM OR BY ANY MEANS  
 WITHOUT THE WRITTEN PERMISSION AND CONSENT OF  
 JOHN MACDONALD.

SEALING OF ARCHITECTS IS REQUIRED FOR ALL  
 DIMENSIONS AND FOR ALL DIMENSIONS. CONTRACTORS  
 SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
 AND CONDITIONS ON THE JOB AND SHALL REPORT ANY  
 DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR  
 APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.



EXISTING FLOOR PLAN

PROPOSED RESIDENCE FOR  
**D'ARCY & MARK CORNWALL**  
 51 MANNIX AVENUE  
 CAYUCOS, CA

EXISTING  
 FLOOR PLAN

REVISIONS	DATE

SHEET  
**A-2**  
 OF 7 SHEETS



John MacDonald, Architect  
 2813 Santa Barbara Avenue  
 Cayucos, CA 93430  
 Office 805.995.1398  
 FAX 805.995.1544

JOHN MACDONALD EXPRESSLY RESERVES  
 HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY  
 RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE  
 NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY  
 FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE  
 ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING  
 THE EXPRESS WRITTEN PERMISSION AND CONSENT OF  
 JOHN MACDONALD.

WRITTEN OPERATIONS ON THESE DOCUMENTS SHALL HAVE  
 PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS  
 SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS  
 AND CONDITIONS ON THE JOB AND SHALL REPORT ANY  
 DISCREPANCIES TO THE ARCHITECT OR ARCHITECT FOR  
 REGULATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PROPOSED RESIDENCE FOR  
**D'ARCY & MARK CORNWALL**  
 51 MANNIX AVENUE  
 CAYUCOS, CA

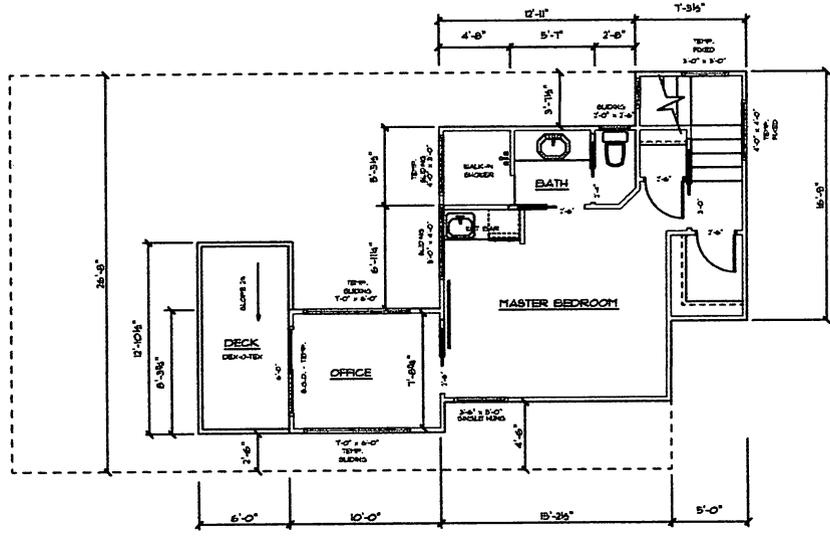
**SECOND FLOOR PLAN**

**WATER EFFICIENCY AND CONSERVATION**

- 4.302.1 - INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 30% USING ONE OF THE FOLLOWING METHODS:
  1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.
  2. A 30% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.
- 4.302.2 - SHOWER CALCULATION METHODS SPECIFIED IN SECTION 4.302.1 MULTIPLE SHOWER HEADS SHALL NOT EXCEED MAXIMUM FLOW RATES.
- 4.302.3 - PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (Faucets and Showerheads) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.

**MAX. FLUSH VOLUMES & FLOW RATES:**

- WATER CLOSETS: 1.35 GALLONS PER FLUSH (GPF)
- SHOWERHEADS: 2.5 GALLONS PER MIN. @ 80 PSI
- LAVATORY FAUCETS & SINK FAUCETS: 2.2 GALLONS PER MINUTE @ 60 PSI
- KITCHEN FAUCETS: 2.2 GALLONS PER MINUTE @ 60 PSI
- URINALS: 0.5 GALLONS PER FLUSH



**SECOND FLOOR PLAN**

1/4" = 1'-0"

DRAWN BY:	JDM
DATE:	12.14
REVISIONS	DATE

SHEET  
**A-4**  
 OF 7 SHEETS

John MacDonald, Architect  
 2813 Santa Barbara Avenue  
 Cayucos, CA 93430  
 Office 805.995.1398  
 FAX 805.995.1544

JOHN MACDONALD EXPRESSLY RESERVES  
 ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY  
 RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE  
 NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY  
 FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE  
 ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING  
 THE EXPRESS WRITTEN PERMISSION AND CONSENT OF  
 JOHN MACDONALD.

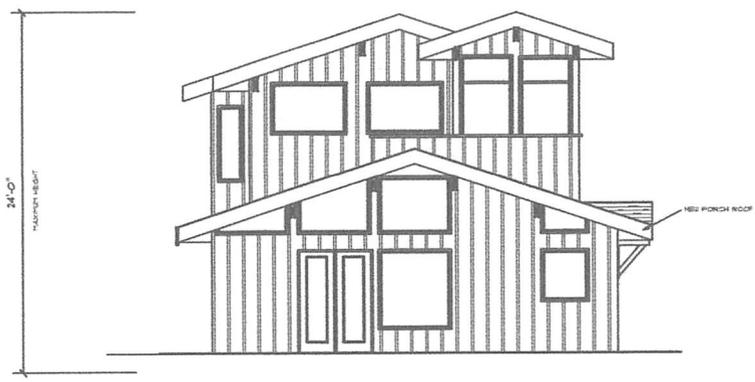
WRITTEN EXPRESSIONS ON THESE DOCUMENTS SHALL HAVE  
 PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS  
 SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS  
 AND CONDITIONS ON THE JOB AND SHALL REPORT ANY  
 DISCREPANCIES TO THE ENGINEER OR ARCHITECT FOR  
 RESOLUTION PRIOR TO COMMENCING WORK IN QUESTION.

PROPOSED RESIDENCE FOR  
**D'ARCY & MARK CORNWALL**  
 51 MANNIX AVENUE  
 CAYUCOS, CA

EXTERIOR  
 ELEVATIONS

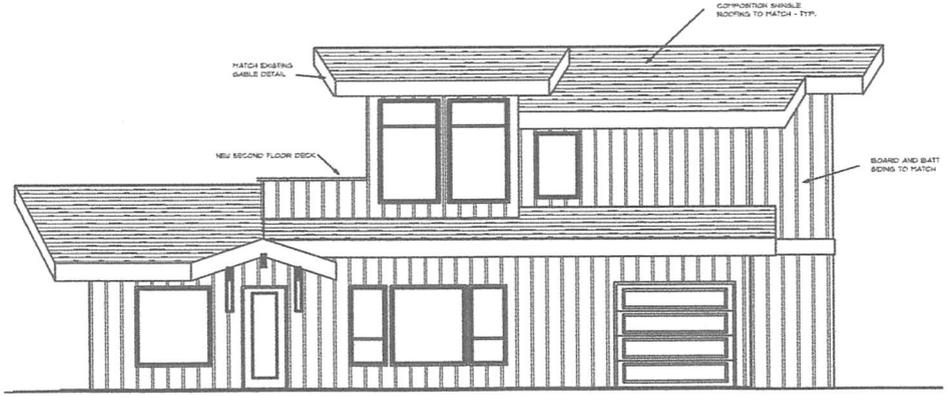
DRAWN BY:	JSM
DATE:	12.14
REVISIONS	DATE

SHEET  
**A-5**  
 OF 7 SHEETS



FRONT ELEVATION

1/4" = 1'-0"



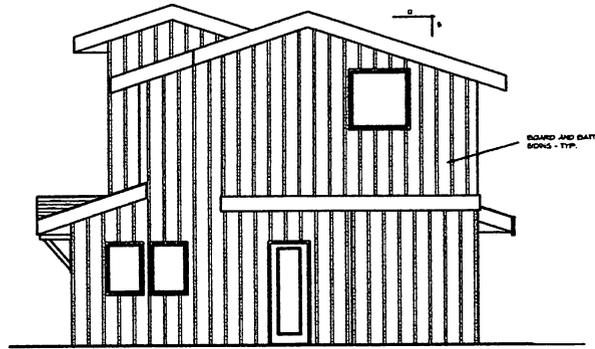
RIGHT ELEVATION

1/4" = 1'-0"

John MacDonald, Architect  
 2813 Santa Barbara Avenue  
 Cayucos, CA 93430  
 Office 805.995.1998  
 FAX 805.995.1544

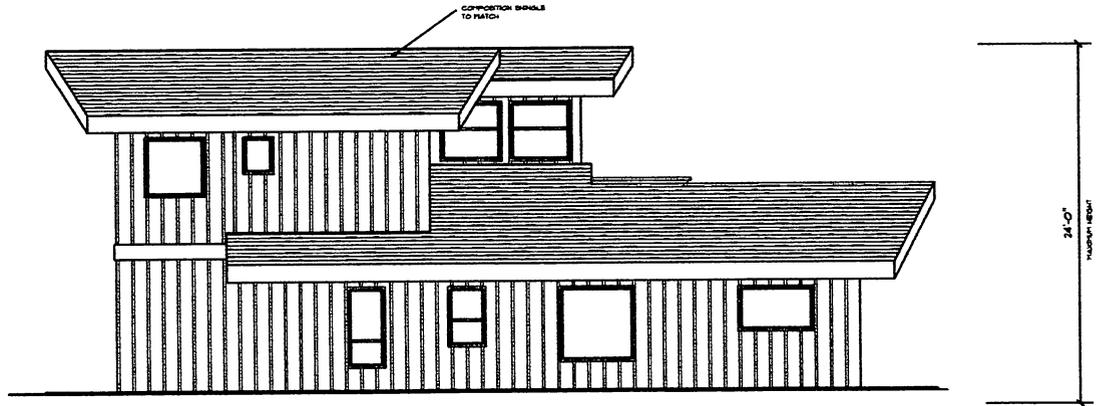
ANY REVISIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND CONDITIONS OF THE JOB AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.

ANY REVISIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND CONDITIONS OF THE JOB AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER AND ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.



REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

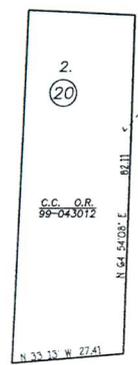
1/4" = 1'-0"

PROPOSED RESIDENCE FOR  
**D'ARCY & MARK CORNWALL**  
 51 MANNIX AVENUE  
 CAYUCOS, CA

EXTERIOR  
 ELEVATIONS

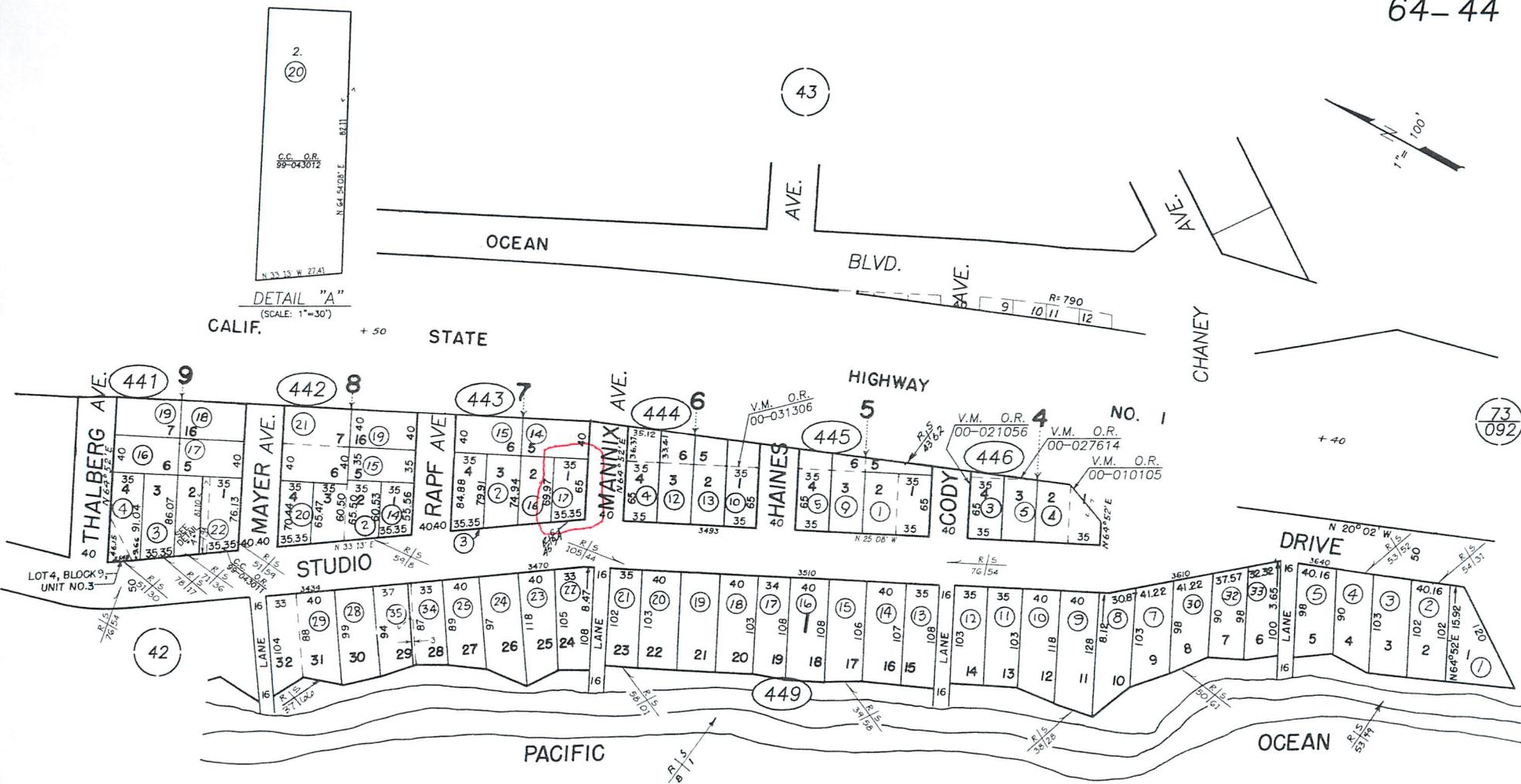
DRAWN BY:	JEM
DATE:	12.14
REVISIONS	DATE

SHEET  
**A-6**  
 OF 7 SHEETS

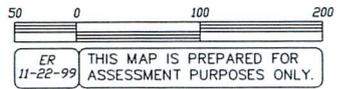


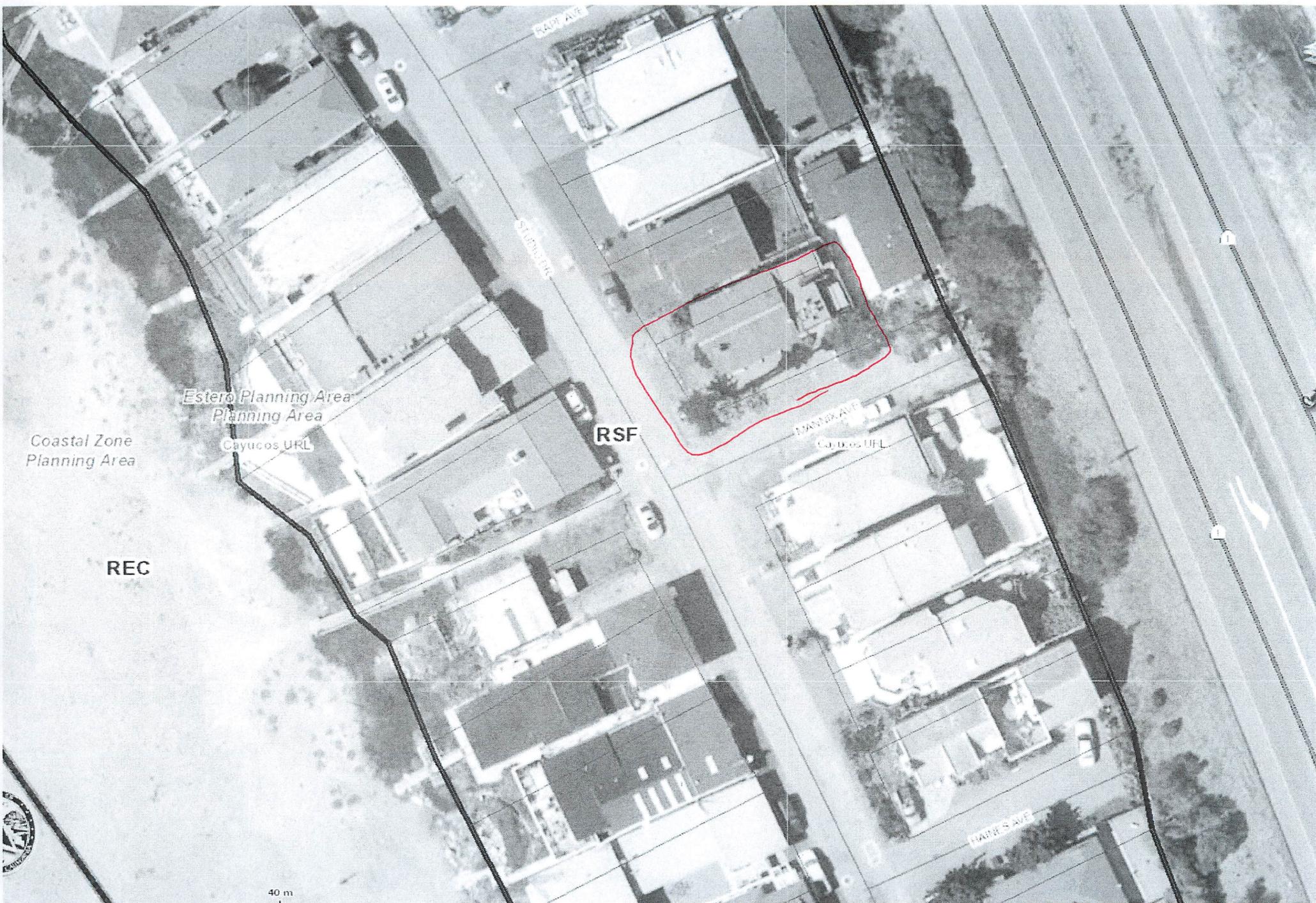
DETAIL "A"  
(SCALE: 1"=30')

CALIF. STATE + 50



REVISIONS	
I.S.	DATE
NA	10-07-03
07-336	03-31-07





RSF AVE

STURGEON

RSF

MAMBA AVE

Cayucos URL

MAMBA AVE

Esteró Planning Area  
Planning Area

Coastal Zone  
Planning Area

Cayucos URL

REC

40 m



# Parcel Summary Report For Parcel # 064-443-017

6/18/2015  
2:08:18PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    CORNWALL MARK S  
PO BOX 646    SUMMERLAND CA 93067-0646

### Address Information

Status                      Address  
00051 MANNIX AV CAYU

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064443	017	0001	Cayucos	Estero Plannin	CAZ			N		
MORROST1	0007	0001	Cayucos	Estero Plannin	RSF	LCP	SSN	Y		

### Parcel Information

Status    Description  
Active    MORRO STR 1 BL 7 LT 1

### Notes

### Tax Districts

COAST (SB1537)  
CAYUCOS  
SAN LUIS OBISPO JT(27,40)  
CAYUCOS-MORRO  
CAYUCOS COUNTY  
NO. 02  
CAYUCOS  
AREA NO. 10  
AREA NO. 21



# Parcel Summary Report For Parcel # 064-443-017

6/18/2015  
2:08:19PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AREA NO. 10, ZONE A

### Case Information

**Case Number:**

DRC2014-00155

**Case Status:**

REC

Primary Parcel

**Description:**

2ND FLOOR ADDITION TO EXISTING SFR (402 SQFT)

P970496Z

APP

Primary Parcel

**Description:**

MARKETING ARTS