



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 7/30/2015

**TO:** \_\_\_\_\_

**FROM:** James Caruso (805-781-5702 or jcaruso@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00005 HODGE – Proposed minor use permit for a vacation rental. Site location is 230 2nd St., Avila Beach. APN: 076-201-085

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

### PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

### PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

### PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00005

HODGE MICHAEL I

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

VACATION RENTAL REQUEST

/  
AS RMF

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name SHAR HODGE DEVELOPMENT AVILA, LLC Daytime Phone 215 8753  
Mailing Address 351 SAN MIGUEL AVE SLO. Zip Code 93405  
Email Address: \_\_\_\_\_

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent Name MICHAEL HODGE Daytime Phone 215-8753  
Mailing Address SEE ABOVE Zip Code \_\_\_\_\_  
Email Address: hodgecompany@gmail.com

## PROPERTY INFORMATION

Total Size of Site: 3A72 SF Assessor Parcel Number(s): 076-201-085  
Legal Description: \_\_\_\_\_  
Address of the project (if known): 230 SECOND ST AVILA BEACH  
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: \_\_\_\_\_

Describe current uses, existing structures, and other improvements and vegetation on the property:  
VACANT LAND

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): VACATION RENTAL REQUEST

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 7.8.15

**FOR STAFF USE ONLY**

SITE PLAN  
FOR  
ONE VACATION RENTAL UNIT  
IN UNIT  
A-2, B, C, D1 OR D2



TRACT 3021  
"TOP OF THE HILL"



SCALE: 1" = 40'



**SOUTHWEST ELEVATION**



**EAST ELEVATION**

**CONCEPTUAL EXTERIOR ELEVATIONS**  
EAST

 <p>ADDRESS 1306 JOHNSON AVENUE SAN LUIS OBISPO, CA 93401 CONTACT 805.547.2240 ARRIS-STUDIO.COM THOMAS E. JESS ARCHITECT #C27508 STEPHEN A. BJOR ARCHITECT #C35672</p>	<p><b>TOP OF THE HILL BUILDINGS B, C &amp; D</b></p> <p>AVILA BEACH, CA</p>		<p>Project A14048 Date 04/24/2015 Sheet</p>
	<p><b>EXTERIOR ELEVATION</b></p> <p>11x17 SHEET SCALE: 1/16" = 1'-0" 24x36 SHEET SCALE: 1/8" = 1'-0"</p>		



### FLOOR PLAN GENERAL NOTES

- REFER TO STRUCTURAL FOR WALL FRAMING INFORMATION, U.N.O.
- EXTERIOR WALLS SHALL HAVE R-19 INSULATION.
- ROOFS SHALL HAVE R-30 INSULATION. VERIFY WITH TITLE 24 REPORT.
- FIRE BLOCKING SHALL BE PROVIDED:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS @ 10' INTERVALS BOTH HORIZONTAL AND VERTICAL.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.
- AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
- SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE CBC CHAPTER IN THE FOLLOWING AREAS:
- WITHIN 24" OF DOORS AND 18" OF FLOORS
- WITHIN TUB ENCLOSURES
- WITHIN HOT-TUB WHIRLPOOLS, SAUNAS, STEAM ROOMS, GLAZING IN ANY PORTIONS OF SAUNAS, STEAM ROOMS, TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET
- GLAZING IN STAIR LANDINGS AND WITHIN 5'-0" OF THE BOTTOM AND TOP THE STAIRWAY AND WITHIN 5'-0" OF POOL EDGES.
- ALL DIMENSIONS ARE TO FINISH, NOT FINISH WALL
- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF MIN. 26 GA. SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ALL FINISHES TO BE SPECIFIED BY OWNER, REFER TO FINISH SCHEDULE
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS, OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- EXTERIOR GLAZING: EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
- EXTERIOR DOORS: EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1-3/4 INCH THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITHIN DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH SECTION 8-3.106.7
- HANDRAILS SHALL COMPLY WITH THE FOLLOWING:
- TOP OF HANDRAIL SHALL BE PLACED BETWEEN 34" & 38" ABOVE LANDINGS AND THE NOSING OF THE TREAD.
- HANDGRIP SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION WITH NO SHARP CORNERS
- HANDRAILS PROJECTING FROM THE WALL SHALL NOT HAVE LESS THAN 1 1/2" BETWEEN WALL AND THE HANDRAIL
- DRYER VENT SHALL BE VENTED TO THE OUTSIDE AND SHALL NOT EXCEED 14 FEET DISTANCE W/ MAX (2) 90° ELBOWS. EACH ADDITIONAL ELBOW SHALL REDUCE THE MAX LENGTH BY 2 FEET OR PER MANUFACTURER'S REQUIREMENTS. TERMINATION OF VENT SHALL COMPLY WITH SECTION 806.6 OF THE UNIFORM MECHANICAL CODE.
- SHOWERS AND SHOWER/TUB SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION.
- IF APPLICABLE, FIXTURES LOCATED BELOW THE NEXT UPSTREAM MANHOLE REQUIRE BACKWATER CHECK VALVES, UPPER LEVEL FIXTURES NOT TO DRAIN THROUGH VALVE.

### WALL LEGEND

	CONCRETE RETAINING WALL, SEE STRUCTURAL DWGS.
	FULL HEIGHT NON-RATED WALL
	PARTIAL HEIGHT WALL

### FINISH SCHEDULE

FINISH	FLOOR	BASE	WALL MATL	WALL FINISH	CLG MATL	CLG FINISH
F-1	CONC.	NONE	GYP. BD.	A	GYP. BD.	A
F-2	CONC.	NONE	GYP. BD.	C	GYP. BD.	C
F-3	RADIANT HTG./ TILE	WOOD	GYP. BD.	B	GYP. BD.	B
F-4	WOOD	WOOD	GYP. BD.	A	GYP. BD.	A
F-5	WOOD	WOOD	GYP. BD.	A	BEAD BD.	A
F-6	TILE	WOOD	GYP. BD.	B	GYP. BD.	B

**WALL AND CEILING FINISHES:**  
 A TAPE, TEXTURE (LEVEL 5/HAND TEXTURE) & PAINT (EGGSHELL LATEX)  
 B TAPE, TEXTURE (SMOOTH) & PAINT (SEMI-GLOSS LATEX)  
 C TAPE ONLY

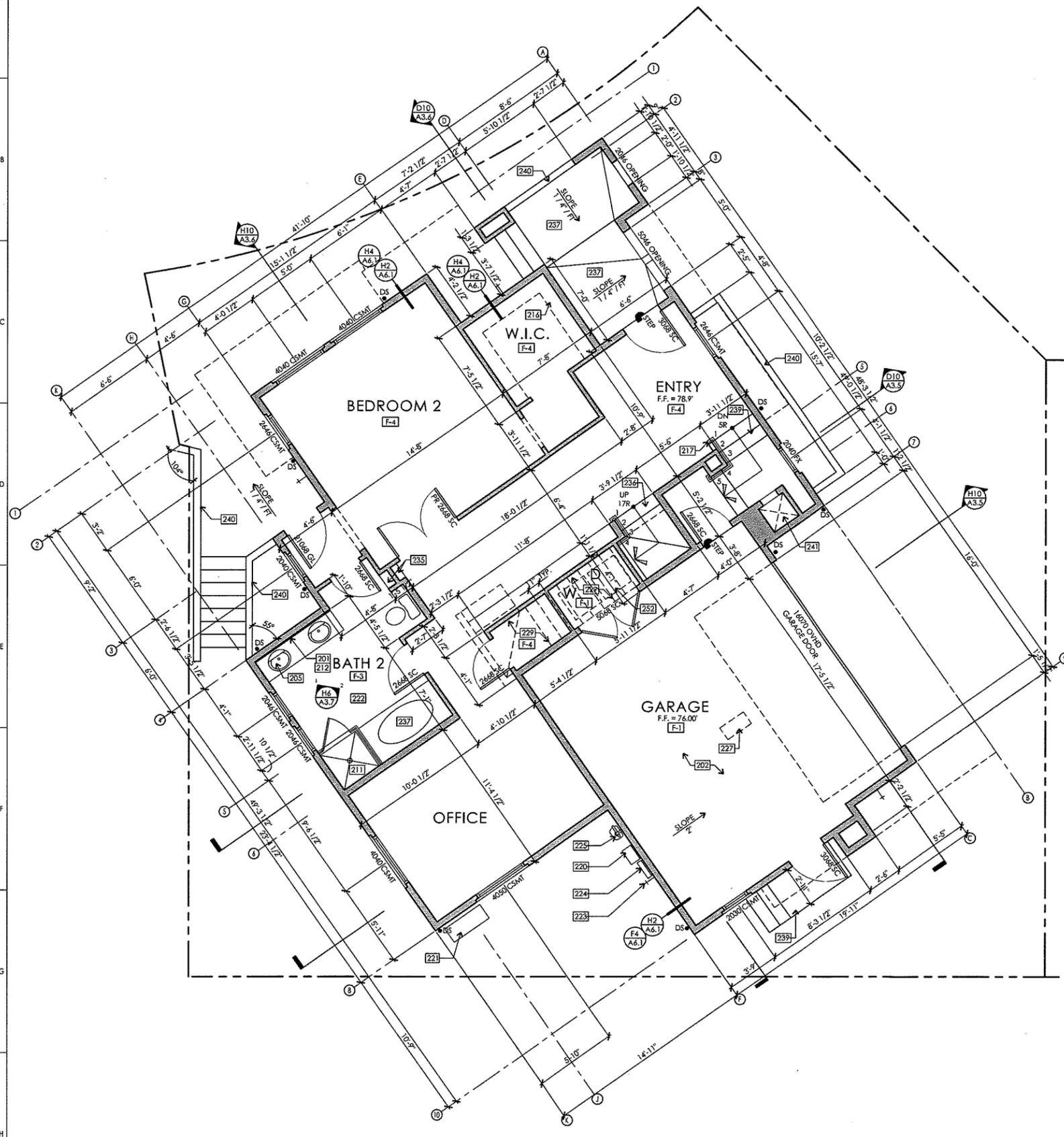
**GENERAL NOTES:**  
 1. NO-VOC PAINT SHALL BE USED AT ALL INTERIOR LOCATIONS.  
 2. ALL FLOOR SURFACES SHALL BE SLIP RESISTANT.  
 3. SOLID WOOD THRESHOLDS BETWEEN WOOD AND TILE FLOORING.  
 4. RECESS CONCRETE 7/8" AT WOOD & TILE FLOORING ON FIRST FLOOR.  
 5. WOOD FLOORING TO BE PRE-ENGINEERED HICKORY, HANDSCRAPED, w/ CORN UNDERLAYMENT.

### TANKLESS WATER HEATER SCHEDULE

DIRECT VENT/FORCED COMBUSTION WATER HEATER SCHEDULE						
MFG	MODEL	FUEL	GAS LINE	POWER	MAX WATTS	NOTES
RINNAI	R75e	NAT. GAS	1"	115/120-1-60	100	

### FLOOR PLAN REFERENCE NOTES

- 2x6 PLUMBING WALL
- 5/8" TYPE 'X' GYP. BOARD ON WALLS AND CEILING IN GARAGE. SEE FLOOR PLAN GENERAL NOTE 6
- REFRIGERATOR, OWNER SELECTED. ROUGH PLUMBING PER MANUFACTURER SPECS.
- KITCHEN SINK w/GARBAGE DISPOSAL
- BATHROOM LAVATORY
- KITCHEN ISLAND COUNTER TOP. (SEE PLAN FOR DIMENSIONS)
- VEGETABLE SINK, OWNER SELECTED
- RANGE PROVIDE GAS STUB & 220 ELECTRICAL. MICRO/HOOD SHOWN DASHED
- BULT-IN CABINETS, UPPERS SHOWN DASHED
- BULT-IN DISHWASHER, OWNER SELECTED.
- WALK-IN SHOWER W/ A SMOOTH NONABSORBANT SURFACE TO A MIN. OF 70" ABOVE THE DRAIN INLET. STALL SHALL COMPLY W/ UPC SECT. 410.0
- MIRROR, WIDTH PER INTERIOR ELEVATIONS BY 4 FEET HIGH.
- 2x FURRING
- 24" TOWEL RACK AT 44" A.F.F. PROVIDE BLOCKING.
- STACKABLE WASHER AND DRYER. PROVIDE HOT & COLD WATER AND WASTE. OWNER SELECTED
- POLE AND SHELF
- 36" STAIR RAILING, SEE FLOOR PLAN GENERAL NOTE 11 & DETAIL: B10/A6.2
- GAS DIRECT VENT FIREPLACE
- 1-3/8" TIGHT FITTING SELF-CLOSING, SOLID CORE DOOR 20 MINUTE FIRE-RATING MIN.
- NEW TANKLESS WATER HEATER, SEE WATER HEATER SCHEDULE
- NEW COMFORT STAR DUCT-FREE MULTI-SPLIT HEATING AND COOLING SYSTEM, SHALL COMPLY W/ U.M.C. CH 3 & MANUF. SPECS.
- MECHANICAL VENTILATION SYSTEM TO PROVIDE AT LEAST 5 AIR CHANGES PER HOUR
- HOSE BIB WITH BACK-FLOW PREVENTION DEVICE
- 200 AMP ELECTRIC METER AND CATV BOX
- GAS METER
- GAS VALVE
- GARAGE DOOR OPENER
- DRYER VENT PATH, SEE GENERAL NOTE #12
- 5/8" TYPE 'X' GYP. BD. @ USE-ABLE SPACE UNDER STAIRS
- MER-KO WATERPROOF MEMBRANE, PER MANUFACTURER'S REQUIREMENTS
- BULT-IN SHELVING, FACE FRAME
- +42" HIGH METAL RAILING -SEE DETAILS: B8/A6.2 & D8/A6.2
- +42" HIGH SOLID RAILING -SEE DETAIL: D10/A6.2
- PANTRY, FACE FRAMED
- LINEY CABINET, FACE FRAMED
- WOOD STAIRS -SEE DETAIL: H10/A6.3
- CONCRETE SLAB ON GRADE
- STRUCTURAL BEAM ABOVE, SHOWN DASHED, SEE STRUCTURAL DRAWINGS
- CONCRETE STAIRS -SEE DETAIL: H8/A6.3
- CONCRETE SITE WALL -SEE DETAIL: H8/A6.3
- DUMB WATER
- TRELLIS (ABOVE SHOWN DASHED)
- CLASS 'A' CLAY S-TILE ROOFING o/2 LAYERS OF 30# FELT
- EXTRUDED ALUMINUM GUTTER W/ LEAF GUARD
- NOT USED
- 100 AMP ELECTRICAL SUB-PANEL, SEE ELECTRICAL PLANS
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- CONCRETE CURB, SEE DETAIL: H4/A6.1 & CIVIL DRAWINGS
- FIRE RISER IN CABINET, INSTALL PER FIRE DEPARTMENT REQUIREMENTS AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTING WALLS.
- FIRE ALARM CONTROL PANEL
- STAINED CONCRETE FLOOR -SELECTED BY OWNER
- SIDE BY SIDE WASHER & DRYER, PROVIDE HOT & COLD WATER & WASTE, OWNER SELECTED
- FACE FRAME CABINET DOOR AT ENTRY CLOSE
- ARCHED DOORS IN 2x8 WALL -SEE INTERIOR ELEVATION
- 22' x 30" ATTIC ACCESS



**H10 BUILDING B - FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



ADDRESS  
 1306 JOHNSON AVENUE  
 SAN LUIS OBISPO, CA 93401  
 CONTACT  
 805.547.2240  
 ARRIS-STUDIO.COM  
 THOMAS E. JESS ARCHITECT #C22709  
 STEPHEN A. WOOD ARCHITECT #C23025



Client  
**Top of the Hill Gang, LLC.**  
 351 San Miguel Ave.  
 San Luis Obispo, CA 93405  
 Phone: (805) 215-8753  
 Fax: (805) 540-5241

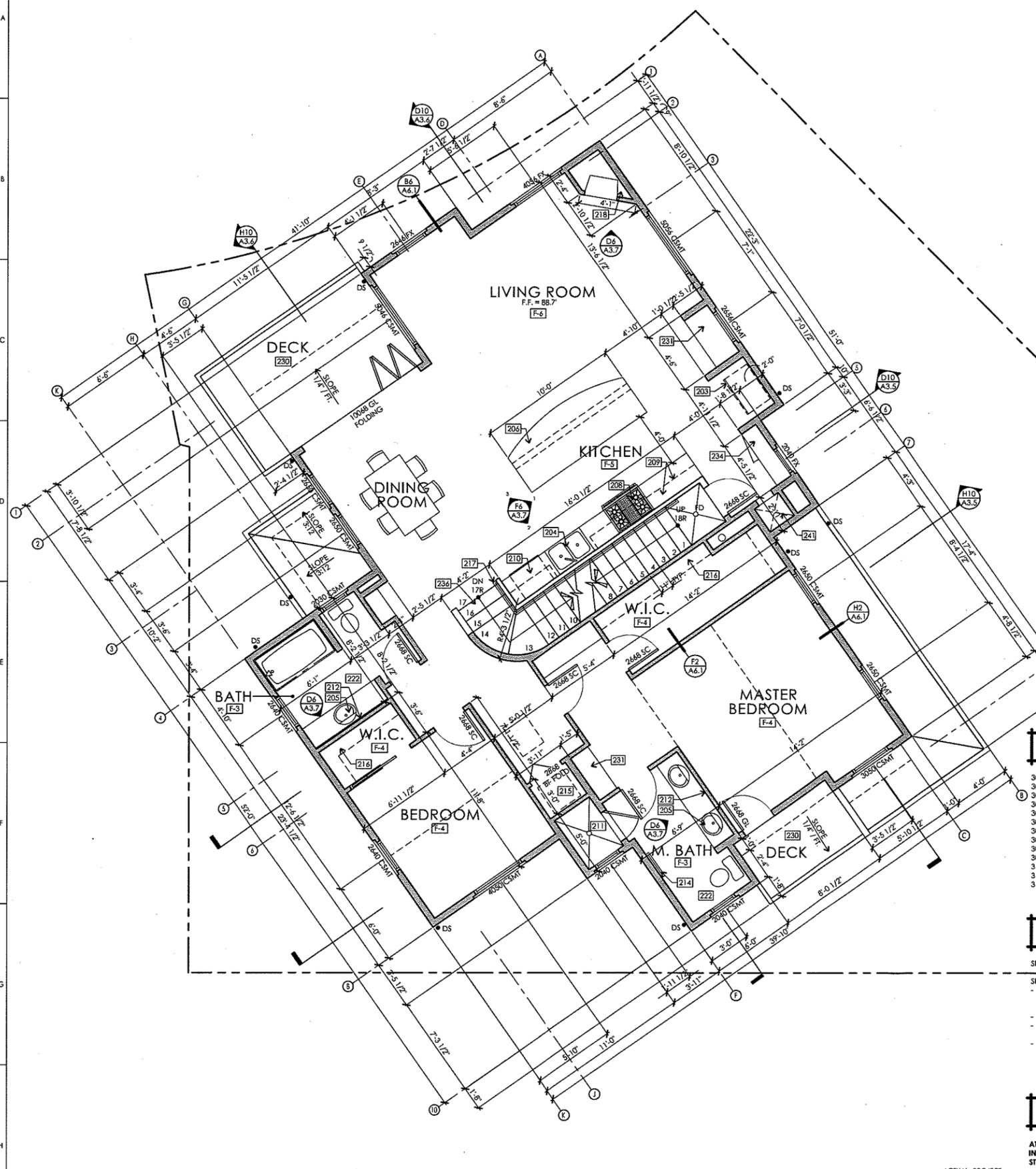
Project  
**TOP OF THE HILL BUILDINGS B, C & D**  
 AVILA BEACH, CA  
**BUILDING B**  
**FIRST FLOOR PLAN**

#	REVISION	DATE

Project A14048  
 Date May 22, 2015  
 Sheet

**A3.0**

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- 22' x 30" ATTIC ACCESS

### ROOF REFERENCE NOTES

- CLASS 'A' CLAY S-TILE ROOFING w/2 LAYERS OF 30# FELT
- EXTRUDED ALUMINUM GUTTER W/ LEAF GUARD
- 4" ALUMINUM DOWNSPOUT TO SPLASH BLOCK BELOW
- MER-KO WATERPROOF MEMBRANE, PER MANUFACTURER'S REQUIREMENTS
- VALLEY FLASHING - SEE FIRE SEVERITY NOTES ON A1.0 FOR REQUIREMENTS
- WALLS BELOW
- PARAPET (42" ABOVE ROOF DECK)
- SINGLE-PLY ROOFING MEMBRANE
- CRICKET, SLOPED TO DRAIN
- DRAIN AND OVERFLOW
- SCUPPER TO DOWNSPOUT AND SPLASH BLOCK BELOW
- AREA DRAIN - USE CAST IRON LINES WHEN ADJACENT TO LIVING SPACE.
- DUMB WATER

### GENERAL NOTE

SEE FIRE HAZARD SEVERITY NOTES ON SHEET A1.0 FOR ADDITIONAL REQUIREMENTS.

SPECIFIC IMPACTS INCLUDE BUT ARE NOT LIMITED TO:  
 - GLAZING IN WINDOWS, WINDOW WALLS, DOORS, AND SKYLIGHTS SHALL BE MULTI-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.  
 - EAVE VENTS ARE NOT ALLOWED.  
 - UNDERSIDES OF EAVES SHALL BE PROTECTED IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION.  
 - GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.

### ATTIC VENTILATION

ATTIC IS UNVENTED PER R804.5 ITEMS 5.1. AIR-IMPERMEABLE INSULATIONS ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING.



ADDRESS  
 1306 JOHNSON AVENUE  
 SAN LUIS OBISPO, CA 93401  
 CONTACT  
 805.547.2240  
 ARRIS-STUDIO.COM  
 THOMAS E. JESS ARCHITECT #C22608  
 STEPHEN A. HESOR ARCHITECT #C28472  
 Architect of Record/Consultant



Client  
**Top of the Hill Gang, LLC.**  
 351 San Miguel Ave.  
 San Luis Obispo, CA 93405  
 Phone: (805) 215-8753  
 Fax: (805) 540-5241

Project  
**TOP OF THE HILL BUILDINGS B, C & D**  
 AVILA BEACH, CA  
**BUILDING B**  
**SECOND FLOOR PLAN**

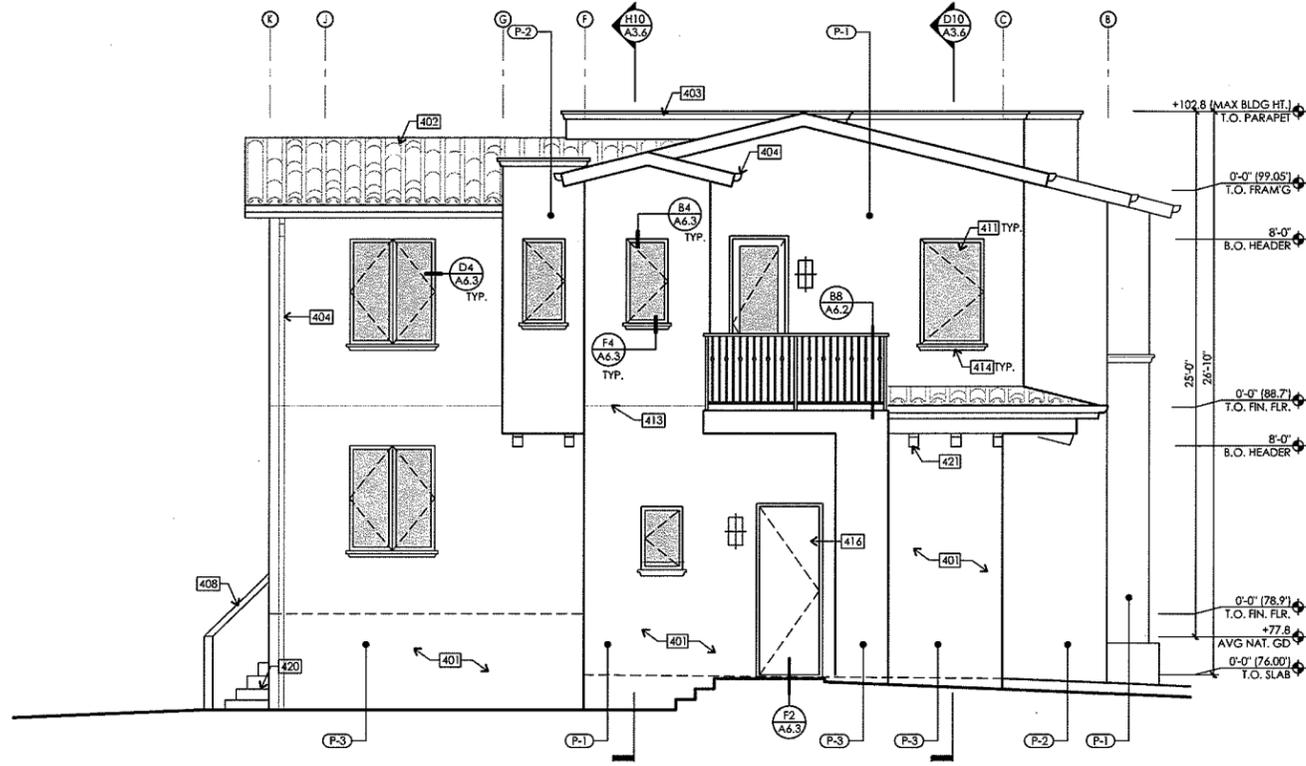
#	REVISION	DATE

Project A14048  
 Date May 22, 2015  
 Sheet

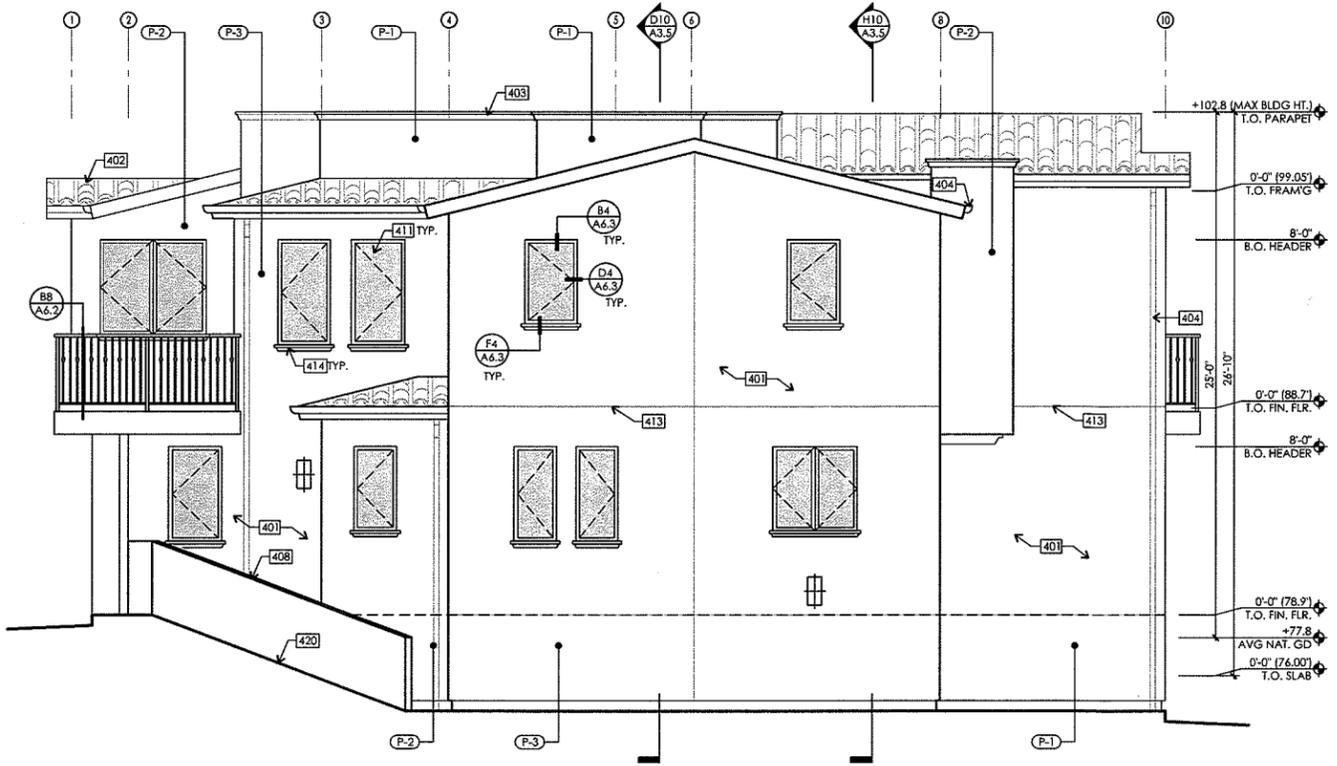
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**D10 NORTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**H10 SOUTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- 401. 7/8" EXTERIOR CEMENT PLASTER o/ PAPER BACKED METAL LATH
- 402. CLASS 'A' CLAY "S-TILE" ROOFING w/MANUF. PROVIDED NON-COMBUSTIBLE BIRD-STOPPING AT ALL EAVE CONDITIONS -SEE ELEVATION COLORS
- 403. PARAPET -SEE DETAIL: H2/A6.2
- 404. ALUMINUM GUTTER W/ LEAF GUARD AND DOWNSPOUT -SEE ELEVATION COLORS
- 405. DECORATIVE RAIN LEADER -SEE ELEVATION COLORS -SEE DETAIL: D6/A6.2
- 406. SCUPPER FROM FLAT ROOF ABOVE. SEE ROOF PLAN -SEE DETAIL: F6/A6.2
- 407. 42" HIGH WROUGHT IRON GUARD -SEE ELEV. COLORS & DETAILS: D8/A6.2 & B8/A6.2
- 408. SITE WALL -SEE DETAIL: H8/A6.3; ANY PORTION OF A FENCE OR OTHER STRUCTURE WITHIN FIVE FEET OF THE BUILDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR APPROVED EXTERIOR FIRE-RETARDANT WOOD OR MATERIAL THAT MEETS THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE BLDG.
- 409. WOOD TRELLIS. MADE OF HEAVY TIMBER
- 410. 6x10 OUTLOOKERS, MADE OF HEAVY TIMBER. BEVELED EDGES -SEE ELEV. COLORS
- 411. WINDOW, OWNER SELECTED (SEE PLANS FOR TYPE AND ELEV. COLORS BELOW)
- 412. FIXED PICTURE WINDOW, OWNER SELECTED
- 413. CONTROL JOINT
- 414. TRIM AT WINDOWS & DOORS (COLOR TO MATCH ADJACENT STUCCO)
- 415. WOOD GARAGE DOOR, OWNER SELECTED
- 416. SOLID WOOD DOOR, OWNER SELECTED
- 417. WOOD FRENCH DOOR, OWNER SELECTED
- 418. NOT USED
- 419. ADDRESS NUMBERS, NUMBERS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING PROPERTY AND SHALL BE 6" IN HEIGHT, 1/2" MIN. STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. (ADDRESS NUMBERS SHOWN ARE FOR REFERENCE ONLY AND SHOW POSSIBLE LOCATION).
- 420. EXTERIOR CONCRETE STAIR -SEE DETAIL: H6/A6.3
- 421. STUCCO CORBEL -SEE DETAIL: F8/A6.3
- 422. CONCRETE CURB

NOTE:  
GRADES SHOWN ARE SCHEMATIC -SEE CIVIL DRAWINGS FOR DETAILS GRADES AND DRAINAGE

**ELEVATION COLORS**

- PAINT COLORS: BENJAMIN MOORE**
- P-1 OC-45 "SWISS COFFEE"
  - P-2 HC-11 "MARBLEHEAD GOLD"
  - P-3 AC-2 "BERKSHIRE BEIGE"

- NOTES:**
1. ALL EXTERIOR STUCCO PAINT FINISHES TO BE BASTONEMIC PAINT.
  2. PAINT COLOR CHANGES SHALL ONLY OCCUR AT INSIDE CORNERS IF THERE ARE ANY DISCREPANCIES PLEASE CONTACT ARCHITECT.
  3. ALL FLASHING SHALL MATCH ADJACENT COLOR.

**WOOD STAIN: BY CABOT**  
"CORDOVAN BROWN" (STAIN: SEMI-TRANSPARENT); WOOD: SAWCUT CEDAR)

**WINDOW COLOR: BY ANDERSON - 100 SERIES**  
COLOR: DARK BRONZE

**METAL COLOR**  
METAL RAILINGS, GUTTERS, AND DOWNSPOUTS: DARK BRONZE

**ROOF TILE COLOR**  
US TILE - "MADERA BLEND"

**ARRIS**  
STUDIO ARCHITECTS

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1306 JOHNSON AVENUE  
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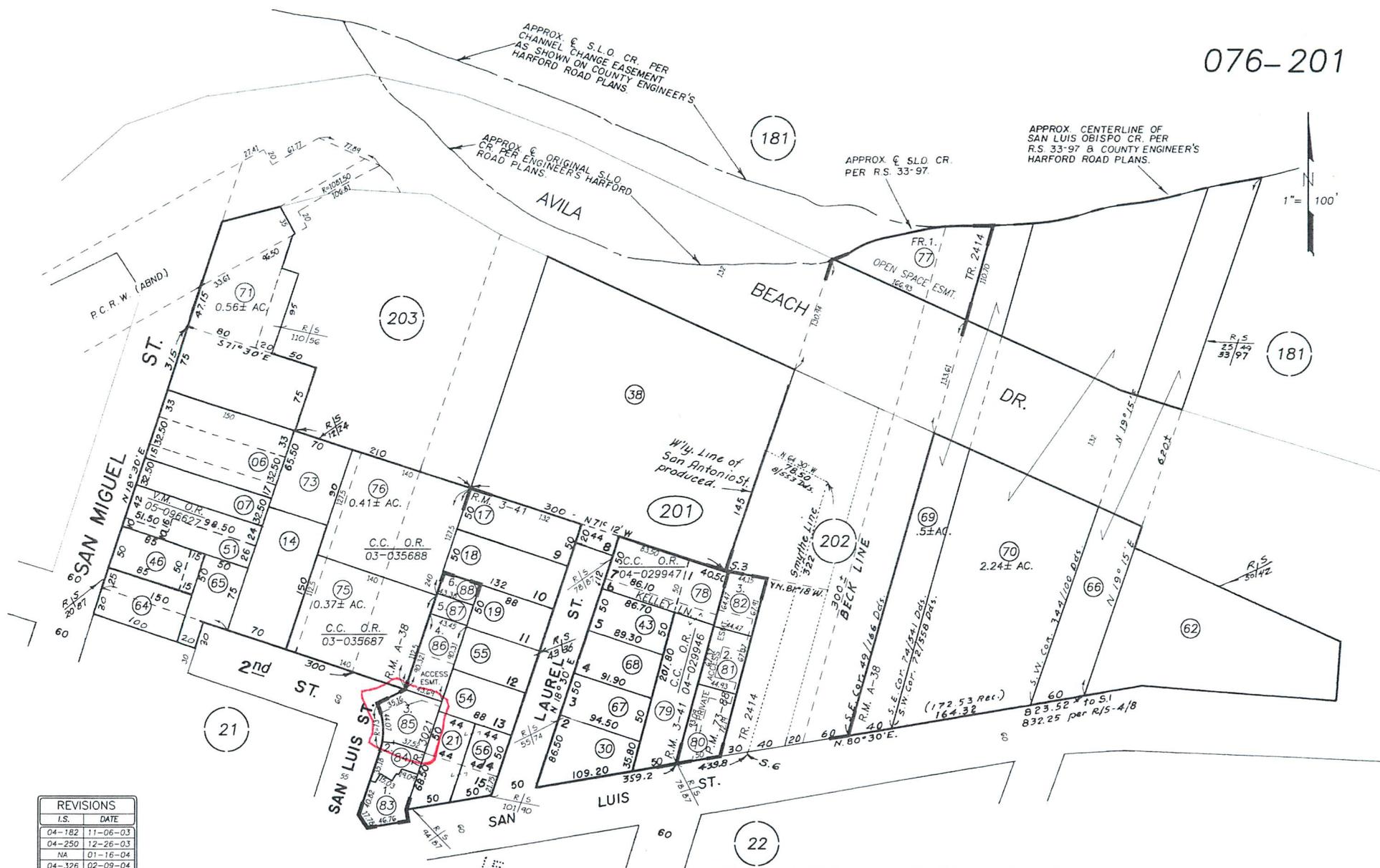
Project  
**TOP OF THE HILL BUILDINGS B, C & D**  
AVILA BEACH, CA  
**BUILDING B ELEVATIONS**

#	REVISION	DATE

Project A14048  
Date May 22, 2015  
Sheet

**A3.4**

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REVISIONS	
I.S.	DATE
04-182	11-06-03
04-250	12-26-03
NA	01-16-04
04-326	02-09-04
05-074	07-15-04
NA	04-20-06
11-050	09-15-10
15-117	11-26-14

50 0 100 200  
 JS  
 02-29-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

TRACT NO. 2414, R.M. Bk. 22 , Pg. 67-70.  
 TOP OF THE HILL; TRACT NO. 3021, R.M. Bk. 34 , Pg. 80-83.  
 JUNIOR ADDITION TO THE TOWN OF AVILA, R.M. Bk. 3 , Pg. 41.  
 PORTION OF RANCHO SAN MIGUELITO LOT 45, R.M. Bk. A , Pg. 38.

AVILA BEACH  
 ASSESSOR'S MAP, COUNTY OF  
 SAN LUIS OBISPO, CA.  
 BOOK 076 PAGE 201



PF

RMF

Bay Coastal Planning Area

Coastal Zone Planning Area

Avila Beach URL

CR

PF

50 m



# Parcel Summary Report For Parcel # 076-201-085

7/9/2015  
11:18:19AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    HODGE MICHAEL K  
          351 SAN MIGUEL AVE SLO CA 93405-2135  
OWN    TOP OF THE HILL GANG LLC A CA LLC

### Address Information

Status            Address  
P                    00230 2ND ST AVLB

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
3021	0000	0003			RMF	LCP	AS	Y	SC	
076201	085	0001			CAZ			N		

### Parcel Information

Status    Description  
Active    TR 3021 LT 3

### Notes

### Tax Districts

SAN LUIS COASTAL  
SAN LUIS OBISPO JT(27,40)  
COUNTY-ZONE NO. 03  
COUNTY-ZONE NO. 09  
AVILA BEACH  
SAN LUIS  
NO. 03



# Parcel Summary Report For Parcel # 076-201-085

7/9/2015  
11:18:19AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AREA NO. 21

AVILA BEACH, IMP. NO. 01

### Case Information

**Case Number:**

**Case Status:**

DRC2015-00005      REC      Primary Parcel

**Description:**

VACATION RENTAL REQUEST

PMT2014-02862      REC      Primary Parcel

**Description:**

MAJOR ENGINEERED ONSITE GRADING FOR LOT 3 TRACT 3021 AND RETAINING WALLS. REQ'S SEPARATE GRADING PERMITS FOR EACH LOT.

CALLED MIKE HODGE 6/29/15 TO DISCUSS. \*\*\*REAL TIME BILLING\*\*\*

PMT2014-03348      RVW      Primary Parcel

**Description:**

TOP OF THE HILL - BUILDING B - 2,559 SQ FT WITH 443 SQ FT ATTACHED GARAGE AND 149 SQ FT DECK.

DRC2006-00144      CMP      Related Parcel

**Description:**

MUP TO DEMO EXISTING STRUCTURES IN CAZ

PMT2007-00479      FNL      Related Parcel

**Description:**

DEMO EXISTING APARTMENT BUILDING (DRC2006-00144)

SUB2007-00159      RDD      Related Parcel

**Description:**

SUBDIVIDE 12,269 SQ FT LOT INTO TWO LOTS

SUB2010-00048      RDD      Related Parcel

**Description:**

RESIDENTIAL SUBDIVISION FOR 7 LOTS