



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 8/13/2015

TO: _____

FROM: Brandi Cummings (805-781-1006 or bcummings@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00019 ENNS – Proposed minor use permit for an addition to the second-floor master bed/bath (200 sf), interior remodel (90 sf), addition of deck (320 sf), and covered porch (70 sf). Site location is 1802 Cass St, Cayucos. APN: 064-232-013

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00019

ENNS ROBERT B

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
 Conditional Use Permit/Development Plan Plot Plan
 Curb, Gutter & Sidewalk Waiver Other Site Plan
 Surface Mining/Reclamation Plan Zoning Clearance
 Amendment to approved land use permit Variance

MINOR USE PERMIT

APPROX 200 SQFT OF ADDITION AND
APPROX 90 SQFT OF REMODELED
EST/ CAYU

AS LCP RSF SSN

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name ROBERT ENNS / ENNS TRUST Daytime Phone 995 1125
Mailing Address P.O. BOX 162 CAYUCOS CA. Zip Code 93430
Email Address: _____

Applicant Name SAME AS ABOVE Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name DAVID M. BROWN - ARCHITECT Daytime Phone 927-3376
Mailing Address P.O. BOX 123 LAMBRIA CA. Zip Code 93428
Email Address: da davidbarchitect@gmail.com

PROPERTY INFORMATION

Total Size of Site: 2922 SF Assessor Parcel Number(s): 064-232-013

Legal Description: PASO ROBLES TRACT #2

Address of the project (if known): 1802 CASS ST. CAYUCOS CA.

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: CASS AVE. SOUTH, RIGHT ON HWY 1 TO SLO

Describe current uses, existing structures, and other improvements and vegetation on the property:
EXISTING S.F.R w/ GARAGE, ALL UTILITIES, LANDSCAPING ETC

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): APPROX 200 SF OF ADDITION AND APPROX 90 SF OF REMODELED INTERIOR + 220 SF OF DECK AND 70 SF OF COVERED PORCH

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Robert Enns by R.B.

Date 7.30.2015

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NONE

Describe existing and future access to the proposed project site: 12th STREET (PAVED)

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: S.F.R.
East: S.F.R.

South: S.F.R.
West: S.F.R.

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1064 sq. feet 26 %
Paving: 500 sq. feet 17 %
Landscaping: _____ sq. feet _____ %
Other (specify) _____
Total area of all paving and structures: 1455 sq. feet acres
Total area of grading or removal of ground cover: 200 sq. feet acres
Number of parking spaces proposed: 2 EXIST Height of tallest structure: 24 FT.
Number of trees to be removed: 0 Type: _____
Setbacks: Front 15 Right 5 Left 5 Back 10

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: _____
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____
 Community System - List the agency or company responsible for sewage disposal: _____
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAYUCOS FIRE DEPT

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres
Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 1
Total floor area of all structures including upper stories, but not garages and carports: 844
Total of area of the lot(s) minus building footprint and parking spaces: 1678 SF

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: ALL acres
Moderate slopes of 10-30%: 0 acres
Steep slopes over 30%: 0 acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: EXISTING RESIDENCE
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: CASS AND 18TH ST.

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? 1 FAMILY
- 4. How many service connections will be required? 1 EXISTING
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: WATER METER
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health. NA
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information NA

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 25' Location of connection: 18th ST
- 2. What is the amount of proposed flow? 1 FAMILY G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: WATKINS/ZAYHCO'S L.S.D.
- 3. Where is the waste disposal storage in relation to buildings? GARAGE
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

- 1. Name of School District: _____
- 2. Location of nearest police station: 22 MILES SOUTH
- 3. Location of nearest fire station: CAL FIRE APPROX 2 MILES SOUTH
- 4. Location of nearest public transit stop: _____
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
RESIDENTIAL
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information *N.A*

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information *NA*

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information *NA*

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: *NA*

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

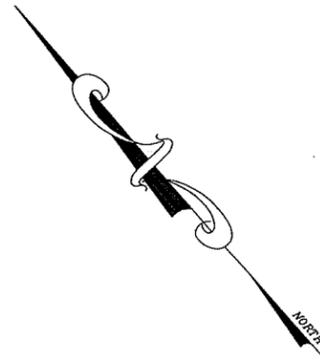
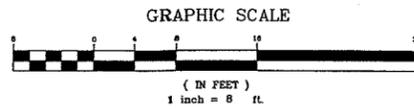
1. List any mitigation measures that you propose to lessen the impacts associated with your project:
NA

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



LEGEND:

- - - - - Edge of Existing Pavement
- - - - - Centerline of Road
- - - - - Existing Wood Fence
- ⊕ - Existing Utility Pole
- ⊗ - Existing Water Meter
- ⊗ - Existing Gas Meter
- ⊗ - Existing Fire Hydrant
- ⊗ - Existing Water Shut Off

REVISIONS	BY
10/26/15	
11/11/15	
11/11/15	
11/11/15	
11/11/15	
11/11/15	
11/11/15	
11/11/15	
11/11/15	

HORN LAND SURVEYS
 566 Spring Street
 Paso Robles, CA. 93446
 Office: (805) 239-0355 Fax: (805) 239-1849

REQUESTED BY:
 R. Enns
 23861 Sultsuen Road
 Bakersfield, CA 93314

TOPOGRAPHICAL SURVEY
 LOT 1
 BLOCK 9
 PASO ROBLES BEACH #2
 A.P.N. - 064-332-013
 SAN LUIS OBISPO COUNTY, STATE OF CALIFORNIA

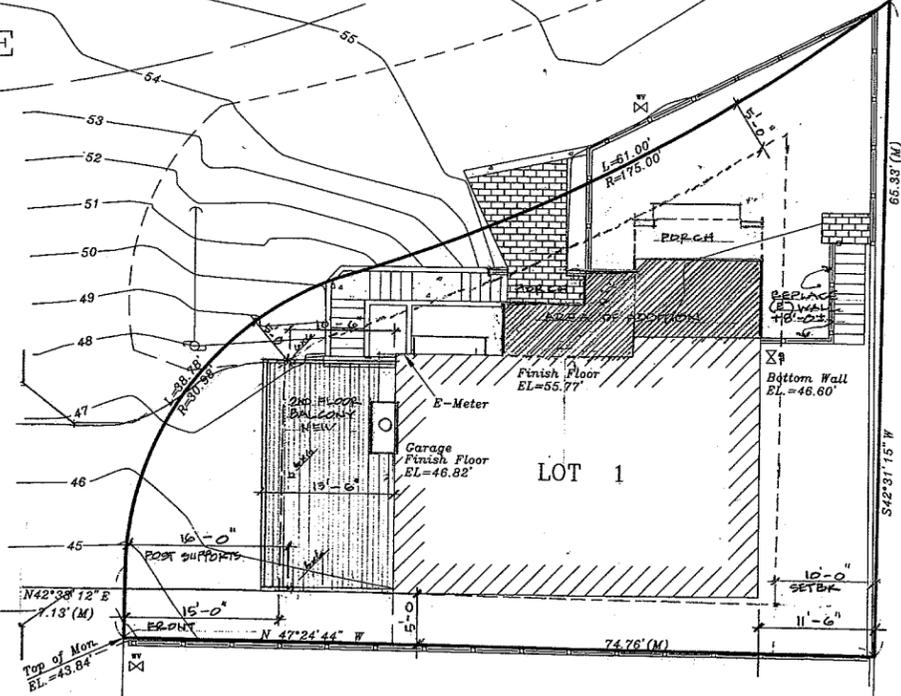
DRAWN:	CHECKED:
J.A.H.	D.P.H.
DATE: June, 2015	
SCALE: 1" = 8'	
JOB No: 1956	
SHEET	

1
 OF 1 SHEETS

CASS AVENUE

18TH STREET

BLOCK 9



SITE PLAN
 LOT 2

PROJECT DATA

OWNERS
 ENNS FAMILY TRUST
 c/o ROBERT ENNS
 P O Box 162
 Cayucos CA. 93430

JOB ADDRESS / LEGAL DESCRIPTION
 1802 Cass Ave
 Cayucos CA. 93430
 (SW corner of Cass Ave and 18th Street)
 A.P.No. 064-232-013

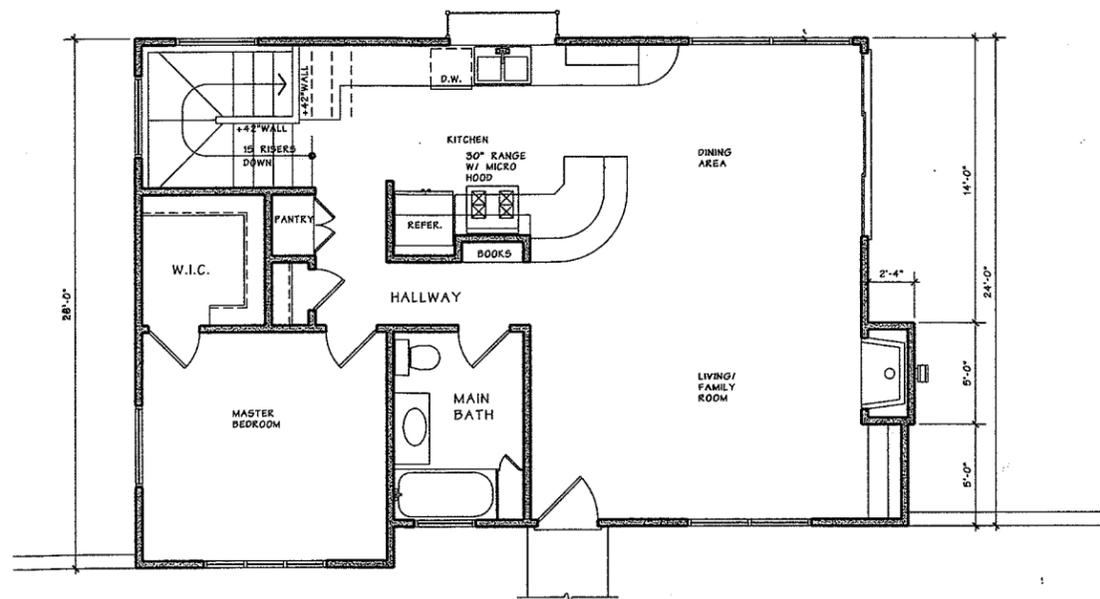
ZONING / PLANNING
 Residential Single Family
 Small Scale Neighborhood Standards

PROJECT DESCRIPTION
 Construct an addition of approx. 200 S.F. to an existing single family residence. The addition shall consist of an expanded entry area, bathroom and master bedroom plus a balcony deck approx. 320 S.F. as well as covered porch areas totaling 80 S.F. Interior work includes the remodel of the master bath and the addition of a powder room.

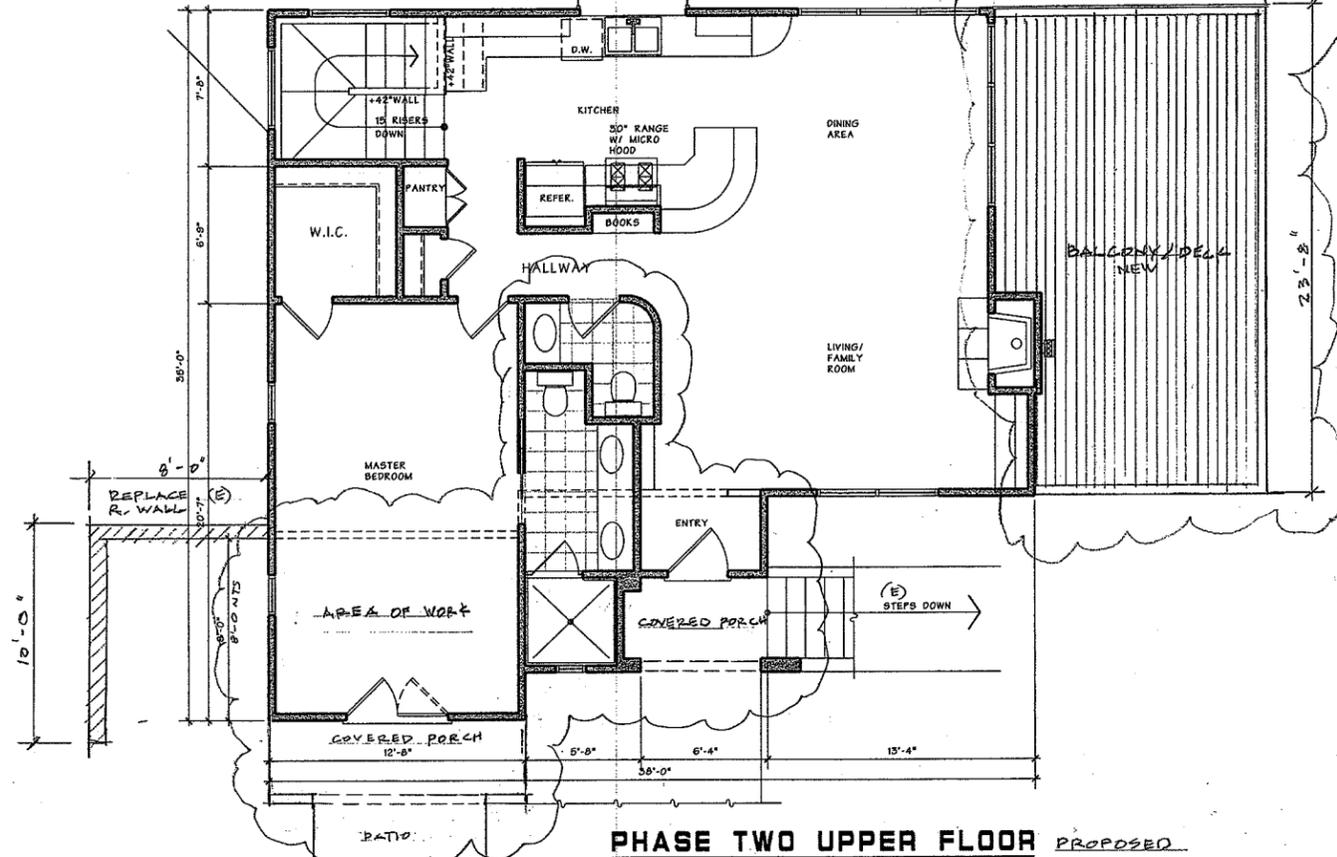
Project areas are as follows:

Lot Area	2922 SF
Allowable Lot Coverage 55%	1607 SF
Proposed Lot Coverage	1089 SF
Existing Building Area	889 SF
Proposed Addition area	200 SF
Proposed Covered Porch Area	80 SF
Proposed Balcony Deck Area	320 SF

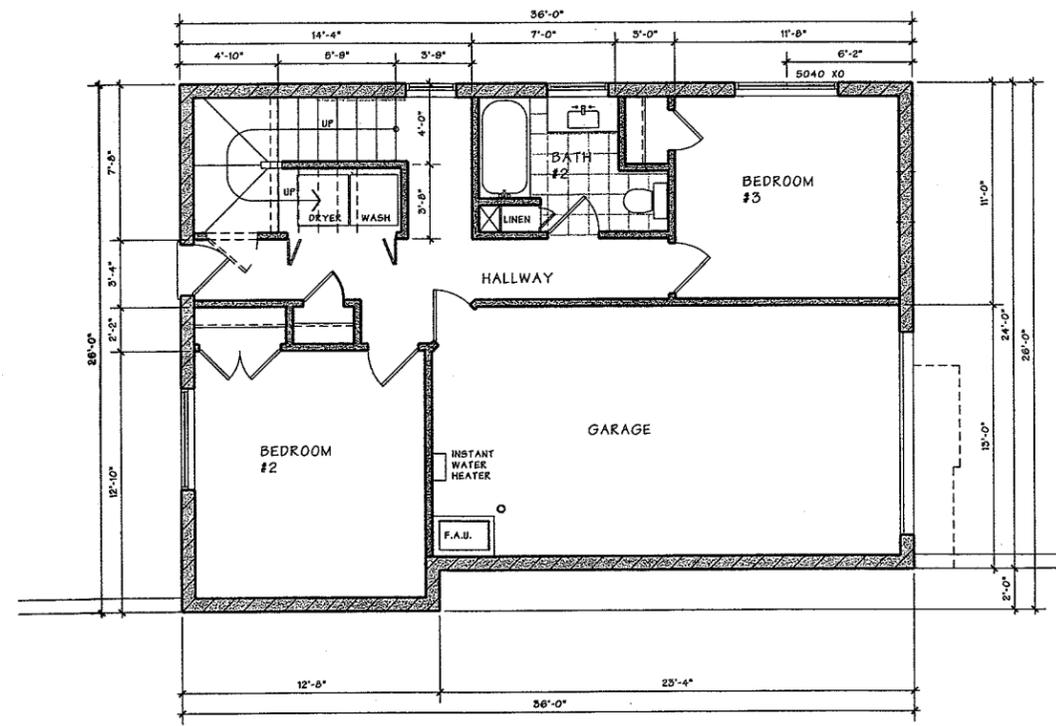
ENNS REMODEL
 1802 CASS AVE. CAYUCOS



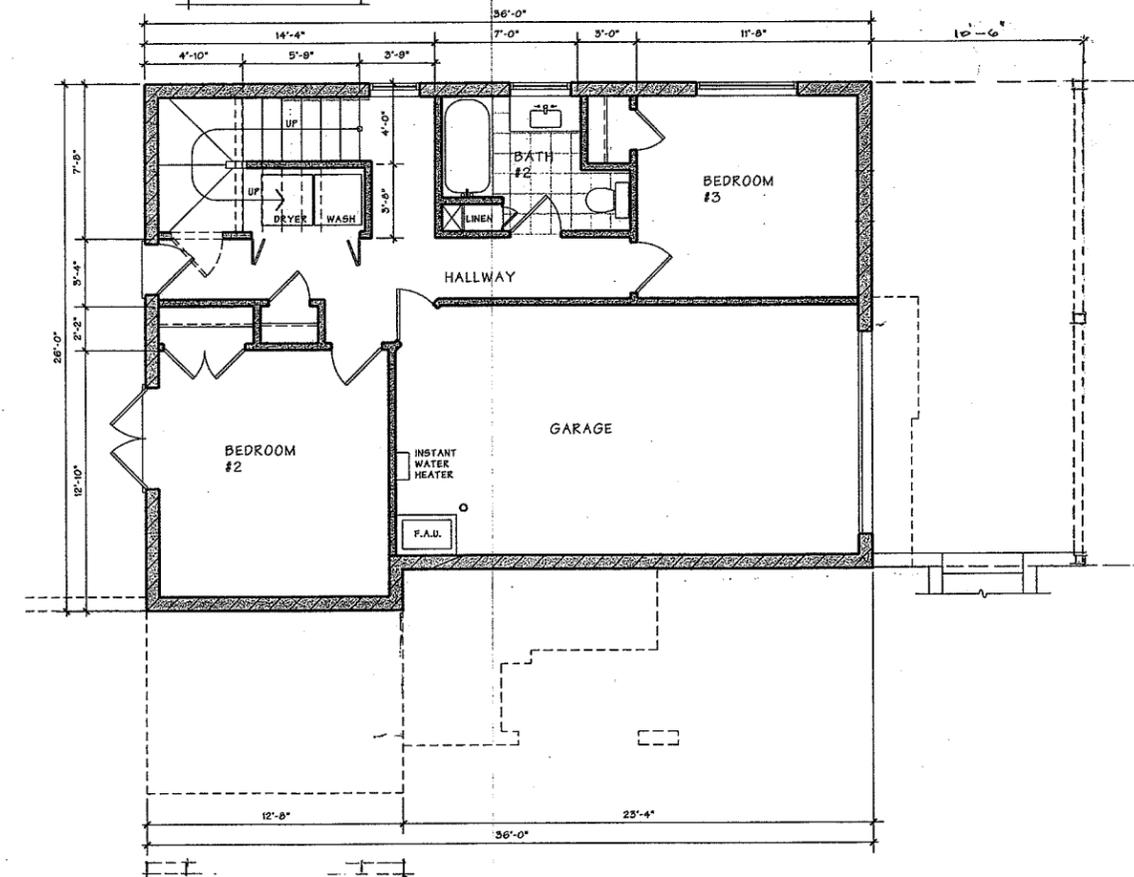
EXISTING UPPER FLOOR



PHASE TWO UPPER FLOOR PROPOSED



EXISTING LOWER FLOOR



PHASE TWO LOWER FLOOR

REVISIONS:	BY:

DAVID M. BROWN
ARCHITECT
(909) 927-5576 FAX 927-4751
P.O. BOX 125 - CAMBRIA, CA 95428

PROPOSED REMODEL & ADDITION FOR:
ENNS RESIDENCE
1802 CASS AVENUE
CAYUCOS, CALIFORNIA

DRAWN BY:
DAVID BROWN
CHECKED BY:

DATE:
12-18-2014
SCALE:
1/4" = 1'-0"
JOB NUMBER:
ENNS-2
SHEET

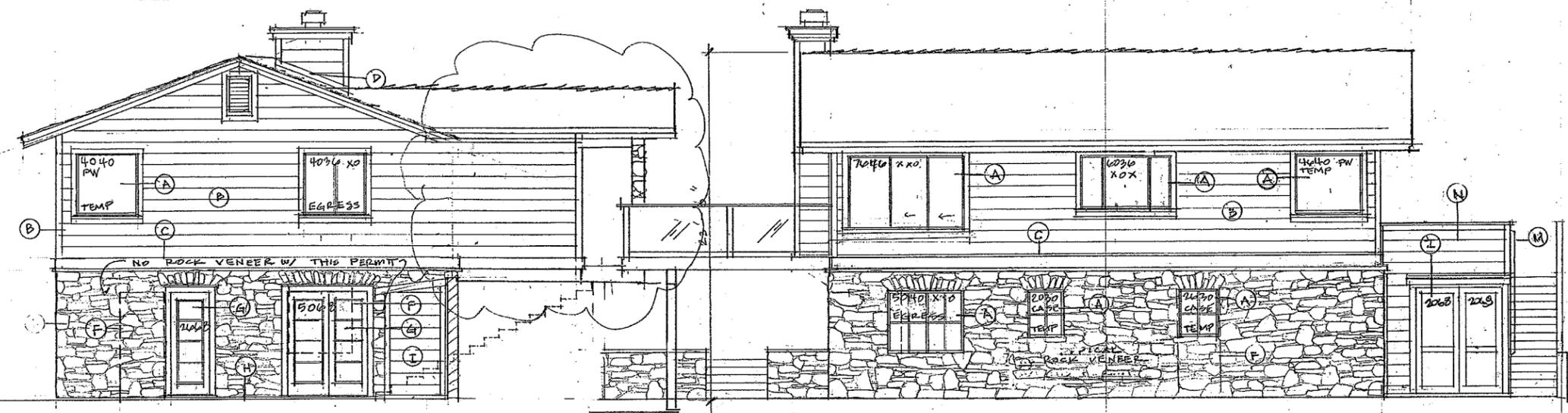
A2

OF SHEETS

REVISIONS:	BY:

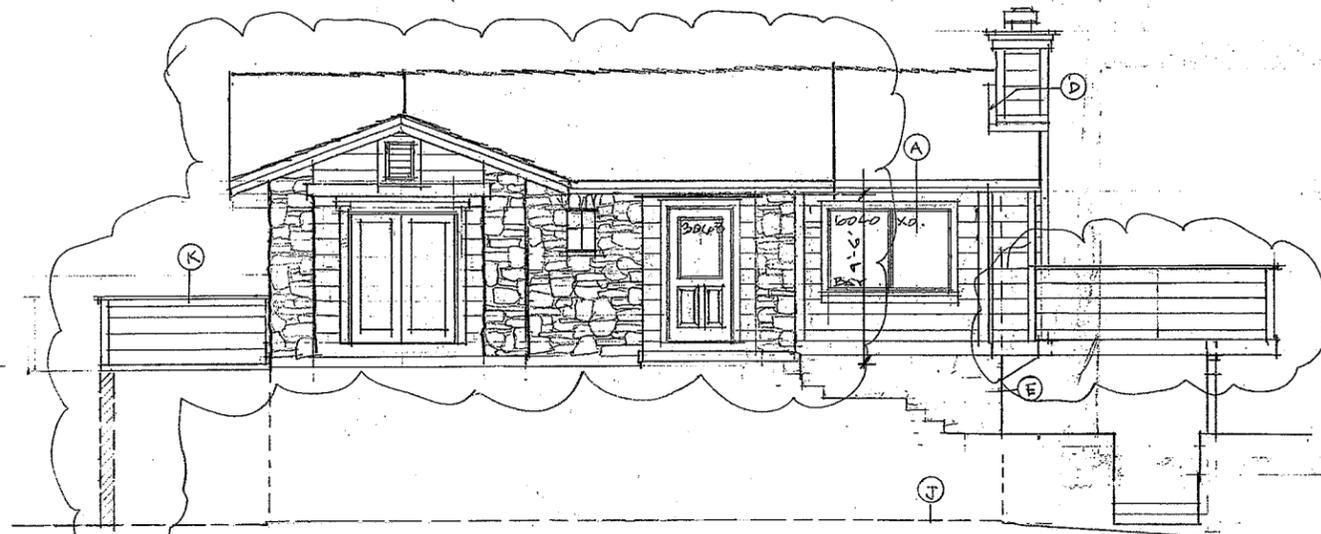
ELEVATION NOTES

- A Install and flash new dual glazed, low E windows per MFR specs.
- B Install Hardiplank siding with trim at corners and window and door openings per MFR specs
- C Install 2x12 belly band with Z flashing at top
- D Install fireplace flashing, counter flashing and diverter flashing
- E Install rock veneer over existing masonry per MFR specs
- F Line of existing opening to be infilled or widened per plan
- G Install and flash new door and window openings with new beam
- H New rock flagstone patio at rear to replace existing brick
- I Construct free standing 4 foot x 6 foot storage building
- J Line of basement below
- K New EPA approved fireplace framing, diagonal supports, and cap install fireplace per MFR specs
- L Replace existing garage door with new 9 foot x 7 foot with lites
- M Code approved 36" high handrail with returns at top and bottom
- N Rebuild 42" high low wall with metal straps at top of wall with 2x4 DFPT walls and plate, siding and trim and redwood cap

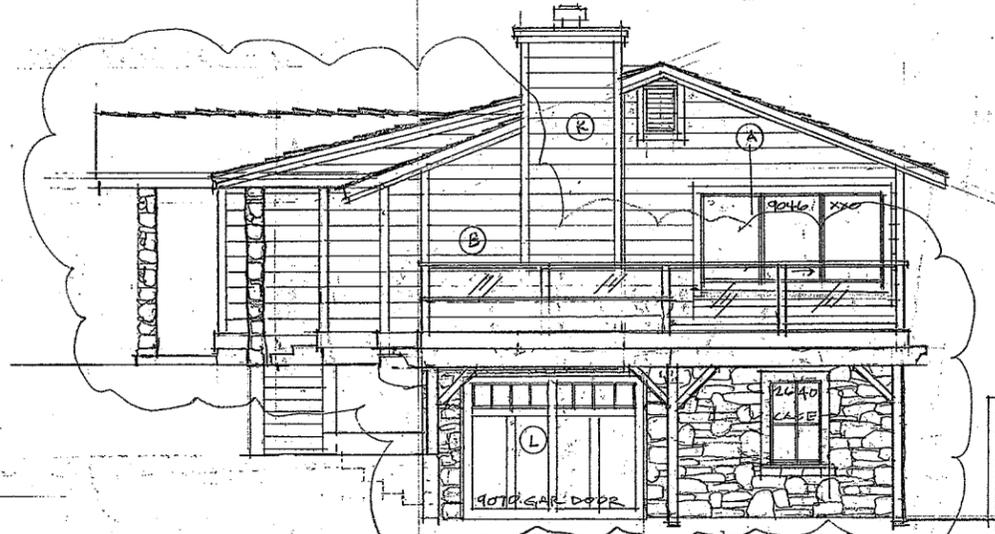


SOUTH ELEVATION

WEST ELEVATION



EAST ELEVATION



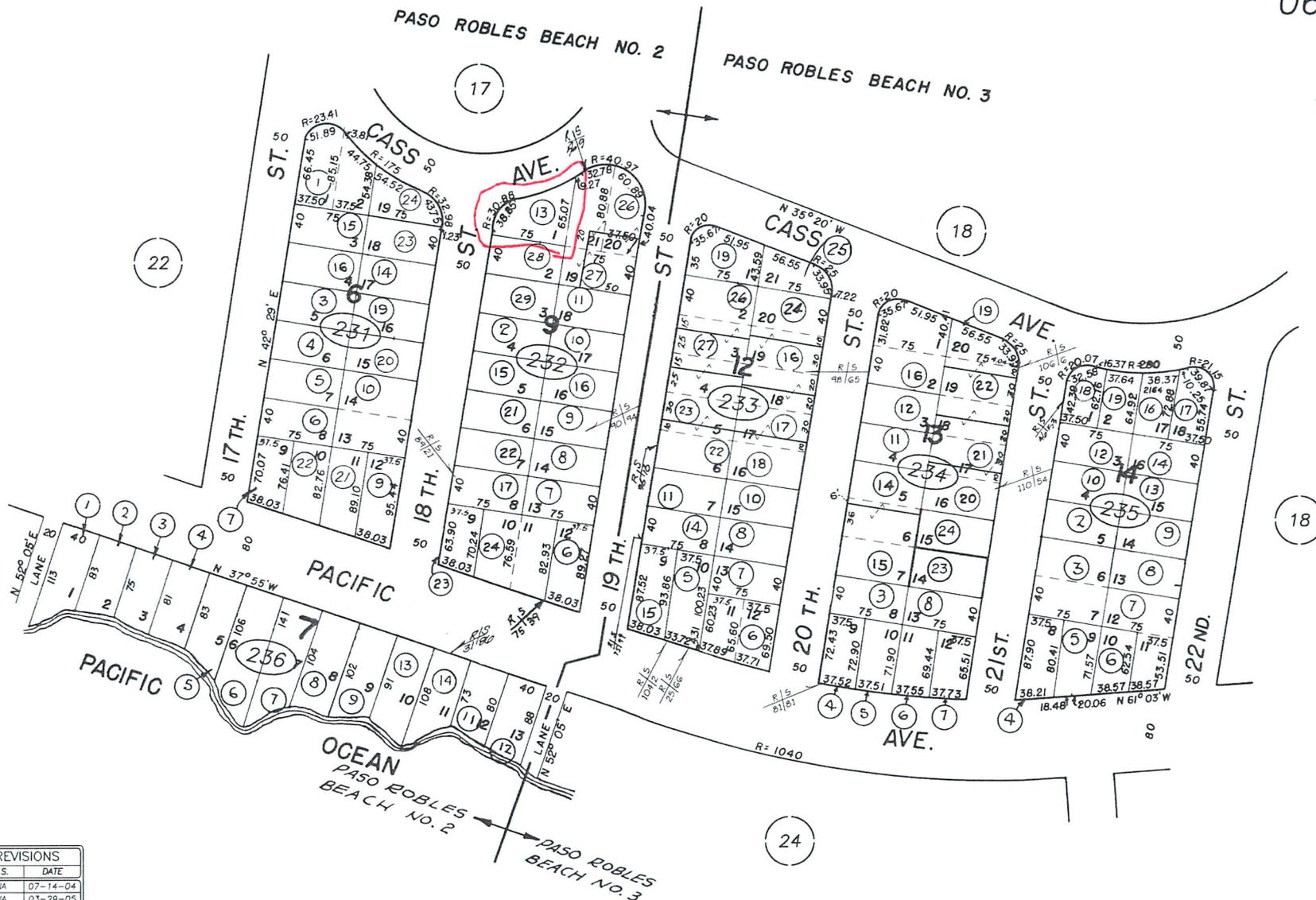
NORTH ELEVATION

DAVID M. BROWN
ARCHITECT
(909) 927-3376 FAX 927-4751
P.O. BOX 123 - CAMBERIA, CA 95428

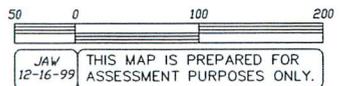


PROPOSED REMODEL & ADDITION FOR:
ENNS RESIDENCE
1802 CASS AVENUE
CAYUCOS, CALIFORNIA

DRAWN BY:
DAVID BROWN
CHECKED BY:
DATE:
3.24.15
SCALE:
JOB NUMBER:
ENNS-2
SHEET
A3
OF SHEETS



REVISIONS	
I.S.	DATE
NA	07-14-04
NA	03-29-05
09-169	09-30-08
NA	09-13-11



PASO ROBLES BEACH SUB. NO. 2, R.M. Bk. 3, Pg. 108.
 PASO ROBLES BEACH SUB. NO. 3, R.M. Bk. 3, Pg. 115.

CAYUCOS
 ASSESSOR'S MAP, COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 064 PAGE 23





Parcel Summary Report For Parcel # 064-232-013

8/12/2015
9:24:47AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN ENNS RICHARD
 23361 SULLIVAN RD BAKERSFIELD CA 93314-9566

OWN ENNS CAROL A

OWN ENNS ELNOR F

OWN ENNS PAUL I

OWN ENNS ROBERT B

OWN PYE TRUST

Address Information

<u>Status</u>	<u>Address</u>
P	01802 CASS AV CAYU

Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064232	013	0001	Cayucos	Estero Plannin	SSN			N		
PRBCH2	0009	0001	Cayucos	Estero Plannin	RSF	LCP	AS	Y		



Parcel Summary Report For Parcel # 064-232-013

8/12/2015
9:24:47AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Parcel Information

Status Description

Active PR BCH 2 BL 9 LT 1

Notes

Tax Districts

COAST (SB1537)

CAYUCOS

SAN LUIS OBISPO JT(27,40)

CAYUCOS-MORRO

CAYUCOS COUNTY

NO. 02

CAYUCOS

AREA NO. 10

AREA NO. 21

Case Information

Case Number:

Case Status:

DRC2015-00019

REC

Primary Parcel

Description:

APPROX 200 SQFT OF ADDITION AND APPROX 90 SQFT OF REMODELED INTERIOR +320 SQFT OF DECK AND 70 SQFT COVERED PORCH

PMT2014-01875

ISS

Primary Parcel

Description:

INTERIOR REMODEL - NEW STAIRWELL, MINOR PLUMBING, ELECTRICAL, FIREPLACE, WINDOWS, MINOR FRAMING AND FAU (730 SF REMODELED AREA) NOTE: 730 SF IS < 50% OF THE TOTAL RESIDENCE SQUARE FOOTAGE OF 1,772 SF, THEREFORE, FIRE SPRINKLERS ARE NOT REQUIRED.