



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

DATE: 8/6/2015

TO: \_\_\_\_\_

FROM: Megan Martin (805-781-4163 or mamartin@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00020 XMG HOLDINGS – Proposed minor use permit for a new single family residence to be used as a vacation rental. Site location is 2935 Avila Beach Dr, Avila Beach. APN: 076-196-010

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date

Name

Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00020

XMG HOLDINGS L

MINOR USE PERMIT

MINOR USE PERMIT FOR 3,033 SQFT  
SINGLE FAMILY HOME TO BE USED AS  
SLB/ AVLB

CAZ CSC LCP REC VSA

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Site Plan
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Curb, Gutter & Sidewalk Waiver

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name ANDREW GRAHAM (XMG HOLDINGS) Daytime Phone 805.704.7000  
 Mailing Address 25876 THE OLD RD. #72 STEVENSON'S RANCH Zip Code 91301  
 Email Address: XMGMANAGEMENT@GMAIL.COM

Applicant Name " Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

Agent Name BODY McLAUGHLIN Daytime Phone \_\_\_\_\_  
 Mailing Address 967 S. 16TH STE GROVE BEACH CT Zip Code 93423  
 Email Address: CMARCHITECT@LIVE.COM

## PROPERTY INFORMATION

Total Size of Site: 6000 SQ FT Assessor Parcel Number(s): 076-196-010

Legal Description: \_\_\_\_\_  
 Address of the project (if known): 2935 AVILA BEACH DR. AVILA BEACH CA 93424  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: AVILA BEACH DR.

Describe current uses, existing structures, and other improvements and vegetation on the property: \_\_\_\_\_

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): SINGLE FAMILY HOME TO BE USED AS A VACATION RENTAL

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 8/3/15

**FOR STAFF USE ONLY**

Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: \_\_\_\_\_

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RESIDENTIAL South: RESIDENTIAL  
East: RESIDENTIAL West: RESIDENTIAL

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2054 sq. feet 36 % Landscaping: 881 sq. feet 33 %

Paving: 6 sq. feet \_\_\_\_\_ % Other (specify): \_\_\_\_\_

Total area of all paving and structures: \_\_\_\_\_  sq. feet  acres

Total area of grading or removal of ground cover: \_\_\_\_\_  sq. feet  acres

Number of parking spaces proposed: 3 Height of tallest structure: 27 FT (FROM AVILA SOUTH DR)

Number of trees to be removed: \_\_\_\_\_ Type: \_\_\_\_\_

Setbacks: Front 25 FT Right 5 FT Left 5 FT Back 20 FT

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: AVILA CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: AVILA CSD

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: \_\_\_\_\_

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres

Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 4

Total floor area of all structures including upper stories, but not garages and carports: 3,033

Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer ALL of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: \_\_\_\_\_ acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: STREAM BY AVILA BEACH COUNTRY CLUB
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: ABANDONED IN FRONT OF THE PROPERTY
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: AVILA BEACH DR.

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? \_\_\_\_\_
4. How many service connections will be required? \_\_\_\_\_
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: \_\_\_\_\_ Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: \_\_\_\_\_
- 3. Where is the waste disposal storage in relation to buildings? \_\_\_\_\_
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
- 2. Location of nearest police station: PISMO BEACH
- 3. Location of nearest fire station: AVILA FIRE STATION #62
- 4. Location of nearest public transit stop: \_\_\_\_\_
- 5. Are services (grocery/other shopping) within walking distance of the project?  Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
RAIL ROAD
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?  Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?  Yes     No  
 If yes, please include two copies of the report with the application. MONITORING

**Commercial/Industrial Project Information**

**Only complete this section if you are proposing a commercial or industrial project or zoning change.**

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?  Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?  Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?  Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?  Yes     No    If yes, please attach a copy.

construction employees - no employees w/ residence.

- 9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 4 Between 4:00 to 6:00 p.m. 5
- 10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: CARPPOOLING
- 11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

- 1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
- 2. If yes, is the site currently under land conservation contract?  Yes  No
- 3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

- 1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): N/A
- 2. Will the development occur in phases?  Yes  No  
If yes describe: FOUNDATION, FRAMING, FINISH
- 3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
- 4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

- 1. Describe any special energy conservation measures or building materials that will be incorporated into your project\*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

- 1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

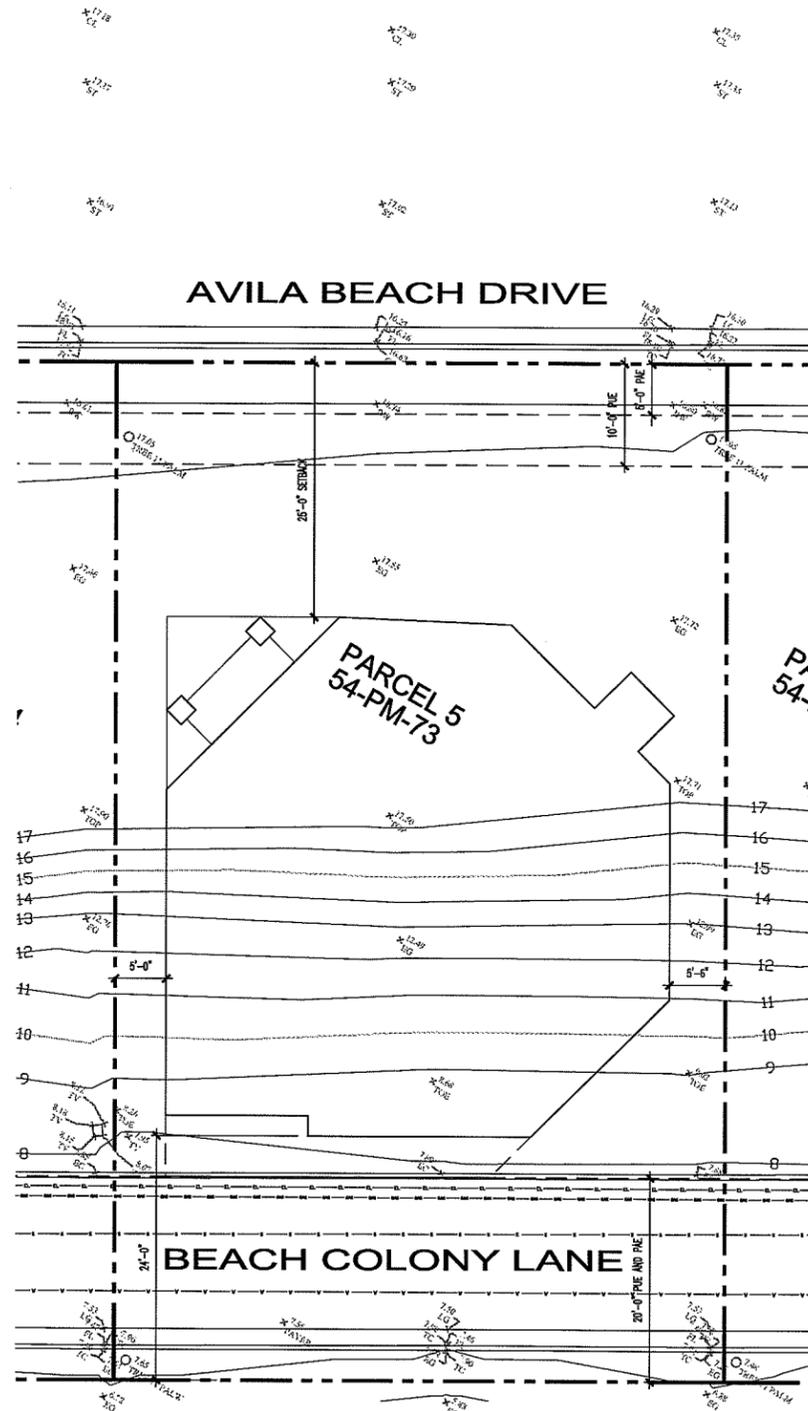
Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



Proposed Site Plan

**Property Owner/Applicant**

Owner: XMG Holdings LLC  
 24819 Los Altos Drive, Valencia, California 91355  
 (805) 704.7000

Architect: Cody McLaughlin  
 967 South 16th Street, Grover Beach, California 93433  
 (805) 704.1713

Engineer: Ashley & Vance Engineering  
 1413 Monterey St, San Luis Obispo, CA 93401  
 (805) 545-0010

**Project Description**

Proposed construction of a two story single family residence with roof deck.

APN: 076-196-010  
 Zoning: R-1  
 Lot Width: 60.00'  
 Lot Depth: 100.00'  
 Total Lot Area: 6,000 SF

This project shall comply with the 2013 editions of the California Residential Code (CRC) and/or California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), and the California Green Building Standards Code, California Energy Code (CEC), and all amendments to the CA codes adopted by the County of San Luis Obispo, and all other codes, regulations, and approvals established by the County of San Luis Obispo

Occupancy Group: R-3/U  
 Construction Type: SB  
 Sprinklered: YES  
 Roof Rating: CLASS A

**Setbacks**

Front: 25.00'  
 West side: 5.00'  
 East side: 5.00'  
 Rear: 20.00'

**Coverage**

Building Footprint:	2154 SF	36 %
Decks/Stairs >30":	252 SF	4 %
<b>Total Coverage:</b>	<b>2406 SF</b>	<b>40 %</b>
Finework:	419 SF	16 %
Landscaping:	881 SF	33 %
<b>Total:</b>	<b>2642 SF</b>	<b>100%</b>

**Floor Area**

Lower Floor: 1662 SF  
 Upper Floor: 1371 SF  
 Total: 3033 SF

Garage/Storage: 2227 SF  
 Lower Deck: 413 SF  
 Upper Deck: 431 SF  
 Roof Deck: 507 SF (25% of 2037 SF Roof Area = 509 SF)

**Parking**

Covered Spaces: 3  
 Uncovered Spaces: 0

**Utilities:**

Water	City of Pismo Beach	(Existing)
Sewer	City of Pismo Beach	(Existing)
Gas	Southern California Gas	(Existing)
Electricity	Pacific Gas & Electric	(Existing)
Cable	Charter Communications	(Existing)
Telephone	Pacific Bell	(Existing)

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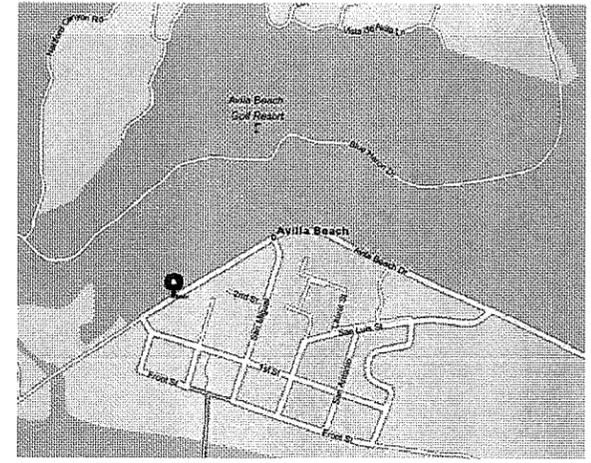
Project Data and Proposed Site Plan	A.0
Proposed Floor Plans	A.1
Proposed Floor and Roof Plans	A.2
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Proposed Elevations	A.4
Proposed Planting Plan	A.5

**General Notes**

- (THESE NOTES APPLY TO ALL PORTIONS, PHASES & SUBCONTRACTS OF THIS PROJECT)
- USE OF PLANS:** THESE PLANS ARE THE PROPERTY OF CODY McLAUGHLIN AND MAY NOT BE USED WITHOUT CODY McLAUGHLIN'S EXPRESS, WRITTEN CONSENT.
  - DIMENSIONS:** DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF STUD (F.O.S.). ALL DIMENSIONS SHALL BE FIELD VERIFIED BEFORE COMMENCING WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION IS FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM CODY McLAUGHLIN PRIOR TO PROCEEDING WITH ANY RELATED WORK.
  - SITE CONDITIONS:** ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS & THE EXISTING CONDITIONS) ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM CODY McLAUGHLIN PRIOR TO PROCEEDING WITH ANY RELATED WORK.
  - TEMPORARY FACILITIES:** CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEETS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK. OBTAIN BUILDING OFFICIAL OR FIRE MARSHAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
  - PROTECTION AND SAFETY:** CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACINGS, ANCHORAGE, FIRE EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY FOR LOCAL, STATE AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES, FIRES, SPLITS, ACCIDENTS, EROSION, MUD, DUST, ETC.). STAGING OF MATERIALS AND EQUIPMENT SHALL NOT OVERLOAD ANY EXISTING, NEW AND/OR TEMPORARY STRUCTURES ON THE BUILDING SITE.
  - CHANGES:** CHANGES TO APPROVED PLANS AND SPECIFICATIONS SHALL BE MADE ONLY IN WRITING AND SHALL BE APPROVED BY THE DESIGNER AND THE CITY. CONTRACTOR SHALL ASSUME RESPONSIBILITY AND COSTS FOR ALL CHANGES LATER IN THE PROJECT CAUSED BY THE ORIGINAL CHANGE.
  - SUBSTITUTIONS:** SUBSTITUTIONS REQUIRE OWNER AND DESIGNER'S APPROVAL. FAILURE TO GAIN APPROVAL IS SUFFICIENT GROUNDS FOR ORDERING REMOVAL OF PRODUCT AT CONTRACTOR'S EXPENSE.
  - ALL APPLIANCES, PLUMBING FIXTURES, CABINETS/SHULT-DNS, ACCESSORIES AND FINISHES LISTED ON THE DRAWINGS SHALL BE SPECIFIED BY THE OWNER OR OWNER'S REPRESENTATIVE, U.N.O.**
  - Prior to start of construction, the contractor shall schedule a preconstruction conference with all parties involved at the project site to review the special inspection requirements, procedures, and individual special inspectors that will be assigned to the project, as well as requirements for structural observation. Contractor shall contact the City of Pismo Beach Building Division to confirm an acceptable meeting date and time.
  - An automatic fire sprinkler system is required for all new dwellings. Sprinkler systems shall be designed and installed in accordance with CRC Sec. R313.3 or NFPA 13D. Provide plans, details, and calculations for proposed sprinkler system under a separate permit application. Deferred submittals are not allowed. The permit for the fire sprinkler system shall be issued concurrent with the building permit for the project. [§ R313.1.1, R313.2.1 CRC]
  - A licensed surveyor or engineer shall verify building orientation prior to foundation inspection. Submit documentation and obtain approval prior to submitting request for inspection.
  - A licensed surveyor or engineer shall verify pad elevations, finish floor elevation, and setbacks prior to foundation inspection, and roof elevations, prior to roof sheeting inspection. Submit documentation and obtain approval prior to submitting request for inspection.
  - Energy compliance forms CF-6R and CF-4R will be completed and submitted to the Building Inspector at time of Final Inspection.
  - At time of rough mechanical inspection, all duct and other related air distribution components shall be covered with tape, plastic, sheet metal or other acceptable method to reduce the amount of dust or debris that may collect in the system." [§ 4.504.1 CGBC]
  - All finish materials shall comply with material pollutant control requirements of Section 4.504 of the Green Building Standards Code. [§ 4.504.2 CGBC]
  - Contractor shall provide at least three random moisture readings performed at wall and floor framing in the presence of the building inspector prior to approval to enclose the wall and floor framing to verify a maximum of 19% moisture content. [§ 4.505.3 CGBC]
  - Addresses shall be plainly visible and legible from the street or road fronting the property. Address numbers shall be 4 inches in height, 1/2" minimum stroke width and of contrasting color to their background. Where address cannot be viewed from public way, a monument or pole shall be used.

Cody McLaughlin, Architect  
 103 Park Pl, Pismo Beach, California 93449  
 (805) 704.1713  
 cmmchitect@live.com

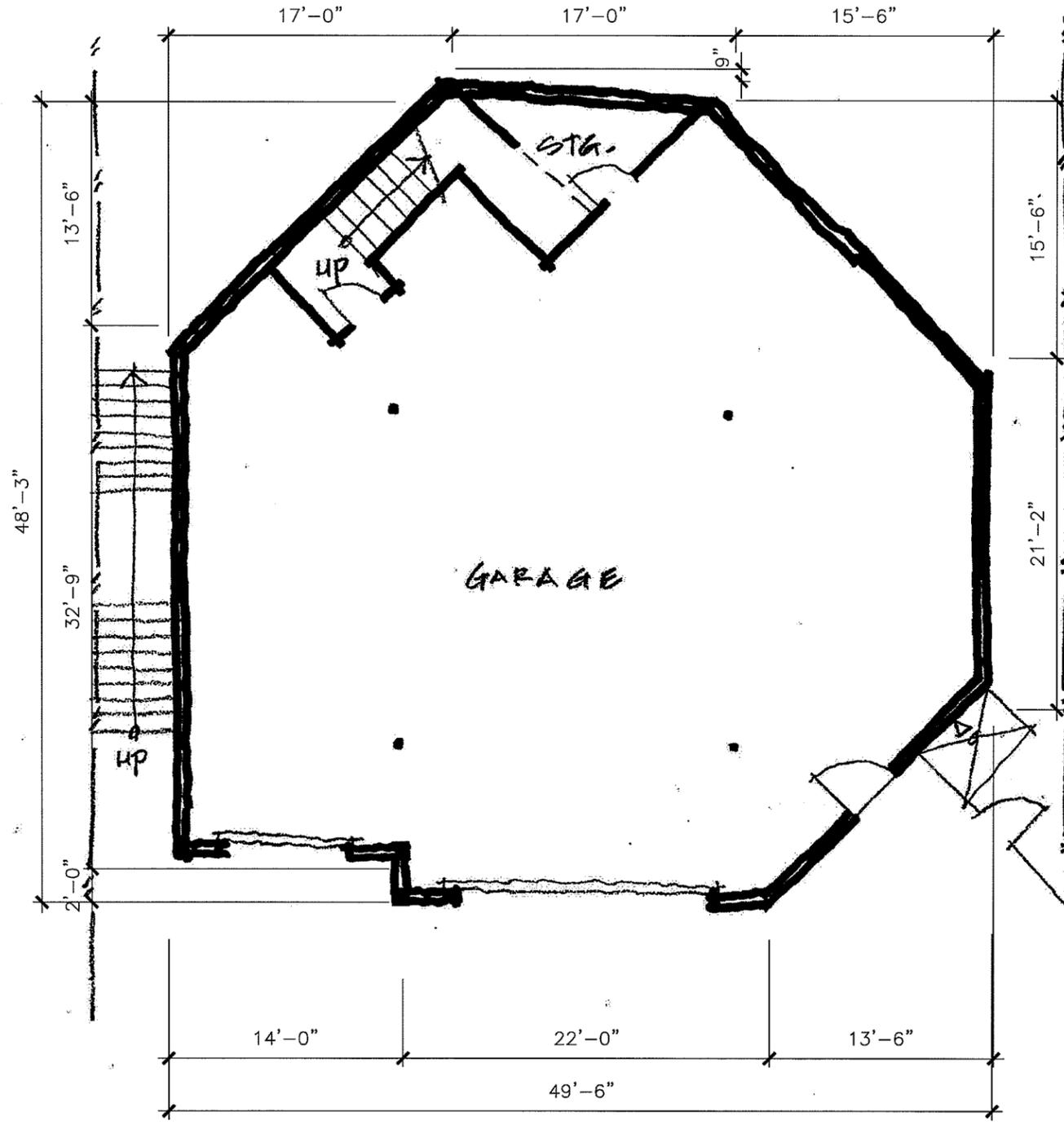
Project Data and Proposed Site Plan



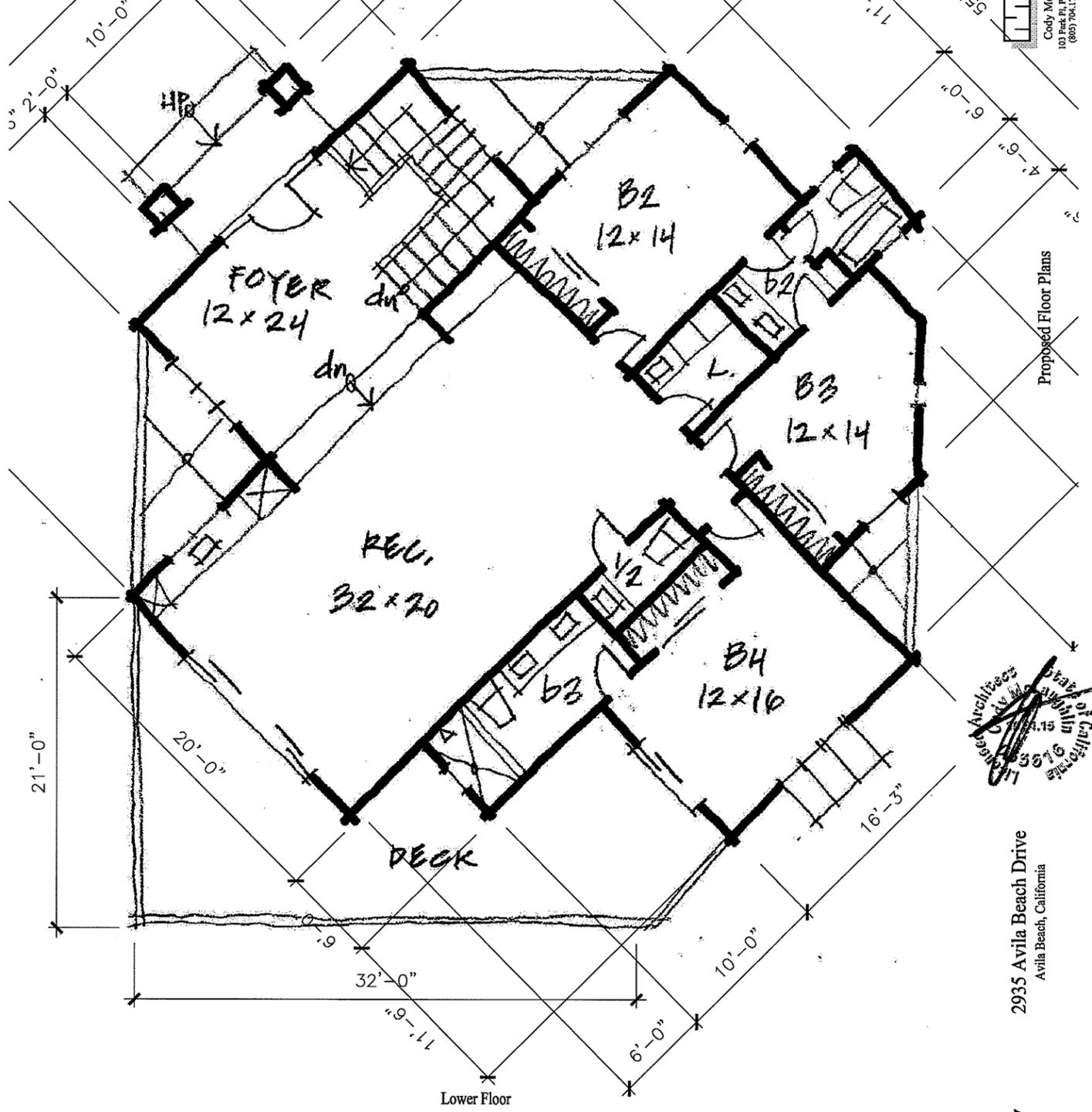
2935 Avila Beach Drive  
 Avila Beach, California



**A.0**  
 Scale: 1"=8'  
 29 July 2015



Garage Floor



Lower Floor

Cody McLaughlin, Architect  
 103 Park St, Miramonte, California 91349  
 (805) 704-1713 cma@live.com

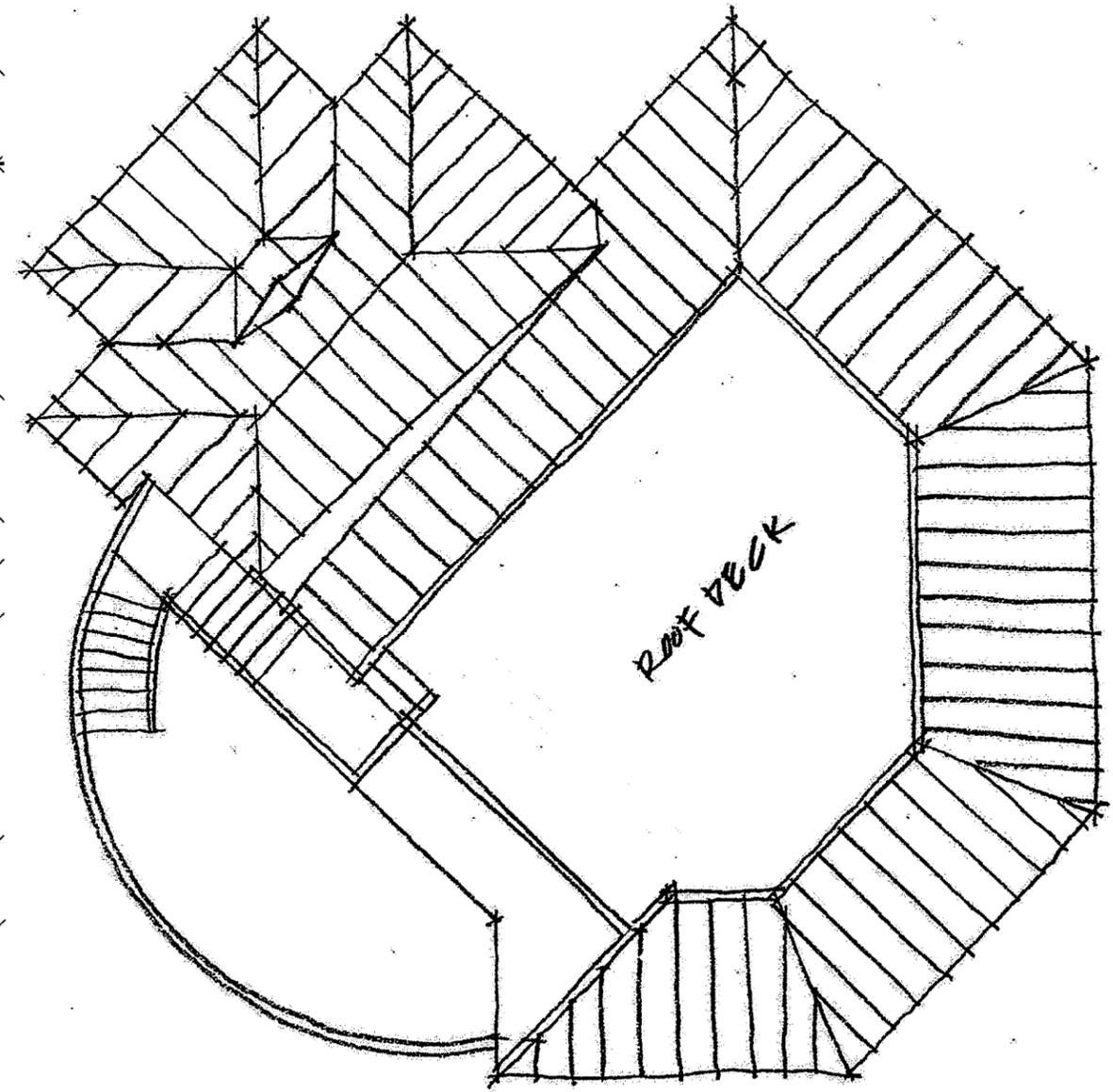
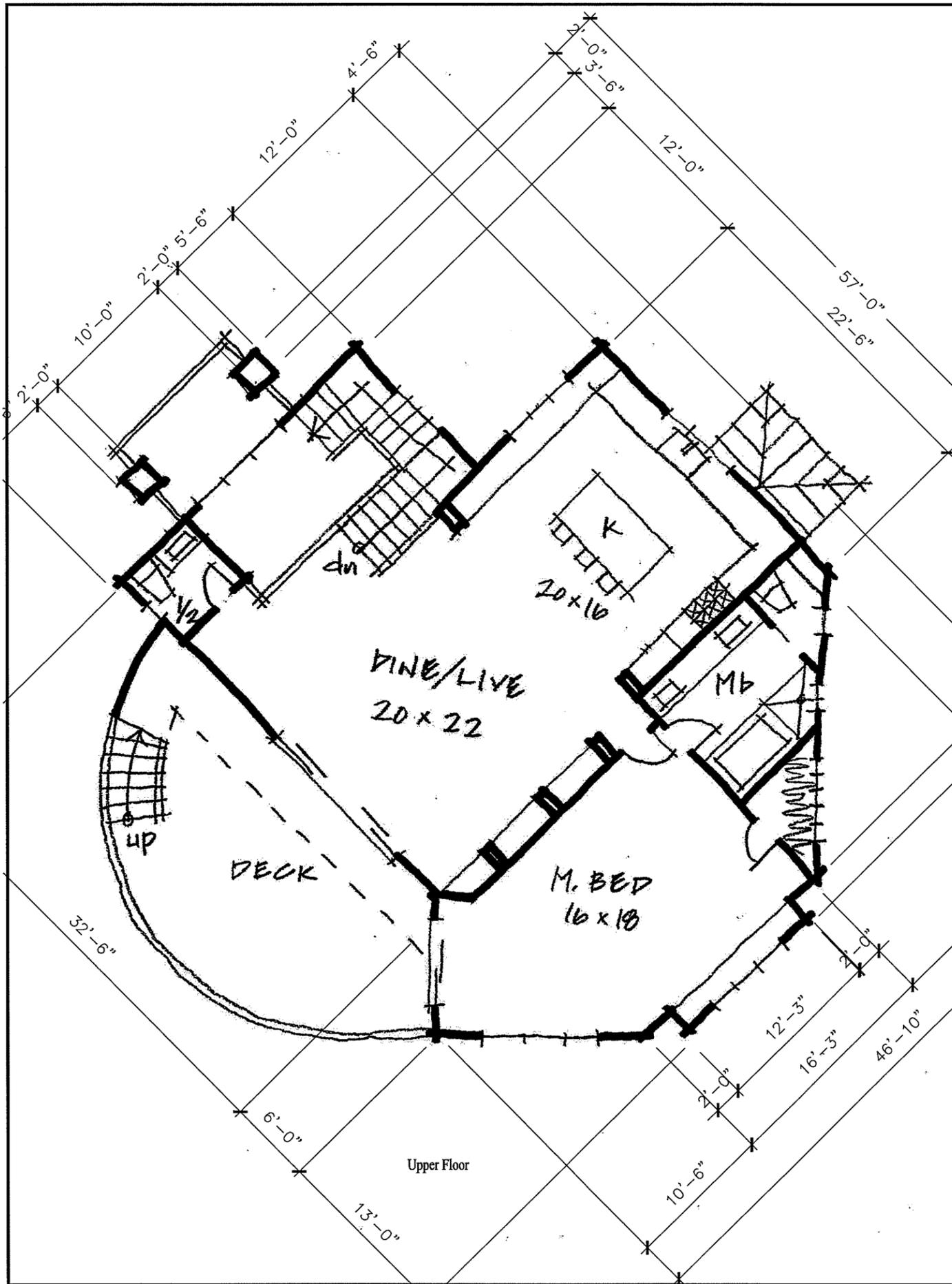
Proposed Floor Plans

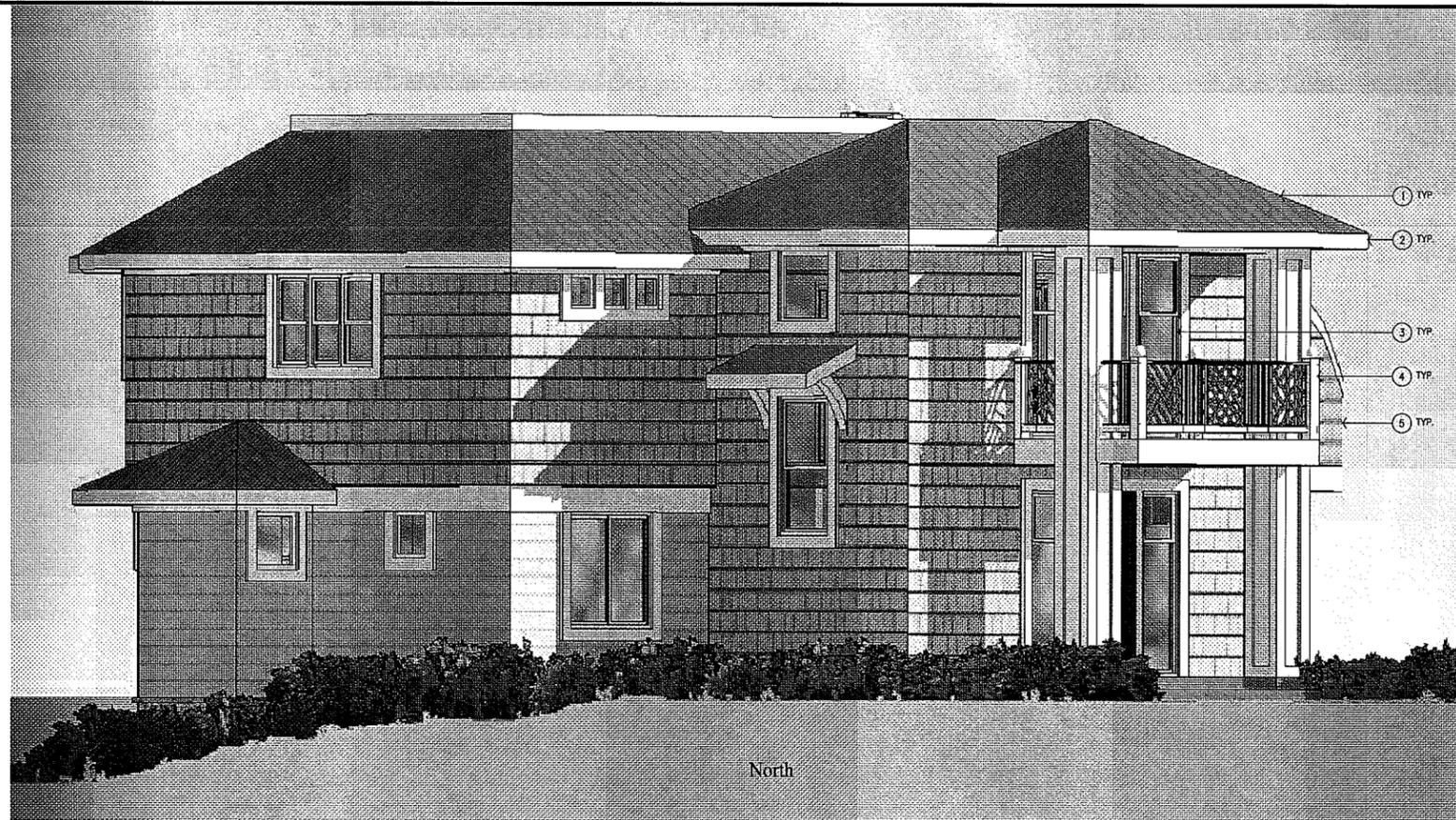


2935 Avila Beach Drive  
 Avila Beach, California

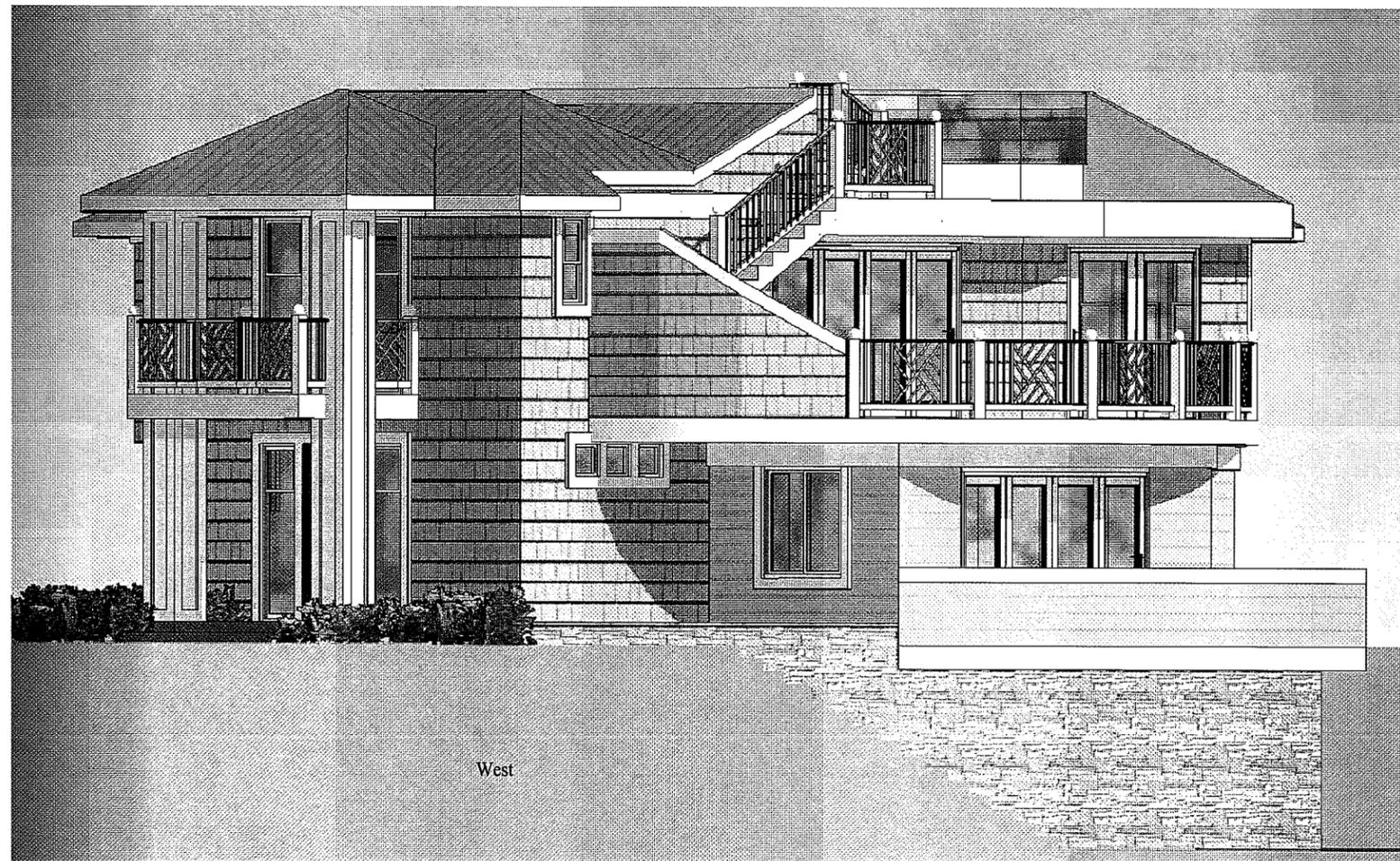


A.1  
 Scale: 1" = 8'  
 29 July 2015





North



West

**ELEVATION KEYNOTES**

• KEYNOTES ONLY APPLY IF REFERENCED ON PLANS

GENERAL  
 A. SEE MATERIAL BOARD FOR ADDITIONAL INFORMATION AND REQUIREMENTS.  
 B. USE APPROVED FIRESTOPPS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

EXTERIOR SKIN

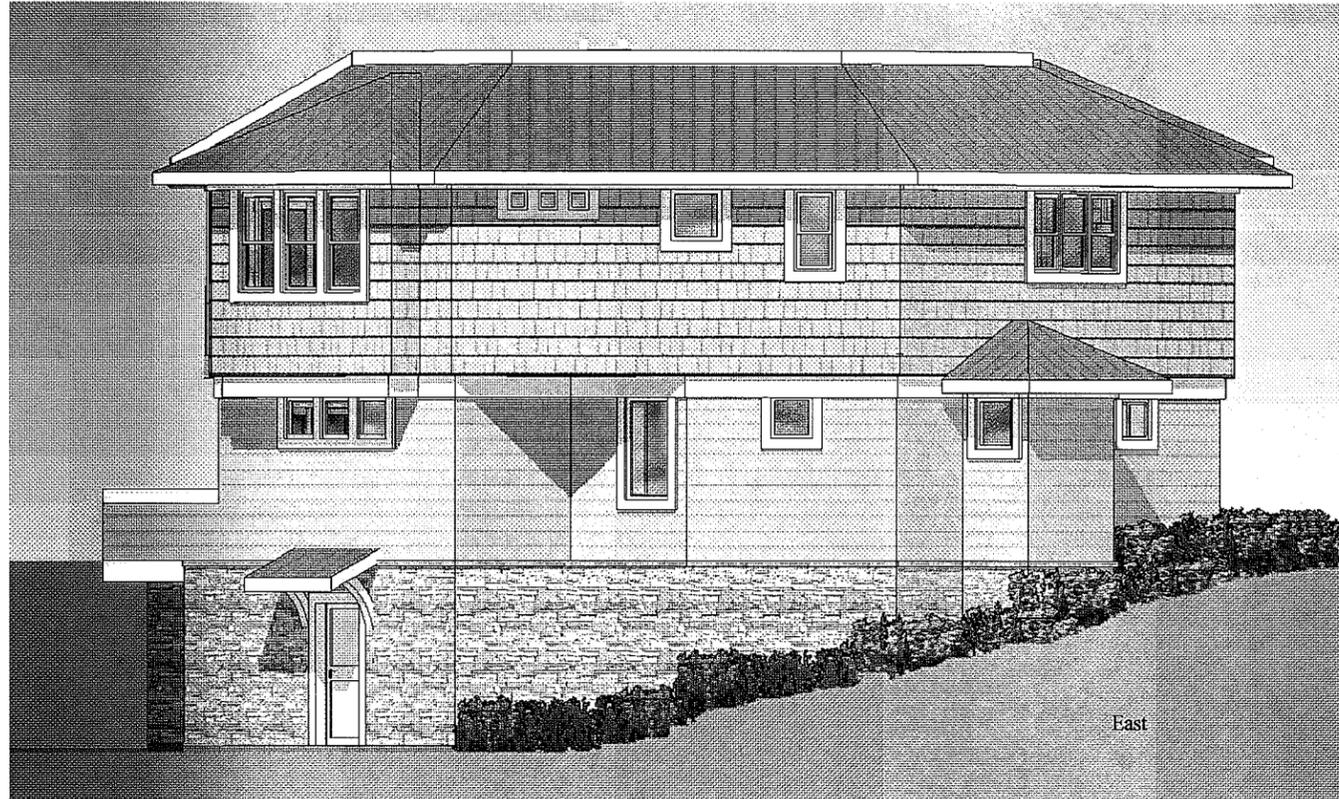
- ① METAL STANDING SEAM ROOFING - CHARCOAL
- ② TRIM/GUTTERS - WHITE
- ③ VINYL SLIDING DOORS/WINDOWS - WHITE
- ④ VINYL CHIPPENDALE RAILING - WHITE
- ⑤ HARDIE SIDING/DOWNSPOUTS - LIGHT GREY

Cody McLaughlin, Architect  
 103 Park St, Irvine Beach, California 92409  
 (949) 704.1713 cmaarchitect@live.com

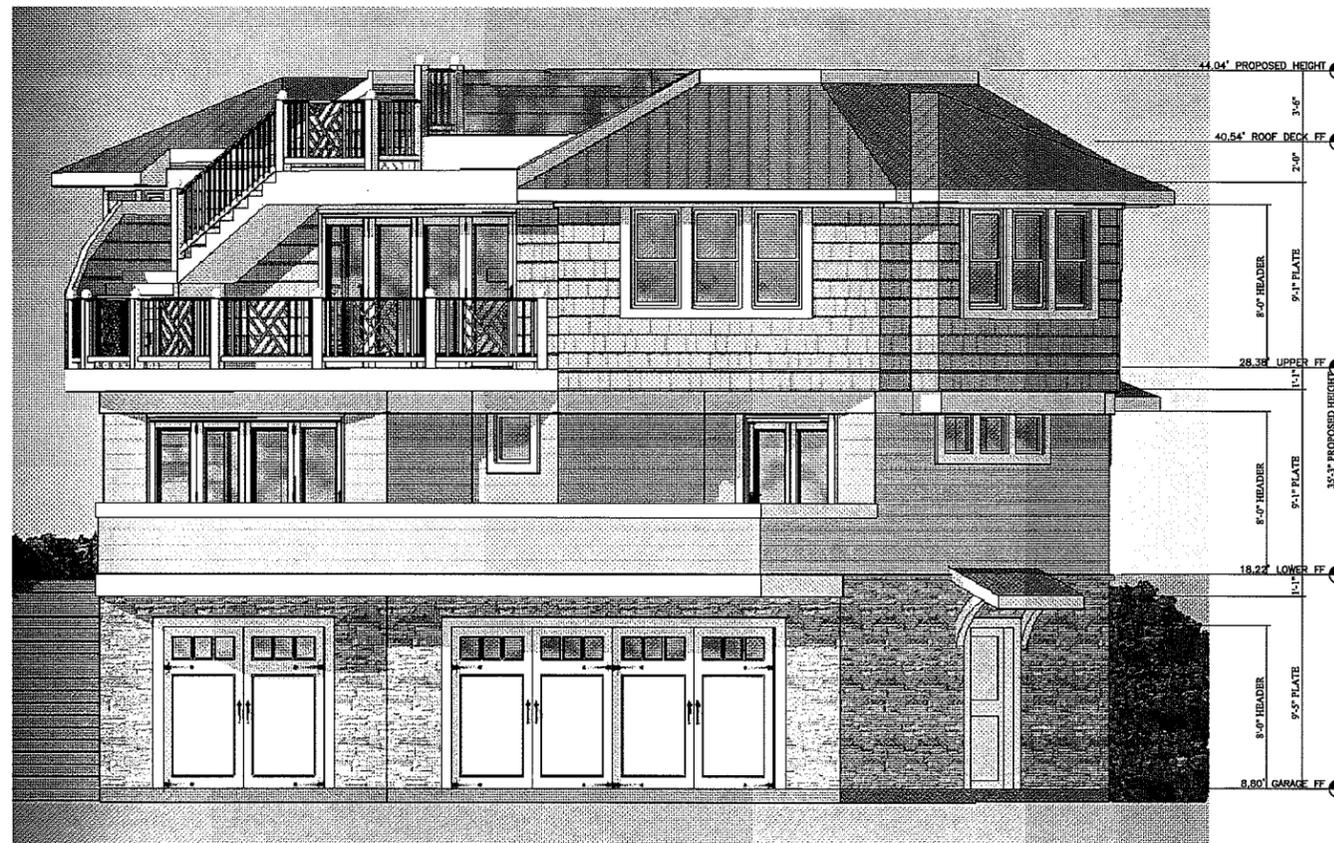
Elevations



2935 Avila Beach Drive  
 Avila Beach, California



East



South

**MAX. HEIGHT CALC.**

MAXIMUM ALLOWABLE HEIGHT PER COUNTY STANDARDS 27.00' ABOVE HIGHEST POINT OF LOT = 17.71'

MAXIMUM ALLOWABLE HEIGHT = +27.00' 44.71'

GARAGE FINISH FLOOR	8.80'
PLATE HEIGHT	9.42'
LOWER FINISHED FLOOR	1.08'
PLATE HEIGHT	9.08'
UPPER FINISHED FLOOR	1.08'
PLATE HEIGHT	9.08'
ROOF DECK FINISHED FLOOR	2.00'
ROOF DECK RAILING	3.50'
<b>PROPOSED HEIGHT + RAILING =</b>	<b>44.04'</b>

Cody McLaughlin, Architect  
 103 Park Pl., Pismo Beach, California 93449  
 (805) 764-1713 cmaarchitect@live.com

Elevations



2935 Avila Beach Drive  
 Avila Beach, California

# AVILA BEACH DRIVE

3' fence (match open railing)

(E) Palm

(E) Palm

Flagstone

17  
16  
15  
14  
13  
12  
11  
10  
9  
8

17  
16  
15  
14  
13  
12  
11  
10  
9  
8

# BEACH COLONY LANE

(E) Palm

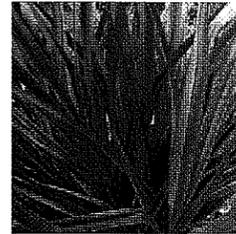
(E) Palm



red leafed banana - 15 gal



phormium 'maori queen' - 5 gal



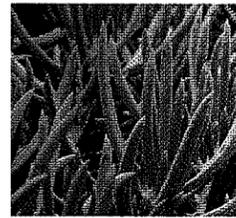
phormium 'margaret jones' - 5 gal



phormium 'yellow wave' - 5 gal



dianella 'silver streak' - 1 gal



senecio 'blue chopsticks' - 1 gal

Cody McLaughlin, Architect  
103 Park Pl, Pismo Beach, California 93449  
(805) 764-1713 cma@live.com

Planting Plan



2935 Avila Beach Drive  
Avila Beach, California

A.5  
Scale: 1"=4'  
23 May 2015

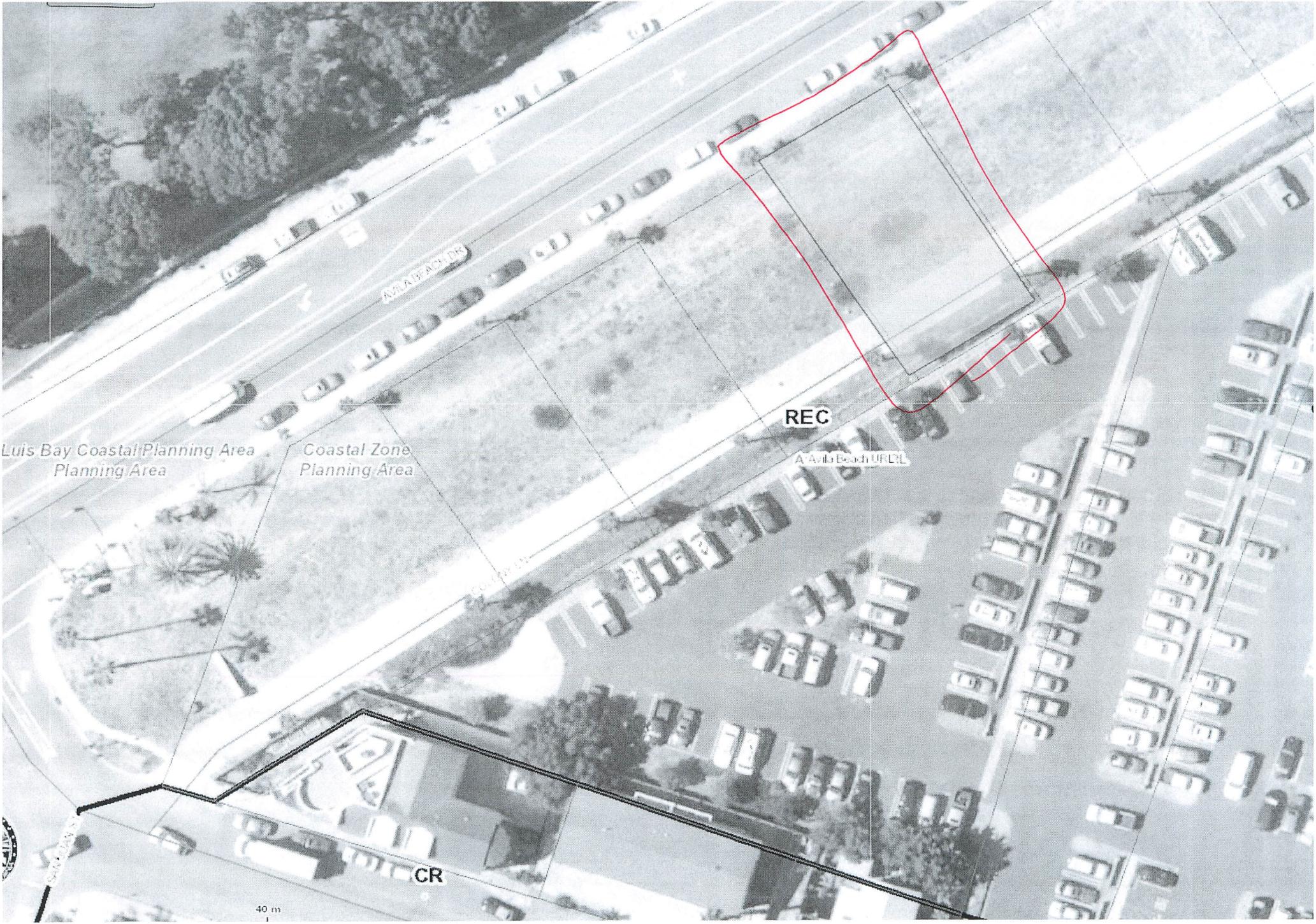
076-19



REVISIONS	
I.S.	DATE
NA	07-20-05
07-195	10-10-06

50' 0 100' 200'

ER 09-27-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Luis Bay Coastal Planning Area  
Planning Area

Coastal Zone  
Planning Area

REC

A Avila Beach UFDL

CR

40 m



# Parcel Summary Report For Parcel # 076-196-010

8/3/2015  
3:54:41PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    XMG HOLDINGS LLC  
          24819 LOS ALTOS DR VALENCIA CA 91355-  
OWN    XMG HOLDINGS LLC A CA LLC

### Address Information

Status            Address  
P                    02935 AVILA BEACH DR AVLB

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
076196	010	0001	Avila Beach	San Luis Bay F VSA	CSC			N		
COAL96-	112	0005	Avila Beach	San Luis Bay F REC	LCP	CAZ		Y	SC / BF	

### Parcel Information

Status    Description  
Active    PM 54-73 PAR 5

### Notes

### Tax Districts

SAN LUIS COASTAL  
SAN LUIS OBISPO JT(27,40)  
COUNTY-ZONE NO. 03  
COUNTY-ZONE NO. 09  
AVILA BEACH  
SAN LUIS  
NO. 03



# Parcel Summary Report For Parcel # 076-196-010

8/3/2015  
3:54:41PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AREA NO. 21

AVILA BEACH, IMP. NO. 01

### Case Information

**Case Number:**

**Case Status:**

DRC2015-00020      REC      Primary Parcel

**Description:**

MINOR USE PERMIT FOR 3,033 SQFT SINGLE FAMILY HOME TO BE USED AS VACATION RENTAL

PMT2002-11054      EXP      Primary Parcel

**Description:**

SFD W/ATT GARAGE/LOT 5, UNIT A 312-19172

PMT2002-11057      EXP      Primary Parcel

**Description:**

SFD W/ATT GARAGE/LOT 5/UNIT B 312-19172

PRE2015-00001      MET      Primary Parcel

**Description:**

3100 SFR WITH ROOF DECK

A9050      FNL      Related Parcel

**Description:**

FORMER LYON/TOGNAZINNI SITE EXCAVATE AFFECTED SOIL & BACKFILL WITH CLEAN

D000425D      APV      Related Parcel

**Description:**

24 HOMES

D950168P      WIT      Related Parcel

**Description:**

TAKEN IN ERROR SHOULD BE LOT LINE ADJ

G850028N      WIT      Related Parcel

**Description:**

LU DELETE RAIL ROAD ROW STANDARD

P960213Z      WIT      Related Parcel

**Description:**

ENTERED IN ERROR

PMT2002-29458      FNL      Related Parcel

**Description:**



# Parcel Summary Report For Parcel # 076-196-010

8/3/2015  
3:54:41PM

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3RD SCOPE OF WORK PROPOSED IS TO DO MINIMAL GRAD'G & CONSTRUCT AN AC ACCESS DRIVE & UTILITIES ONLY SERVING 14 LOTS. NO PAD CERTIFICATION OR PAD GRADING IS PROPOSED. OFF-SITE IMPROVEMENTS ARE TO BE APPROVED BY PW (IE..CURB,GUTTER,SIDEWALK,PAVING)/ JOHN EVANS,RCE - CANNON /GEO SOLUTIONS-J.OTTO,RCE /HAS RECORDED ACCESS EASEMENT. NEED UTILITY EASEMENT. HAS SWPPP/WCID #340C324289. PLANS REVIEWED BY GLEN MARSHAL AT PW ON BEHALF OF BUILDING.

PMT2003-02025      WIT      Related Parcel

**Description:**

GRADING MAJOR JOHN EVANS,RCE-CANNON/GEO SOLUTIONS-J.OTTO,RCE/ NEEDS SWPPP ADDRESS DRAINAGE, HAZARDOUS WASTE, & SEDIMENTATION CONTROL. (SEE PMT2002-29458) - PMT VOIDED

S000328L      WIT      Related Parcel

**Description:**

LOT LINE ADJUSTMENT

S950124C      RDD      Related Parcel

**Description:**

PROP 14 CERT OF COMP

S960044L      RDD      Related Parcel

**Description:**

LOT LINE ADJUSTMENT - 14 PARCELS REQUESTED

SUB2004-00132      APV      Related Parcel

**Description:**

ROAD NAME FOR ACCESS EASEMENT-COLONY LANE