



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 8/13/2015

TO: _____

FROM: Schani Siong (805-781-4374 or ssiong@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00026 CHOBOIAN – Proposed minor use permit for a second-floor bed/bath addition of 521 sf, plus deck of 157 sf, to an existing single family residence. Site location is 28 21st St, Cayucos. APN: 064-235-002

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00026

CHOBOIAN MITC

MINOR USE PERMIT

SECOND STORY ADDITION OF 521 SQFT TO SFR

EST/ CAYU

AS LCP RSF SSN

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name MITCH CHOBOIAN Daytime Phone (559) 280-5568
Mailing Address 2110 N. M. STREET Zip Code 93274
Email Address: _____

Applicant Name _____ Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name NELSON R. BERNAL Daytime Phone 237-3746
Mailing Address 2121 PINE ST. A. Zip Code 93440
Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 3,000 SF Assessor Parcel Number(s): 064-235-002
Legal Description: LOT 8, BLOCK 14
Address of the project (if known): 28 21ST STREET, CAYUCOS
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: _____

Describe current uses, existing structures, and other improvements and vegetation on the property:

EXISTING SFD

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): ADD A SECONDY STORY ADDITION OF 521 SF.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 7/25/15

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NONE

Describe existing and future access to the proposed project site: EXISTING A.C. DRIVEWAY

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: SFR

South: SFR

East: SFR

West: SFR

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1552 sq. feet 46 %

Landscaping: 100 sq. feet 3 %

Paving: 400 sq. feet 5.1 %

Other (specify) _____

Total area of all paving and structures: 1952 sq. feet acres

Total area of grading or removal of ground cover: _____ sq. feet acres

Number of parking spaces proposed: 2 Height of tallest structure: 21'-6"

Number of trees to be removed: N/A Type: _____

Setbacks: Front 11'-6" Right 3' Left 3' Back 13'-6"

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAYUCOS

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 1671

Total of area of the lot(s) minus building footprint and parking spaces: 1048

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 3,000 SF acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: PACIFIC AVE.

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? MINIMAL
4. How many service connections will be required? NONE - EXISTING
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach. _____
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: 15 Location of connection: STREET
2. What is the amount of proposed flow? MINIMAL G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: CAYUCOS
3. Where is the waste disposal storage in relation to buildings? SIDE YARD
4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

1. Name of School District: CAYUCOS
2. Location of nearest police station: 3 MILES
3. Location of nearest fire station: 3 MILES
4. Location of nearest public transit stop: 15 MILES
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? 1 feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
NONE
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: _____ Hours of Operation: _____
2. How many people will this project employ? _____
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: _____
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: BEES

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

NONE

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

GENERAL NOTES:

- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE MADE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PROCEDURES OR AS SPECIFIED HEREIN OR AS PER THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE.
- NRB ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL. THE OWNER IS ADVISED THAT THESE DRAWINGS AND ASSOCIATED CONSTRUCTION DOCUMENTS ARE THE ONLY MEDIUM AVAILABLE TO EXPRESS THE INTENT OF NRB AND CANNOT BE ASSUMED ALL-INCLUSIVE WITH REGARD TO SUCH. IN ALL CASES, NOTED DIMENSIONS SHALL SUPERSEDE SCALED DIMENSIONS.
- CONSTRUCTION METHODS SHALL COMPLY WITH MATERIAL POLLUTION CONTROL MEASURES.
- 'OPERATION AND MAINTENANCE' MANUAL SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEM LISTED IN G685C, (PROVIDE COPY OR TEMPLATE OF MANUAL).
- THE PERMIT VALUATION FOR THE PROPOSED REMODEL WILL BE OVER \$10,000. THEREFORE, THE SLO COUNTY GREEN BUILDING ORDINANCE, THE OWNER IS REQUIRED TO HIRE A CERTIFIED HOME ENERGY RATING SYSTEM RATER TO PERFORM A HOME ENERGY RATING PRIOR TO CONSTRUCTION COMPLETION.

UTILITY NOTES:

- PROVIDE WATER PRESSURE REGULATOR FOR NEW CONSTRUCTION.
- THE MINIMUM SIZE FOR RISERS SHALL BE 1" IN DIAMETER. MATERIALS TO BE USED MAY BE SCHEDULE 80 PVC OR TYPE L COPPER PIPE.
- PROVIDE NEW SEWER LATERAL WITH CLEANOUT 2 FEET MIN. FROM BUILDING.
- HOSE BIBS AND SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.
- WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 PSI OR LESS. PRESSURE REGULATOR IS REQUIRED.
- WHERE APPLICABLE, PROVIDE BACK WATER VALVE ON THE SEWER LATERAL WHEN THE PROPOSED BUILDING FIXTURES HAVE FLOOD RISKS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER.
- IF DRAIN LINES WITHIN THE BUILDING ARE LOWER THAN THE SEWER MAIN, AN EJECTOR PUMP MAY BE REQUIRED.
- MINIMUM SIZE FOR SERVICE RISERS FOR STRUCTURES SHALL BE 1" DIA. MATERIALS SHALL BE SCHEDULE 80 PVC OR TYPE "L" COPPER, MIN.

GENERAL GRADING PLAN NOTES:

- ALL CONSTRUCTION WORK SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH THE C.B.C. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY BUILDING DEPT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED AND ARRANGEMENT FOR INSPECTION.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE COUNTY RIGHT OF WAY.
- A SOILS ENGINEER SHALL SUPERVISE THE GRADING AND CERTIFY THAT ALL GRADING HAS BEEN COMPLETED IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS, OF THE C.B.C. AND RECOMMENDATIONS OF PRELIMINARY SOILS REPORT.
- ESTIMATED EARTH QUANTITIES: CUT: NONE
FILL: NONE
NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUBGRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF AND SHALL BID ACCORDINGLY.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL TOP SOIL SHALL BE STOCKPILED FOR LATER DISTRIBUTION OVER THE LOTS AND SLOPES. ALL CUT AND FILL SLOPES ARE TO BE PLANTED OR HYDROSEEDED AFTER COMPACTION TO PREVENT EROSION.
- ALL ROUGH GRADING SHALL BE COMPLETED AND APPROVED BY THE CITY BUILDING DEPT PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- ANY OAK TREES ON SITE SHALL BE PROTECTED DURING CONSTRUCTION. IF THE DEVELOPER PROPOSES TO REMOVE AN OAK, AN APPLICATION SHALL BE FILED WITH THE COUNTY OF SAN LUIS OBISPO FOR APPROVAL.
- ALL CONTRACTORS AND SUB-CONTRACTORS WORKING WITH THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTORS LICENSE, A LOCAL BUSINESS LICENSE, AND SHALL OBTAIN AN ENCROACHMENT PERMIT.
- SLOPES OF ALL CUT SURFACES TO BE NO LESS THAN 2 HORIZ. TO 1 VERT. ALL FILL SURFACES SHALL NOT EXCEED 3:1 SLOPE. ALL FILL SHALL HAVE 50% COMPACTION.
- ANY GRADING DONE DURING THE RAINY SEASON OF OCT. 15 THRU APRIL 15 IS SUBJECT TO EROSION CONTROL MEASURES.

IRRIGATION NOTES:

- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CALIFORNIA GREEN BUILDING STANDARDS.
- CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

PROJECT STATISTICS

SITE SUMMARY

SITE AREA: 3,000 SQ. FT.

EXISTING GSA: 1,345 SQ. FT. PROPOSED: 1,916 SQ. FT.

EXISTING LOT COVERAGE: 46.56% (FOOTPRINT=1,474 SQ. FT.)
PROPOSED ADDITION: (521 SQ. FT.)

MAXIMUM LOT COVERAGE: 50% MAXIMUM LOT COVERAGE BASED ON GROSS LOT AREA

ACTUAL BLDG COVERAGE: 46.56% FOOTPRINT COVERAGE

ACTUAL LANDSCAPE COVERAGE: 49.5% LANDSCAPE COVERAGE

ACTUAL HARDSCAPE COVERAGE: 6% HARDSCAPE COVERAGE

BUILDING SUMMARY

USE: SINGLE FAMILY RESIDENCE

OCCUPANCY: R-3/U

CONSTRUCTION: TYPE VB, NON-SPRINKLERED

NUMBER OF STORIES: TWO, BUILDING HEIGHT FROM AVERAGE NATURAL GRADE: 21'-6"

BUILDING AREA: SFD FLOOR AREA: 1671 SQ. FT.
SFD GARAGE: 245 SQ. FT.
SFD DECK: 157 SQ. FT.

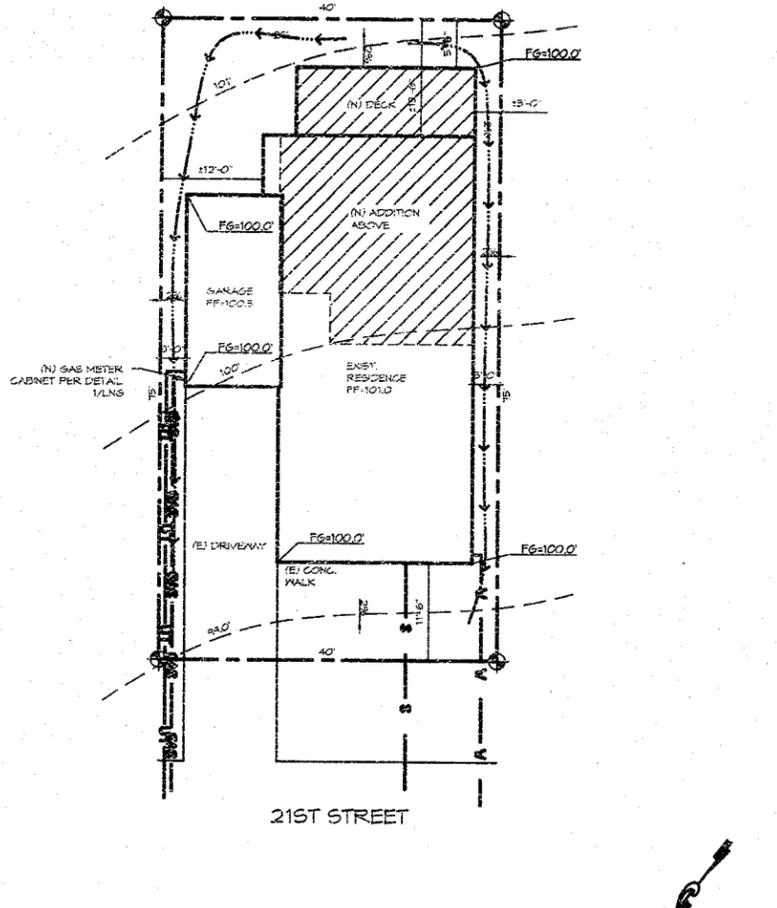
TOTAL BUILDING FOOTPRINT: 1852 SQ. FT.

PLUMBING NOTES:

- ALL COPPER TUBING SHALL BE TYPE "L", NO TYPE "M" COPPER IS PERMITTED WITHIN THE BUILDING.
- GAS VENTS AND NON-COMBUSTIBLE PIPING IN WALLS PASSING THROUGH THESE FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR TO CEILING.
- WATER HEATER IS TO BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FEET AND NOT LESS THAN 6" ABOVE GRADE, POINTING DOWN.
- TOILETS SHALL HAVE A MAXIMUM OF 1.60 GALLONS PER FLUSH AS REQUIRED BY SPECIAL PLANNED DEVELOPMENT. SHOWER HEADS SHALL NOT EXCEED 2.5 GALLONS AT 80 PSI AND LAVATORY AND OTHER SINKS SHALL NOT EXCEED 2.2 GALLONS PER MINUTE AT 80 PSI. WATER HEATER SHALL BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES. PROVIDE STRAPPING AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF 4 INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. CPC
- ALL OVERHEAD POTABLE WATER PIPING, AND ANY BRANCH FEED PIPES LOCATED IN OUTSIDE WALLS SHALL BE CONSTRUCTED OF TYPE "L", RIGID COPPER.
- OVERHEAD POTABLE WATER PIPING LOCATED IN ATTIC SPACES, IN UNDERFLOOR AREAS, AND IN EXTERIOR WALLS SHALL BE COVERED WITH INSULATION PROVIDING A MINIMUM RESISTANCE FACTOR OF R-5 OR GREATER. THE R-3 PIPE INSULATION REQUIRED BY THE CAL ENERGY STANDARDS.
- WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 PSI OR LESS, INSTALL PRESSURE REGULATOR AS REQUIRED. CPC
- HOSE BIBS AND LAWN SPRINKLERS SHALL HAVE AN APPROVED BACKFLOW PREVENTION DEVICE. CPC
- GAS PIPE MAY BE INSTALLED IN OR ON THE GROUND IN BUILDINGS ONLY IF IT IS IN A SEALED CONDUIT. THE SEALED CONDUIT MUST CONSIST OF PIPE APPROVED FOR UNDERGROUND USE WITH WALL THICKNESS OF NOT LESS THAN SCHEDULE 40. THE CONDUIT MUST HAVE A 1/2" LARGER INSIDE DIAMETER THAN THE GAS PIPE OUTSIDE DIAMETER. THE CONDUIT MUST BE SEALED AROUND THE PIPE IN THE BUILDING AND MUST EXTEND TO THE OUTSIDE OF THE BUILDING AND MUST BE SEALED AROUND THE PIPE OUTSIDE OF THE BUILDING.
- UNDERGROUND METAL PIPE MUST BE ELECTRICALLY ISOLATED FROM INTERIOR GAS PIPE BY AN APPROVED ISOLATION FITTING INSTALLED AT LEAST 6" ABOVE GRADE.
- EQUIPMENT WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL. (CMC, CPC)
- NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE KEPT AT LEAST 6" ABOVE GRADE OR STRUCTURE.
- CPCV WATER PIPE IS NOT ALLOWED WITHIN ANY STRUCTURE.
- PROVIDE A PERMANENTLY ACCESSIBLE 12-INCH SQUARE BATHTUB TRAP ACCESS OR USE NON-SLIP JOINT TRAP.
- FIREPLACE GAS KEY MUST BE LOCATED OUTSIDE THE REQUIRED HEARTH AREA IN THE SAME ROOM AS THE FIREPLACE, AND WITHIN 4 FEET OF THE FIREBOX OPENING.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

ENERGY RATING

ED THE PROPOSED CONSTRUCTION PERMIT VALUATION FOR THIS PROJECT WILL EXCEED \$10,000, THEREFORE THE OWNER/CONTRACTOR SHALL HIRE A CERTIFIED HOME ENERGY RATER SYSTEM RATER TO PERFORM A HOME ENERGY RATING PRIOR TO FINAL INSPECTION.



SITE PLAN 1" = 10'-0"

DESIGNER NOTE

PLANS PREPARED BY:

NRB DRAFTING, INC.
2121 PINE STREET, SUITE A
PASO ROBLES, CA 93446
PH (805) 297-3746 FX (805) 297-1968

NRB DRAFTING, INC. TAKES NO LIABILITY FOR INFORMATION PROVIDED BY THE OWNER IN THE PREPARATION OF THESE CONSTRUCTION DRAWINGS. THE OWNER HAS APPROVED THIS SET OF PLANS AND AGREED THAT THIS STRUCTURE IS BUILDABLE ON SAID LOT.

THE DRAFTSMAN DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS IN CONNECTION THEREWITH ARE SUITABLE, WHETHER OR NOT MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IN LETTER OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ENGINEER.

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DRAFTSMAN AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DRAFTSMAN.

SHEET INDEX

CS	COVER SHEET/ SITE PLAN
T-24	ENERGY COMPLIANCE FORMS
LNS	LEGEND SHEET
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A-0	EXISTING FLOOR PLAN
A-1	PROPOSED FLOOR PLAN
A-2	BUILDING SECTIONS
A-3	EXTERIOR ELEVATIONS
4-4	ELECTRICAL PLAN
S-1	FOUNDATION PLAN/FRAMING PLAN
S-2	ROOF FRAMING PLAN
D-1.1	FOUNDATION DETAILS
D-2	FLOOR FRAMING
D-3	ROOF FRAMING DETAILS

SCOPE OF WORK

ADD A 521 SQUARE FOOT SECOND STORY ADDITION TO EXISTING 1150 SQUARE FOOT SFD.

AREA CALCS

FLOOR PLAN SQ. FOOTAGE

(E) LIVING AREA	150 SQ. FT.
(N) ADDITION	521 SQ. FT.
(N) DECK	157 SQ. FT.
(E) GARAGE	245 SQ. FT.

BLDG CODE DATA

OCCUPANCY: R-3/U
TYPE OF CONSTRUCTION: VN
ALLOWABLE AREA: UNLIMITED
HEIGHT (MAX): 24'-2"
AUTOMATIC FIRE SPRINKLER: NO

CODE ANALYSIS

ALL CONSTRUCTION SHALL CONFORM TO THE:
2015 California Energy Code
2015 California Building Code
2015 California Electrical Code
2015 California Fire Code
2015 California Green Building Code
2015 California Mechanical Code
2015 California Plumbing Code
2015 California Residential Code
2015 California Reference Standards Code

AS WELL AS ALL COUNTY OF SAN LUIS OBISPO LAND AND BUILDING ORDINANCES AND GREEN BUILDING STANDARDS

PROJECT DATA

LOT 8, BLOCK 14
28 21ST STREET
TOWN OF CAYUCOS
COUNTY OF SAN LUIS OBISPO
APN #: 064-295-002

VICINITY MAP



NUMBER OF ORIGINALS IN SET 13

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NRB DRAFTING SERVICES, INC.
NELSON R. BERNAL

2121 Pine St., SUITE A
Paso Robles, California 93446
Tel: 805.297.3746
Fax: 805.297.1968
Email: nelsonnrbdrafting.biz

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CHOBOIAN DECK

28 21 ST STREET
CAYUCOS, CA

COUNTY OF
SAN LUIS OBISPO
CALIFORNIA

15017

COVER SHEET

PMT2014-02578

REVISIONS	
DESCRIPTION	DATE
CORRECTIONS	04-14-15

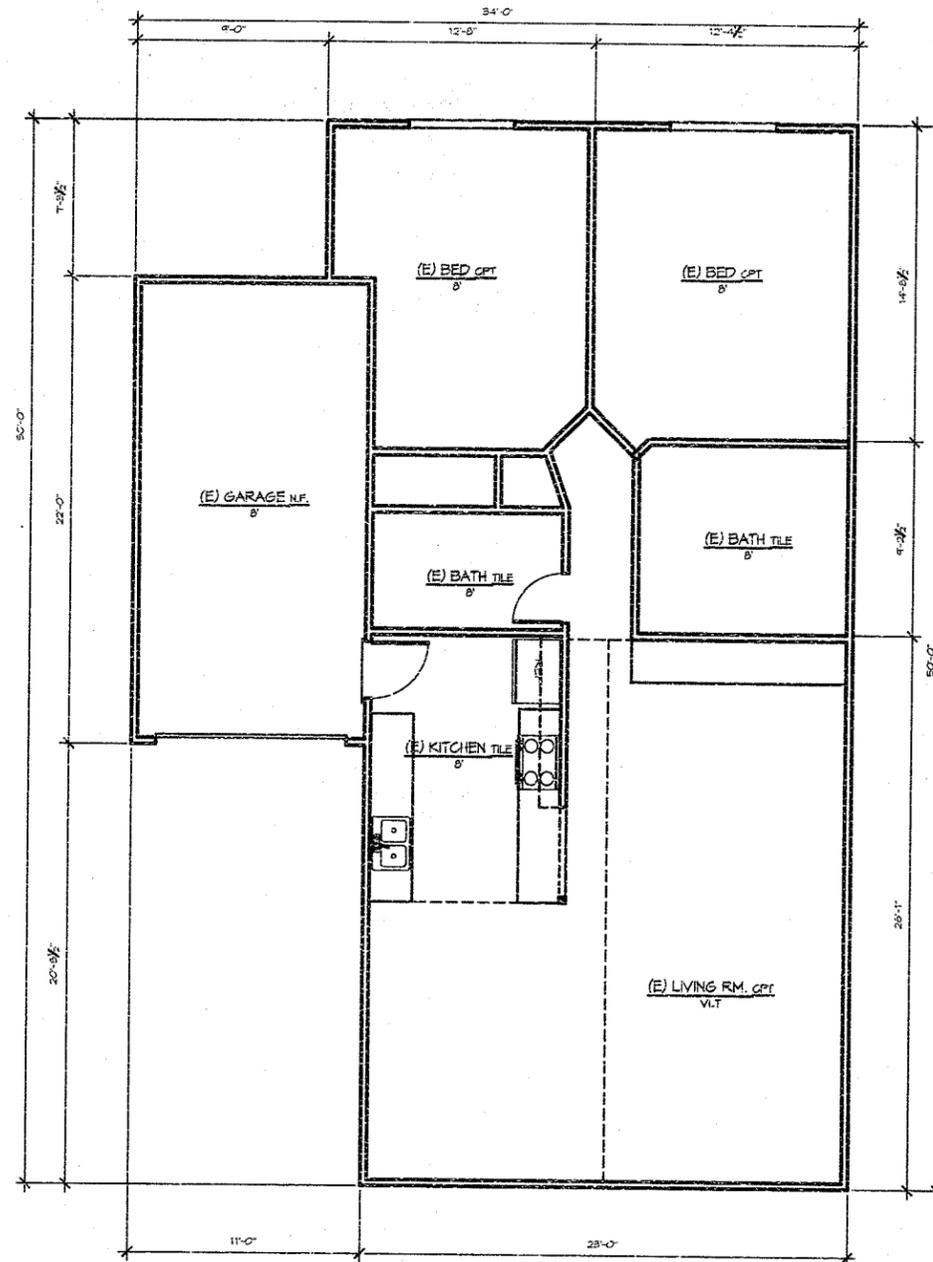
DRAWN	SCALE	DATE
FLX		02-20-15
JOB NO.	DWG NAME	CHECKED
8071		

SHEET

CS

PROJECT TEAM

TRUSS COMPANY	CONTRACTOR	ENERGY FORMS	ENGINEER	DRAFTSMAN	OWNER
TRUSPRO, INC. P.O. BOX 650 GIADALUPE, CA 93424 (800) 338-8767	JAMES SEARBY CONSTRUCTION 400 YERBA BUENA MORRO BAY, CA 93442 (805) 440-8554	TIM CARSTAIRS 5519 HONDA AVE., UNIT A SAN LUIS OBISPO, CA 93403 (805) 409-4048 (805) 602-3714 FAX	CALVIN FERNANDES 2121 PINE ST., SUITE A PASO ROBLES, CA 93446 (805) 461-1965 (805) 610-1014 FAX	NRB DRAFTING, INC. 2121 PINE ST., SUITE A PASO ROBLES, CA 93446 (805) 297-3746 (805) 297-1968 FAX	MR. AND MRS. CHOBOIAN 28 21ST STREET CAYUCOS, CA 93483 (805) 440-1954



AREA:
 (E) LIVING 1150 SQ. FT.
 (E) GARAGE 245 SQ. FT.

EXISTING LOWER FLOOR PLAN 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

FLOOR PLAN NOTES

- ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 4 X 10 #2 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4 X 12 #2 DF UNLESS NOTED.
- ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2 X 6 STUDS @ 16" O.C.
- PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
- SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 12" ABOVE DRAIN INLET.
- FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1/2".
- PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
- SKYLIGHTS SHALL BE TEMPERED GLASS AND COMPLY IV CRG.
- INSULATION MATERIALS AND FACING SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE-DEVELOPED INDEX OF 450. EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.
- COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3 INCHES FROM RECESSED LUMINAIRES, FAN MOTORS, AND OTHER HEAT-PRODUCING DEVICES.
- EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. EXHAUST AND INTAKE OPENINGS TERMINATING OUTDOORS SHALL BE PROTECTED WITH CORROSION RESISTANT SCREENS, LOUVERS, OR GRILLES WITH OPENINGS OF 1/2" IN ANY DIMENSION.

HOME ENERGY RATING REQUIREMENTS:

- ALTERATIONS OR ADDITIONS WITH A CONSTRUCTION VALUE OVER \$10,000 SHALL HAVE A HOME ENERGY RATER OR BPI ENERGY AUDIT AT CONSTRUCTION COMPLETION, AND THE INITIAL ENERGY AUDIT SHALL BE COMPLETED PRIOR TO PERMIT ISSUANCE.
- A COPY OF THE HOME ENERGY RATING/ENERGY AUDIT SHALL BE PROVIDED TO THE BUILDING DIVISION AND FILED PRIOR TO FINAL INSPECTION FOR PUBLIC ACCESS.
- THE RATING SHALL BE COMPLETED BY A CERTIFIED HERS RATER, CERTIFIED BPI ENERGY OR AS DETERMINED BY THE JURISDICTION. THE RATING SHALL BE VALID FOR 5 YEARS.

WATER CONSERVATION NOTES:

- WATER FIXTURES SHALL COMPLY WITH CURRENT REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION AND DEPARTMENT OF WATER RESOURCES.
- IN EXISTING BUILDINGS, REPLACEMENT WATER FIXTURES SHALL CONFORM TO AGENCIES LISTED ABOVE. IN ADDITION, ALL FIXTURES IN AN EXISTING BUILDING SHALL BE BROUGHT INTO CONFORMANCE WITH THESE REQUIREMENTS WHEN AN ALTERATION OF THAT BUILDING MEETS EITHER OF THE FOLLOWING CRITERIA (EXCEPT IN THE NIPOMO MESA WATER CONSERVATION AREA AND THE LOS OSES GROUNDWATER BASIN):
 A. A BATHROOM IS ADDED
 B. THE FLOOR AREA IS INCREASED BY 20% OR MORE.

EXISTING WATER FIXTURES THAT EXCEED THE THRESHOLDS IN THE WATER USE BASELINE SHALL BE RETROFITTED TO THE FOLLOWING:

TOILETS	1.20 GALLONS PER FLUSH
SHOWERHEADS	2 GPM @80 PSI
LAVATORY FAUCETS	1.5 GPM @60 PSI
KITCHEN FAUCETS	1.8 GPM @60 PSI

GAS APPLIANCE BTU:

FURNACE	50,000 BTU
WATER HEATER	140,000 BTU
RANGE/OVEN	50,000 BTU
BBQ	40,000 BTU
DRYER	35,000 BTU

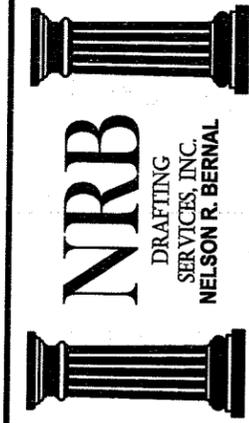
GAS LINE TO HOUSE IS ONE INCH 4 APPROX. 30 FT.

Equipment Selection:

Trane Model #TDE14060A361A
 80% Efficiency Furnace-60KBTU/h

PLAN LEGEND

REFRIGERATOR (N.I.C.)	COOKTOP W/ HOOD	OPTIONAL TRASH COMPACTOR	CONDENSER ON CONCRETE PAD
DISHWASHER	OVER MICROWAVE	DOUBLE SINK W/ DISPOSAL	LAVATORY
WATER CLOSET	SHOWER	TUB ON PLATFORM	22 X 30 ATTIC ACCESS
TUB/SHOWER	OPTIONAL SOAKING SINK	DRYER (N.I.C.)	WASHER (N.I.C.)
MEDICINE CABINET	TOILET PAPER DISPENSER	TOWEL BAR (PROVIDE SOLID BACKING)	GAS METER
			ELEC. METER



2121 Pine St., SUITE A
 Paso Robles, California 93446
 Tel: 805.231.9746
 Fax: 805.231.1960
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CHOBOIAN DECK

28 21 ST STREET
 CAYUCOS, CA

COUNTY OF
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 CALIFORNIA

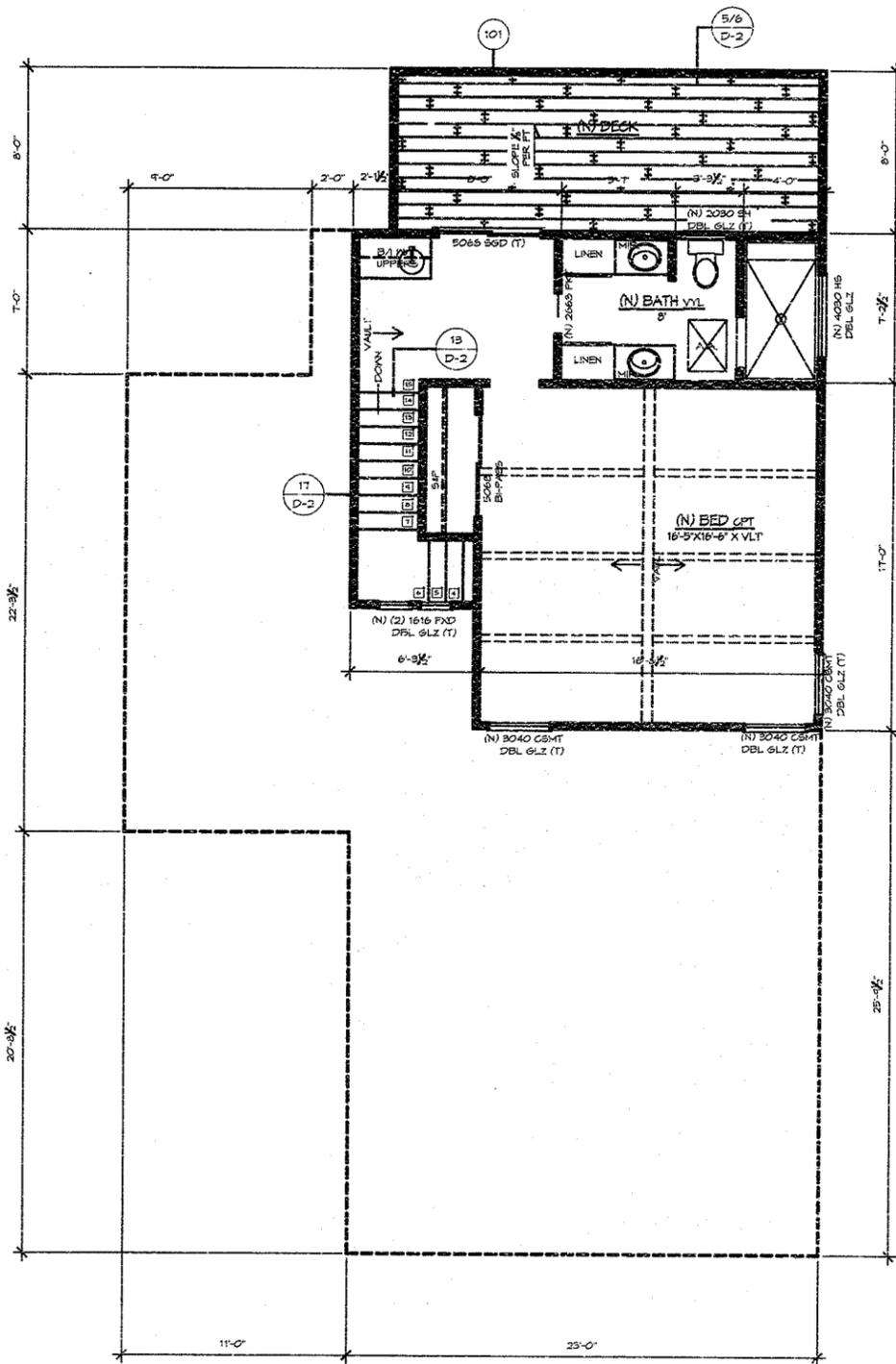
15017
 FLOOR PLAN

FMT2014-02516

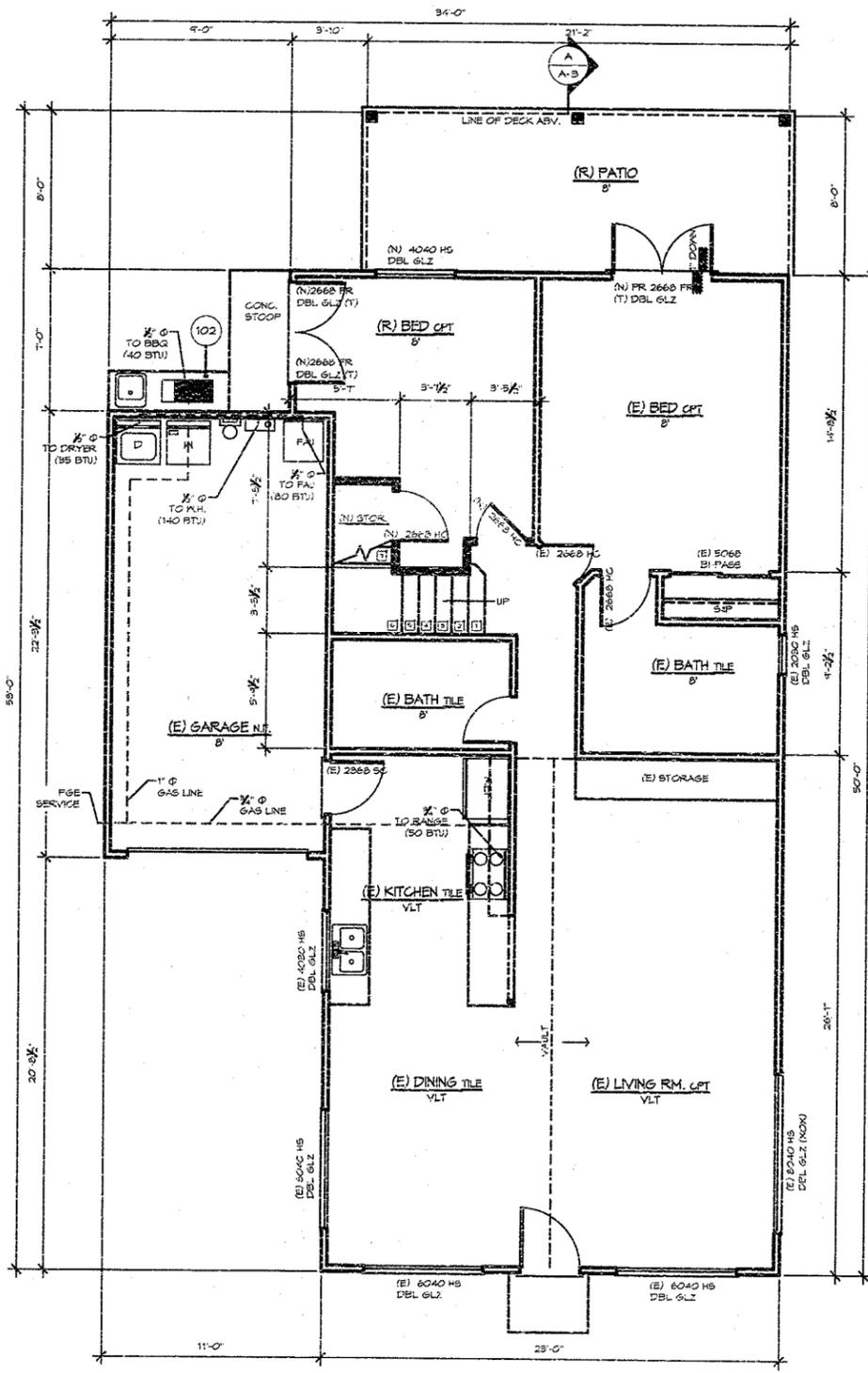
REVISIONS	
DESCRIPTION	DATE
CORRECTIONS	04-14-15

DRAWN BY	SCALE	DATE
CHECKED BY	DATE	CHECKED

A-0



PROPOSED UPPER FLOOR PLAN 1/4" = 1'-0"



PROPOSED LOWER FLOOR PLAN 1/4" = 1'-0"

AREA:

(E) LIVING	1150 SQ. FT.
(N) LIVING	521 SQ. FT.
(E) GARAGE	243 SQ. FT.
(N) DECK	151 SQ. FT.

FLOOR PLAN KEYNOTES

- 101 (N) 42" HIGH WOOD RAILING
- 102 (N) PRE-FABRICATED BBQ AND 36" HIGH COUNTER IV UNDER-COUNTER REFRIGERATOR.

FLOOR PLAN NOTES

1. ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 4 X 10 #2 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4 X 12 #2 DF UNLESS NOTED.
2. ALL INTERIOR PLUMBING WALLS RECOMMENDED BE 2 X 6 STUDS @ 16" O.C.
3. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILING AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
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5. FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1/2".
6. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR HEIGHT OF OPENING SHALL NOT BE LESS THAN 5 1/2' SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR, MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
7. SKYLIGHTS SHALL BE TEMPERED GLASS AND COMPLY IV CRC.
8. INSULATION MATERIALS AND FACING SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 25 AND A MAXIMUM SMOKE-DEVELOPED INDEX OF 450. EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX OF NOT LESS THAN 0.12 WATER SQUARE CENTIMETER.
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SHOWERHEADS	2 GPM @ 80 PSI
LAVATORY FAUCETS	1.5 GPM @ 60 PSI
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GAS APPLIANCE BTU:

FURNACE	80,000 BTU
WATER HEATER	40,000 BTU
RANGE/OVEN	50,000 BTU
BBQ	40,000 BTU
DRYER	35,000 BTU

GAS LINE TO HOUSE IS ONE INCH 4 APPROX. 30 FT.

Equipment Selection:
Trane Model #TDE1A060A#B61A
80% Efficiency Furnace-60KBTU/h

PLAN LEGEND

REFRIGERATOR (N.I.C.)	COOKTOP/HOOD	OPTIONAL TRASH COMPACTOR	CONDENSER ON CONCRETE PAD
DISHWASHER	OVEN/MICROWAVE	DOUBLE SINK/IV DISPOSAL	LAVATORY
WATER CLOSET	SHOWER	TUB ON PLATFORM	22 X 30 ATTIC ACCESS
TUB/SHOWER	OPTIONAL SOAKING SINK	DRYER (N.I.C.)	WASHER (N.I.C.)
MEDICINE CABINET	TOILET PAPER DISPENSER	TOWEL BAR (PROVIDE SOLID BACKING)	GAS METER
			ELEC. METER

2121 Pine St., SUITE A
Paso Robles, California 93446
Tel: 805.231.9746
Fax: 805.231.1366
Email: nelsonnrbdrafting@tzi

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CAYUCOS, CA

COUNTY OF
SAN LUIS OBISPO
CALIFORNIA

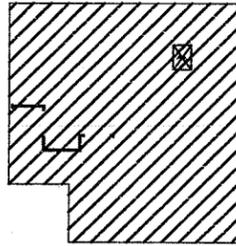
15017
FLOOR PLAN

PMT2014-02576

REVISIONS	
DESCRIPTION	DATE
CORRECTIONS	04-14-15

DRAWN BY	SCALE	DATE
JOB NO.	DWG NAME	CHECKED

SHEET
A-1



LIVING AND PORCH ROOF VENTILATION REQUIRED

ROOF 5/21 @ 300 PER CBC 1209.2 WITH VAPOR RETARDER
 1.74 SQ.FT. X 144 SQ. IN.
 250 SQ.IN. FREE AREA REQUIRED
 EAVE VENTS @ 41 SQ.IN.
 ROOF VENTS @ 105 SQ.IN.

5 EAVE VENTS @ 41 SQ INCHES = 205 SQ. INCHES
 2 GABLE VENTS @ 102 SQ INCHES = 204 SQ. INCHES

401 SQ. INCHES PROVIDED

* EAVE VENTS TO BE CALIFIRE APPROVED "VULCAN VENT" MODEL VES922

* ROOF VENTS TO BE CALIFIRE APPROVED "VULCAN VENT" MODEL VSB1212

REFER TO SHEET GF-1 FOR ADDITIONAL ATTIC, EAVE, AND FLOOR VENTILATION PROTECTION REQUIREMENTS



FRONT ELEVATION 1/4" = 1'-0"

SECTION KEYNOTES

- 201 (N) PRE-MANUF. TRUSSES @ 24" O.C. MAX.
- 202 (N) 2 X 4 @ 12 DF ATTIC BRACES @ 48" O.C.
- 203 (E) DBL TOP-PLATES W/ 48" MIN LAPS
- 204 (E) 1/2" GYP BOARD ON WALLS
- 205 (E) VERTICAL SIDING
- 206 (E) 2 X 4 EXTERIOR STUDS @ 24" O.C.
- 207 (E) P.T. DF SILL PLATES W/ 1/2" x 4 AB. PER FLANS
- 208 (E) #4 BARS CONT. @ TOP & BOTTOM
- 209 (N) 2 X 8 DF DECK JOISTS @ 16" O.C.
- 210 (N) WATERPROOF MEMBRANE, SLOPED TO DRAIN
- 211 (N) 42" HIGH WOOD RAILING PER OWNER
- 212 (N) 2 X 4 EXTERIOR STUDS @ 24" O.C.
- 213 (N) FLOOR JOISTS @ 16" O.C.
- 214 (N) 3/4" T & 6 FLOOR PLY W/ 10d @ 6-6-10" O.C.

ELEV. KEYNOTES

- 301 (N) 42" HIGH WOOD RAILING W/ 2X PICKETS @ 4.5" O.C.
- 302 (N) COMP. ROOF MATCH EXIST.
- 303 NOT USED
- 304 (N) 2X HEM FIR FASCIA MATCH EXIST.
- 305 (N) STUCCO EXTERIOR ON APPROVED BLDGS. PAPER & WIRE LATH
- 306 (N) COLUMN
- 307 (N) DECK W/ WATER PROOF MEMBRANE, SLOPE TO DRAIN

ELEVATION NOTES

1. STUCCO SHALL BE APPLIED WITH THREE-COAT APPLICATION PER CBC
2. PROVIDE KEEL SCREED AT BASE OF STUCCO. A MINIMUM OF .014 INCHES (26 GA) CORROSION RESISTANT KEEL SCREED WITH A MIN. OF VERTICAL ATTACHMENT FLANGES @ 9" SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. PER CBC
3. 2 LAYERS OF 5/8" PAPER SHALL BE APPLIED UNDER PORTLAND CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC
4. GLASS SKYLIGHTS SHALL BE TEMPERED AND COMPLY WITH CBC.
5. ALL ROOFING MATERIAL SHALL BE CLASS "A", AND SHALL BE ICBO APPROVED
6. EXPOSED VALLEY FLASHING SHALL BE AT LEAST NO. 26 GAUGE CORROSION-RESISTANCE METAL INSTALLED OVER A MIN. 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM GAF SHEET RUNNING THE FULL LENGTH OF THE VALLEY ALTERNATIVELY, THE VALLEY SHALL CONSIST OF MOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
7. ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED). PAPER-FACED INSULATION IS PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES.
8. VENTS OPENING INTO THE ATTIC OR SUBFLOOR IN EXTERIOR WALLS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAME AND EMBERS, OR THE VENTS SHALL BE SCREENED WITH CORROSION-RESISTANT NON-COMBUSTIBLE WIRE MESH. THE SIZE OF THE OPENINGS IN THE MESH SHALL BE A MINIMUM OF 1/8" INCH AND SHALL NOT EXCEED 1/4" INCH.
9. THE CHIMNEY SHALL BE EQUIPPED WITH A SPARK ARRESTOR. THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN 4 TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. SPARK ARRESTOR SCREEN SHALL BE CORROSION RESISTANT AND SHALL HAVE OPENINGS LESS THAN 1/2" AND GREATER THAN 3/8" IN SIZE.
10. FACTORY BUILT CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET
11. DECORATIVE CHIMNEY TERMINATION FOR SOLID FUEL AND GAS APPLIANCE FIRE PLACES COMMONLY CALLED SHROUDS OR SURROUNDS ARE NOT PERMITTED. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NRB
 DRAFTING
 SERVICES, INC.
 NELSON R. BERNAL

2121 Pine St., Suite A
 Paso Robles, California 93446
 Tel: 805.231.3146
 Fax: 805.231.1868
 Email: nelsonnrbdrafting@btz

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15017

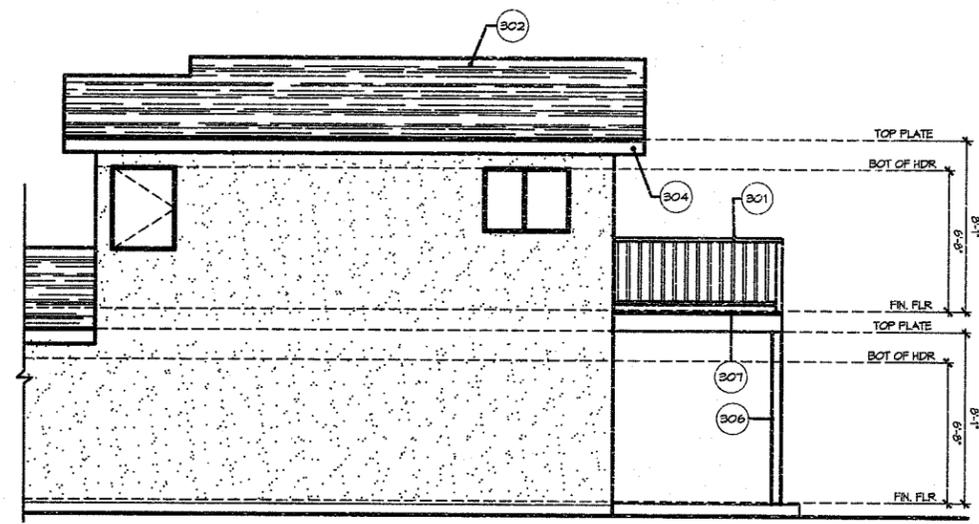
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FMT2014-02578

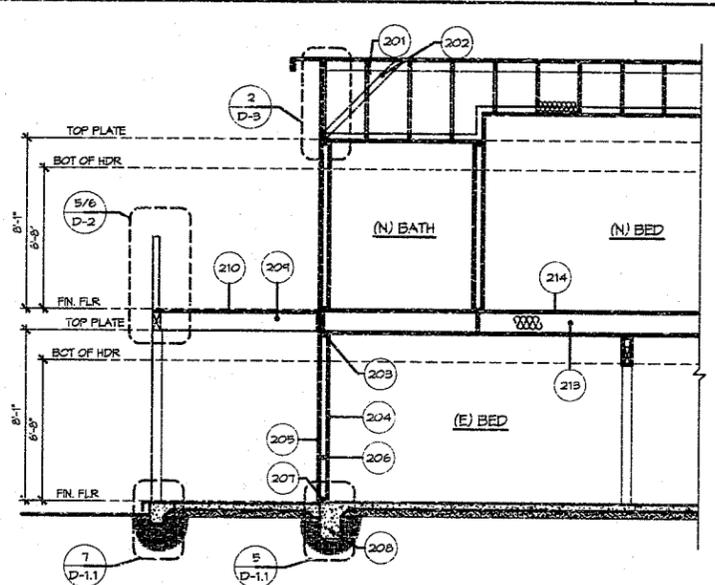
REVISIONS	
DESCRIPTION	DATE
CORRECTIONS	04-14-15

DRAWN	SCALE	DATE
JOB NO. 15017	1/4" = 1'-0"	03-30-15
DESIGNER	DATE	CHECKED

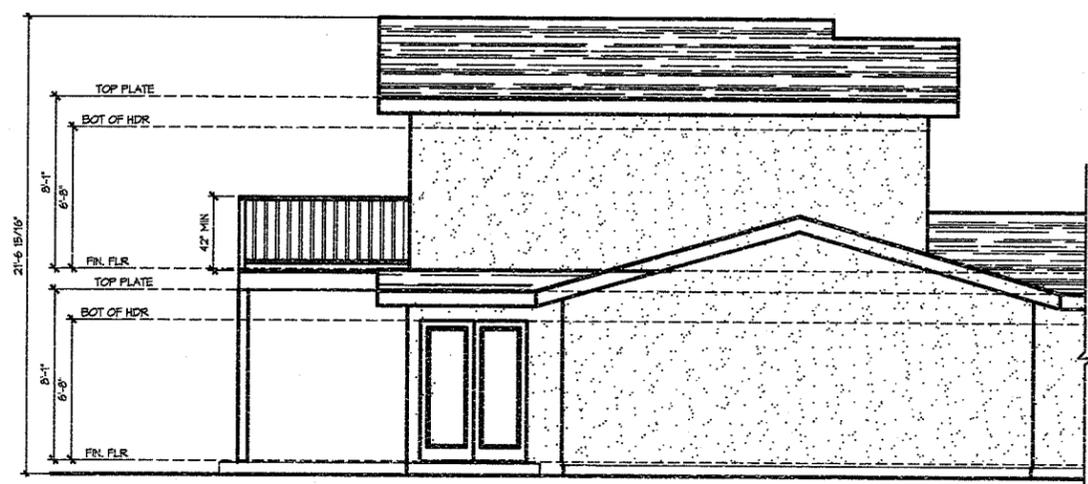
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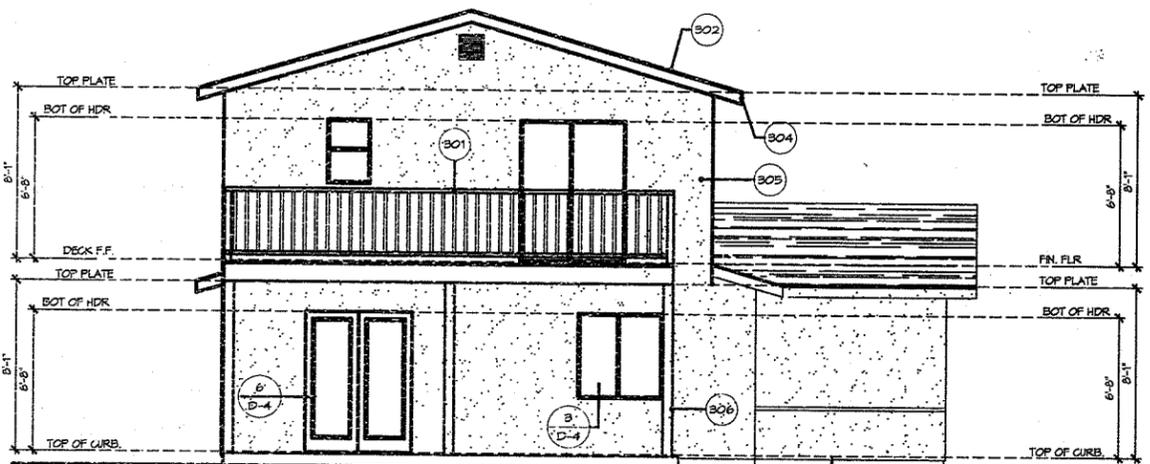
RIGHT ELEVATION 1/4" = 1'-0"



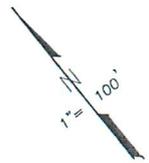
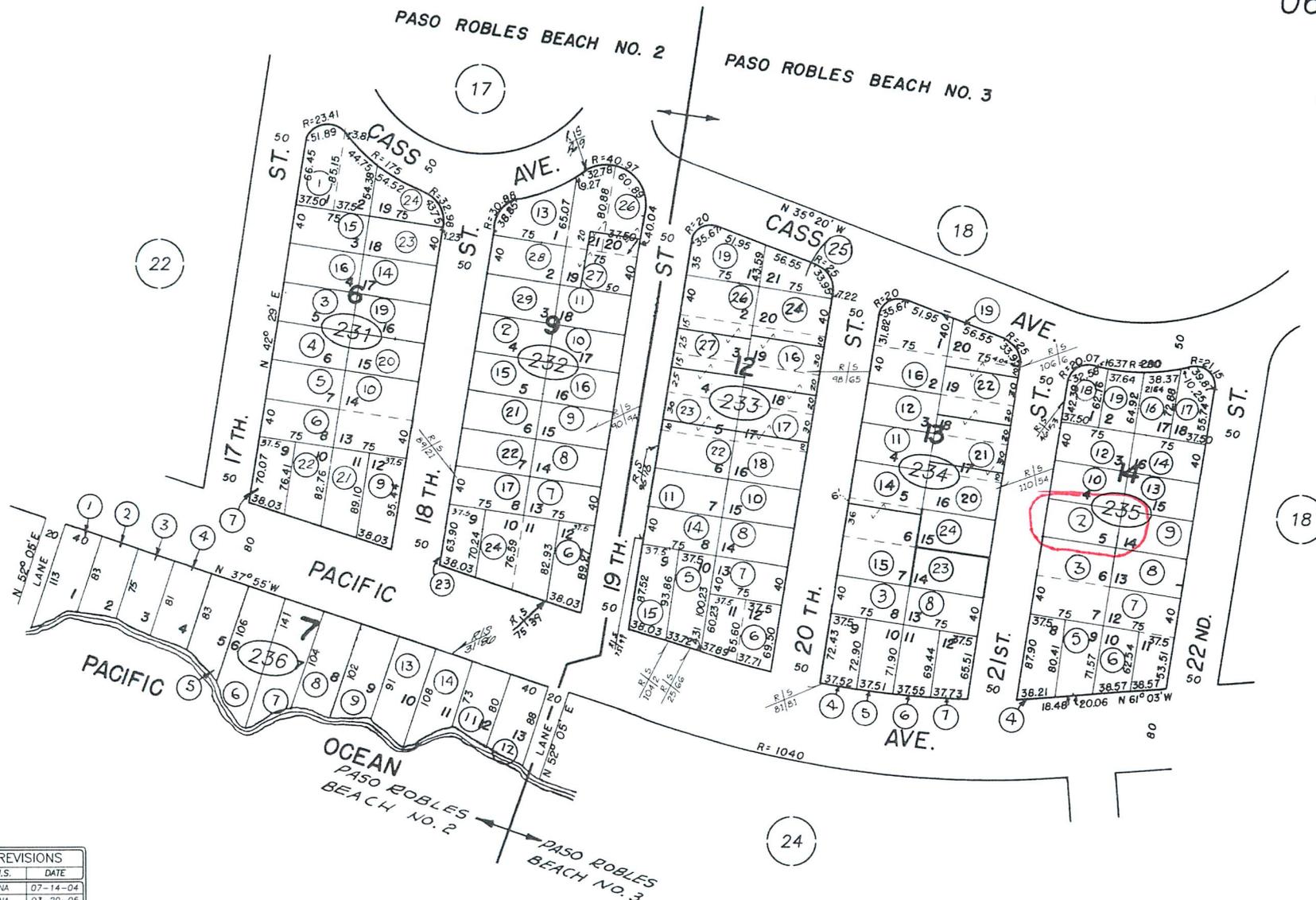
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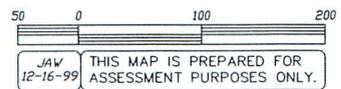
LEFT ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"



REVISIONS	
I.S.	DATE
NA	07-14-04
NA	03-29-05
09-169	09-30-08
NA	09-13-11



PASO ROBLES BEACH SUB. NO. 2, R.M. Bk. 3, Pg. 108.
 PASO ROBLES BEACH SUB. NO. 3, R.M. Bk. 3, Pg. 115.

CAYUCOS
 ASSESSOR'S MAP, COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 064 PAGE 23



Estero Planning Area
Planning Area

Coastal Zone
Planning Area

Cayucos URI

RSF

CASS ST

PANDY ST

CAYUCOS ST

CASS ST



Parcel Summary Report For Parcel # 064-235-002

8/10/2015
11:43:33AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN CHOBOIAN MITCHELL
 2110 N M ST TULARE CA 93274-8310
OWN CHOBOIAN MITCH TRUST

Address Information

Status Address
P 00028 21ST ST CAYU

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064235	002	0001	Cayucos	Estero Plannin	SSN			N		
PRBCH3	0014	0005	Cayucos	Estero Plannin	RSF	LCP	AS	Y		

Parcel Information

Status Description
Active PR BCH 3 BL 14 LT 5

Notes

Tax Districts

COAST (SB1537)
CAYUCOS
SAN LUIS OBISPO JT(27,40)
CAYUCOS-MORRO
CAYUCOS COUNTY
NO. 02
CAYUCOS



Parcel Summary Report For Parcel # 064-235-002

8/10/2015
11:43:34AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AREA NO. 10

AREA NO. 21

Case Information

Case Number:

Case Status:

DRC2004-00109

EXP

Primary Parcel

Description:

REQUEST BY MITCH CHOBOIAN FOR A MINOR USE PERMIT / COASTAL DEVELOPMENT PERMIT TO ALLOW A SECOND STORY ADDITION OF APPROXIMATELY 242 SQUARE FEET TO AN EXISTING 1,166 SQUARE FOOT SINGLE FAMILY RESIDENCE. THE PROJECT WILL RESULT IN THE NO NEW DISTURBANCE OF THE PARCEL. THE PROPOSED PROJECT IS WITHIN THE RESIDENTIAL SINGLE FAMILY LAND USE CATEGORY AND IS LOCATED AT 28 21ST STREET IN THE COMMUNITY OF CAYUCOS. THE SITE IS IN THE ESTERO PLANNING AREA.

DRC2015-00026

REC

Primary Parcel

Description:

SECOND STORY ADDITION OF 521 SQFT TO SFR

PMT2014-00970

ISS

Primary Parcel

Description:

STUCCO OVER EXISTING T1-11 AND ADD (1) NEW DOOR (NO FRAMING REQUIRED, USING EXISTING HEADER) TO SOUTH SIDE OF HOUSE. RE-ROOF COMP SHINGLES, REPLACE WINDOWS IN SAME OPENINGS.

PMT2014-02578

ISS

Primary Parcel

Description:

RESIDENTIAL ALTERATION - REMOVE EXISTING CEILING JOISTS IN KITCHEN & REPLACE WITH NEW 4" X 8" RAFTERS. ADD NEW 157 SF DECK IN REAR OF RESIDENCE. INSTALL NEW TANKLESS WATER HEATER AND FAU (NO DUCT REPLACEMENT) IN GARAGE. CONSTRUCT AN OUTDOOR BBQ COUNTER WITH SINK & UNDER COUNTER REFRIGERATOR.