



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

DATE: 12/09/2015

TO: \_\_\_\_\_

FROM: SCHANI SIONG, 805-781-4374, SSiong@co.slo.ca.us  
COASTAL Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00063 BROWN MUP, PROPOSED REMODEL OF EXISTING HOME W/REMOVAL OF A NON-CONFORMING GARAGE TO BE REPLACED W/A MASTER BEDROOM AND BATH, LOCATED AT 3266 STUDIO DRIVE, CAYUCOS APN: 064-417-001

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Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2015-00063

GIBSON

MINOR USE PERMIT

REMODEL TO THE EXISTING HOUSE WITH  
REMOVAL OF A NON-CONFORMING  
EST/ CAYU

CA CAZ GS LCP RSF SSN

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Jeff Brown Daytime Phone 1 559 901 3312  
Mailing Address 4630 W. Vine Visalia, Ca. Zip Code 93291  
Email Address: jbrownmd@sbcglobal.net

Applicant Name Jeff Brown Daytime Phone 1 559 901 3312  
Mailing Address 4630 W. Vine Visalia, Ca. 93291 Zip Code 93291  
Email Address: jbrownmd@sbcglobal.net

Agent Name Heidi Gibson Daytime Phone 805 594 0771  
Mailing Address 1540 Marsh Street San Luis Obispo *Ca* Zip Code 93401  
Email Address: heidi@studio-2g.com *230*

## PROPERTY INFORMATION

Total Size of Site: 0.68 AC. (3,000sqft) Assessor Parcel Number(s): 064-417-001

Legal Description: Morro STR3, Block 45, Lot 10

Address of the project (if known): 3266 Studio Dr. Cayucos, Ca. 93430

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Studio Dr. provides primary access and is reached by US Highway 101.

Describe current uses, existing structures, and other improvements and vegetation on the property:

Existing single-family residence is on site along with a garage and deck.

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): The proposed project is a remodel to the existing house with removal of a non-conforming garage and replacement with a master bedroom/bath.

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature \_\_\_\_\_

Date \_\_\_\_\_

FOR STAFF USE ONLY

# INFORMATION DISCLOSURE FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

**TIME LIMITS FOR PROCESSING AND PUBLIC NOTICE DISTRIBUTION REQUIREMENTS** - California state law (California Government Code Section 65941.5) requires that the county provide the following information to applicants, when a permit application is filed:

Not later than 30 days after a land use or land division application is received, the county must notify the project applicant or designated representative in writing either that the application is complete, or that items are necessary to complete the application. If you are not notified in writing, the application is considered complete. Any land use or land division application must be approved or denied within three months of adoption of the Negative Declaration or determination that the project is exempt, or within six months of the certification of an Environmental Impact Report. The County of San Luis Obispo processes the land use application and the environmental review concurrently, so these decisions are made simultaneously. (Government Code Sections 65943 and 65950, et seq.)

A project applicant may make a written request to the county to receive notice of any proposal to adopt or amend the general plan and the land use, real property division, building and construction, road name and addressing, and growth management ordinances which might reasonably be expected to affect that applicant's project. The county offers a subscription service for notification of either: (1) all applications received by the county, or (2) Planning Commission agendas. The cost for each of these services is established by the county fee ordinance. (Government Code Sections 65945, 65945.3 and 65945.5)

When a property was created through recordation of a final or parcel map, and it is within five years of recordation, the county cannot withhold or condition the issuance of building permits for residential units based on conformance with conditions that could have been imposed as conditions of the tentative map, except where: (1) A failure to do so would place subdivision residents or residents in the immediate area in a condition perilous to health, safety or both; or (2) The condition is required in order to comply with state or federal law. (Government Code Section 65961)

Copies of Government Code Sections are available at the County of San Luis Obispo Law Library, County Government Center, San Luis Obispo, California.

**RIGHT TO FARM DISCLOSURE** - The County of San Luis Obispo recognizes the statewide policy to protect and encourage Agriculture. Sections 3482.5 and 3482.6 of the California Civil Code and Chapter 5.16. of the San Luis Obispo County Code protect certain, pre-existing agricultural production and processing operations ("agricultural operation") from nuisance claims. If your property is near a protected agricultural operation, you may be subject to certain inconveniences and/or discomforts which are protected by law. In order for the agricultural operation to be protected, the following requirements of Civil Code Sections 3482.5 and 3482.6 must be satisfied:

(1) The agricultural operation must be conducted or maintained for commercial purposes; (2) The agricultural operation must be conducted or maintained in a manner consistent with proper and accepted customs and standards as established and followed by similar agricultural operations in the same locality; (3) The agricultural operation predated the affected use(s) on your property; (4) The agricultural operation has been in existence for more than three years; and (5) The agricultural operation was not a nuisance at the time it began.

If your property is near an agricultural operation in the unincorporated area of the County which satisfies the above requirements, you may at times be subject to one or more inconveniences and/or discomfort arising from that operation. Such inconveniences may include (depending upon the type of agricultural operation protected), but are not necessarily limited to, the following: noise, odors, fumes, dust, legal pesticide use, fertilizers, smoke, insects, farm personnel and truck traffic, visual impacts, night time lighting, operation of machinery and the storage, warehousing and processing of agricultural products or other inconveniences or discomforts associated with the protected agricultural operations. For additional information pertaining to this disclosure and the Right to Farm Ordinance, or concerns with an agricultural operation, please contact the San Luis Obispo County Agricultural Commissioner's Office.

**HAZARDOUS WASTE AND SUBSTANCE SITES AND LANDFILL DISCLOSURE** - Please verify whether your project is on the Known Hazardous Waste and Substances Sites List pursuant to AB 3750 and if you are within 1/2 mile of certain landfills (see back of sheet).

**PLEASE COMPLETE AND SIGN BELOW**

I acknowledge that I have read and understand the information and policy and detailed above: (1) Time Limits for processing and (2) Public Notice Distribution requirements and (3) the Right to Farm Disclosure.

**AND**

I acknowledge that I have reviewed the list of Identified Hazardous Waste and Substances Sites List and the Landfill Disclosure on the back of this form and find the following: (1) The site is not shown on the list of Identified Hazardous Waste and Substances Site; (2) The site is not shown on the list dated April 1998, or any later list published by the State Office of Planning and Research and (3) I have read the disclosure statement on landfill operations.

\_\_\_\_\_ Signature \_\_\_\_\_ Date

Print Name: \_\_\_\_\_

**SAN LUIS OBISPO COUNTY  
IDENTIFIED HAZARDOUS WASTE SITES – April, 1998**

**IMPACT CITY: ARROYO GRANDE**

Site: Union Oil Co - Santa Maria refinery  
Location: Willow Rd. north of Guadalupe  
City: Arroyo Grande Zip: 93420  
Source: DHS1

**IMPACT CITY: CAMBRIA**

Site: Hampton Hotel  
Location: 2601 Main Street  
City: Cambria Zip: 93428  
Source: WRCB Problem: Tank Leak

Site: Cambria General Store  
Location: 850 Main Street  
City: Cambria Zip: 93428  
Source: WRCB Problem: Tank Leak

Site: Chevron  
Location: 2194 Main Street  
City: Cambria Zip: 93428  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: CAYUCOS**

Site: Chevron  
Location: 12 N. Ocean Boulevard  
City: Cayucos Zip: 93430  
Source: WRCB Problem: Tank Leak

Site: Bob's Corner Store  
Location: 198 N. Ocean Boulevard  
City: Cayucos Zip: 93430  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: CHOLAME**

Site: Hearst Corp.  
Location: Highway 46  
City: Cholame Zip: 93431  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: LOS OSOS**

Site: Los Osos Valley Garage  
Location: 1099 Los Osos Valley Road  
City: Los Osos Zip: 93402  
Source: WRCB Problem: Tank Leak

Site: Los Osos Landfill  
Location: Turri Road  
City: Los Osos Zip: 93402  
Source: CIWMB  
Problem: Groundwater Contamination

**IMPACT CITY: LOS PADRES**

Site: Ozena Station  
Location: Highway 33 Zip: 93023  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: OCEANO**

Site: Bell Craig (from service station)  
Location: 1899 Cienega  
City: Oceano Zip: 93445  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: PASO ROBLES**

Site: Camp Roberts Site 936  
Location: Highway 101  
City: San Miguel Zip: 93451  
Source: WRCB Problem: Tank Leak

Site: San Paso Truck & Auto  
Location: Wellsona Road  
City: Paso Robles Zip: 93446  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: SAN LUIS OBISPO**

Site: Unocal Tank Farm Facility  
Location: 276 Tank Farm Road  
City: San Luis Obispo Zip: 93401  
Source: WRCB Problem: Tank Leak

Site: Hearn Trucking  
Location: 4902 Edna Road  
City: San Luis Obispo Zip: 93401  
Source: WRCB Problem: Tank Leak

Site: Camp San Luis Obispo  
Location: Highway 1 west of Highway 101  
City: San Luis Obispo Zip: 93401  
Source: WRCB Problem: Tank Leak

Site: SLO Golf & Country Club  
Location: 255 Country Club  
City: San Luis Obispo Zip: 93401  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: SAN SIMEON**

Site: Chevron  
Location: 9540 Castillo Drive  
City: San Simeon Zip: 93452  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: SANTA MARGARITA**

Site: Kaiser Sand & Gravel  
Location: El Camino Real  
City: Santa Margarita Zip: 93453  
Source: WRCB Problem: Tank Leak

Site: Pacific Beverage  
Location: 22255 El Camino Real  
City: Santa Margarita Zip: 93453  
Source: WRCB Problem: Tank Leak

**IMPACT CITY: TEMPLETON**

Site: Templeton Mobile  
Location: 701 Las Tablas  
City: Templeton Zip: 93465  
Source: WRCB Problem: Tank Leak

**LANDFILL OPERATIONS  
DISCLOSURE  
EL POMAR/ESTRELLA  
PLANNING AREA**

If your site is located within 1/2 mile of either the Paso Robles Municipal or the Chicago Grade Landfills (see maps on file with the Department of Planning and Building), this acts to notify you of your proximity to a landfill operation and all of the associated inconveniences and discomforts resulting from the continuing and future operation of such landfill, including possible expansions. Persons living near landfills may contact the California Integrated Waste Management Board (916) 341-6413 to seek available remedies concerning any improper or unlawful activities at the landfill.

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): none

Describe existing and future access to the proposed project site: Existing access to the site is provided by a driveway.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: S.F.R. South: S.F.R.  
East: S.F.R. West: N/A (OCEAN FRONT PROPERTY)

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1,908 sq. feet 64 % Landscaping: 200 sq. feet 6.7 %  
Paving: 300 sq. feet 8.3 % Other (specify) \_\_\_\_\_

Total area of all paving and structures: 2,208  sq. feet  acres

Total area of grading or removal of ground cover: 0  sq. feet  acres

Number of parking spaces proposed: 2 Height of tallest structure: 15.00'

Number of trees to be removed: none Type: \_\_\_\_\_

Setbacks: Front 0 Right 3'-0" Left 3'-0" Back 25' min.

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: SLO County (CSA10)

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: Cayucos Sanitary

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: SLO County F.D.

### For commercial/industrial projects answer the following:

Total outdoor use area: n/a  sq. feet  acres

Total floor area of all structures including upper stories: n/a sq. feet

### For residential projects, answer the following:

Number of residential units: one Number of bedrooms per unit: three

Total floor area of all structures including upper stories, but not garages and carports: 2,307 sq.ft.

Total of area of the lot(s) minus building footprint and parking spaces: 805 sq.ft.

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: \_\_\_\_\_ acres  
Moderate slopes of 10-30%: 0.06 acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: Existing grading for existing house
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: Project can be seen from Studio Dr.

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial – Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? existing water supply
4. How many service connections will be required? existing connection
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: existing    Location of connection: existing
2. What is the amount of proposed flow? existing G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: Cayucos Sanitary District
- 3. Where is the waste disposal storage in relation to buildings? south-east corner of property
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Cayucos Elementary
- 2. Location of nearest police station: 850 Morro Bay Blvd. Morro Bay, Ca.
- 3. Location of nearest fire station: 108 Chaney Ave. Cayucos, Ca.
- 4. Location of nearest public transit stop: Old Creek Rd. & Ocean Blvd.
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
None
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

- 1. Days of Operation: n/a    Hours of Operation: n/a
- 2. How many people will this project employ? n/a
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift n/a
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: n/a  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: n/a
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: n/a
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. n/a Between 4:00 to 6:00 p.m. n/a
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: n/a
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No If yes, please describe: n/a

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: n/a

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): n/a
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?       Yes       No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?       Yes       No

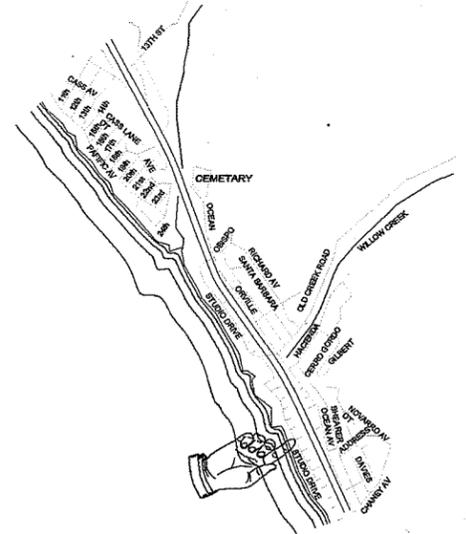
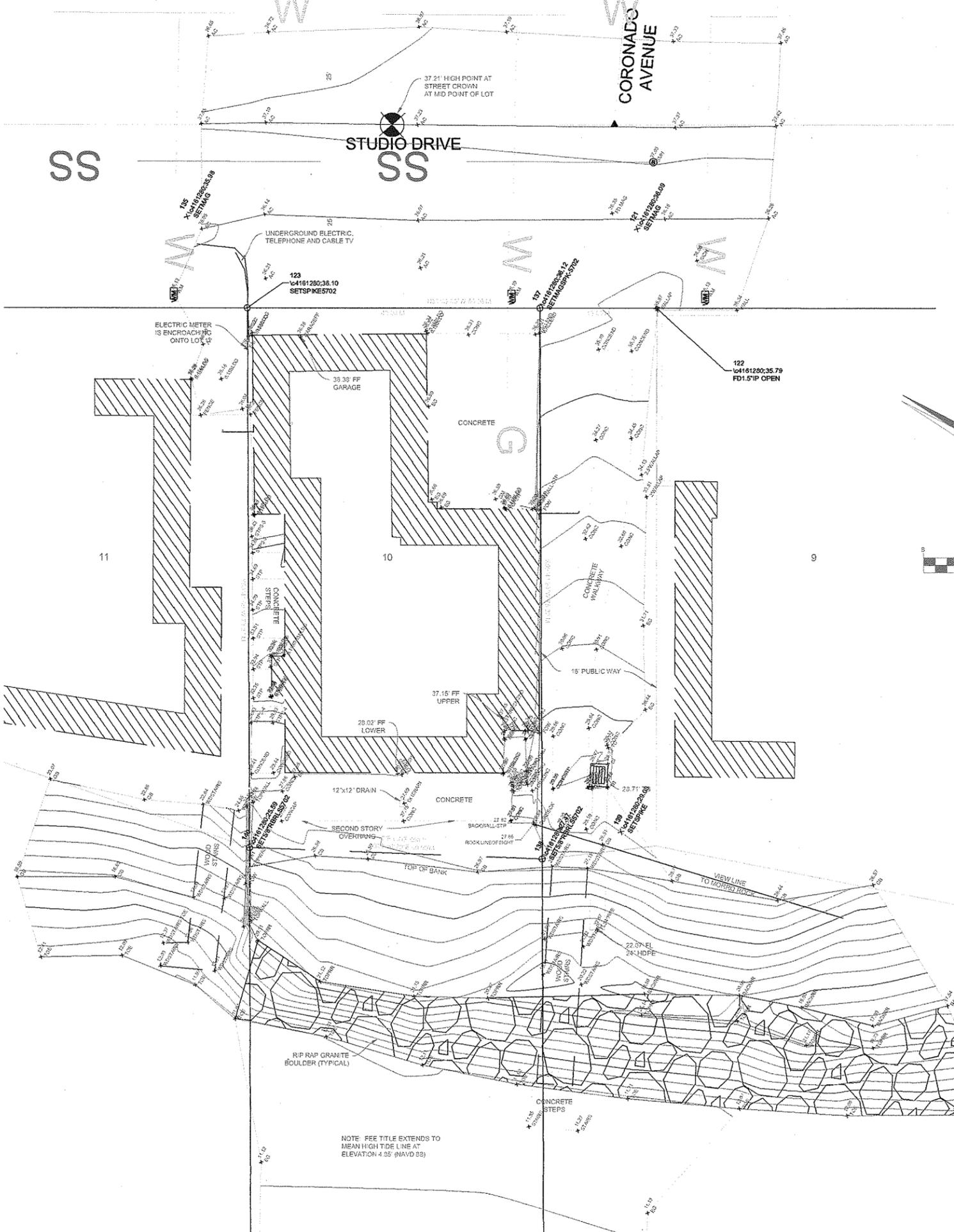
If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): \_\_\_\_\_

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)





**SYMBOL LEGEND:**

X	FENCE LINE	PG	PGSE BOX
SS	SEWER MAIN	GM	GAS METER
W	WATER MAIN	TEL	TELEPHONE BOX
O	GAS MAIN	SG	SIGNAL BOX
ETC	ELEC/TELEPHONE/CABLE	DATV	CABLE T.V. BOX
OWE	OVERHEAD ELECTRIC	ELEC	ELECTRIC BOX
DI	DROP INLET AT CURB	TM	TELEPHONE MANHOLE
DI	DROP INLET	SL	STREET LIGHT
SD	STORM DRAIN MANHOLE	JP	JOINT POLE
FH	FIRE HYDRANT	PP	POWER POLE
W	WATER WELL	WM	WATER METER
WV	WATER VALVE	WM	WATER METER
WM	WATER METER	WV	WATER VALVE
SM	SEWER MANHOLE	IP	IRON PIPE
SC	SEWER CLEANOUT	GB	GRADE BREAK

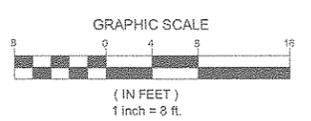
**ABBREVIATIONS**

AC	ASPHALT CONCRETE	IP	IRON PIPE
AP	ANGLE POINT	GB	GRADE BREAK
BM	BENCH MARK	GM	GAS METER
BLDG	BUILDING	HP	HIGH POINT
BOW	BACK OF WALK	LT	LIGHT
CB	CATCH BASIN	MM	MANHOLE
CF	CURB FACE	PP	POWER POLE
CO	CLEAN OUT	PVC	POLYVINYL PIPE
COL	COLUMN	RS	REBAR
COR	CORNER	RCR	REINFORCED CONCRETE PIPE
CONC	CONCRETE	R10	RADIUS
CMP	CORRUGATED METAL PIPE	SD	STORM DRAIN
CMU	CONCRETE MASONRY UNITS	SL	POINT ON SLOPE
CRN	CROWN OF STREET	SS	SEWER
DI	DROP INLET	STR	STAIRS
EG	EXISTING GRADE	TOP	TOP OF SLOPE
EP	EDGE OF PAVEMENT	TOE	TOE OF SLOPE
FD	FOUND	TW	TOP OF WALL
FL	FLOW LINE	W	WATER
FF	FINISH FLOOR	WL	WALL
FGW	FACE OF WALL	WM	WATER METER
HSE	HOUSE COR	WV	WATER VALVE
GR	GRASS	IP	IRON PIPE
GM	GAS METER	DI	1.5' SL TOP OF GRATE - 1.5' FLOW LINE
P	IRON PIPE		

**SURVEYOR'S STATEMENT:**  
 THIS MAP REPRESENTS A FIELD SURVEY OF SURFACE FEATURES AND ELEVATIONS PERFORMED ON JULY 9, 2014.



MICHAEL B. STANTON, PLS 5702 DATE



- SURVEYOR'S NOTES:**
- NO TITLE SEARCH (TITLE REPORT) WAS PROVIDED TO THE SURVEYOR. EASEMENTS WHICH MAY AFFECT THE SUBJECT PROPERTY HAVE NOT BEEN PLOTTED.
  - ONLY THE SURFACE EVIDENCE OF UNDERGROUND UTILITIES HAVE BEEN MEASURED IN THE FIELD ON THIS SURVEY. IF APPROXIMATE UNDERGROUND ALIGNMENTS ARE SHOWN, I MAKE NO WARRANTY AS TO THE ACTUAL LOCATION, TYPE OR DEPTH OF THOSE UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (800) AT 1-800-542-2444 TO VERIFY THE ACTUAL LOCATION OF UTILITIES PRIOR TO ANY EXCAVATION. THE SURVEYOR ALSO HAS MADE NO INVESTIGATION AS TO SUBSURFACE ENVIRONMENTAL CONDITIONS THAT WOULD AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.
  - IT WILL BE THE ARCHITECT'S RESPONSIBILITY TO VERIFY SETBACK AND HEIGHT RESTRICTIONS WITH THE LOCAL GOVERNING AGENCY.
  - THE SIGNED AND SEALED ORIGINAL DRAWING OF THIS MAP CONSTITUTES THE FINAL WORK PRODUCT. MBS LAND SURVEYS WILL NOT BE LIABLE FOR ELECTRONIC VERSIONS OF THIS MAP PROVIDED TO OTHER PARTIES.
  - THE PROPERTY LINES SHOWN HEREON REPRESENT THE ACTUAL BOUNDARY LINES BASED ON A BOUNDARY SURVEY WHICH IS CURRENTLY IN PROGRESS. PERMANENT MONUMENTS WILL BE SET AT ALL PROPERTY CORNERS AND A CORNER RECORD MAP OR RECORD OF SURVEY MAP WILL BE SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO AS REQUIRED BY STATE LAW.

**BENCH MARK:**  
 THE BENCH MARK FOR THIS PROJECT IS THE CENTERLINE MONUMENT AT STUDIO DRIVE AND CORONADO, ELEVATION=35.55 (NAVD83)

**BASIS OF BEARINGS:**  
 THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS ALONG THE SOUTHWESTERLY RIGHT OF WAY OF STUDIO DRIVE BEARING N 30° 02' 00" W.

**SITE DATA:**  
 ADDRESS: 3265 STUDIO DR, CAYUCOS, CA  
 ASSESSOR'S PARCEL NO. APN 054-417-001

**TOPOGRAPHIC MAP**

LOT 10 OF BLOCK 45 OF THE MAP OF MORRO STRAND UNIT NO. 3 AS SHOWN ON MAP FILED IN BOOK 3 AT PAGE 112, IN THE COUNTY OF SAN LUIS OBISPO, CALIFORNIA

AT THE REQUEST OF DR. JEFFREY BROWN

JULY 2014 SCALE: 1"=3'  
 MICHAEL B. STANTON, PLS 5702  
 3553 SUREDO ST. UNIT G  
 SAN LUIS OBISPO, CA 93401  
 305-584-1990

DATE	REVISION



DATE	ISSUE
14 OCT 14	OWNER APPROVAL

JOB NUMBER  
**1415**

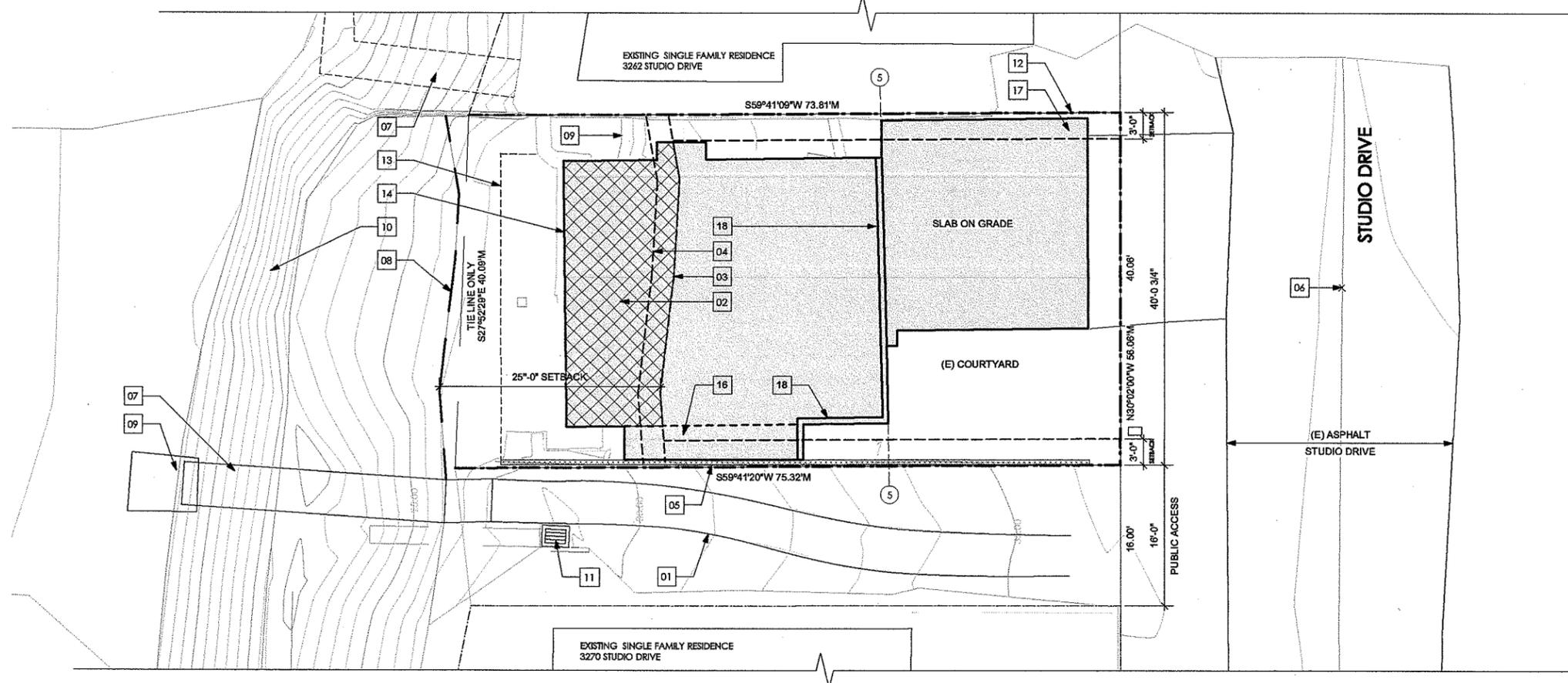
**ARCHITECTURAL  
SITE PLAN**

SHEET NUMBER

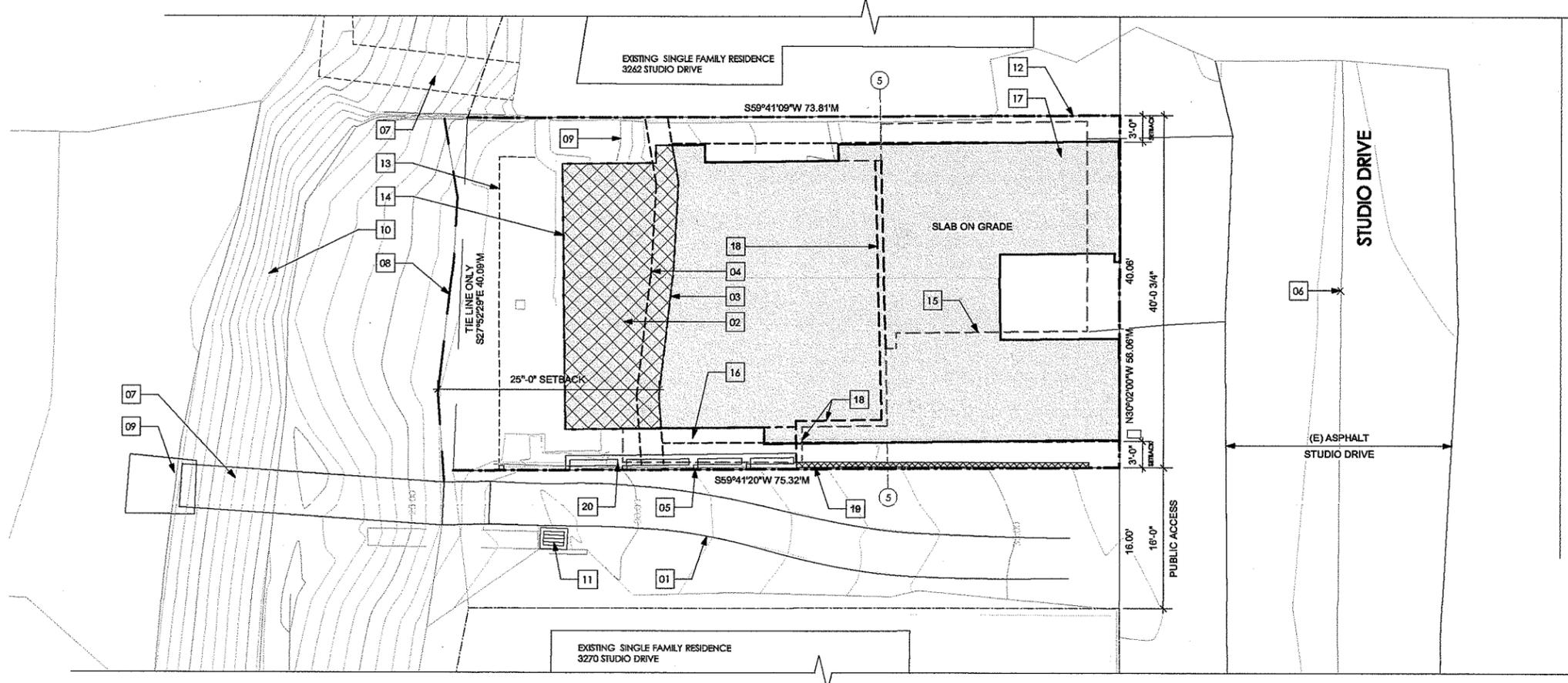
**AC1.0**

1. A separate encroachment permit is required for any work in the public right-of-way, mainline extensions, or work in a public easement. Work requiring an encroachment permit includes, but is not limited to, utility connections to a public main, street paving, or construction staging in the right-of-way.
2. Addresses shall be plainly visible and legible from the street or road fronting the property. Address numbers shall be 4" high, 1/2" min. stroke width and of contrasting color to their background. Where an address cannot be viewed from public way, a monument or pole shall be used.
3. Driveways shall be located and constructed per the City / County of San Luis Obispo's requirements.
4. Finish grading shall have a min. of 5% slope for a min. of 10 feet away from foundation of new structures - U.N.O in Civil drawings.
5. It is the contractor's responsibility to locate all existing utilities whether shown hereon or not and to protect them from damage. The contractor shall bear all expense of repair or replacement in conjunction with the execution of this work.
6. Minimum concrete compressive strength shall be 2,500psi at 28 days. Unless noted differently in structural plans.
7. Paving, masonry and concrete subcontractors are to coordinate with the electrician, drainline subcontractor and irrigation subcontractor for sleeving, piping and/or conduit installation under or through hardscape elements.
8. Project improvements shall be designed and constructed in accordance with the City / County of San Luis Obispo's standards and specifications and with all applicable County ordinances. The decision of the County engineer shall be final regarding the specific standards that shall apply.
9. Revisions required by unforeseen site conditions shall be approved by the architect prior to execution.
10. Water service piping and water meter shall be sized in accordance w/ the approved fire sprinkler plan.

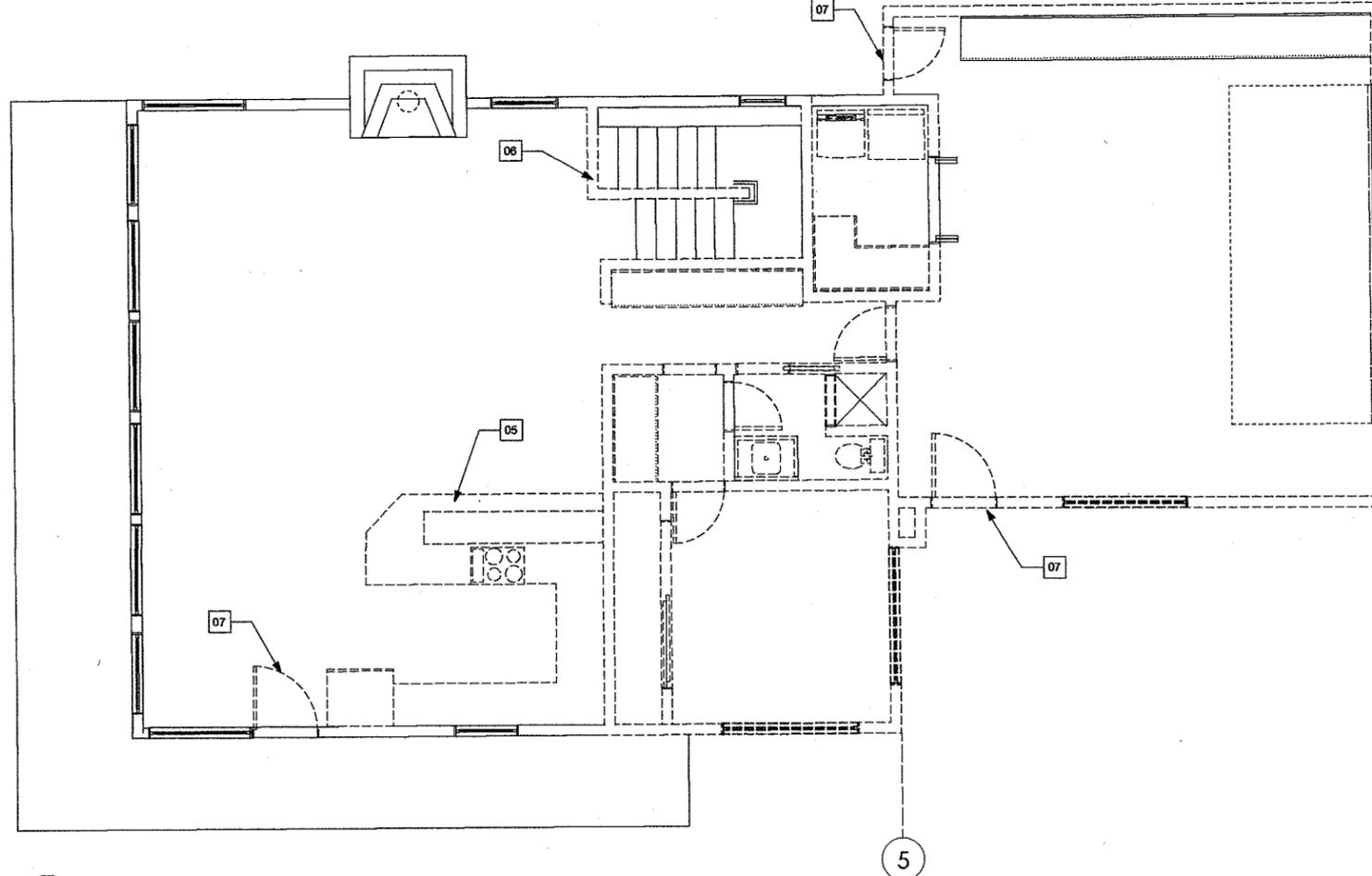
- SITE PLAN KEY NOTES**
1. (E) Concrete public Right of Way access to beach.
  2. Shaded area indicates area within setback from top of bank. No new work allowed on the exterior except for repairs as necessary.
  3. 25'-0" Setback from top of bank.
  4. 2'-6" Allowable area for deck.
  5. Existing non-conforming infill block wall shall be removed. Existing wood deck support columns shall remain or replaced for structural integrity. Existing deck above to remain.
  6. 37.21' Elevation point of street crown perpendicular to mid-point of property line.
  7. Existing wood stairs.
  8. Top of bank.
  9. Existing concrete steps.
  10. Rip rap granite boulder (typ.)
  11. Drainage inlet. Top of grate elevation point of 28.71'
  12. Existing electrical meter.
  13. Upper floor deck above.
  14. Building outline.
  15. Existing building outline.
  16. Existing non-conforming storage space to be removed.
  17. Existing non-conforming garage to be removed.
  18. Existing retaining wall to remain. No new work.
  19. (E) retaining wall to remain. Re-surface with exterior plaster to match residence.
  20. (N) 18" planters.



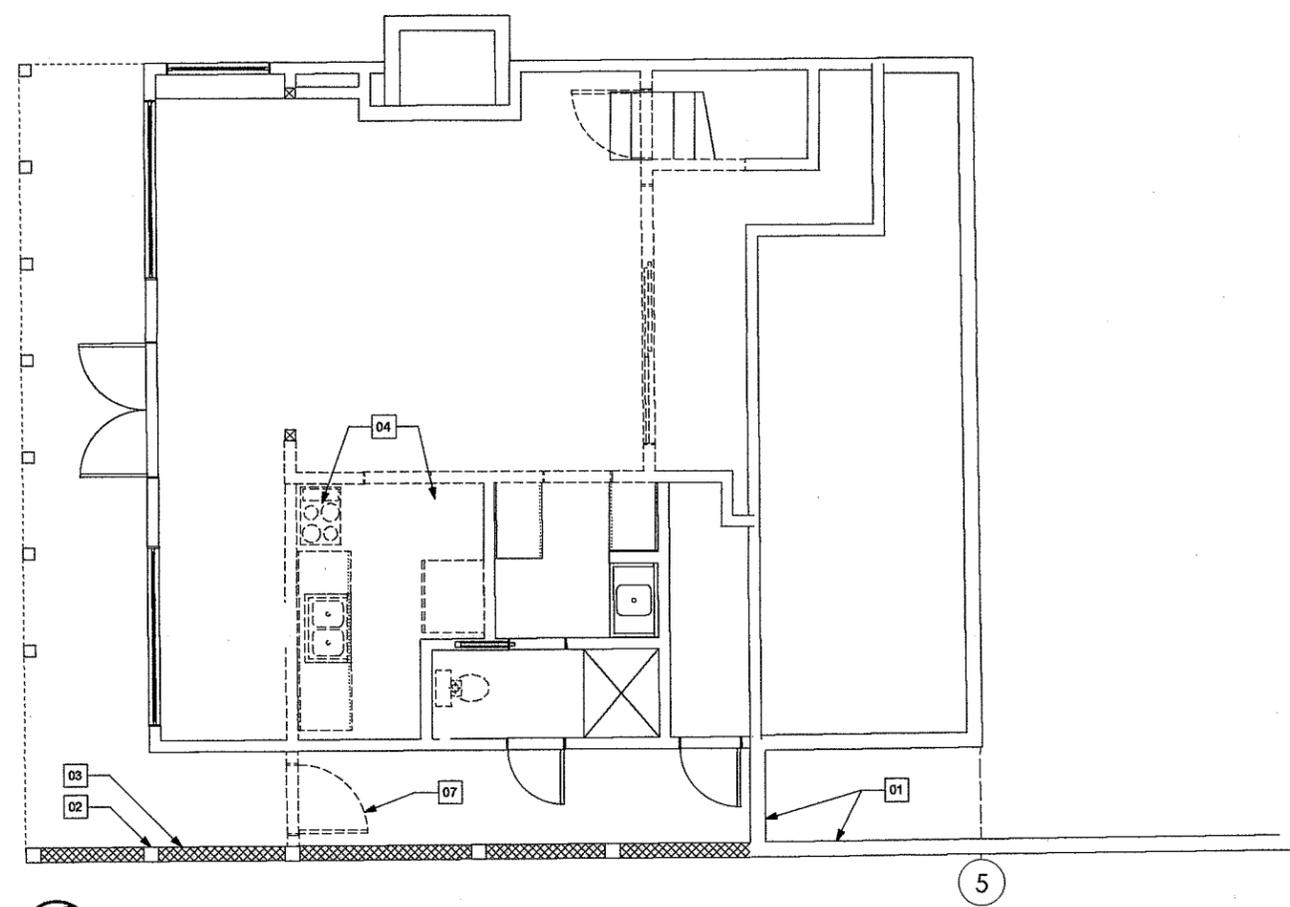
**(E) ARCHITECTURAL SITE PLAN**  
Scale: 1/8" = 1'-0"



**(D) ARCHITECTURAL SITE PLAN**



**DEMOLITION PLAN - GROUND**  
 Scale: 1/4" = 1'-0"



**DEMOLITION PLAN - LOWER**

- # DEMOLITION PLAN KEYNOTES**
- (E) Retaining Wall to remain.
  - (E) Structural columns supporting deck above shall remain/replace for integrity.
  - (E) masonry infill wall shall be removed and replaced with planters.
  - (E) Non-conforming kitchen shall be removed.
  - (E) kitchen to be removed.
  - (E) Railing to be replace. Existing stairs to remain.
  - (E) Door to be removed.



**BEACH HOUSE**  
 3266 STUDIO DRIVE  
 CAYUCOS, CA 93430  
 APN: 064-417-001

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**DEMOLITION FLOOR PLAN**

SHEET NUMBER  
**AD1.0**



**EXTERIOR**

(N) 2x6 FRAMING @ 24" O.C. W/ 5/8 GYPSUM BOARD AND PLYWOOD SHEAR (WHERE REQ'D) & STUCCO PROVIDE INSULATION AT ALL EXTERIOR WALLS.

(E) 2x FRAMING @ 16" O.C. W/ LATH AND PLASTER INTERIOR. PLASTER AND WAINSCOT SIDING EXTERIOR

**INTERIOR**

(N) 2x FRAMING (MATCH EXISTING) @ 24" O.C. W/ 5/8 GYPSUM BOARD PROVIDE R-21 INSULATION BETWEEN GARAGE AND RESIDENCE

(E) 2x4 FRAMING @ 16" O.C. W/ 5/8 GYPSUM BOARD

(E) 2x4 FRAMING @ 16" O.C. W/ 5/8 GYPSUM BOARD & SOUND INSULATION

☒ COLUMN PER STRUCTURAL

**INSULATION NOTES**

(E) EXTERIOR WALLS BLOWN IN CELLULOSE FOR R-21

(N) EXTERIOR WALLS BLOWN IN CELLULOSE FOR R-21

ROOF, ATTIC, & TRUSSES BLOWN IN CELLULOSE FOR R-30

VALUED CEILING 2" ICYNE WITH BATT INSULATION

**SUPPLIERS:**

HAYWARD LUMBER  
805.543.0825 - WWW.HAYWARDLUMBER.COM

MASCO CONTRACTOR SERVICES, INC  
805.945.4962 - WWW.MASCOCS.COM

INSULATE SB  
805.845.3999 - WWW.INSULATESB.COM

**SYMBOL LEGEND**

→ INDICATES DIRECTION OF VIEW

← SECTION CUT REFERENCE

— SHEET NUMBER

→ INDICATES DIRECTION OF VIEW

← INTERIOR ELEVATION REFERENCE NUMBER

— SHEET NUMBER

⊕ DOOR ID - REFER TO SHEET A3.0

⊕ WINDOW ID - REFER TO SHEET A3.0

**ABBREVIATIONS** FOR A COMPLETE LIST OF ABBREVIATIONS, REFER TO T1.0

TEMP. TEMPERED GLAZING REQUIRED

R.O. ROUGH OPENING

P.W. PLYWOOD

PLT. HT. PLATE HEIGHT

F.F. FINISH FLOOR

HDR. HEADER

**DRYER EXHAUST DUCT NOTES**

- Exhaust ducts shall be constructed of min. .016" thick rigid metal, having smooth interior surfaces with joints running in the direction of air flow. Exhaust ducts shall not be connected with steel-metal screws or fastening means which extend into the duct.
- Exhaust duct terminations shall be equipped with a backdraft damper. Screen shall not be installed at the duct termination.
- Exhaust ducts shall terminate on the outside of the building. Exhaust ducts shall terminate not less than 3 feet in any direction from openings into buildings.
- The max. length of a clothes dryer exhaust duct shall not exceed 14 feet with two elbows. This shall be reduced 2' for every elbow in excess of two. The max. length of the exhaust duct does not include the transition duct.

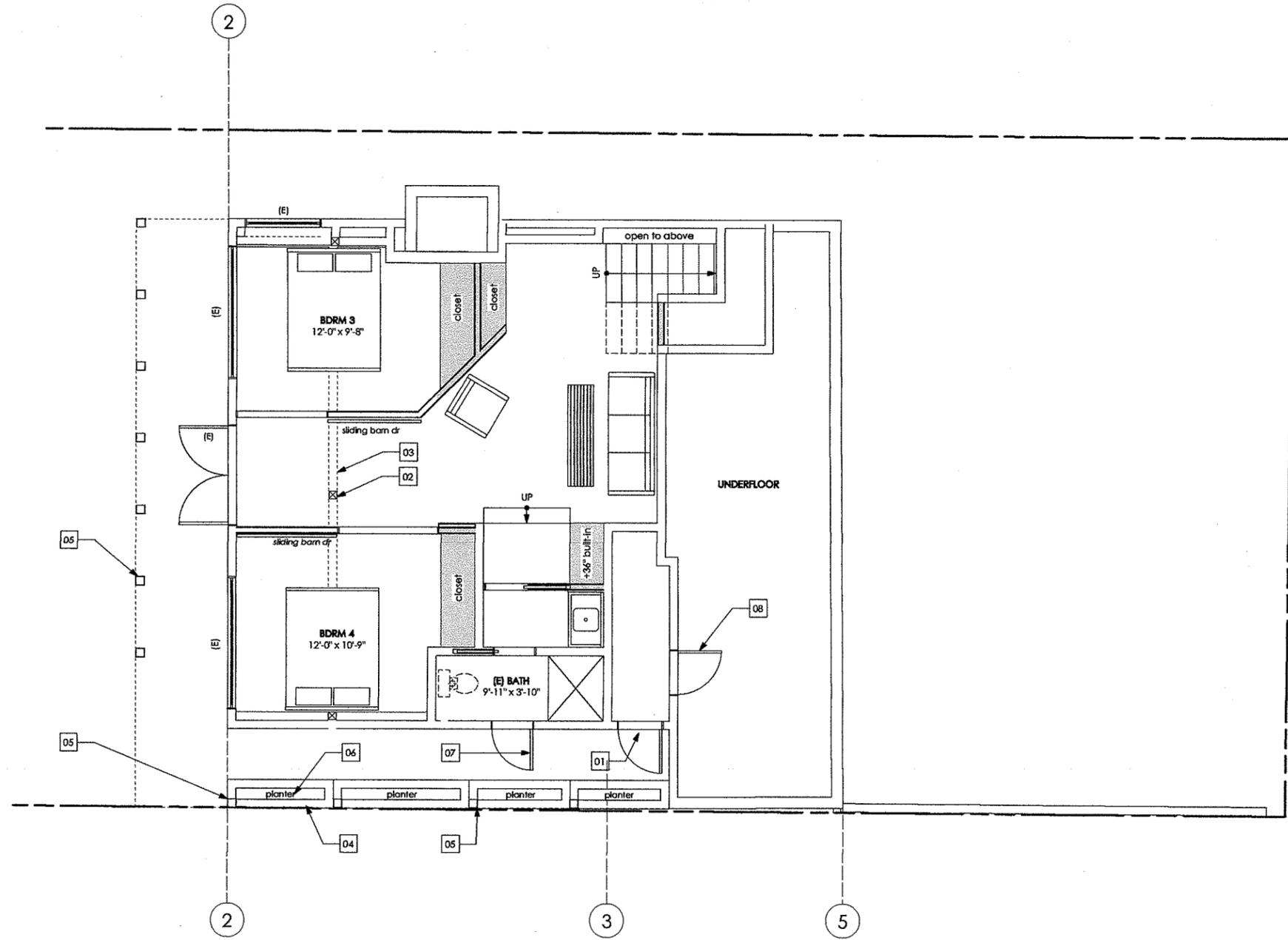
PER 905.4 UMC & SECTION M1502 OF IRC

**DIMENSIONAL PLAN GENERAL NOTES**

- Verify all dimensions prior to construction and notify architect with all discrepancies prior to construction
- All door heights & window heights per schedule, typ. U.N.O. verify rough openings prior to framing. U.N.O.
- Refer to Dimensional Floor Plans for ceiling heights.
- All angles shall be 45°, typ. U.N.O.
- Provide 5/8" gypsum wallboard at all ceilings and walls - typ. U.N.O. verify finish with owner. U.N.O.
- Provide solid blocking at all studs for securing all items including but not limited to mirrors, counters, shelving, casework and furniture
- Verify with owner for all appliances and equipment sizes and locations, prior to installation
- Landing shall be same elevation on each side of door & shall be level. Exterior landings are permitted to slope up to 2%. (CBC 2013 - §1008.1.5)
- Provide exterior furring at all window walls to provide equal jamb depths and at adjacent walls to create flush condition at all non-shear walls.
- Hardwood plywood, particle board and medium density fiberboard composite wood products used on the interior and exterior of the building shall meet the requirements for formaldehyde as specified by table 4.504.5 (2010 Calgreen code) refer to sheet H1.1 for more info.
- Fire stops to be installed in concealed spaces of stud walls including furred spaces at ceiling and floor levels and at 10 foot intervals along the wall length and in openings around vents, pipes, ducts, chimneys, fireplaces, and similar opening which afford passage of fire between floor levels and floors to ceiling or attics.
- Provide stair risers not more than 7 3/4" or less than 4". Greatest riser within any flight of stairs shall not exceed smallest by 3/8". (CRC R311.7.4)
- Provide stair tread depth not less than 10". Greatest tread depth within any flight of stairs shall not exceed smallest by more than 3/8". Slope exterior surfaces not greater than 2%. (CRC R311.7.4)

**# DIMENSIONAL PLAN KEYNOTES**

- Existing underfloor access.
- (E) Structural Column.
- (E) Structural beam above.
- Remove existing non-conforming masonry infill wall, structural columns to remain.
- (E) Structural deck column to remain. Repair/replace as necessary.
- (N) 18" tall concrete planters.
- (E) door shall be replaced with obscure glass french door.
- (E) access door to underfloor area.
- N/A



**\*NOTE:**  
Dimensions shown to the center of the wall unless otherwise noted.

**BEACH HOUSE**  
3266 STUDIO DRIVE  
CAYUCOS, CA 93430  
APN: 064-417-001

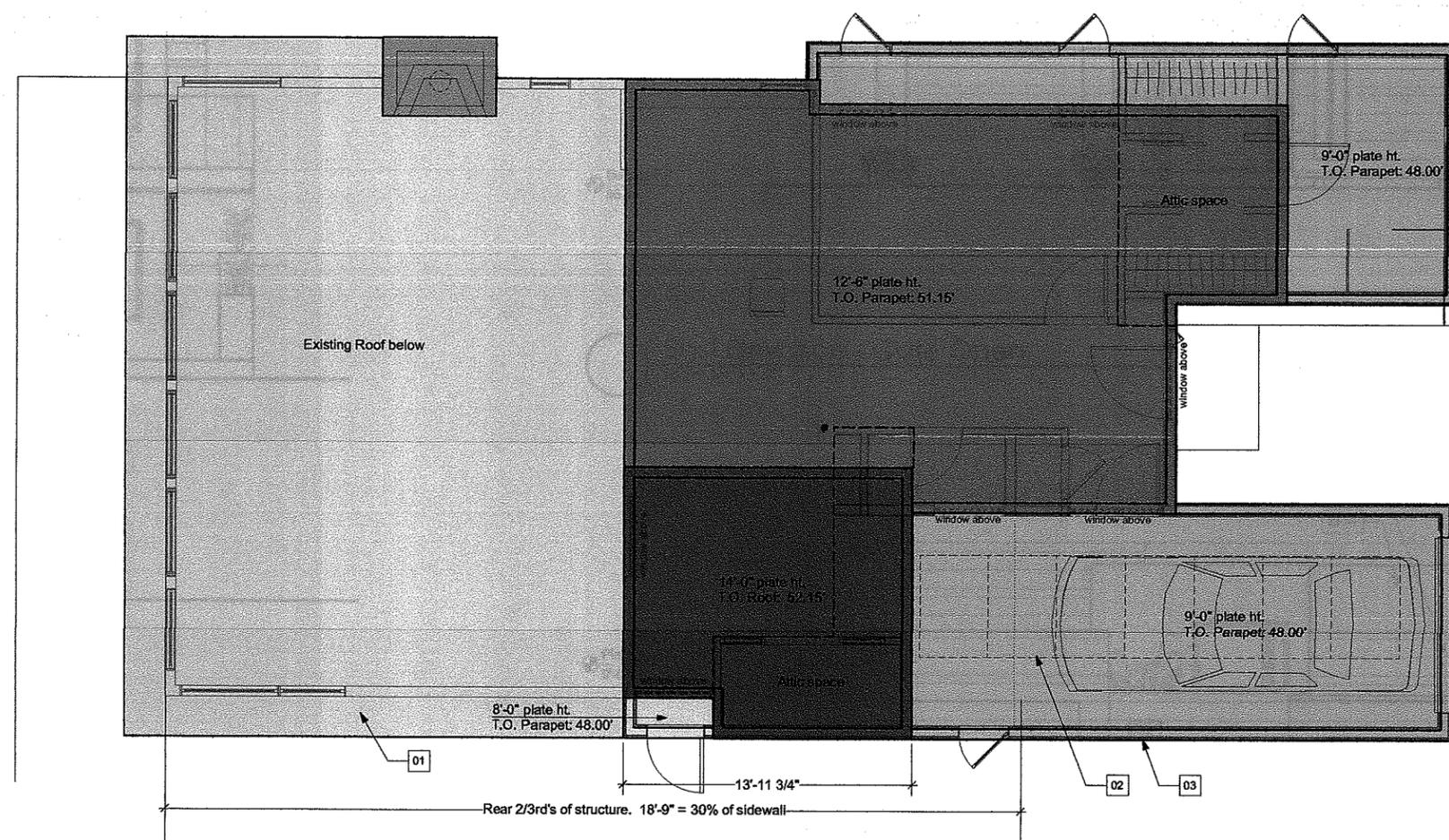
DATE 14 OCT 14  
ISSUE OWNER APPROVAL

JOB NUMBER  
**1415**

**DIMENSIONAL FLOOR PLAN**

SHEET NUMBER  
**A1.0**





**ARCHITECTURAL ROOF PLAN**  
 Scale: 1/4" = 1'-0"

**BEACH HOUSE**  
 3266 STUDIO DRIVE  
 CAYUCOS, CA 93430  
 APN: 064-417-001

DATE	ISSUE
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**ROOF PLAN GENERAL NOTES**

A NON COMBUSTIBLE ROOF IS REQUIRED AND SHALL INCLUDE THE FOLLOWING ITEMS:

- WHERE ROOF ALLOWS A SPACE BETWEEN ROOF COVERING & ROOF DECKING, SPACES MUST PREVENT FLAMES AND EMBERS AND BE FIRE-STOPPED WITH APPROVED MATERIALS OR HAVE 1 LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
- CRICKET AND VALLEY FLASHING SHALL NOT BE PROVIDED OF LESS THAN 0.016 INCH (NO. 28 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 11" FROM THE CENTER LINE, EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". FLASHING SHALL BE INSTALLED OVER A MINIMUM 3/8" WIDE UNDERLAYMENT OF 1 LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
- AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED PER THE ROOFING MANUFACTURER'S INSTRUCTIONS AND, WHEN OF METAL, SHALL NOT BE LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL.
- FLASH ALL PLUMBING, MECHANICAL AND ELECTRICAL ROOF PENETRATION PER 2003 S.M.A.C.N.A. RECOMMENDATIONS
- ROOF GUTTERS SHALL PROVIDE A MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES, UNLESS DESIGNATED TO PREVENT INTRUSION OF FLAME & BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE.
- WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING
- VENTS OPENING INTO THE ATTIC OR SUBFLOOR IN EXTERIOR WALLS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAME AND EMBERS, OR THE VENTS SHALL BE SCREENED WITH CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH. THE SIZE OF THE OPENINGS IN THE MESH SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
- VENTILATED OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW

**ROOF MATERIAL SPECIFICATION**

**ASPHALT SHINGLE ROOF:**  
 FLAT ROOFING MATERIAL-TYP. ALL ROOFS U.N.O.:  
 VERSICO ROOFING SYSTEMS: VERSIFLEX PVC ROOFING, FULLY ADHERED, INSTALLED OVER 1/4" SECURROCK GYPSUM FIBER ROOF BOARD BY USG. INSTALL ROOFING AND ROOF BOARD PER MANUFACTURER'S SPECIFICATIONS

ALL METAL FLASHING TO BE NOT LESS THAN 28 GA GALVANIZED FLASHING

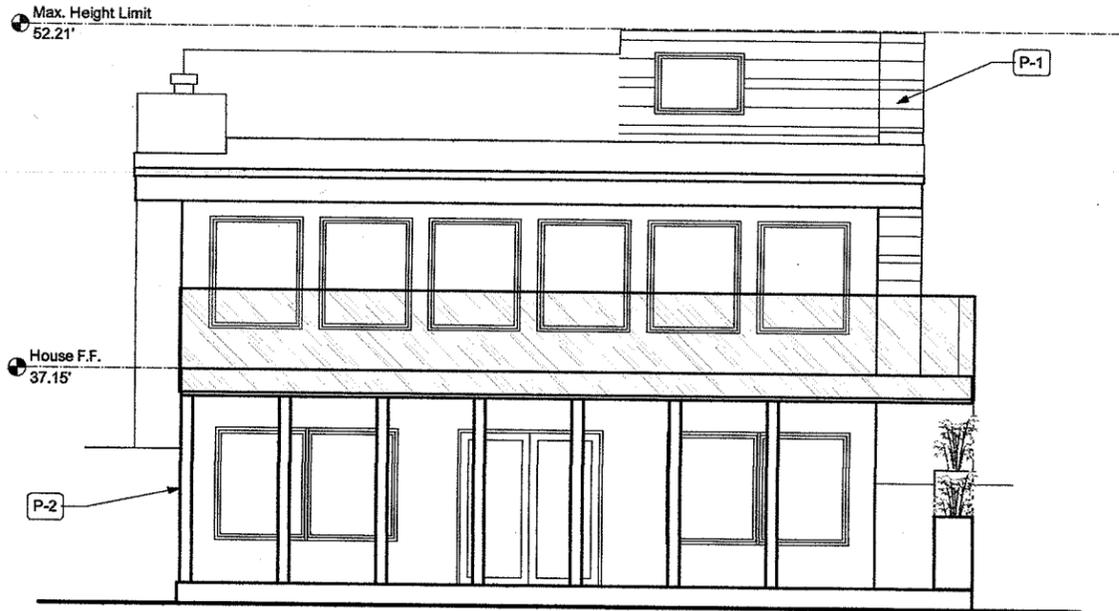
**# ROOF PLAN KEYNOTES**

- Existing roof to remain.
- Dashed lines indicate PV (solar) roof panels.
- 6" wide parapet.

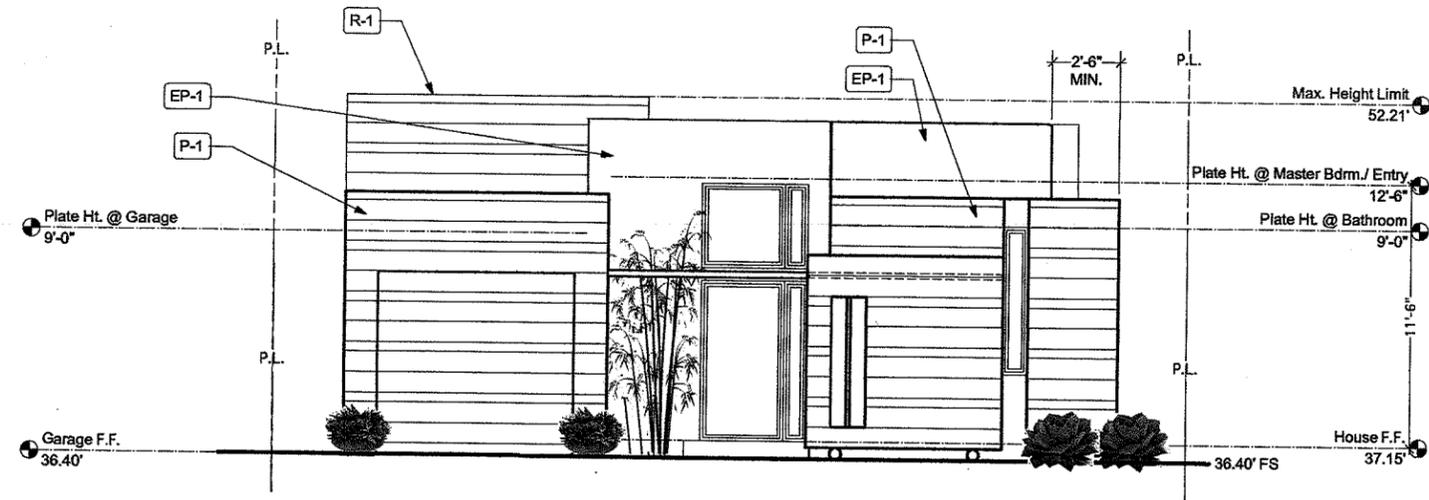
JOB NUMBER  
**1415**

**ROOF PLAN**

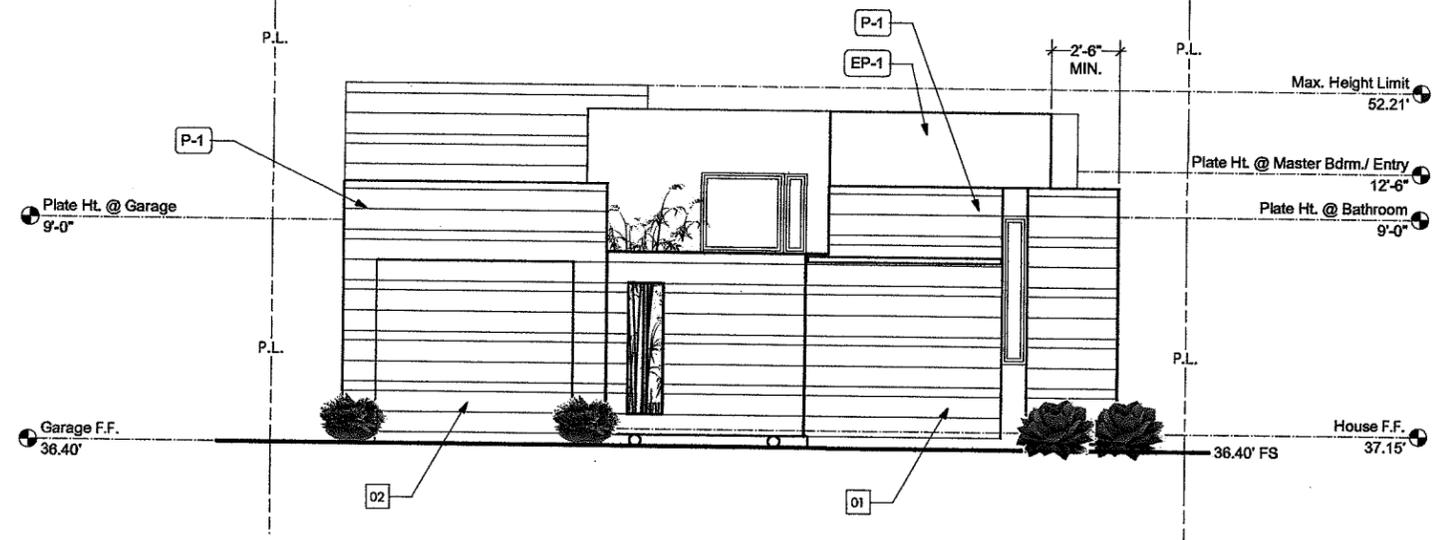
SHEET NUMBER  
**A8.0**



West Elevation  
Scale: 1/4" = 1'-0"



East Elevation - Gate Open  
Scale: 1/4" = 1'-0"



East Elevation - Gate Closed  
Scale: 1/4" = 1'-0"

MATERIAL AND FINISH LEGEND EXTERIORS

ROOF

R-1 MATERIAL: BUILT UP ROOFING WITH MINERAL SURFACED CAP SHEET  
MFRG: GAF OR EQ.  
COLOR: GRAY

PAINT / EXTERIOR PLASTER

EP-1 MATERIAL: EXTERIOR PLASTER  
MFRG: LA HABRA  
COLOR: EGG SHELL (X-73)

P-1 MATERIAL: HARDIE PLANK LAP SIDING  
MFRG: JAMES HARDIE  
COLOR: MONTEREY TAUPE

P-2 MATERIAL: PAINT  
MFRG: DUNN EDWARDS  
COLOR: SAND DOLLAR

EXTERIOR ELEVATIONS GENERAL NOTES:

- Chimneys: Where applicable chimney caps, extensions, flues and inserts may require an EPA approved catalytic converter or equal per County of San Luis Obispo air quality requirements. Spark arrestors shall have a min. 1/4" wire mesh and shall be installed on all chimneys. Verify with local jurisdictions for type, specifications and additional information.
- Exterior finishes and colors refer to approved colorboard for exterior colors and finishes.
- Flashing: Provide flashing and counter-flashing per U.B.C. 1707 at chimneys, parapets, balconies, landings, exterior stairways, roof to wall intersections, and any other vertical to horizontal intersections to provide a weather and water tight job. Flashing and counter-flashing shall be min. 26 ga. galv. metal. Paint all galv. metal material to match adjacent material (i.e. at roof penetrations, louvers, etc.).
- Gutter and Downspouts: Gutter and downspouts shall be installed on all roof areas U.N.O. All gutters shall be painted U.N.O. All downspouts shall be galv. metal and tied into underground drainage. Refer to the Grading / Drainage Plan for additional information.
- Lath and Plaster: Exterior plaster to comply with U.B.C. XXXX and shall consist of a base (scratch) coat, finish (brown) coat, and a (final) color coat. Provide galv. exterior corner beads and interior corner reinforcing.
- Weep Screeds: Weep screeds shall be a minimum 0.019-inch (0.48mm) (no. 26 galv. sheet gage) corrosion resistant with a minimum vertical attachment flange of 3 1/2" and shall be provided at or below the foundation plate line on all exterior stud walls receiving exterior plaster. The screed shall be placed a min. of 4" above the earth or 2" above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather resistive barrier shall lap the attachment flange and

# EXTERIOR ELEVATION KEYNOTES

- Flat plate steel.
- Siding over custom garage door.

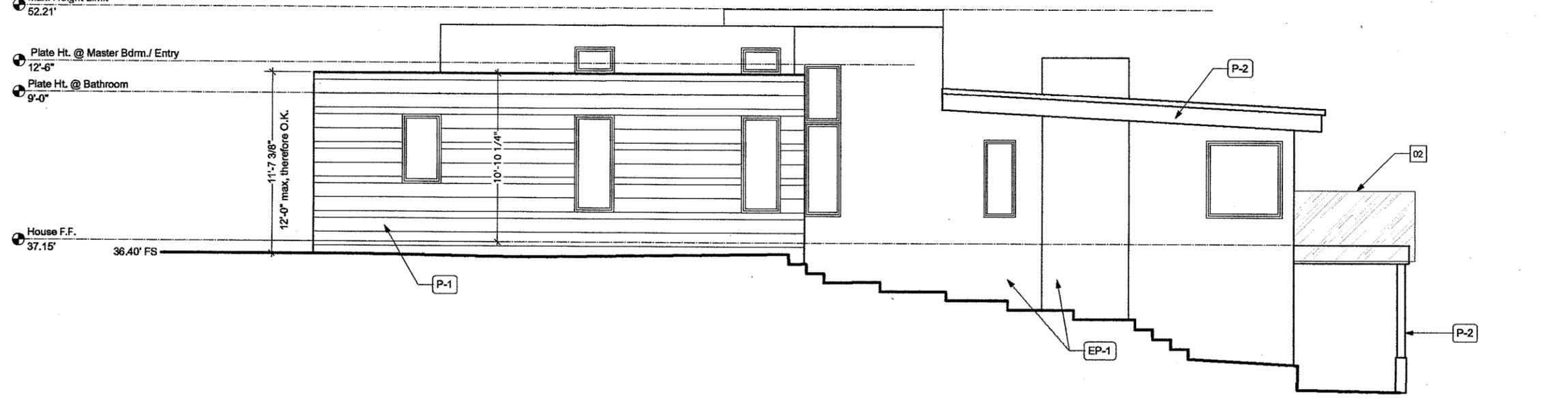
Max. Height Limit  
52.21'

Plate Ht. @ Master Bdrm./ Entry  
12'-6"

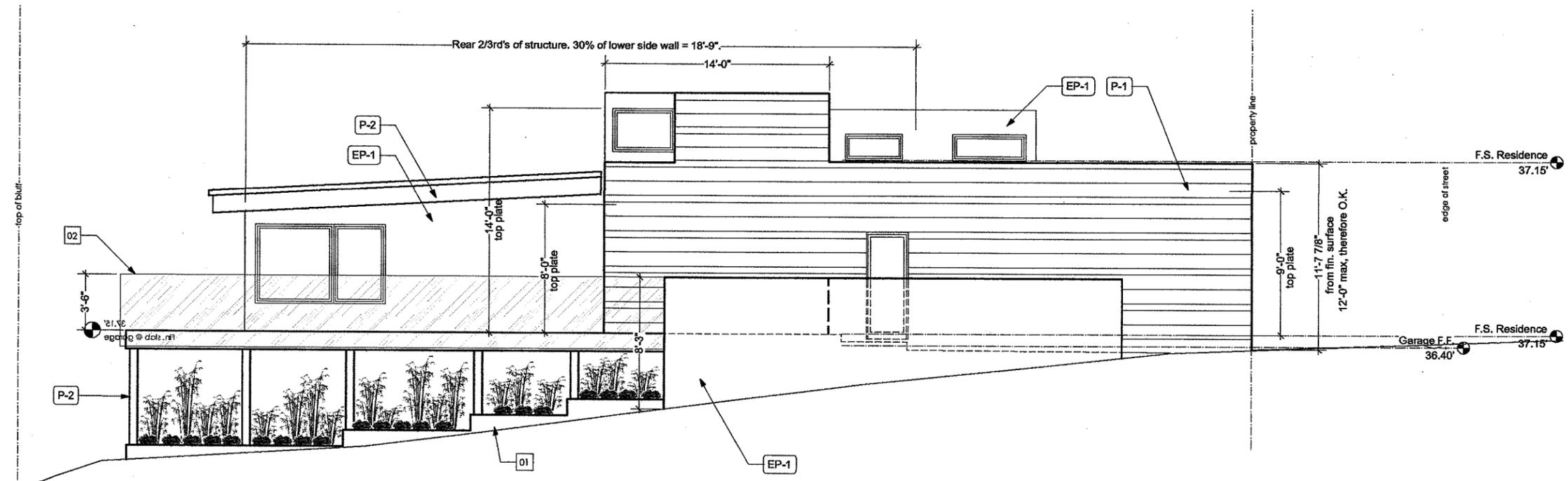
Plate Ht. @ Bathroom  
9'-0"

House F.F.  
37.15'

36.40' FS



North Elevation  
Scale: 1/4" = 1'-0"



South Elevation  
Scale: 1/4" = 1'-0"

MATERIAL AND FINISH LEGEND EXTERIORS	
<b>ROOF</b>	
R-1	MATERIAL: BUILT UP ROOFING WITH MINERAL SURFACED CAP SHEET MFRG: GAF OR EQ. COLOR: GRAY
<b>PAINT / EXTERIOR PLASTER</b>	
EP-1	MATERIAL: EXTERIOR PLASTER MFRG: LA HABRA COLOR: EGG SHELL (X-73)
P-1	MATERIAL: HARDIE PLANK LAP SIDING MFRG: JAMES HARDIE COLOR: MONTEREY TAUPE
P-2	MATERIAL: PAINT MFRG: DUNN EDWARDS COLOR: SAND DOLLAR

- EXTERIOR ELEVATIONS GENERAL NOTES:**
- Chimneys: Where applicable chimney caps, extensions, flues and inserts may require an EPA approved catalytic converter or equal per County of San Luis Obispo air quality requirements. Spark arrestors shall have a min. 1/4" wire mesh and shall be installed on all chimneys. Verify with local jurisdictions for type, specifications and additional information.
  - Exterior finishes and colors refer to approved colorboard for exterior colors and finishes.
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  - Gutter and Downspouts: Gutter and downspouts shall be installed on all roof areas U.N.O. All gutters shall be painted U.N.O. All downspouts shall be galv. metal and tied into underground drainage. Refer to the Grading / Drainage Plan for additional information.
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  - Weep Screeds: Weep screeds shall be a minimum 0.019-inch (0.48mm) (no. 26 galv. sheet gage) corrosion resistant with a minimum vertical attachment flange of 3 1/2" and shall be provided at or below the foundation plate line on all exterior stud walls receiving exterior plaster. The screed shall be placed a min. of 4" above the earth or 2" above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the

- # EXTERIOR ELEVATION KEYNOTES**
- New 18" concrete planter.
  - (N) tempered glass railing to replace existing deteriorating rail.

**STUDIO 2G**  
Architects, LLP  
gibson + gaugh

1540 Marsh Street, Suite 230  
San Luis Obispo, CA 93401  
www.studio-2g.com  
P 805.594.0771  
F 805.594.5137

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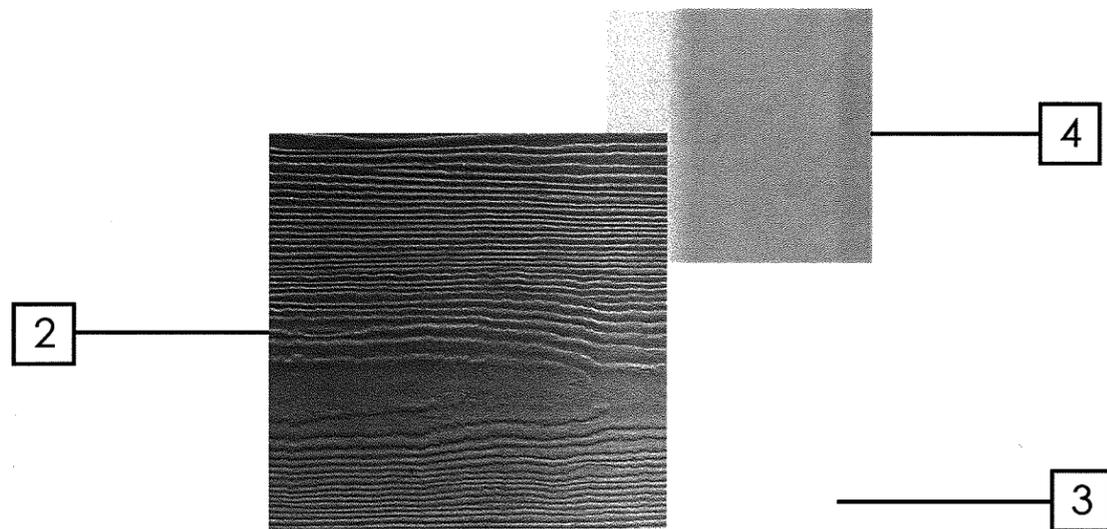
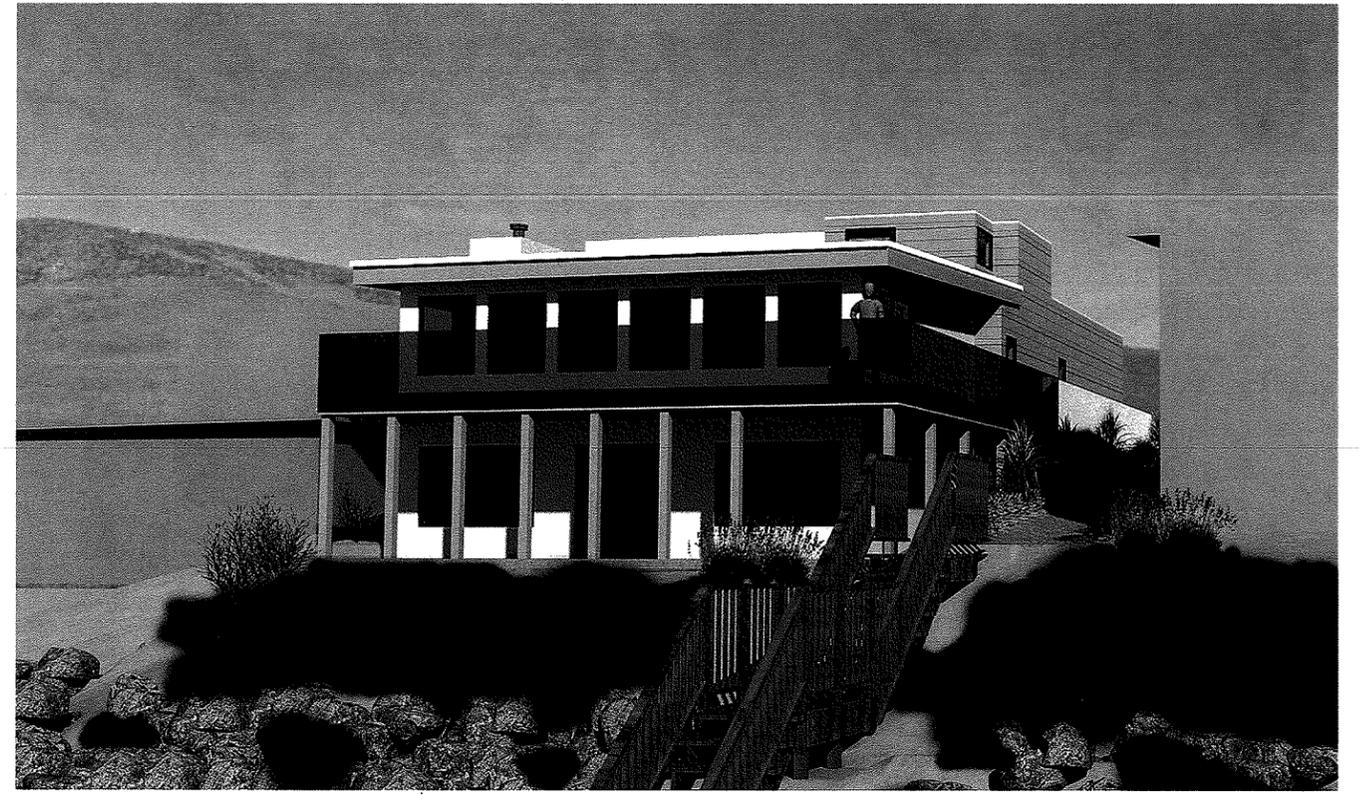
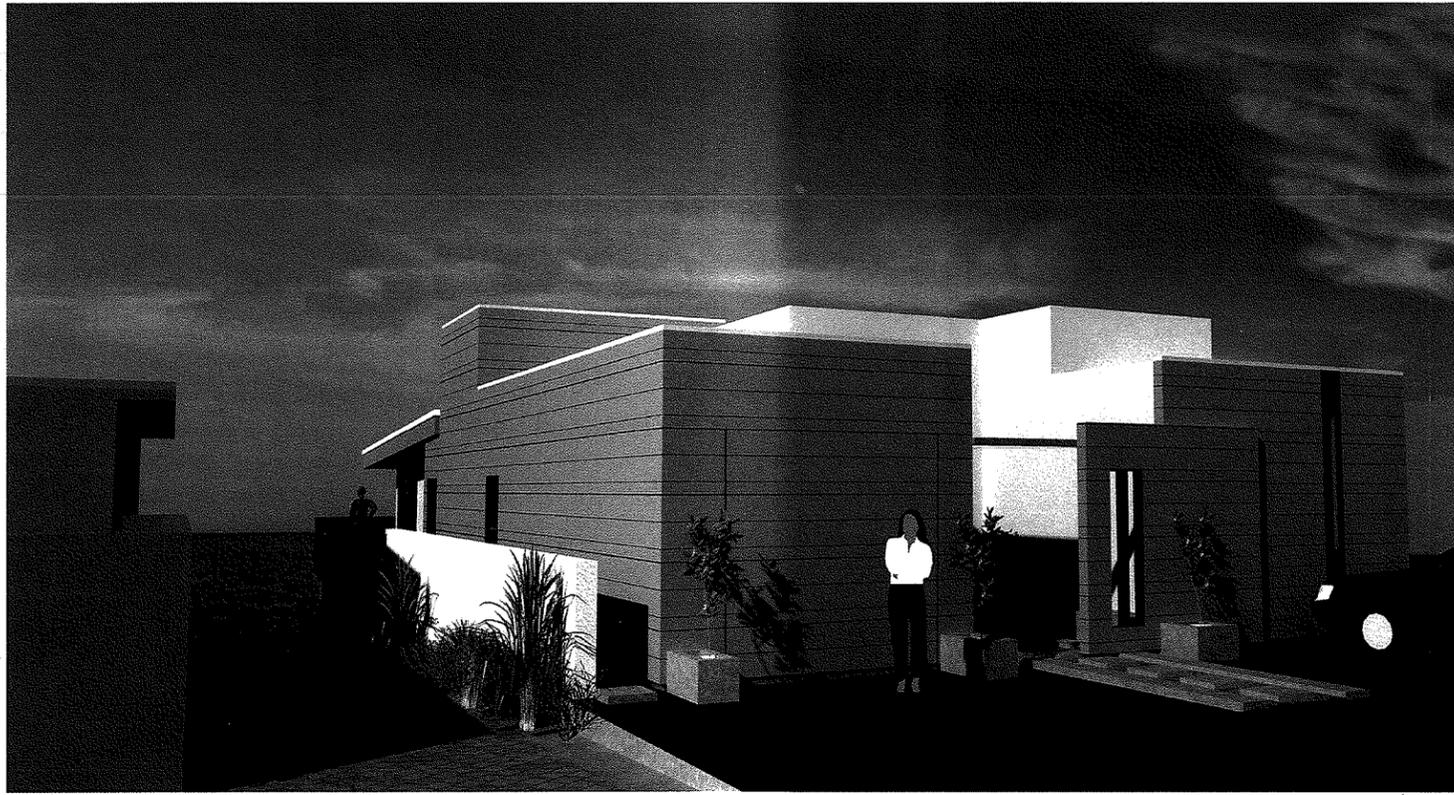
**BEACH HOUSE**  
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**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A9.1**



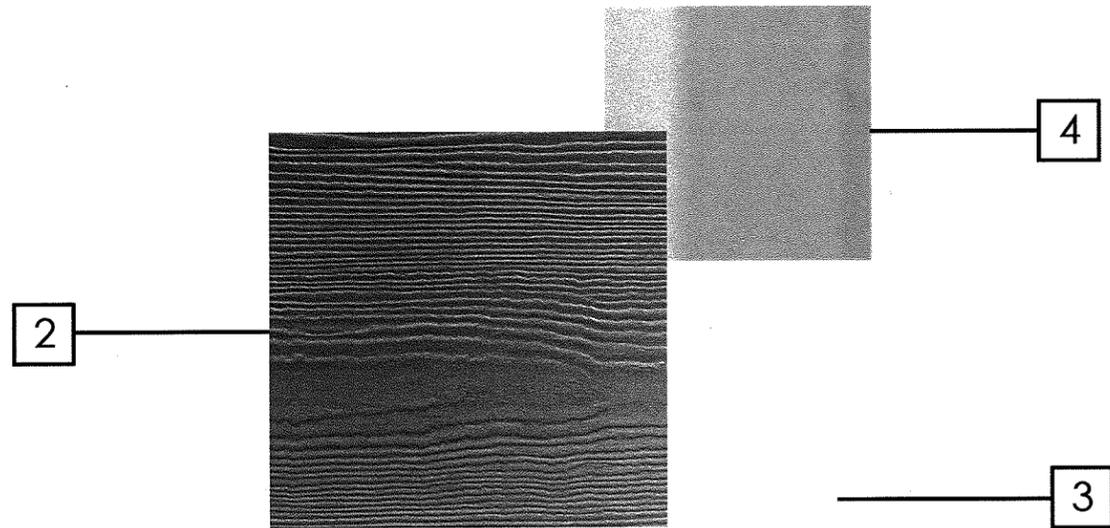
- 1 Built-up roofing  
MFR: GAF or EQ.  
COLOR: Gray
- 2 Lap fiber cement Siding (10 3/4" exp. & 5" exp.)  
MFR: James Hardie  
Color: Monterey Taupe
- 3 Exterior Plaster  
MFR: La Habra  
Color: Egg shell (X-73)
- 4 Wooden deck/columns - Painted  
MFR: Dunn Edwards  
Color: Sand Dollar

# Brown Residence

3266 Studio Drive Cayucos, Ca. 93430



1540 Marsh Street  
San Luis Obispo, Ca. 93401



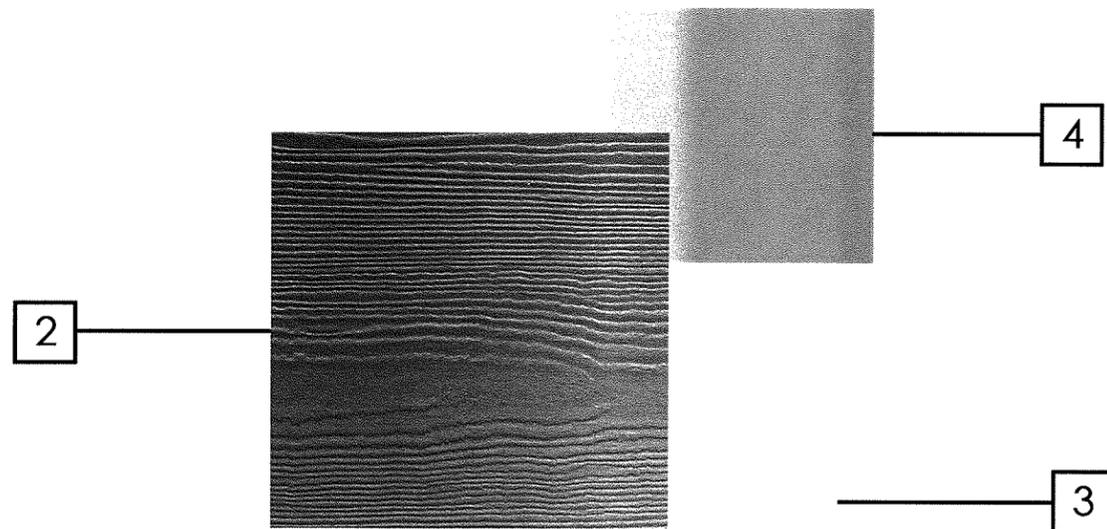
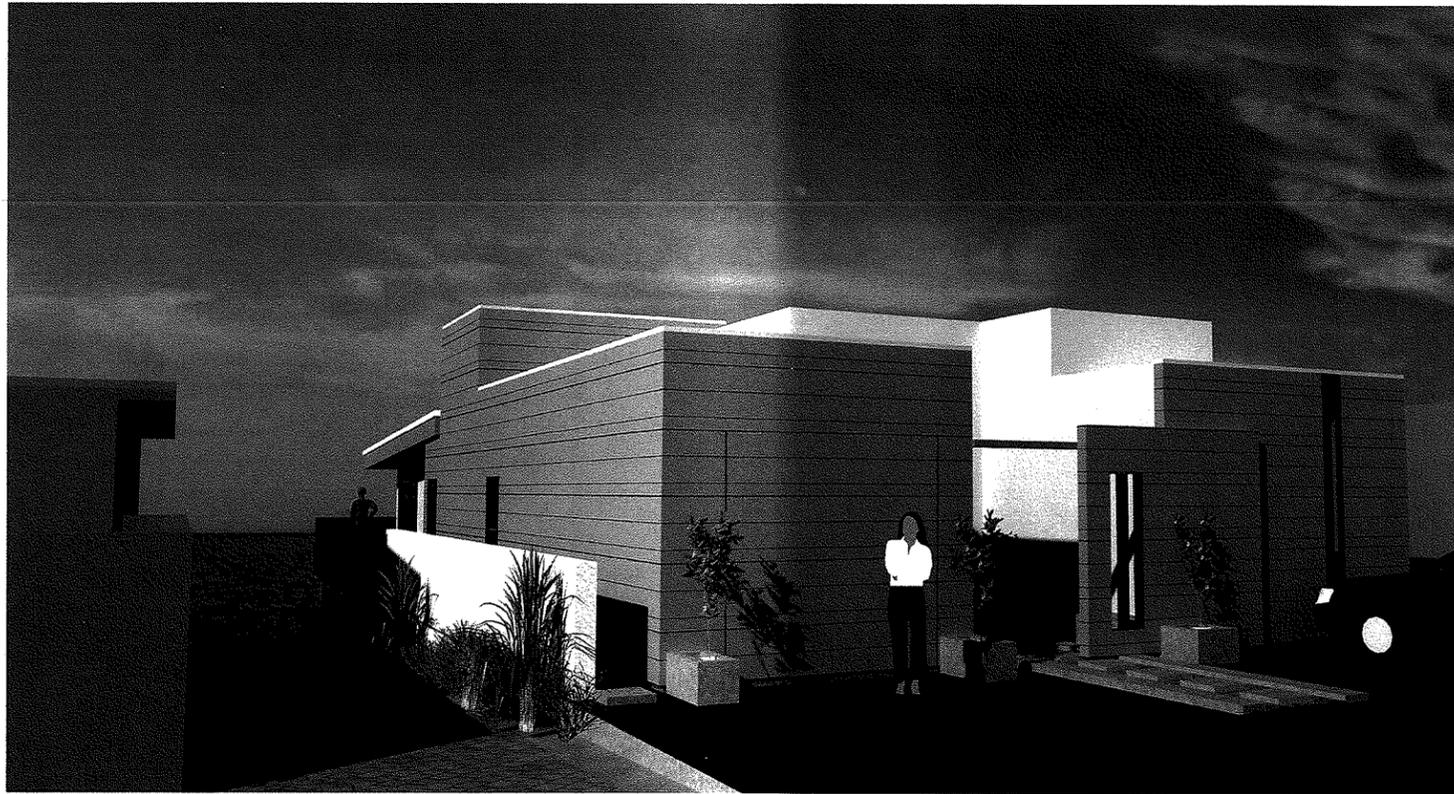
- 1 Built-up roofing  
MFR: GAF or EQ.  
COLOR: Gray
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MFR: James Hardie  
Color: Monterey Taupe
- 3 Exterior Plaster  
MFR: La Habra  
Color: Egg shell (X-73)
- 4 Wooden deck/columns - Painted  
MFR: Dunn Edwards  
Color: Sand Dollar

# Brown Residence

3266 Studio Drive Cayucos, Ca. 93430

studio  
**2G**  
Architects, LLP  
gibson • gough

1540 Marsh Street  
San Luis Obispo, Ca. 93401



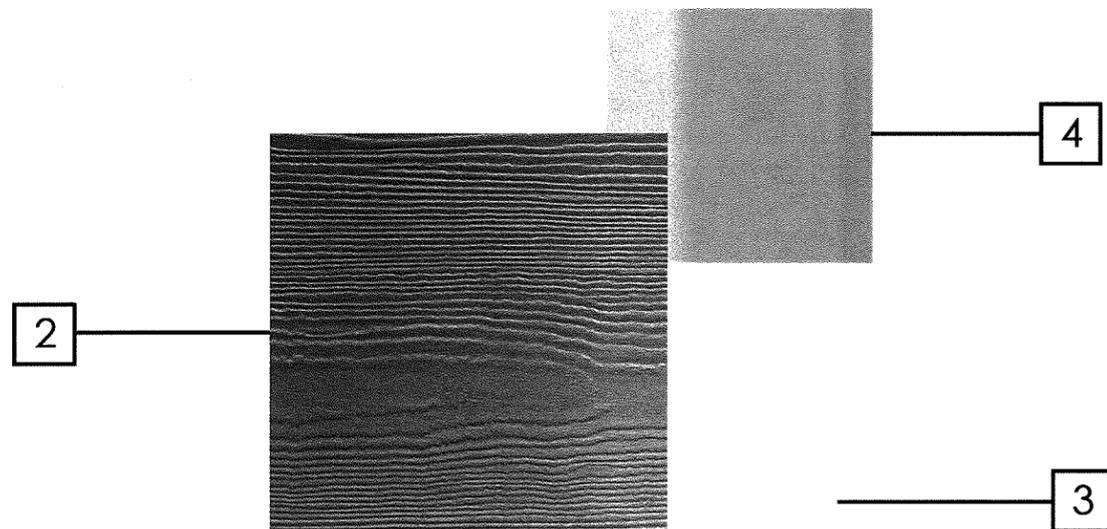
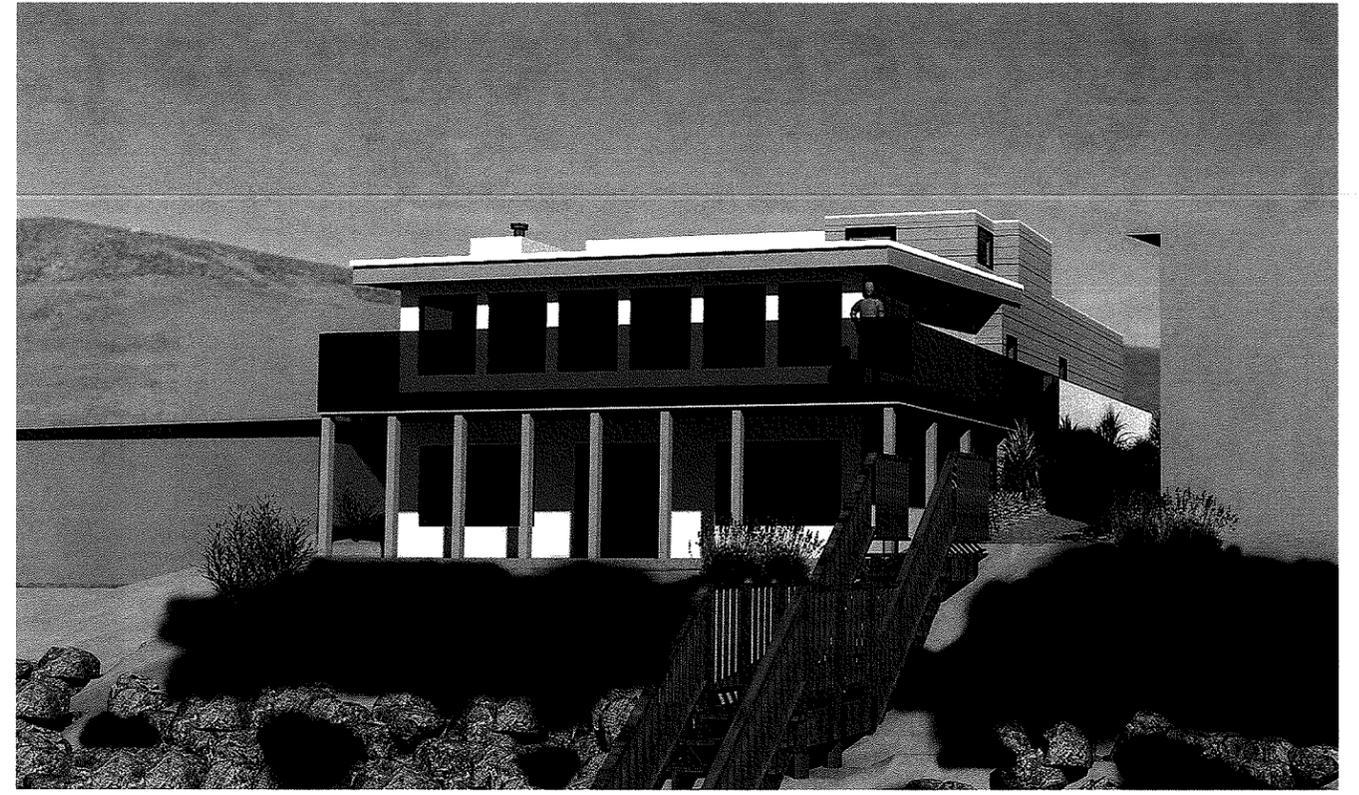
- 1 Built-up roofing  
MFR: GAF or EQ.  
COLOR: Gray
- 2 Lap fiber cement Siding (10 3/4" exp. & 5" exp.)  
MFR: James Hardie  
Color: Monterey Taupe
- 3 Exterior Plaster  
MFR: La Habra  
Color: Egg shell (X-73)
- 4 Wooden deck/columns - Painted  
MFR: Dunn Edwards  
Color: Sand Dollar

# Brown Residence

3266 Studio Drive Cayucos, Ca. 93430

studio  
**2G**  
Architects, LLP  
gibson • gough

1540 Marsh Street  
San Luis Obispo, Ca. 93401



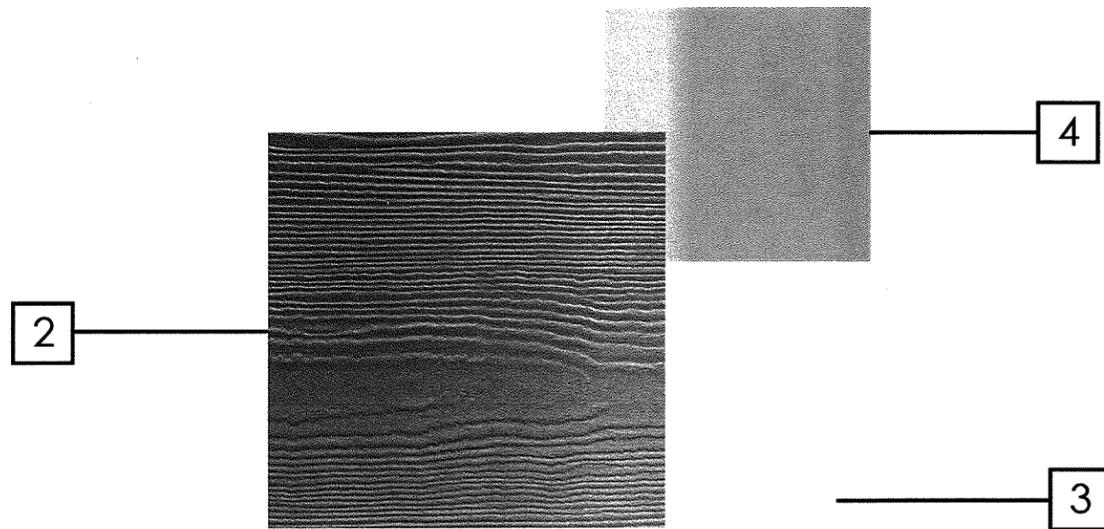
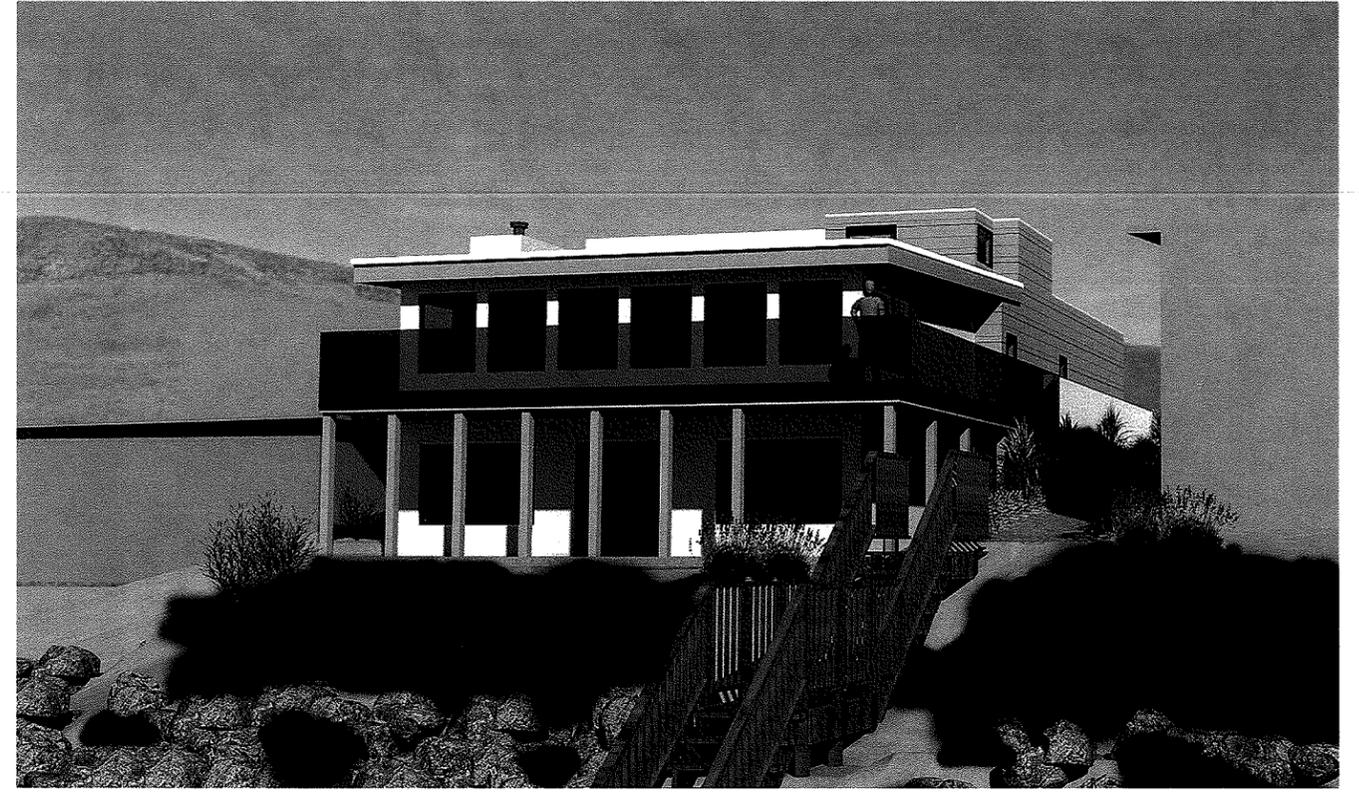
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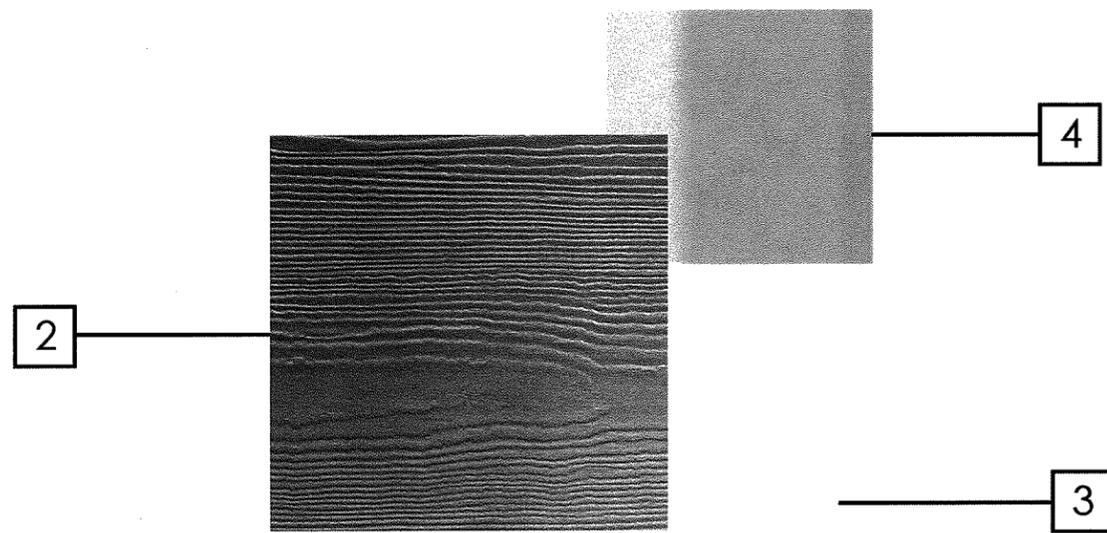
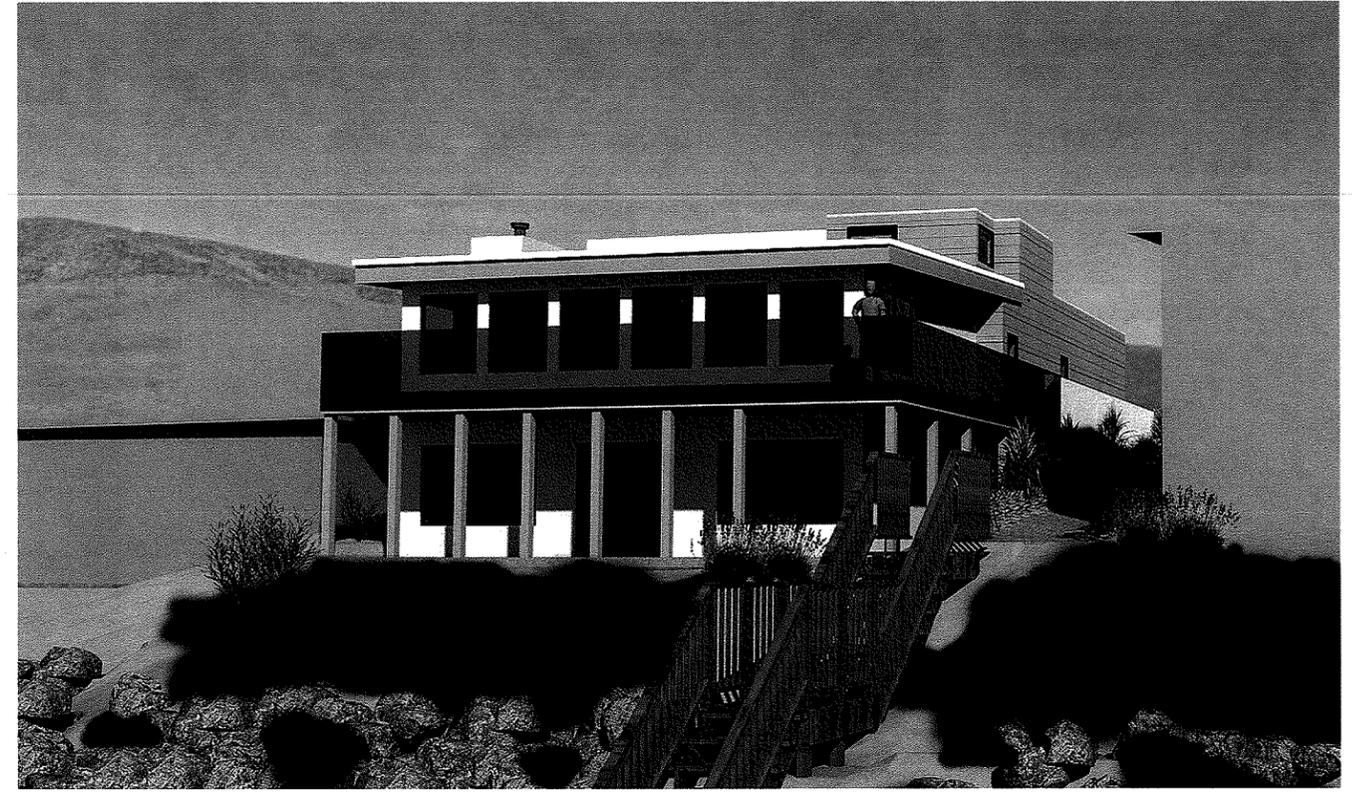
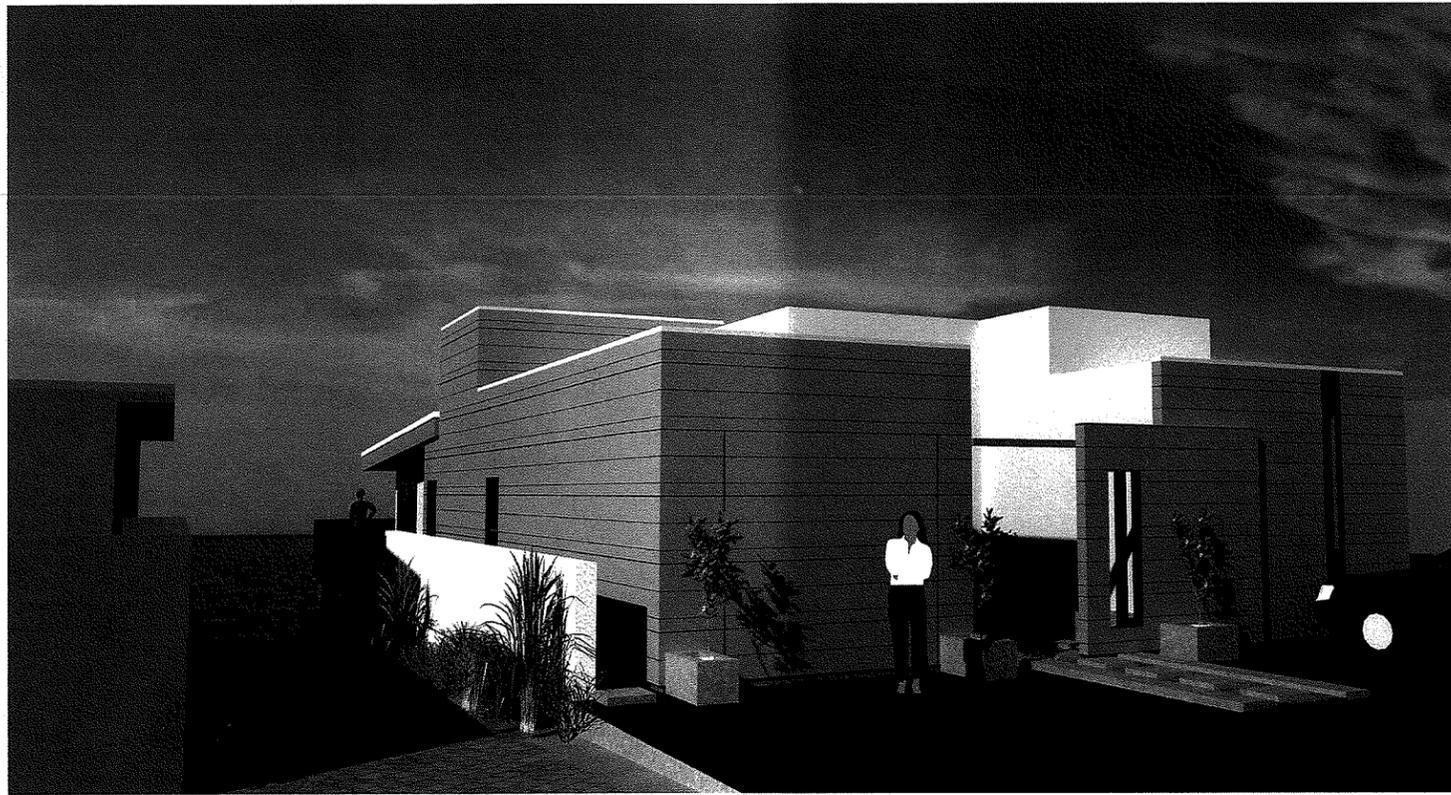
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San Luis Obispo, Ca. 93401



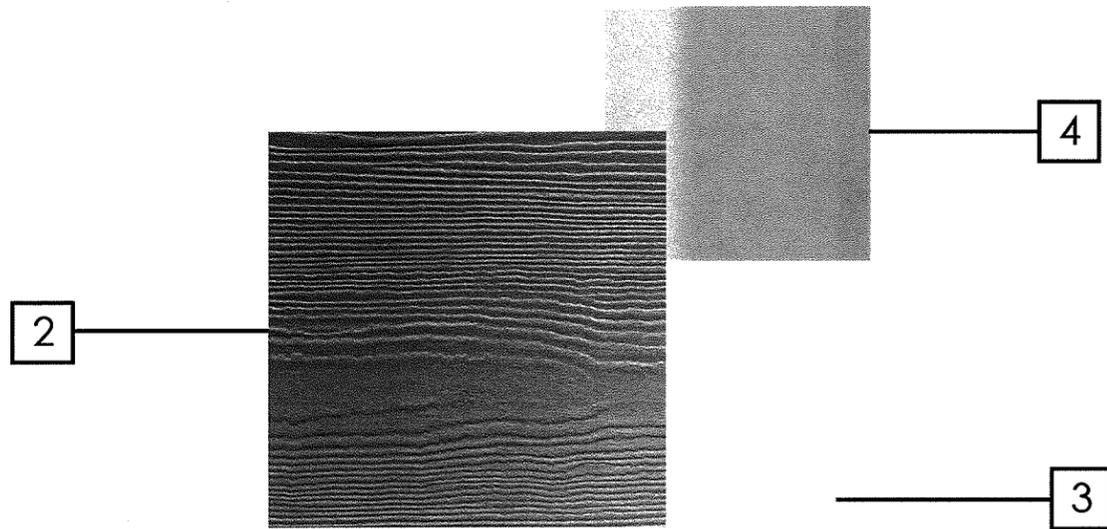
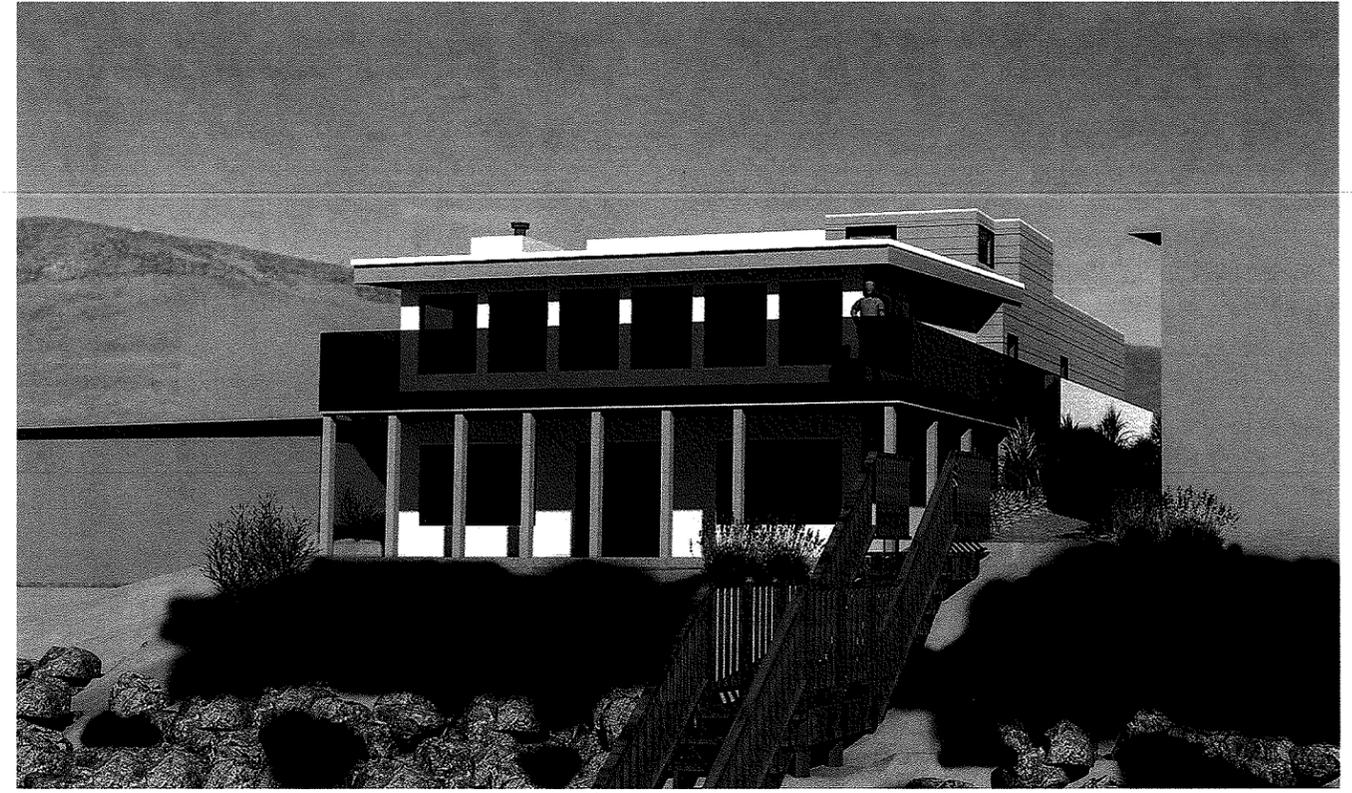
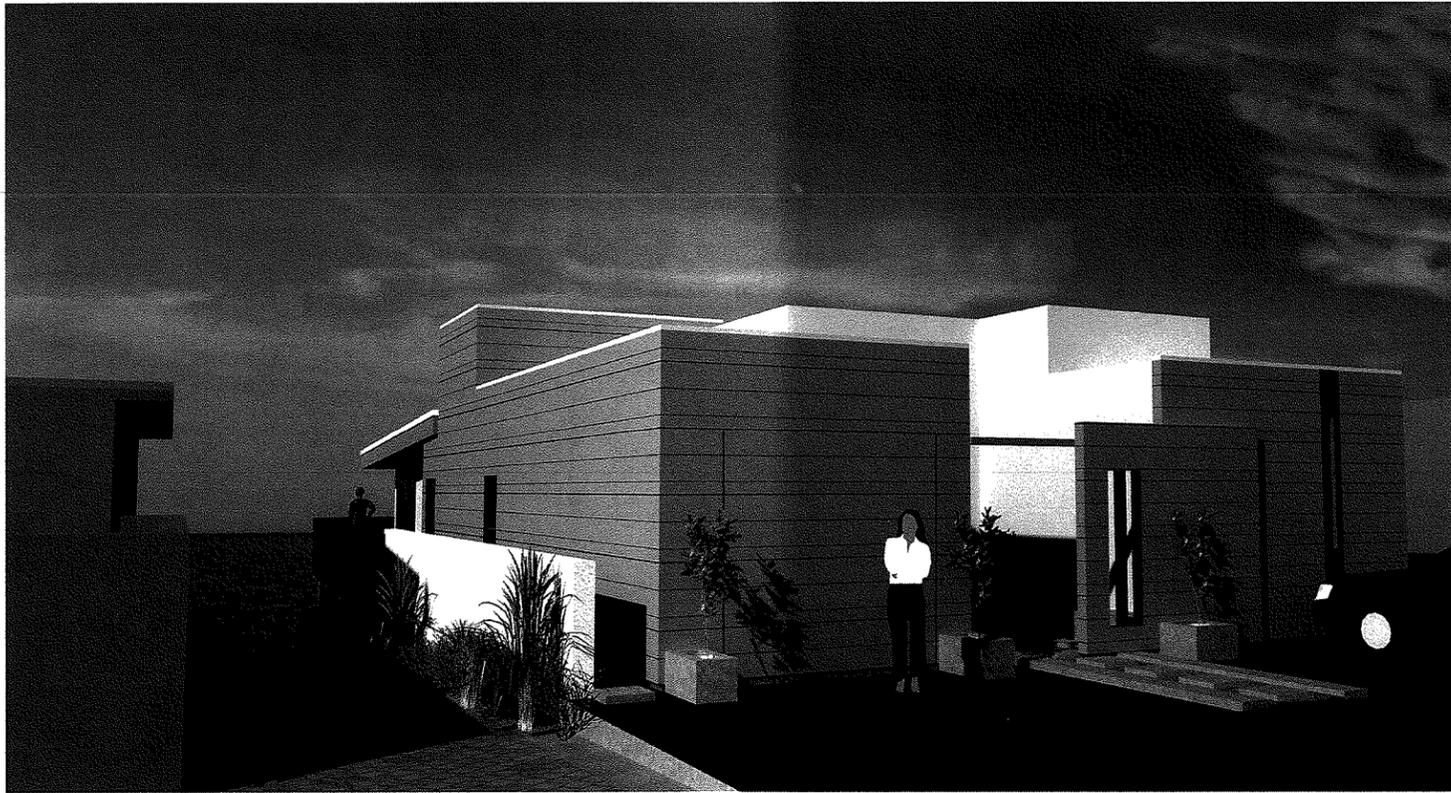
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1540 Marsh Street  
San Luis Obispo, Ca. 93401



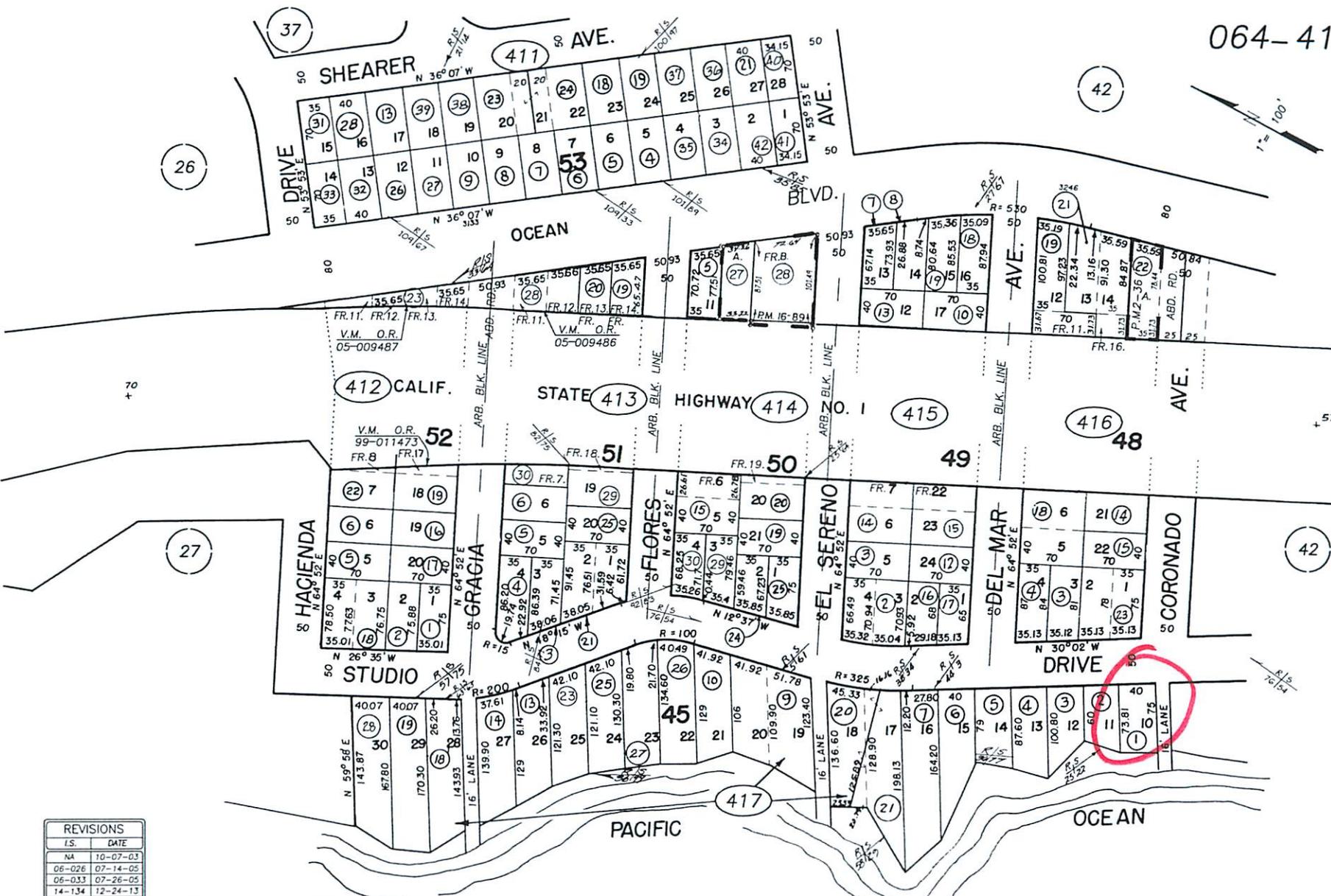
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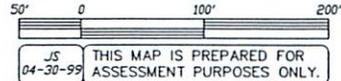
3266 Studio Drive Cayucos, Ca. 93430

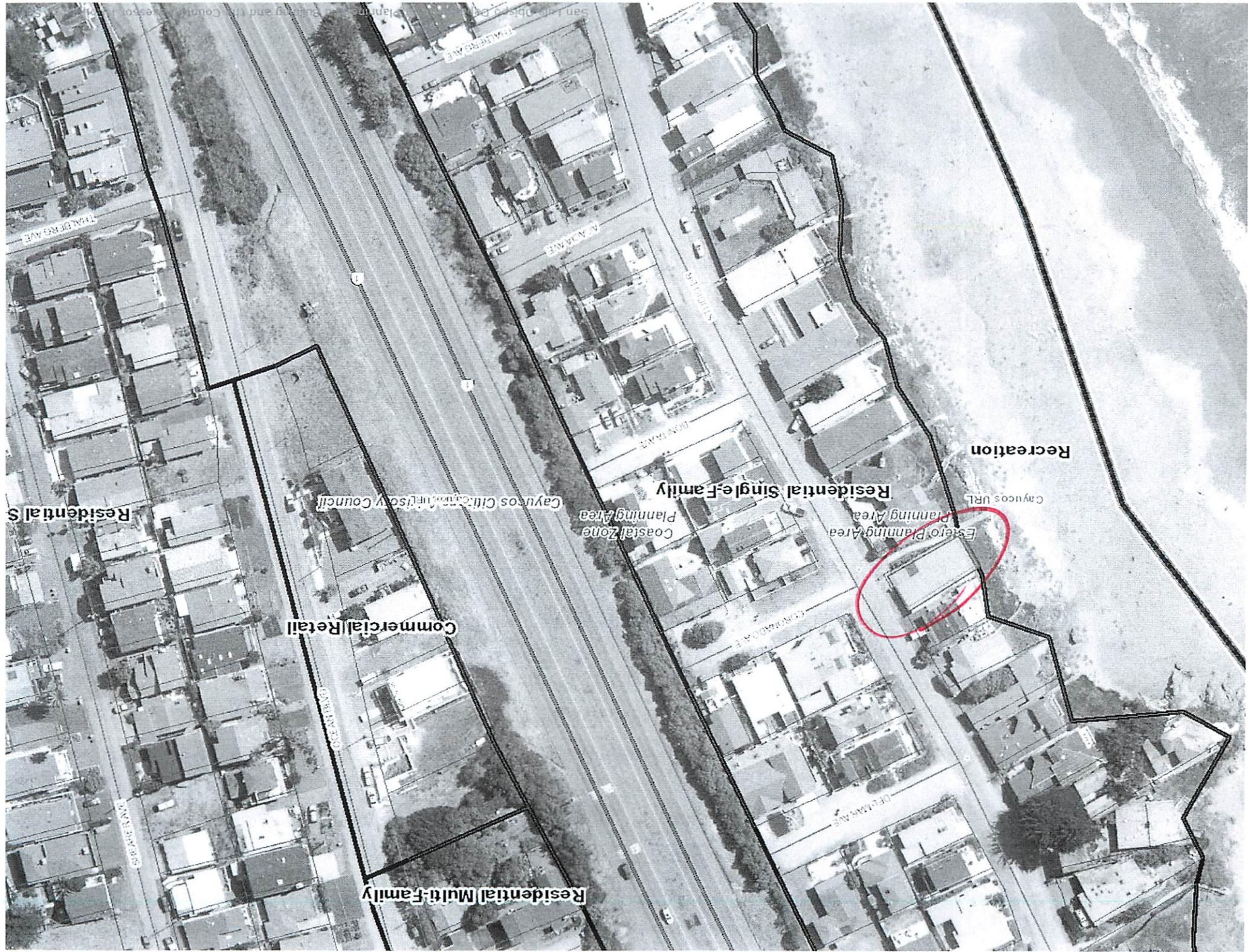


1540 Marsh Street  
San Luis Obispo, Ca. 93401



REVISIONS	
I.S.	DATE
NA	10-07-03
06-026	07-14-05
06-033	07-26-05
14-134	12-24-13





THALBERG AVE

HAWLEIGH AVE

ALAN AVE

STURTEVANT

HOWLAND

CONRAD AVE

DELMAR AVE

SEPERANCE

OCEANVIEW

Residential S

Commercial Retail

Residential Multi-Family

Coastal Zone  
Planning Area

Residential Single-Family

Esoto Planning Area

Cayucos URL

Recreation



# Parcel Summary Report For Parcel # 064-417-001

11/30/2015  
2:21:11PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    BROWN JEFFRY A  
4630 W VINE    VISALIA CA 93291-9119

OWN    BROWN CAROLYN J

OWN    BROWN FAMILY REVOCABLE LIVING TRUST

### Address Information

Status            Address  
P                    03266 STUDIO DR CAYU

### Lot Information:

<u>Tract / Twنشp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
064417	001	0001	Cayucos	Estero Plannin	CA	SSN	CAZ	N		
MORROST3	0045	0010	Cayucos	Estero Plannin	RSF	LCP	GS	Y	BS	

### Parcel Information

Status    Description  
Active    MORRO STR 3 BL 45 LT 10

### Notes

### Tax Districts

COAST (SB1537)  
CAYUCOS  
SAN LUIS OBISPO JT(27,40)  
CAYUCOS-MORRO  
CAYUCOS COUNTY



# Parcel Summary Report For Parcel # 064-417-001

11/30/2015  
2:21:11PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

NO. 02  
CAYUCOS  
AREA NO. 10  
AREA NO. 21  
AREA NO. 10, ZONE A

### Case Information

**Case Number:**

**Case Status:**

DRC2015-00063

REC

Primary Parcel

**Description:**

REMODEL TO THE EXISTING HOUSE WITH REMOVAL OF A NON-CONFORMING GARAGE AND REPLACEMENT WITH A MASTER BEDROOM/BATH.

PRE2014-00004

MET

Primary Parcel

**Description:**

PROPOSED REMODEL OF EXISTING SFR INCLUDING DEMO NON-CONFORMING GARAGE AND REBUILD GARAGE WITH A MASTER BEDROOM ABOVE.