



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

DATE: 12/03/2015

TO: \_\_\_\_\_

FROM: CODY SCHEEL, 805.781.5157, CScheel@co.slo.ca.us  
COASTAL Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00064 MONTOYA MINOR USE PERMIT FOR THE PROPOSED CONSTRUCTION OF A 2150 SF SFR W/A 583 SF TWO CAR GARAGE & 480 SF ROOF TOP DECK, LOCATED ON EXISTING VACANT LOT AT YORK AVENUE OFF OF STRAND AVENUE, ARROYO GRANDE APN: 061-062-012

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00064

IWANICHA

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

CONSTRUCT A NEW 2158 SFR W/ A 583 SF TWO CAR GARAGE & A 480 SF ROOF DECK SOCST/ OCNO

AR AS CAZ LCP RMF SSN

## APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Maurice & Joy Montoya Daytime Phone 310-766-5562  
 Mailing Address 2010 Idyllwild Place, A.G., CA Zip Code 93420  
 Email Address: \_\_\_\_\_

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

contact →

Agent Name Clinton Iwanicha, Architect Daytime Phone 805-459-2949  
 Mailing Address 2456 Hemlock Ave, Morro Bay CA Zip Code 93442  
 Email Address: ciwarchitect@gmail.com

## PROPERTY INFORMATION

Total Size of Site: 2996 S.F. Assessor Parcel Number(s): 061-062-012  
 Legal Description: \_\_\_\_\_

Address of the project (if known): \_\_\_\_\_

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: South on strand ave, (L) on York Ave

Describe current uses, existing structures, and other improvements and vegetation on the property:

existing vacant lot w/ dune sand & ice plant

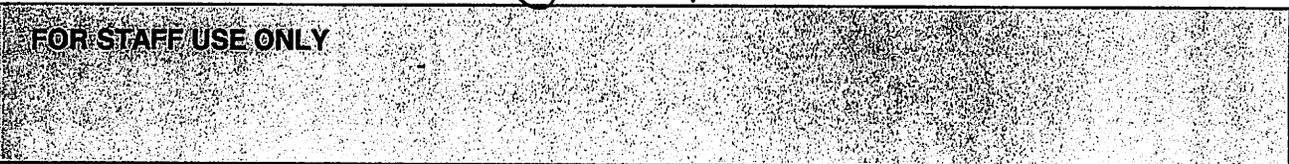
## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): construct a new 2158 SFR w/ a 583 SF two car garage & a 480 SF roof deck

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature \_\_\_\_\_ Date 11/23/15



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: Existing vacant lot off of improved York ave.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: Residential  
East: '' West: ''

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 1356 sq. feet 45 % Landscaping: 150 sq. feet 5 %  
Paving: 1200 sq. feet 40 % Other (specify) \_\_\_\_\_  
Total area of all paving and structures: 2556  sq. feet  acres  
Total area of grading or removal of ground cover: 2996  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 29'11"  
Number of trees to be removed: 0 Type: N/A  
Setbacks: Front 25'-1" Right 3'-1" Left 3'-4" Back 10'-1"

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: Oceanic LSD  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: Oceanic LSD  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: 5 cities fire authority

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: \_\_\_\_\_ Number of bedrooms per unit: 4  
Total floor area of all structures including upper stories, but not garages and carports: 2150 SF  
Total of area of the lot(s) minus building footprint and parking spaces: 1640 SF

Application submitted

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 0.069 acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
2. Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
3. Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
4. Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
5. Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
6. Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
8. Is a railroad or highway within 300 feet of your project site?  Yes  No
9. Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 400 gallons
4. How many service connections will be required? 1 water 1 sewer
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach. \_\_\_\_\_
7. Does water meet the Health Agency's quality requirements?  
 Bacteriological?     Yes     No  
 Chemical?     Yes     No  
 Physical     Yes     No  
 Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an <sup>N/A</sup>engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
 Distance to nearest sewer line: 30 ft    Location of connection: rear alley
2. What is the amount of proposed flow? 60 G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: South Slo County Sanitation District
- 3. Where is the waste disposal storage in relation to buildings? in garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Lucia Mar Unified
- 2. Location of nearest police station: 1681 Front St., Ocean D
- 3. Location of nearest fire station: 140 Tynah Way, A.G.
- 4. Location of nearest public transit stop: Plur Ave
- 5. Are services (grocery/other shopping) within walking distance of the project?  Yes     No  
 If yes, what is the distance? 0.5 feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
vacant lot
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

*Only complete this section if you are proposing a commercial or industrial project or zoning change.*

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_  
\_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: solar panels ; grid tied

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
minimal landscaping for water conservation

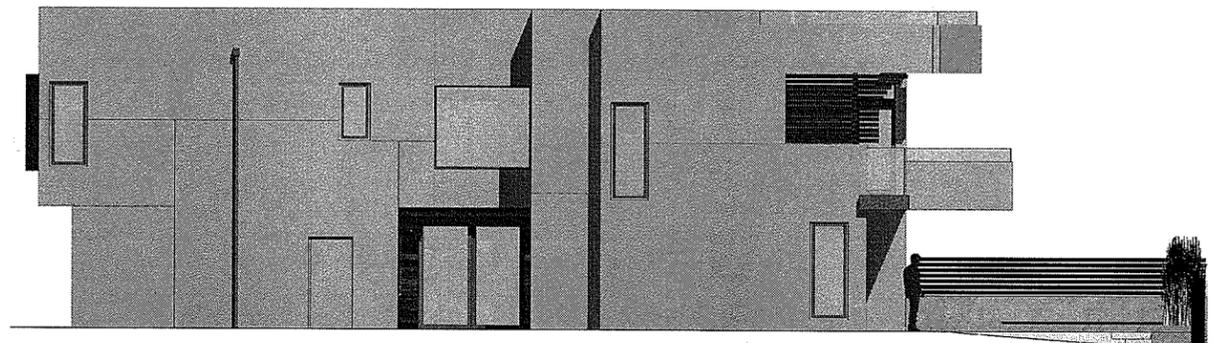
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No  
If yes, please list: \_\_\_\_\_
3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No  
If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): SLO County Building permit

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

# A PROPOSED NEW RESIDENCE FOR: the montoya family



clinton m. iwanicha  
architect  
california license #: C30531  
email: cmiaarchitect@gmail.com  
phone: 805.459.2849

architect seal:



project type:  
new residence

project address:  
325 york ave.  
ocean, california

## water saving requirements

INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20 PERCENT USING ONE OF THE FOLLOWING METHODS. (CGC 4.303.1)  
A) WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.  
B) A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.  
WHEN USING THE CALCULATION METHOD SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES. 4.303.2  
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS. 4.303.3  
OUTDOOR WATER USE  
AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. 4.304.1

## statement of compliance

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE SAN LUIS OBISPO COUNTY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND IVE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING 2013 BUILDING STANDARDS CODES:

CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2012 IBC)  
CALIFORNIA RESIDENTIAL CODE (2012 IRC)  
CALIFORNIA PLUMBING CODE (2012 UPC)  
CALIFORNIA MECHANICAL CODE (2012 IMC)  
CALIFORNIA ELECTRICAL CODE (2011 NEC)  
CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2014)  
CALIFORNIA GREEN BUILDING CODE  
CALIFORNIA FIRE CODE (2012 IFC)  
CALIFORNIA REFERENCE STANDARDS CODE  
COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19  
COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23  
COUNTY FIRE CODE ORDINANCE - TITLE 16  
COUNTY LAND USE ORDINANCE - TITLE 22

REQUIRED REFERENCE STANDARDS:

ASCE 7-10 (MINIMUM DESIGN LOADS)  
ASCE 341-10 (2005 SEISMIC DESIGN FOR STEEL BLDGS.)  
ASCE 358-10 (PREQUALIFIED CONNECTIONS FOR SPECIAL AND INTERMEDIATE MOMENT FRAMES)  
ASCE 380-10 (2005 STEEL SPECS 13TH ED)  
ACI 318-11 (CONCRETE DESIGN)  
ACI 530-11 (MASONRY DESIGN)  
AF&P/NDS-2012 (WOOD DESIGN)  
WFCM-01 (WOOD FRAME CONST. MANUAL 1-2 SFD)

## existing project data

PROPERTY OWNER: MAURICE AND JOY MONTOYA  
2010 IDYLLWILD PLACE, CA 93420  
PH: 310-266-5562

SITE ADDRESS: 325 YORK AVE, OCEANO CA 93445

ASSESSOR'S PARCEL NUMBER: 061-062-012

LEGAL: LOT 24 OF BLOCK 38 OF SUBDIVISION NO. 2, OCEANO AS SHOWN ON MAP FILED IN BOOK A AT PAGE 150, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

SITE AREA: 2996 SF

SITE ZONING:

COASTAL ZONE: YES

## proposed project data

SCOPE OF PERMIT:

CONSTRUCT A NEW - 2158 S.F. RESIDENCE WITH AN ATTACHED 583 SF 2 CAR GARAGE AND A ROOF DECK. 30' RETAINING WALL WITH WOOD FENCE ON TOP, ALONG THE ENTIRE EAST SIDE OF PROPERTY

PROPOSED BUILDING OCCUPANCY AND CONSTRUCTION TYPE:

SINGLE FAMILY RESIDENCE, R-3 (TYPE II-B), SPRINKLERED  
GARAGE, U-1 (TYPE II-B), SPRINKLERED

SOFT BREAKDOWN:

LIVING AREA	=	772 SF
1ST FLOOR	=	1385 SF
2ND FLOOR	=	1385 SF
TOTAL	=	2158 SF

ATTACHED GARAGE	=	583 SF
2ND FLOOR BALCONY	=	103 SF
ROOF DECK	=	480 SF

LOT COVERAGE

PROPOSED BUILDING COVERAGE = 1356 SF/2996 SF = 45%

BUILDING SETBACKS AND HEIGHTS:

RESIDENTIAL RURAL ZONING SETBACK ALLOWANCES

FRONT = 25'  
SIDES = 3'  
REAR = 10'

PROPOSED SETBACKS

FRONT = 25'-1"  
SIDES = 3'-4" (WEST) & 3'-1" (EAST)  
REAR = 10'-1"

ZONING HEIGHT ALLOWANCE = 25FT ABOVE AVG GRADE

PROPOSED HOUSE MAXIMUM HEIGHT = 24'-11" ABOVE AVG GRADE < 25FT OK

PROPOSED CUT AND FILL QUANTITIES = < 50 YARDS

PROPOSED LANDSCAPING = 150 SF (5%)

PROPOSED PAVING = 1200 SF (40%)

## sheet index

REV. 1

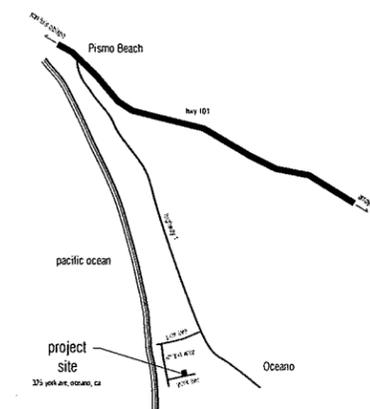
T1.0	TITLE SHEET: SITE PLAN, PROJECT DATA, PROJECT DIRECTORY AND VICINITY MAP
AS1.1	EXISTING SITE PLAN & PROPOSED OVERALL SITE PLAN
A1.1	PROPOSED 1st FLOOR PLAN
A1.2	PROPOSED 2nd FLOOR PLAN
A1.3	PROPOSED ROOF DECK PLAN
A3.1	PROPOSED BUILDING PERSPECTIVES
A3.2	PROPOSED BUILDING ELEVATIONS
A3.2	PROPOSED BUILDING ELEVATIONS

## consultant directory

ARCHITECT: CLINTON M. IWANICHA, ARCHITECT  
2456 HEMLOCK AVE  
MORRO BAY, CA 93442  
PH: 805.254.4051 LC: 866.271.1155  
EMAIL: cmiaarchitect@gmail.com

SOILS ENGINEER: GSI SOILS INC.  
524 EAST CHAPEL STREET  
SANTA MARIA, CA 93454  
PH: 805.349.0140  
CONTACT: RON CHURCH

ARCHEOLOGIST: LSA ASSOCIATES, INC.  
1998 SANTA BARBARA STREET SUITE 120  
SAN LUIS OBISPO, CA 93401  
CONTACT: LEROY LAURE  
PH: 805.440.8712



vicinity map



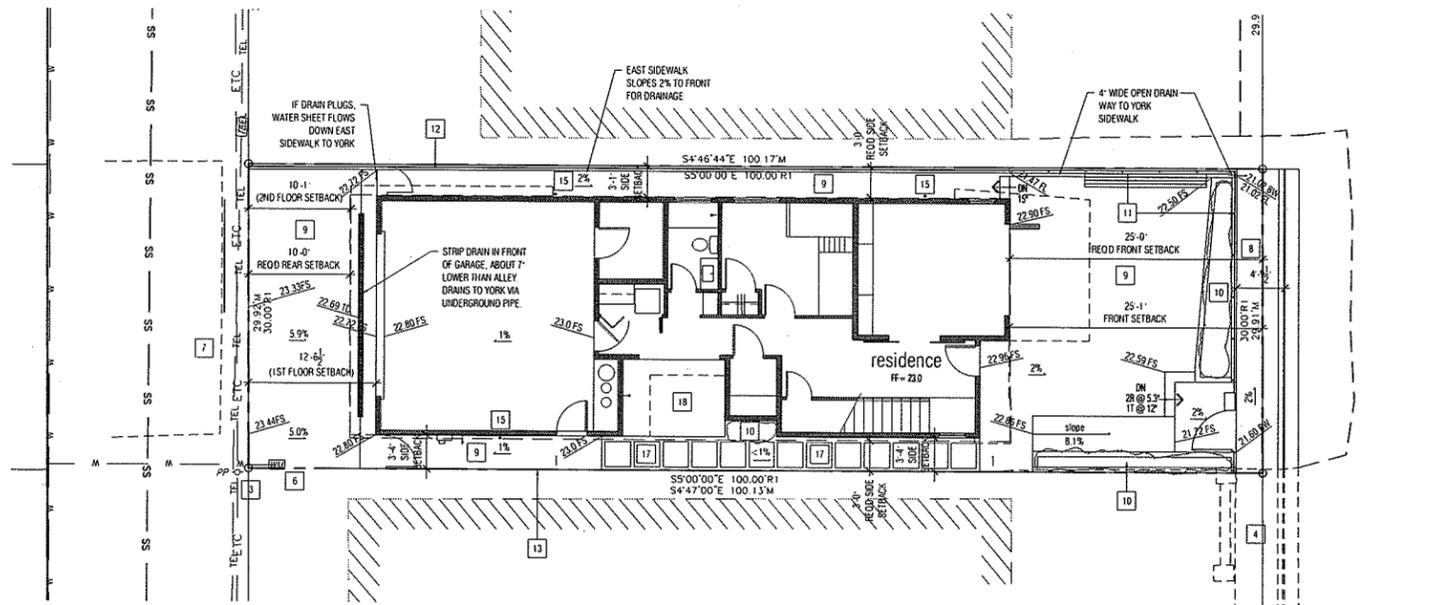
Sheet Info:

plot date: 12/01/15

rev.	description	date

Sheet:

t1.0



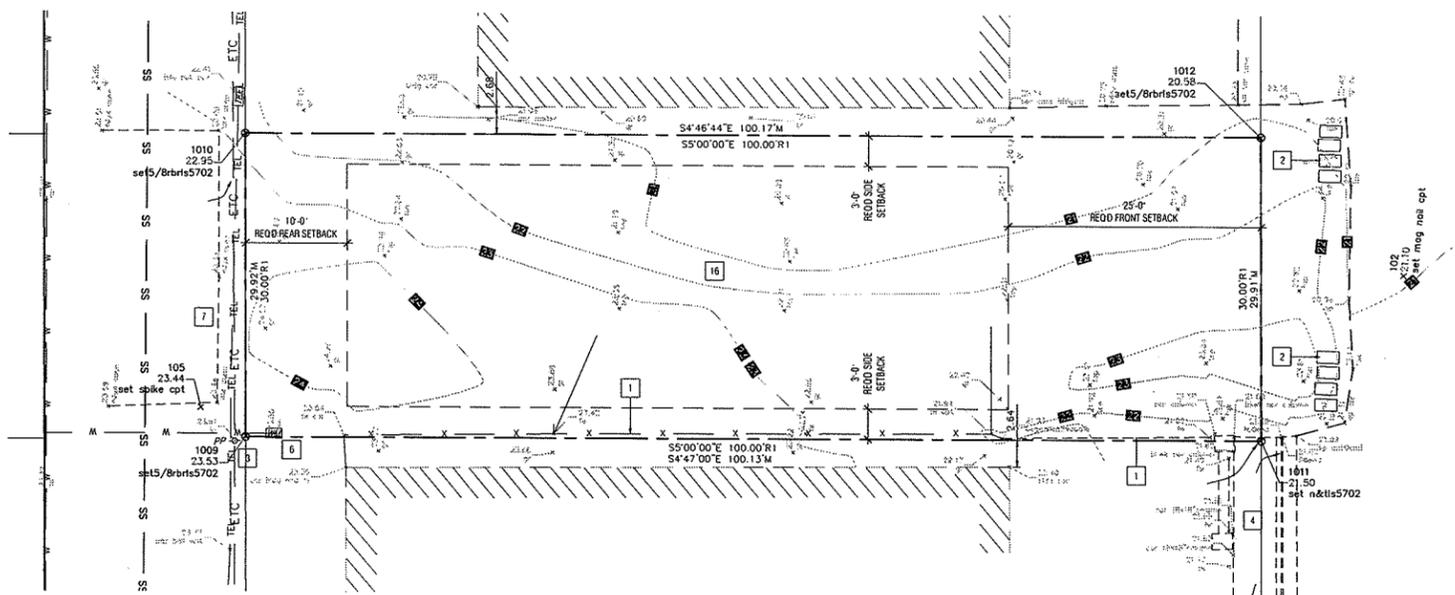
proposed site plan

SCALE: 1/8"=1'-0"



key notes

- 1 EXISTING ENCROACHING FENCE, TO BE REMOVED AND RE-BUILT ON PROPERTY LINE
- 2 EXISTING NEIGHBORHOOD MAIL BOXES TO BE RELOCATED TO RESIDENCES
- 3 EXISTING POWER POLE
- 4 EXISTING CURB GUTTER AND SIDEWALK
- 5 EXISTING POWER POLE
- 6 EXISTING WATER METER
- 7 EXISTING PAVING EDGE
- 8 NEW CURB GUTTER AND SIDEWALK
- 9 NEW CONCRETE FLATWORK
- 10 NEW CONCRETE PLANTER W/ LANDSCAPING
- 11 NEW CONCRETE WALL WITH WOOD SCREEN WALL
- 12 NEW CONCRETE CURB AND WOOD FENCE
- 13 NEW WOOD FENCE
- 14 NEW OUTDOOR SHOWER SLAB
- 15 NEW DOWNSPOUT LOCATIONS, CONNECT TO UNDERGROUND DRAINAGE, EXIT AT YORK. PROVIDE OVERFLOW IN CASE PIPE IS BLOCKED
- 16 EXISTING TOPOGRAPHY
- 17 CONCRETE PAVERS ON PEA GRAVEL BED
- 18 OUTDOOR SHOWER SLAB, SLOPE TO DRAIN, PROVIDE DRAIN PLUG FOR WINTER MONTHS AND WHEN NOT IN USE



existing site plan and topography

SCALE: 1/8"=1'-0"



clinton m. iwanicha  
 architect  
 california license #: C30531  
 email: cmiaarchitect@gmail.com  
 phone: 805.459.2849

architect seal:



project type:  
 new residence

project address:  
 325 york ave.  
 oceano, california

client:  
 Moe & Joy Montoya  
 2010 Idyllwild Place  
 arroyo grande, california  
 93420

Sheet Title:  
 existing and proposed  
 site plan

Sheet Info:

plot date: 12.01.15

rev.	description	date

Sheet:

as1.1

architect seal



project type:  
 new residence

project address:  
 325 york ave.  
 oceano, california

client:  
 Moe & Joy Montoya  
 2010 Idyllwild Place  
 arroyo grande, california  
 93420

Sheet Title:  
 1st floor plan

Sheet Info.  
 plot date: 12.01.15

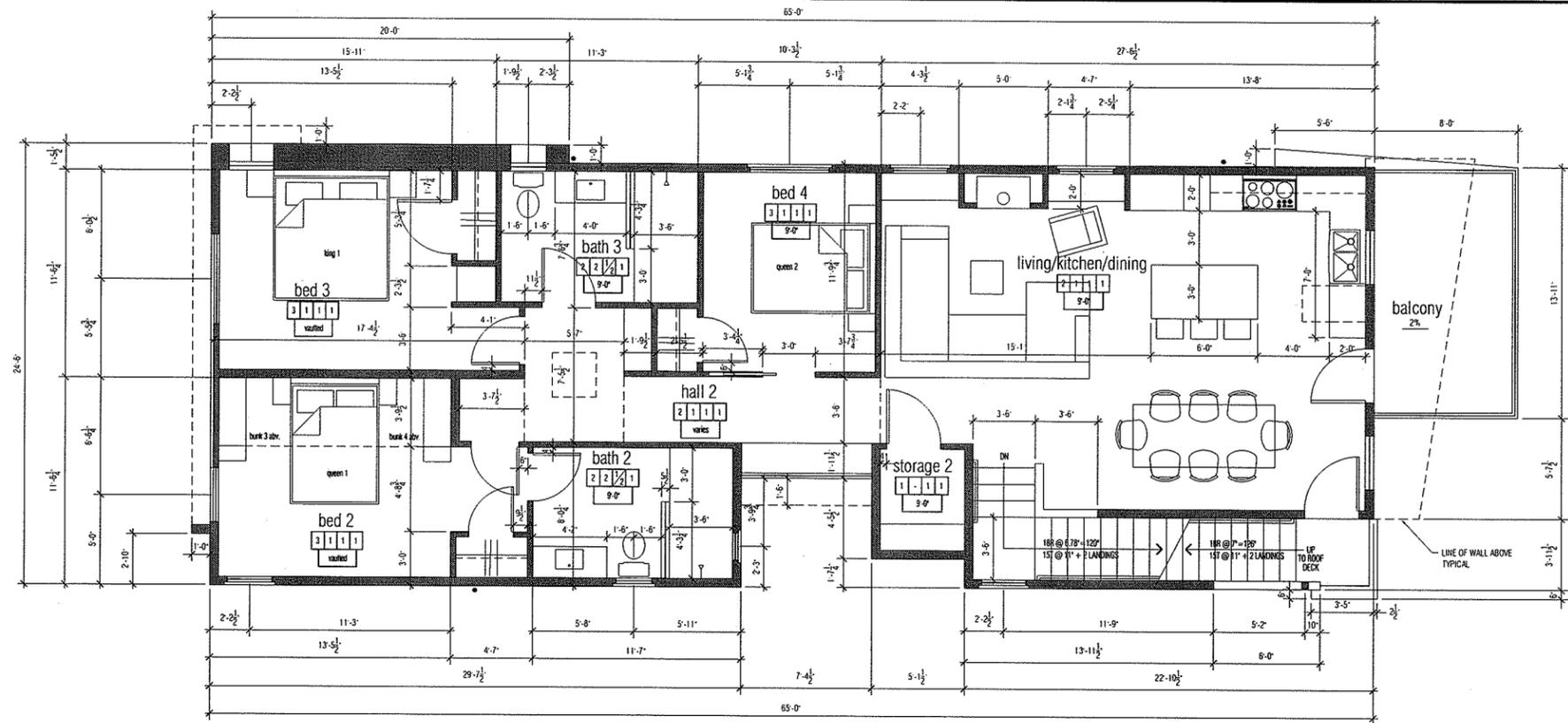
rev.	description	date

Sheet:

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key notes

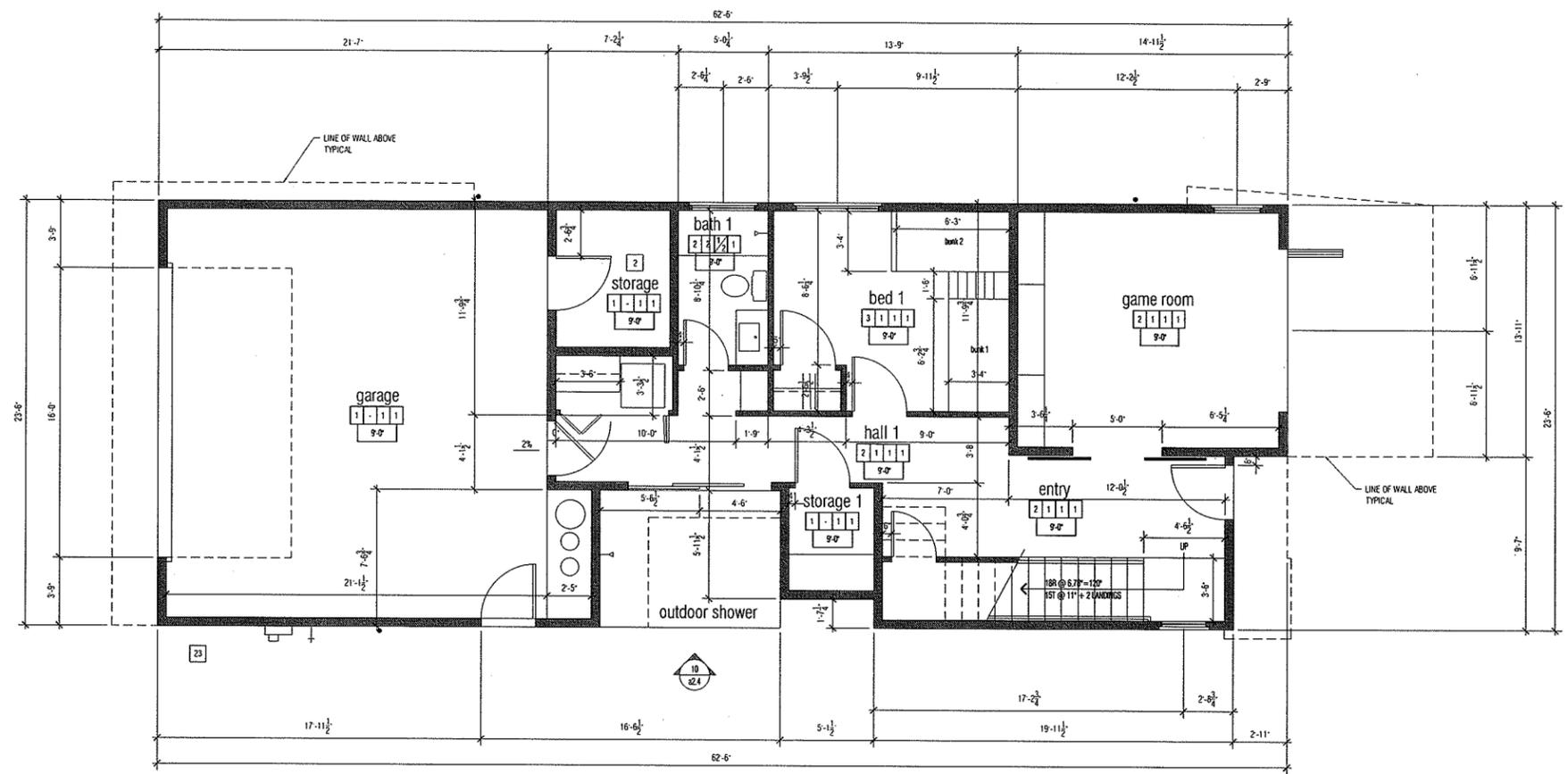
1. "NAVEN" ON-DEMAND WATER HEATER, 95% EFFIC. 180,000 BTUH OR EQUIVALENT. USED FOR DOMESTIC HOT WATER AND RADIANT HEATING
2. HOME RUN LOCATION, CABLE, INTERNET, SATELLITE, SOUND & SECURITY
3. OVEN/MICROWAVE COMBINATION OVEN. OUTLET HEIGHTS TO BE VERIFIED BY CABINET DESIGNER
4. DISHWASHER PER OWNER
5. SINK & DISPOSAL PER OWNER. PROVIDE COUNTERTOP AIR SWITCH.
6. 36" WIDE INDUCTION COOKTOP AND ELECTRIC OVEN BELOW
7. DIRECT VENT FIREPLACE (AHS 221 50-2014 + CSA 2 22-2014) GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE, WOOD FIREPLACE OR PELLET STOVE NEEDS TO COMPLY WITH U.S. EPA PHASE II CERTIFIED EMISSIONS LIMITS (WHERE APPLICABLE). PROVIDE MANUFACTURER'S INSTRUCTIONS AT JOB SITE FOR INSPECTION
8. VANITY, SINKS & FAUCETS PER OWNER
9. TOILET PER OWNER  
 \* MINIMUM CLEARANCES: 24" FRONT, 30" COMPARTMENT WIDTH  
 \* NEW WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES, IF ANY SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2, MSS CODE, SECTION 17921.3 (B) & CAL. GREEN CODE  
 \* 4" MIN SEWER LINE REQUIRED
10. SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN OUTLET. TILE PER OWNER FROM TUB DECK TO CEILING
11. REQUIRED MAXIMUM FIXTURE FLOW RATES:  
 TANK TYPE WATER CLOSET: 1.28 GALLONS PER FLUSH  
 SINGLE SHOWER HEAD: 2.0 GALLONS PER MINUTE @ 80PSI  
 MULTIPLE SHOWERHEADS @ ONE SHOWER: 2.0 GALLONS PER MINUTE COMBINED FLOW RATE (INCL. HANDHELD SHOWER HEAD)  
 RESIDENTIAL LAVATORY FAUCET: 1.5 GALLONS PER MINUTE @ 60PSI  
 KITCHEN FAUCET: 1.8 GALLONS PER MINUTE @ 60PSI
12. CLOSET ORGANIZER PER OWNER
13. LOWER CABINETS, COUNTERTOPS, & UPPER CABINETS STYLES PER OWNER
14. PERMANENT ISLAND W/ (1) GFCI OUTLET MIN
15. BUILT-IN CABINETS, SHELVING PER OWNER
16. LANDING AT DOOR TO BE 36" WIDE MIN x 36" DEEP MIN. SLOPE 2% AWAY FROM BUILDING.
17. 36" WIDE REF. PER OWNER
18. STACKABLE FULL SIZED WASHER AND GAS DRYER PER OWNER. UPPER CABINETS ABOVE. CLOTHES DRYER SHALL BE PROVIDED WITH MOISTURE EXHAUST MIN. 4" DIA. TO BE VENTED TO THE EXTERIOR OF THE BUILDING, AND BE EQUIPPED WITH A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14 FEET IN LENGTH WITH TWO ELBOWS. THIS SHALL BE REDUCED 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. WASHER MACHINE/LAUNDRY TRAYS PLUMBED FOR GREY-WATER SYSTEMS PURSUANT TO CHAPTER 16 OF THE UNIFORM PLUMBING CODE (GREYWATER SYSTEMS).
19. SHAMPOO CUBBIES, FIELD VERIFY SIZE AND LOCATION WITH OWNER
20. WATER SOFTENER AND WATER FILTER
21. RADIANT HEATING MANIFOLD LOCATION
22. SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION
23. MAIN ELECTRICAL PANEL
24. ELECTRICAL SUB PANEL
25. ALL SOLID FUEL BURNING APPLIANCES MAY BE INSTALLED ONLY IF EPA CERTIFIED AS REQUIRED BY THE AIR POLLUTION CONTROL BOARD. EXCEPTION: 8 APPROVED GAS APPLIANCES, EXTERIOR FIRE PLACES STANDING ALONE AS GARDEN AND BBQ APPLIANCES.
26. WALL MOUNTED FLIP OUT TEAK BENCH PER OWNER
27. OUTDOOR IN LINE GAS BBQ
28. CUSTOM BARN DOOR PER OWNER
29. LINEAR FLOOR DRAIN BY INFINITY DRAIN OR EQUAL. FLOOR FRAMING TO BE RECESSED 3/2" MIN. IN THIS AREA TO ALLOW FOR A BUILT UP SLOPE AND NO CURB ENTRY.
30. ENCLOSED ACCESSIBLE SPACES UNDER STAIRS TO HAVE WALLS, UNDER STAIR SURFACE, AND SOFFITS PROTECTED ON THE ENCLOSED SIDE BY 1/2" TYPE X GYPSUM BOARD



2nd floor plan

wall legend: 26 WALLS w/ INSULATION PER TITLE 24, 24 WALLS w/ INSULATION PER TITLE 24

SCALE: 1/4" = 1'-0"



1st floor plan

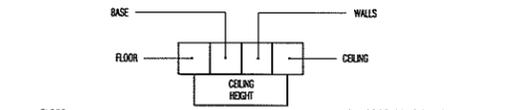
wall legend: 26 WALLS w/ INSULATION PER TITLE 24, 24 WALLS w/ INSULATION PER TITLE 24

SCALE: 1/4" = 1'-0"

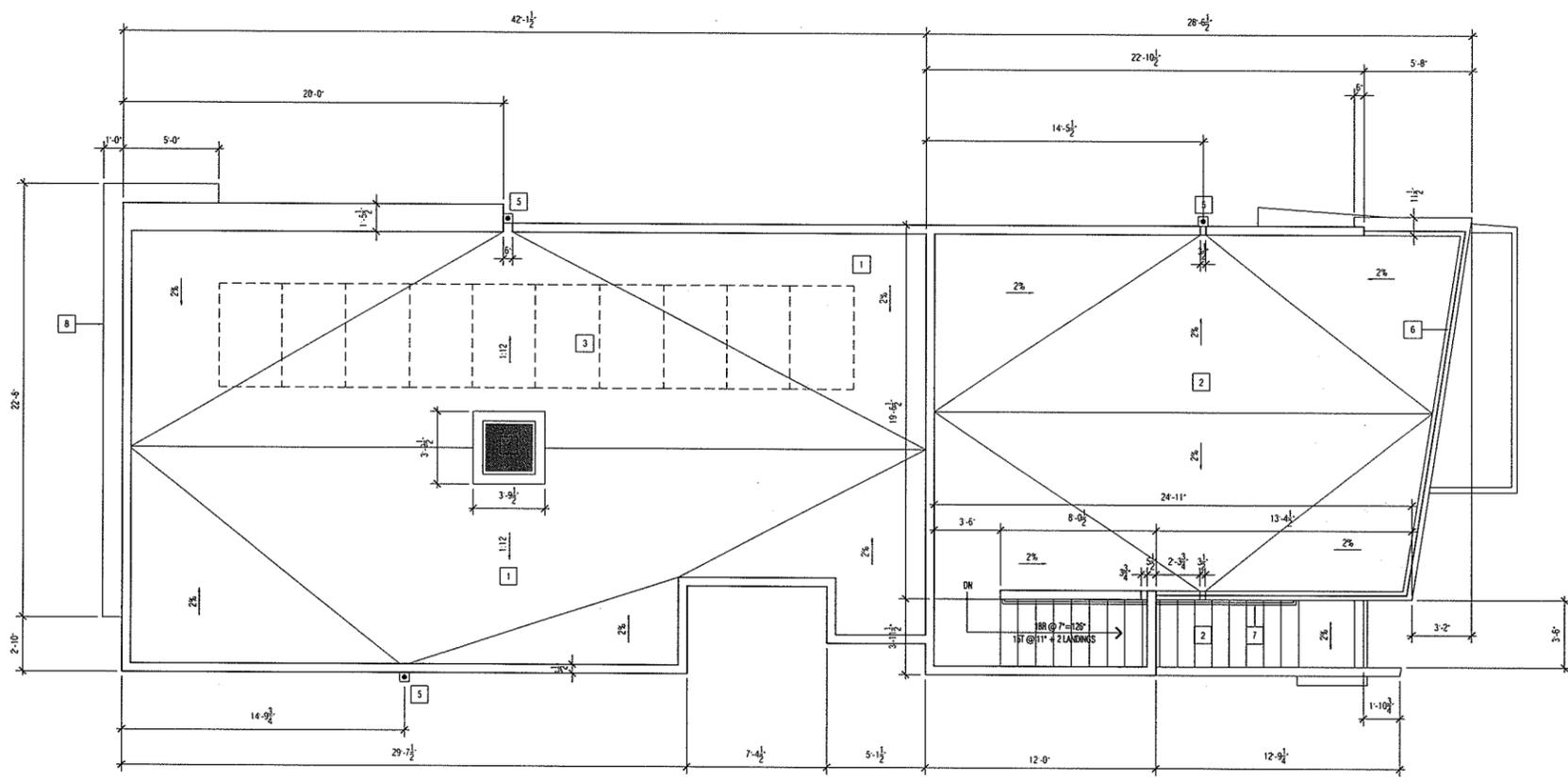


finish schedule

(ALL ITEMS LISTED AS PER OWNER. TO BE CHOSEN BY OWNER AND INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE. IF NOT NOTED PER OWNER, THEN CONTRACTOR PROVIDED AND INSTALLED)



- FLOOR:
1. SEALED CONCRETE
  2. TILE PER OWNER
  3. CARPET PER OWNER
- BASE:
1. PRIMED WOOD BASE, STYLE & COLOR PER OWNER
  2. 4" TILE BASE TO MATCH FLOOR TILE PER OWNER
- WALLS: (USE DENSSHIELD TILE BACKER IN ALL WET AREAS)
1. 1/2" TYPE-X GYP. BD. - SMOOTH TROWEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)
  2. TILE AND DENSSHIELD TILE BACKER AT TUB AND SHOWER AREAS PER OWNERS DIRECTION. 70" MIN AT SHOWER
- CEILING: (USE DENSSHIELD TILE BACKER IN ALL WET AREAS)
1. 1/2" TYPE-X GYP. BD. - SMOOTH TROWEL FINISH & PAINT W/ BENJAMIN MOORE, FINISH PER OWNER (COLOR PER OWNER)



key notes

- 1 WATERPROOF ROOFING SYSTEM
- 2 WATERPROOF DECKING SYSTEM OVER EXTERIOR RATED PLYWOOD (OSB NOT ALLOWED). SLOPE STAIR TREADS 2% MIN. TO DRAIN
- 3 LINE OF SOLAR PANELS
- 4 FIXED VELUX SKYLIGHT ON CURB
- 5 LINE OF SCUPPER & DOWNSPOUT. REFER TO SITE PLAN FOR DRAINAGE INFO.
- 6 TEMPERED GLASS RAIL ON TOP OF PARAPET
- 7 1.5" DIA. COPPER PIPE HANDRAIL WITH RETURNS TO WALL, REFER TO DETAIL ?
- 8 LINE OF WINDOW OVERHANG BELOW, REFER TO DETAIL ?

Sheet Title:  
 roof plan

Sheet info.  
 plot date: 12.01.15

rev.	description	date

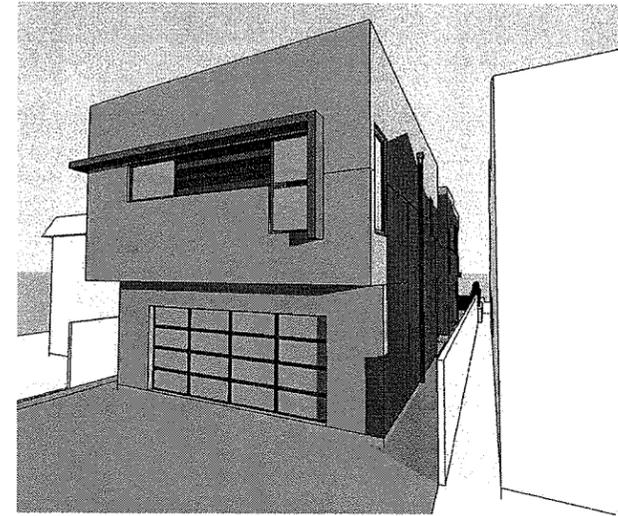
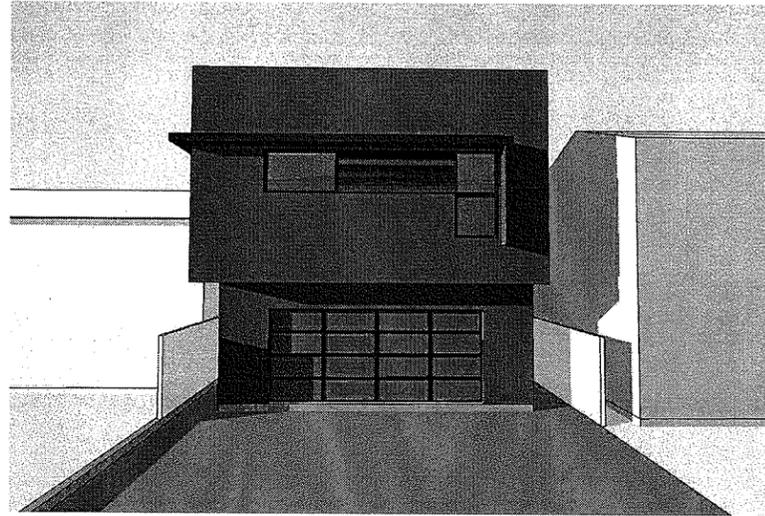
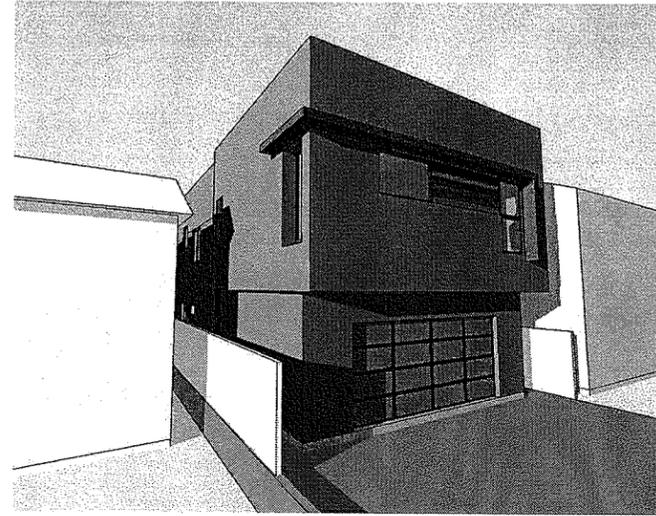
architect seal:



project type:  
 new residence

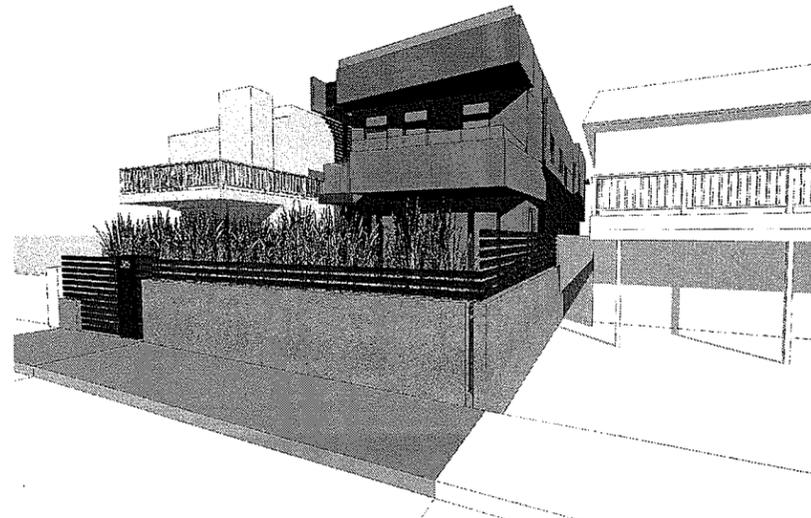
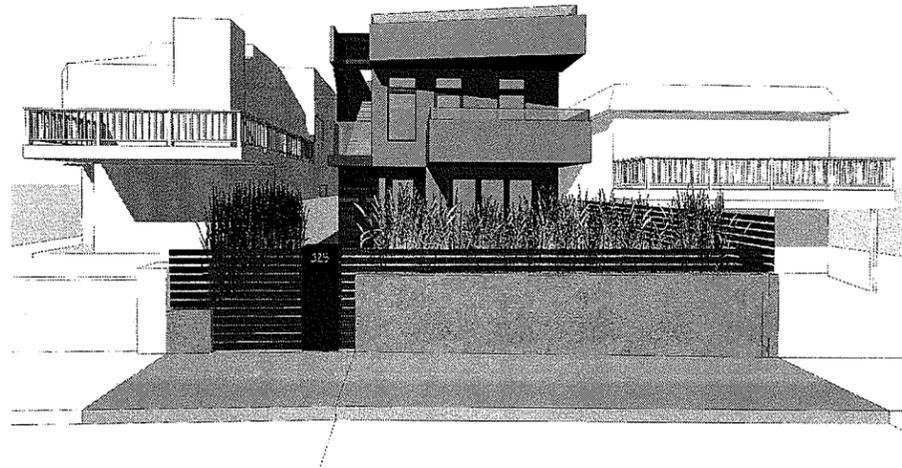
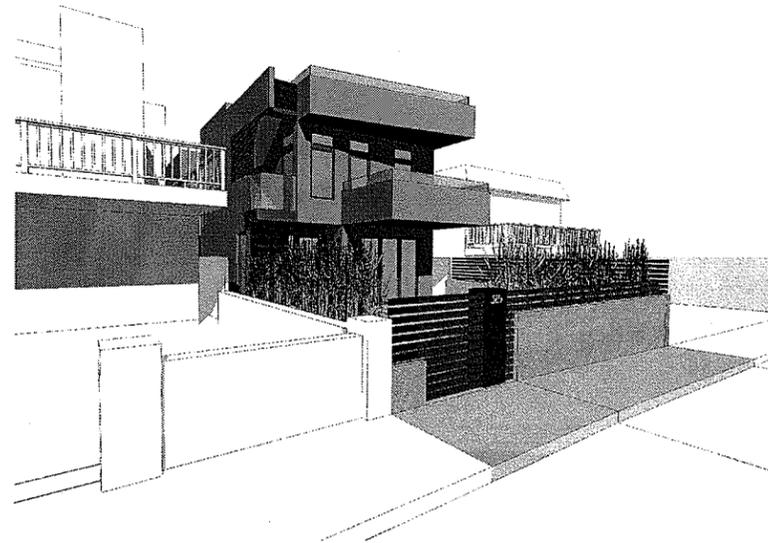
project address:  
 325 york ave,  
 oceano, california

client:  
 Moe & Joy Montoya  
 2010 Idyllwild Place  
 Arroyo Grande, California  
 93420



north renderings - view from alley

SCALE: 1/4" = 1'-0"



south renderings - street view from york ave

SCALE: 1/4" = 1'-0"

Sheet Title:  
 elevations

Sheet Info:  
 plot date: 12.01.15

rev.	description	date

Sheet:

a3.1



architect seal:



project type:  
 new residence

project address:  
 325 york ave.  
 oceano, california

client:  
 Moe & Joy Montoya  
 2010 Idyllwild Place  
 arroyo grande, california  
 93420

Sheet Title:  
 elevations

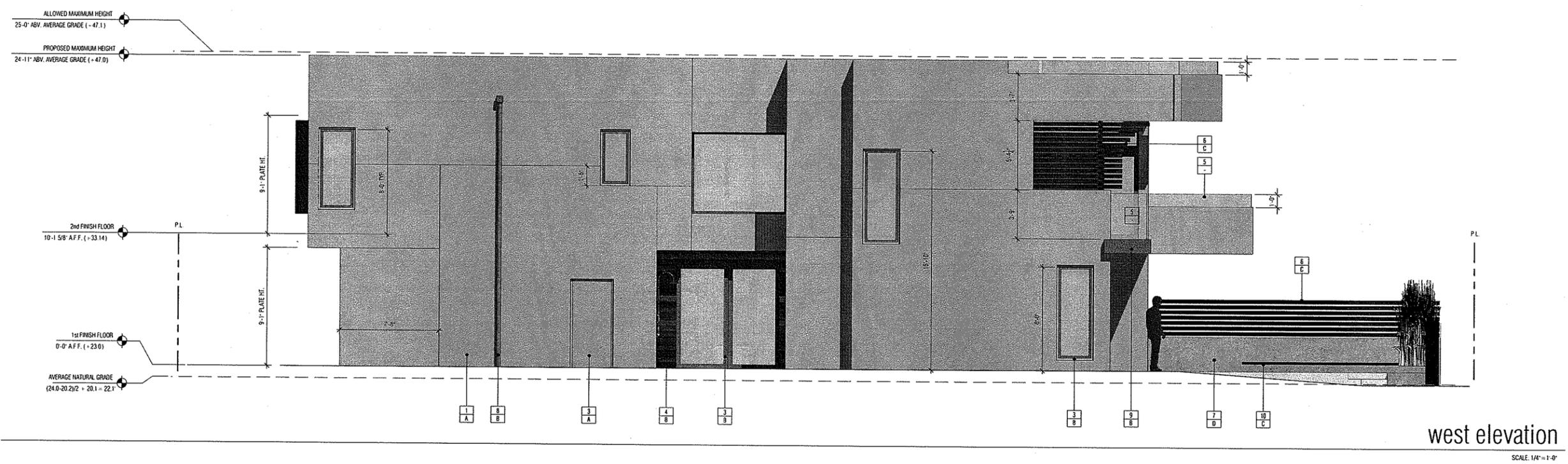
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rev.	description	date

Sheet:

a3.2



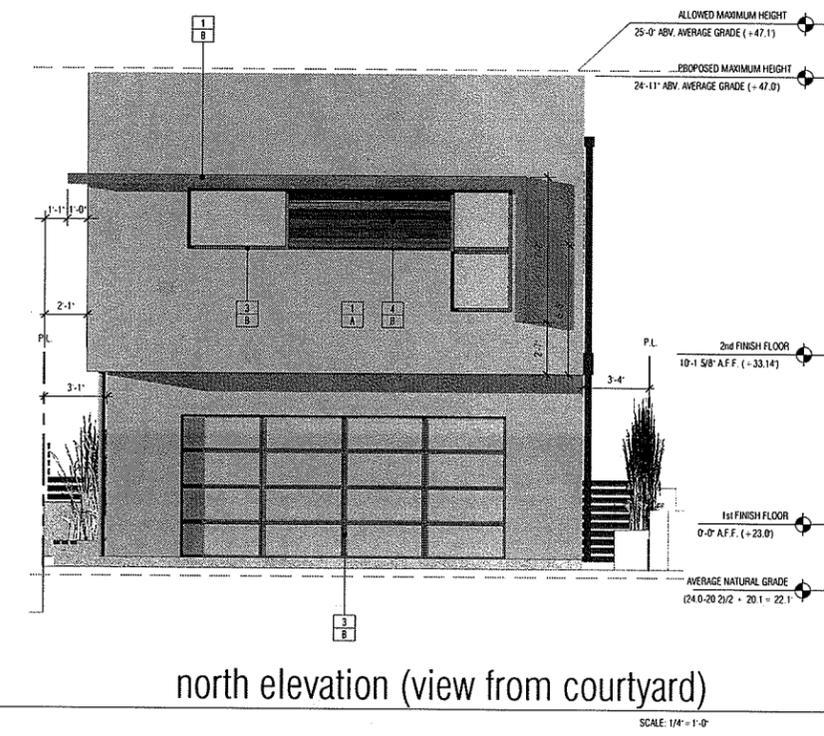
west elevation  
 SCALE: 1/4" = 1'-0"

material

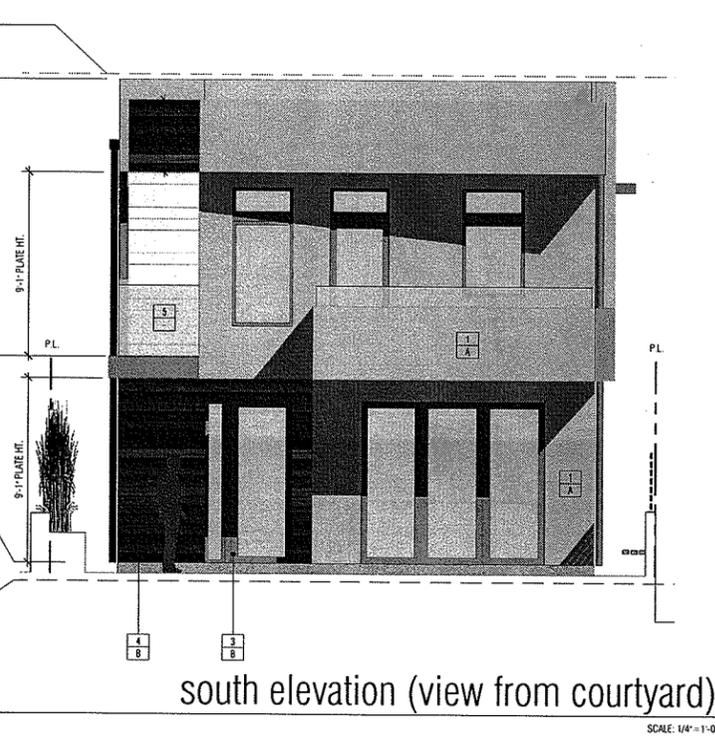
1. SMOOTH SAND STUCCO EXTERIOR FINISH
2. GALVANIZED STUCCO EXPANSION JOINT (NO NOT STUCCO OVER METAL)
3. WINDOWS & DOORS PER PLAN, SEE SHEET A4.1
4. 1/2" CLEAR GRAN CEDAR OR IPE T&G SIDING
5. TEMPERED GLASS RAILING WITH S.S. MOUNTING CHANNEL
6. 1/4" CLEAR GRAN CEDAR OR IPE SLAT FENCE OR SCREEN WALL
7. CONCRETE WALL
8. ALUMINUM DOWNSPOUT
9. HARDBOARD FASCIA TRIM
10. 2X6 CEDAR OR IPE BENCH

color

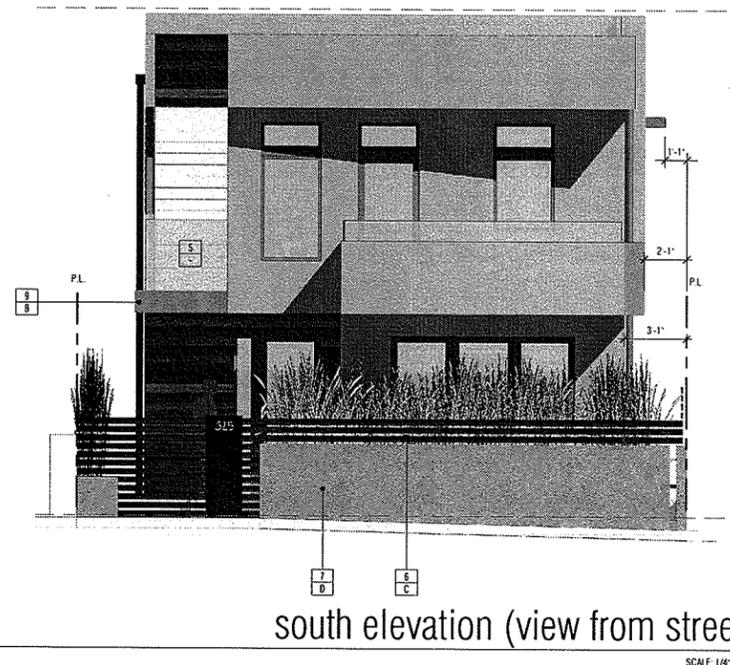
- A. DRY SAGE 2142-40 (BENJAMIN MOORE)
- B. GRAPHITE 1603 (BENJAMIN MOORE)
- C. CLEAR STAIN/SEALER
- D. NATURAL



north elevation (view from courtyard)  
 SCALE: 1/4" = 1'-0"



south elevation (view from courtyard)  
 SCALE: 1/4" = 1'-0"



south elevation (view from street)  
 SCALE: 1/4" = 1'-0"

architect seal:



project type:  
new residence

project address:  
325 york ave.  
ocean, california

client:  
Moe & Joy Montoya  
2010 Idyllwild Place  
arroyo grande, california  
93420

Sheet Title:  
elevations

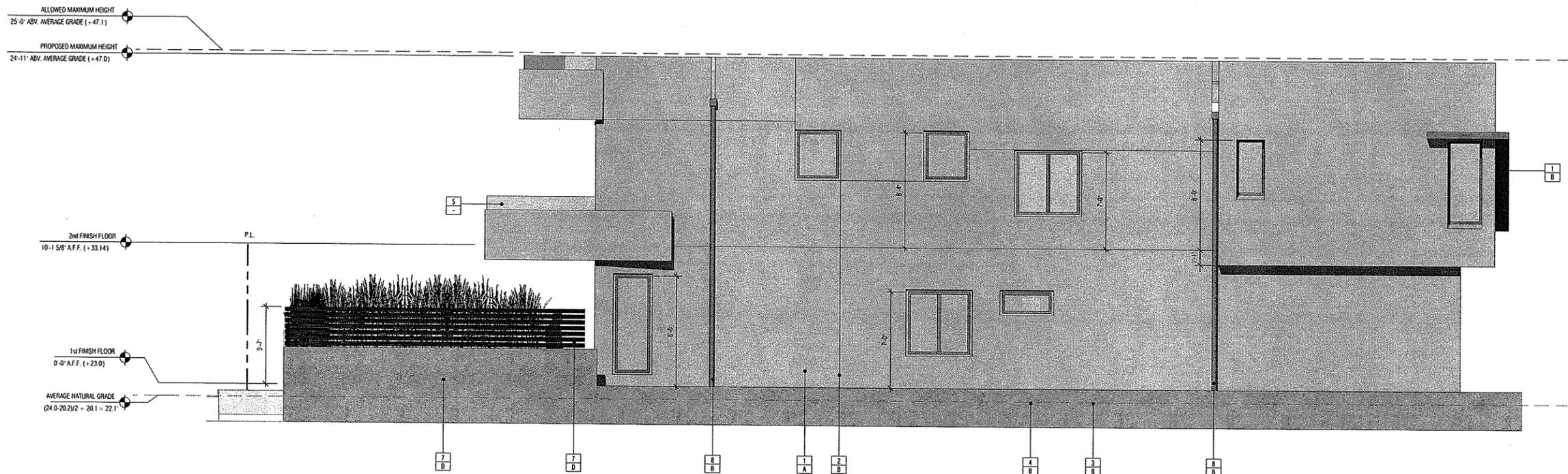
Sheet Info:

plot date: 12.01.15

rev.	description	date

Sheet:

a3.3



east elevation

SCALE: 1/4" = 1'-0"

material

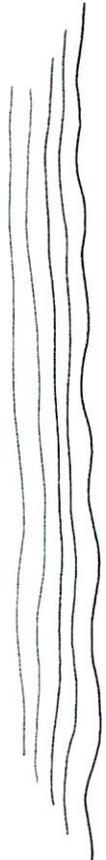
1. SMOOTH SAND STUCCO EXTERIOR FINISH
2. GALVANIZED STUCCO EXPANSION JOINT (NO NOT STUCCO OVER METAL)
3. WINDOWS & DOORS PER PLAN, SEE SHEET A4.1
4. 1x6 CLEAR GRAIN CEDAR OR IPE T&G SIDING
5. TEMPERED GLASS RAILING WITH S.S. MOUNTING CHANNEL
6. 1x4 CLEAR GRAIN CEDAR OR IPE SLAT FENCE OR SCREEN WALL
7. CONCRETE WALL
8. ALUMINUM DOWNSPOUT
9. HARDIE BOARD FASCIA TRIM
10. 2x6 CEDAR OR IPE BENCH

color

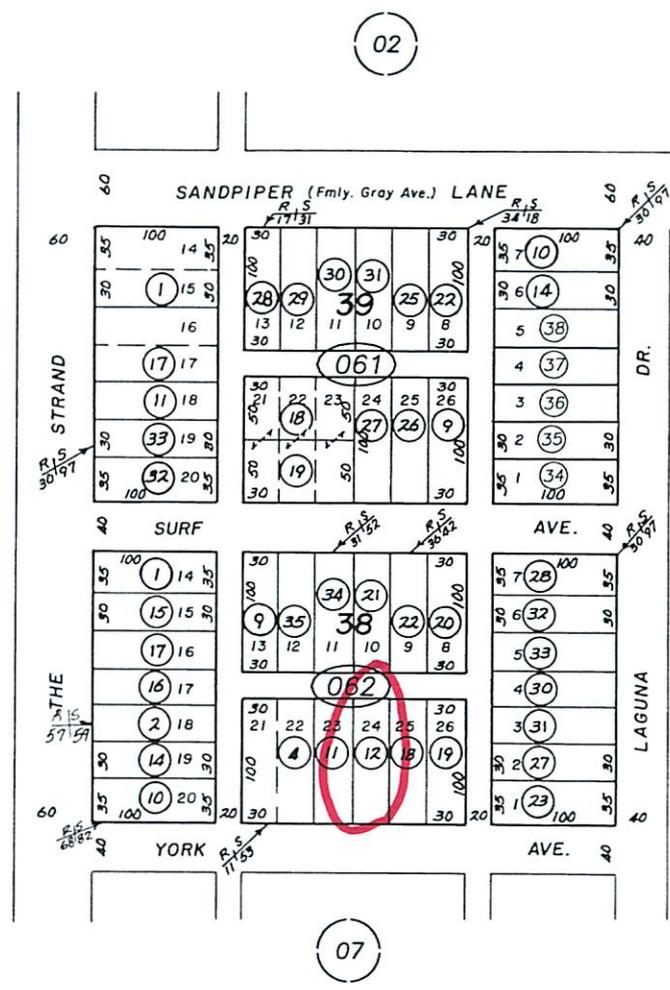
- A. DRY SAGE 2142-40 (BENJAMIN MOORE)
- B. GRAPHITE 1603 (BENJAMIN MOORE)
- C. CLEAR STAINSEALER
- D. NATURAL



PACIFIC OCEAN

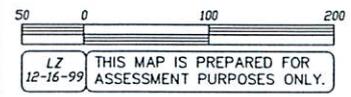


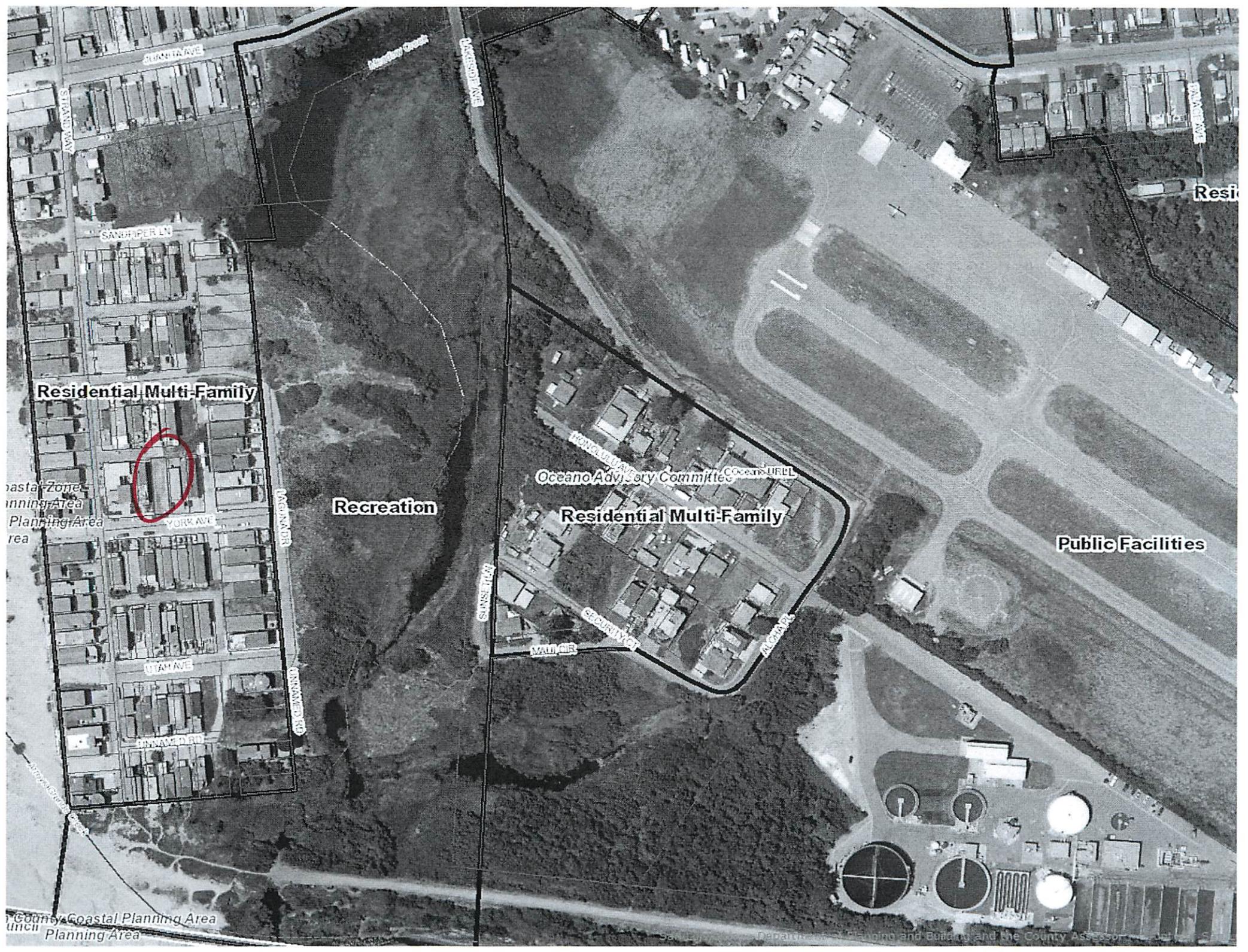
09



07

REVISIONS	
I.S.	DATE
09-070	06-03-08





**Residential Multi-Family**

Coastal Zone  
Planning Area

**Recreation**

Oceano Advisory Committee

**Residential Multi-Family**

**Public Facilities**

County Coastal Planning Area  
Planning Area

Department of Planning and Building and the County Assessor



# Parcel Summary Report For Parcel # 061-062-012

12/1/2015  
12:36:21PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

**Role**    **Name and Address**

OWN    MONTOYA MAURICE T  
        2010 IDYLLWILD PL ARROYO GRANDE CA 93420-9601

OWN    MONTOYA FAMILY TRUST

OWN    MONTOYA JOY C

### Address Information

**Status**            **Address**  
                          00000 YORK AV OCNO

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
061062	012	0001	Oceano	South County C	SSN	CAZ	AS	N		
OCNOBCH2	0038	0024	Oceano	South County C	RMF	AR	LCP	Y	ZL	

### Parcel Information

**Status**    **Description**  
 Active    OCEANO BCH TR BL 38 LT 24

### Notes

### Tax Districts

LUCIA MAR  
 SAN LUIS OBISPO JT(27,40)  
 ARROYO GRANDE  
 COASTAL SAN LUIS  
 COUNTY-ZONE NO. 01



# Parcel Summary Report For Parcel # 061-062-012

12/11/2015  
12:36:22PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

COUNTY-ZONE NO. 03

SAN LUIS

NO. 04

SOUTH SAN LUIS OBISPO COUNTY

OCEANO

AREA NO. 21

### Case Information

Case Number:

Case Status:

DRC2015-00064

REC

Primary Parcel

Description:

CONSTRUCT A NEW 2158 SFR W/ A 583 SF TWO CAR GARAGE & A 480 SF ROOF DECK