



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 4/12/2016

**TO:** \_\_\_\_\_

**FROM:** Brandi Cummings (805-781-1006 or bcummings@co.clo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00110 WATTERWORTH – Proposed minor use permit to construct new single family home (370 Mitchell Drive), and demolish existing residence (378 Mitchell Drive), Los Osos. APN: 074-081-027

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Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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\_\_\_\_\_ **Date**

\_\_\_\_\_ **Name**

\_\_\_\_\_ **Phone**

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00110

WATTERWORTH H

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

CONSTRUCT NEW SINGLE FAMILY HOME,  
DEMOLISH EXISTING RESIDENCE AT 378.  
EST/LSOS

AS CA COJ FH LCP RSF  
SRA WET

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name HANK WATTERWORTH Daytime Phone \_\_\_\_\_  
Mailing Address 380 MITCHELL DR., LOS OSOS, CA Zip Code 93402  
Email Address: \_\_\_\_\_

Applicant Name SAME AS LANDOWNER Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent Name JEFF EDWARDS Daytime Phone (805) 235-0873  
Mailing Address P.O. BOX 6070, LOS OSOS, CA Zip Code 93412  
Email Address: jhedwardscompany@gmail.com

## PROPERTY INFORMATION

Total Size of Site: 5,750 sq. ft. Assessor Parcel Number(s): 074-081-027

Legal Description: LOTS 15 AND 16 IN BLK. 35 CUESTA-BY-THE-SEA

Address of the project (if known): 370 MITCHELL DR., LOS OSOS

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: WEST ON LOS OSOS VLY RD. TO PINE

AVE. - GO RIGHT (NORTH) TO MITCHELL DR. - GO LEFT TO SITE

Describe current uses, existing structures, and other improvements and vegetation on the property:  
VACANT LOT

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): CONSTRUCT NEW SINGLE-FAMILY HOME AT 370 AND DEMOLISH EXISTING RESIDENCE AT 378

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature JEFF EDWARDS (AGENT FOR OWNER) Date 3/28/16

FOR STAFF USE ONLY

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): PLEASE SEE THE ATTACHED LETTER

Describe existing and future access to the proposed project site: EXISTING AND FUTURE ACCESS FROM MITCHELL DR.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: OPEN SPACE (TIDELANDS) South: RSF  
East: RSF West: RSF

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 2486 sq. feet 43 % Landscaping: 1035 sq. feet 18 %  
Paving: 750 sq. feet 13 % Other (specify) 1500 sq. feet 26%  
Total area of all paving and structures: 2486  sq. feet  acres  
Total area of grading or removal of ground cover: 4200 SQ. FT.  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 14' ANG  
Number of trees to be removed: 1 Type: EUCALYPTUS  
Setbacks: Front 15' Right 4' Left 5' Back 30'

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: GOLDEN STATE WATER CO.  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: LOWRF  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: SLO COUNTY CAL FIRE

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 2  
Total floor area of all structures including upper stories, but not garages and carports: 1997 sq. feet  
Total of area of the lot(s) minus building footprint and parking spaces: 2904 sq. feet  
5750 - 2486 = 3264 - 360 = 2904

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 0.132 acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: MONROE BAY TIDELANDS
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: MITCHELL DRIVE

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial – Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 125 gpd
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: 0    Location of connection: AT PROPERTY LINE
2. What is the amount of proposed flow? \_\_\_\_\_ 100 G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: MISSION COUNTRY DISPOSAL
- 3. Where is the waste disposal storage in relation to buildings? BEHIND GARAGE
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: SAN LUIS COASTAL UNIFIED SCHOOL DISTRICT
- 2. Location of nearest police station: APPROX. 1.5 MI. SOUTHEAST
- 3. Location of nearest fire station: " " "
- 4. Location of nearest public transit stop: LOS OSOS VLY RD. & PINE AVE.
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? 1 feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
VACANT
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

*Only complete this section if you are proposing a commercial or industrial project or zoning change.*

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): N/A
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: SOLAR

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
OPEN SPACE BETWEEN RESIDENCE AND MORRO BAY

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

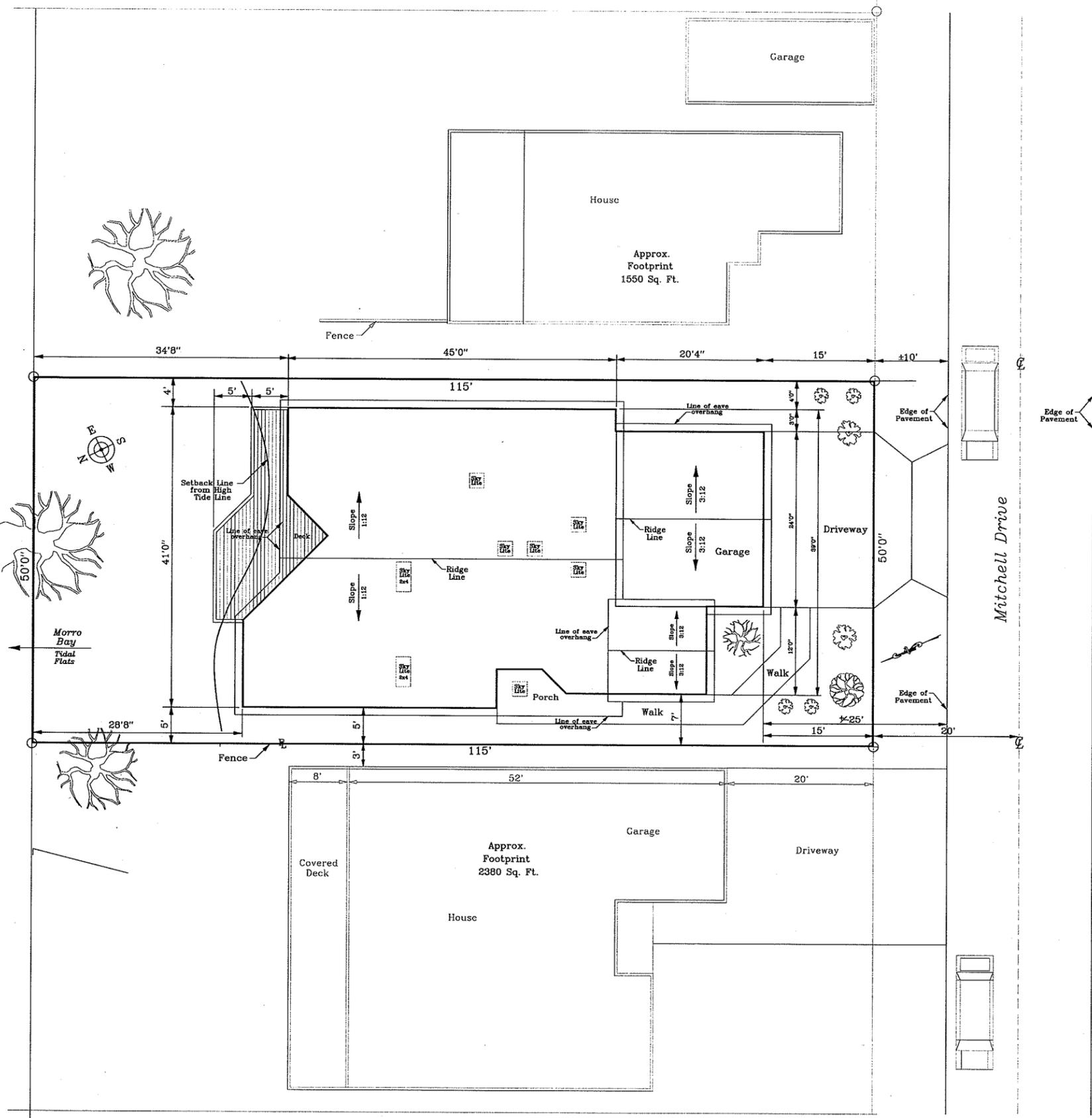
Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): MUP/COP FROM SLO COUNTY

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



Site Plan

CAL GREEN Required Measures

**BR53 ENHANCED DURABILITY AND REDUCED MAINTENANCE**  
 4.406.1 Joints and openings. Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar methods acceptable to the enforcing agency.

**BR 54 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING**  
 A minimum of 70% of the construction waste generated at the site is diverted to recycle or salvage per Title 19 S.L.O. County Ordinance.

**BR56 V.O.C.'S-4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.**

4.504.1 Duct openings and other related air distribution components openings shall be covered during construction.

4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.

4.504.2.2 Paints, stains and other coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.

4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.

4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

4.504.3 Carpet and carpet systems shall be compliant with VOC limits.

4.504.4 50% of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore Program.

4.504.4 50% of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) FloorScore Program.

4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

**BR57 INTERIOR MOISTURE CONTROL**

4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.

4.504.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.

4.506.1 Exhaust fans which terminate outside the building are provided in every bathroom.

4.507.1 Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2.

**BR58 HVAC SIZING REQUIRED**

Cal Green Code - 4.507. Heating and air-conditioning systems shall be sized, designed & have their equipment selected using the following methods:

- The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J-2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
- Duct systems are sized according to ANSI/ACCA 1 Manual D-2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2004 (Residential Equipment selection), or other equivalent design software or methods. Provide a mechanical plan showing equipment model number and size with duct layout, size of ducts and fitting sizes. PROVIDE A SEPARATE HVAC/DUCT SIZING PLAN WITH SUPPORTING CALCULATIONS BASED ON THE ABOVE CRITERIA.

Project shall comply with:

- 2013 California Residential Code (CRC)
- 2013 California Building Code (2009 IBC w/CA amendments) & Appdx. Chapter 33, 1997 UBC
- 2013 California Electric Code (2008 NEC w/CA amendments)
- 2013 California Mechanical Code (2009 IAPMO UMC w/CA amendments)
- 2013 California Plumbing Code (2009 IAPMO UPC w/CA amendments).
- California Title 24: 2013; California State Energy and Accessibility Standards
- Zoning Ordinance-Tree Ordinance-Atascadero Municipal Code-2013 C.B.C./ 2013 C.E.C./2013 C.M.C./ 2013 C.P.C./ 2013 C.F.C.

Underground Utility Service

All electrical, telecommunication, and other utilities shall be installed underground in an approved method of construction

Project Description:

Construct new 1993 sq. ft. one story house with 495 sq. ft. garage & 230 sq. ft. deck.

Square Footage

House 1997 Sq. Ft.  
 Garage 489 Sq. Ft.  
 Deck 230 Sq. Ft.  
 Footprint 2486 Sq. Ft.

Lot Area	Footprint	Lot Coverage
5750 Sq. Ft.	2486 Sq. Ft.	43.2%
Zoning	Occupancy	Construction
RSF-Y	R-3-U	V-B

Cut and Fill & Grading Note:

Grading consists of a small amount of cut and fill and digging for foundation footings.

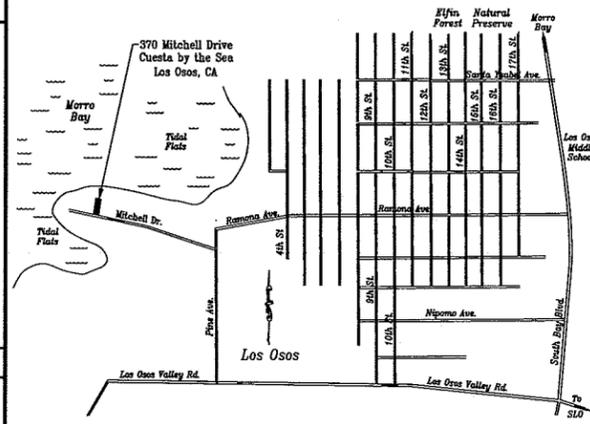
Zoning	Area disturbed by construction
R-1	Estimated 4200 Sq. Ft.
Building Height	Drainage
14' measured from the Average Natural Grade	Rain gutters with downspouts to rain barrels and to street

Fire Sprinkler System

Drawing and calculations shall be submitted to the Building Department and approved by the Fire Department prior to installation.

Sheet Index

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S-5	
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Site Location

Revisions

Revisions

**Dana Belmonte**  
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 Atascadero, Ca 93422  
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 dana@belmonte@gmail.com

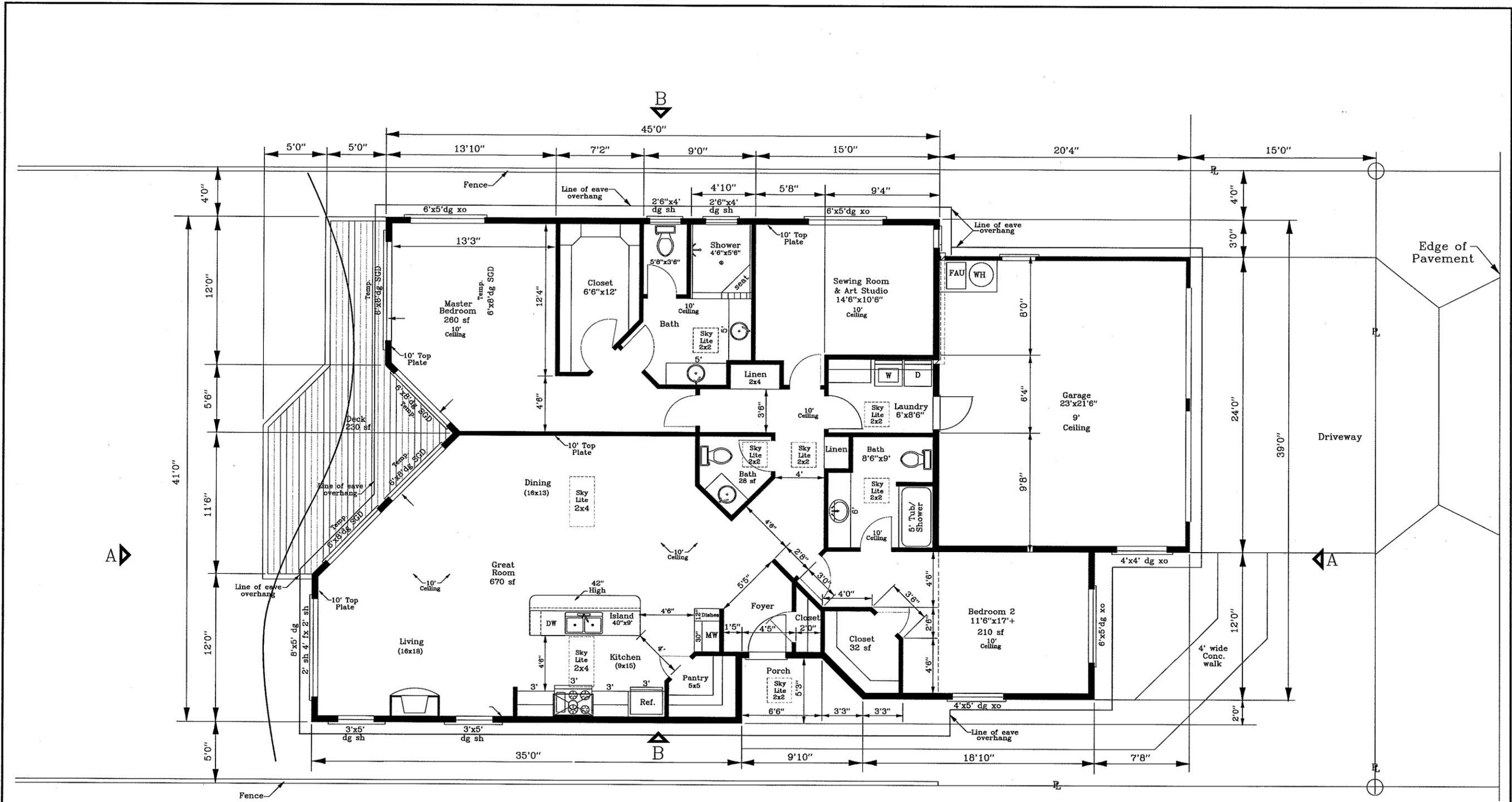
The use of these plans and specifications shall be restricted to the original site for which they were prepared and published. No other use, reproduction, or modification of these plans or specifications is permitted without the written consent of the author or publisher.

Owner:  
 Hank Watterworth  
 Los Osos, CA

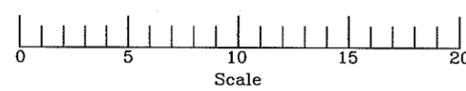
Site Location  
 370 Mitchell Drive  
 Los Osos, CA  
 APN 74-081-027  
 Lots 15 & 16 Blk. 35  
 Cuesta by the Sea

Site Plan

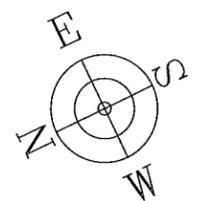
Drawn  
 Dana Belmonte  
 Date  
 March 15, 2016  
 Scale  
 1/8"=1'0"  
 Job Number  
 1601  
 Sheet



Floor Plan



Note:  
Due to the printing process  
do not scale drawings.



Square Footage	
House	1997 Sq. Ft.
Garage	489 Sq. Ft.
Deck	230 Sq. Ft.
Footprint	2486 Sq. Ft.

Revisions

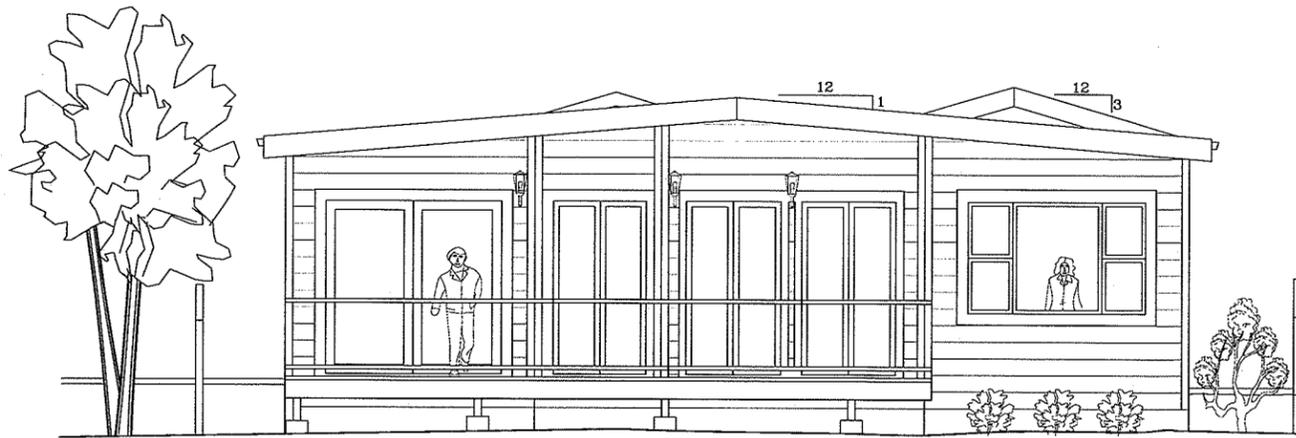
**Dana Belmonte**  
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The use of these plans and specifications shall be restricted to the project and location shown on these drawings. No part of these drawings shall be reproduced, stored in a retrieval system, or published, without the prior written consent of the author. The author shall not be responsible for any errors or omissions in these drawings. The General Contractor shall verify all dimensions and existing conditions on the job, and shall be responsible for any necessary adjustments to the drawings prior to construction. The author shall not be responsible for any delays or costs incurred by the contractor due to any errors or omissions in these drawings.

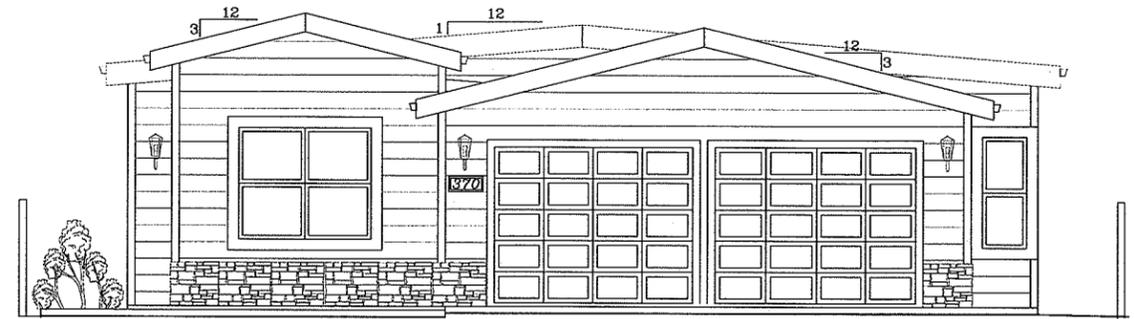
**Hank Watterworth**  
370 Mitchell Drive  
Los Osos, CA

Floor Plan

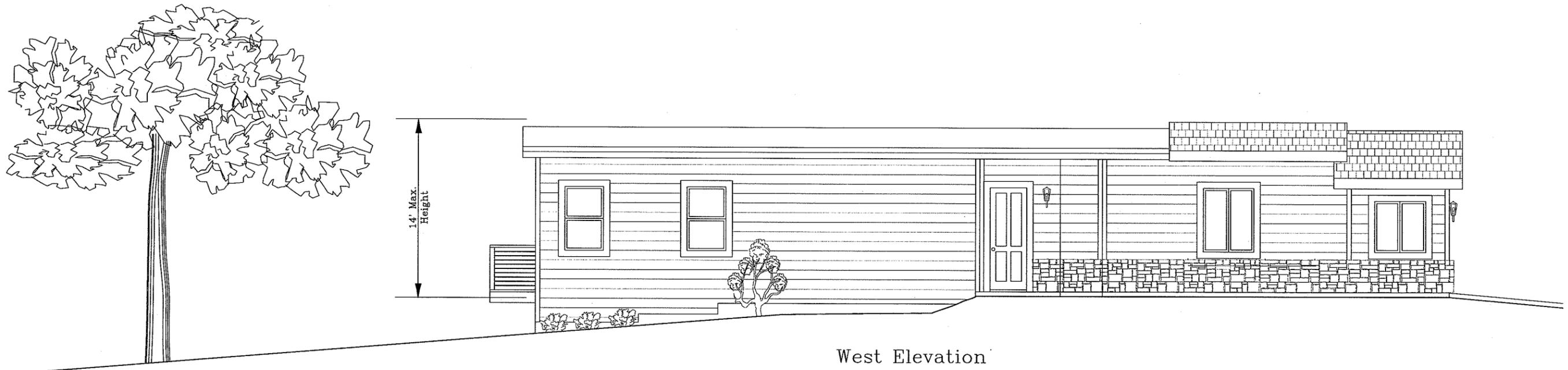
Drawn	Dana Belmonte
Date	March 15, 2016
Scale	1/4" = 1'0"
Job Number	1601
Sheet	



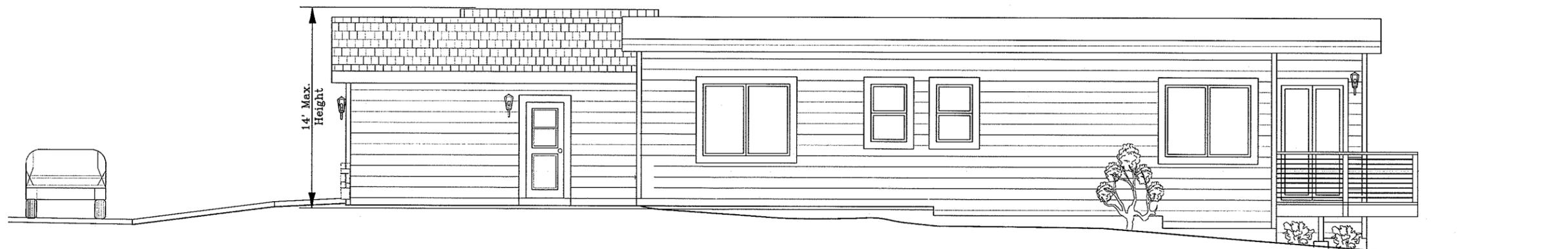
North Elevation



South Elevation



West Elevation



East Elevation

Revisions

*Dana Belmonte*  
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 14006 Morro Rd.  
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 dana.belmonte@gmail.com

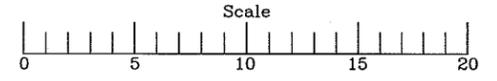
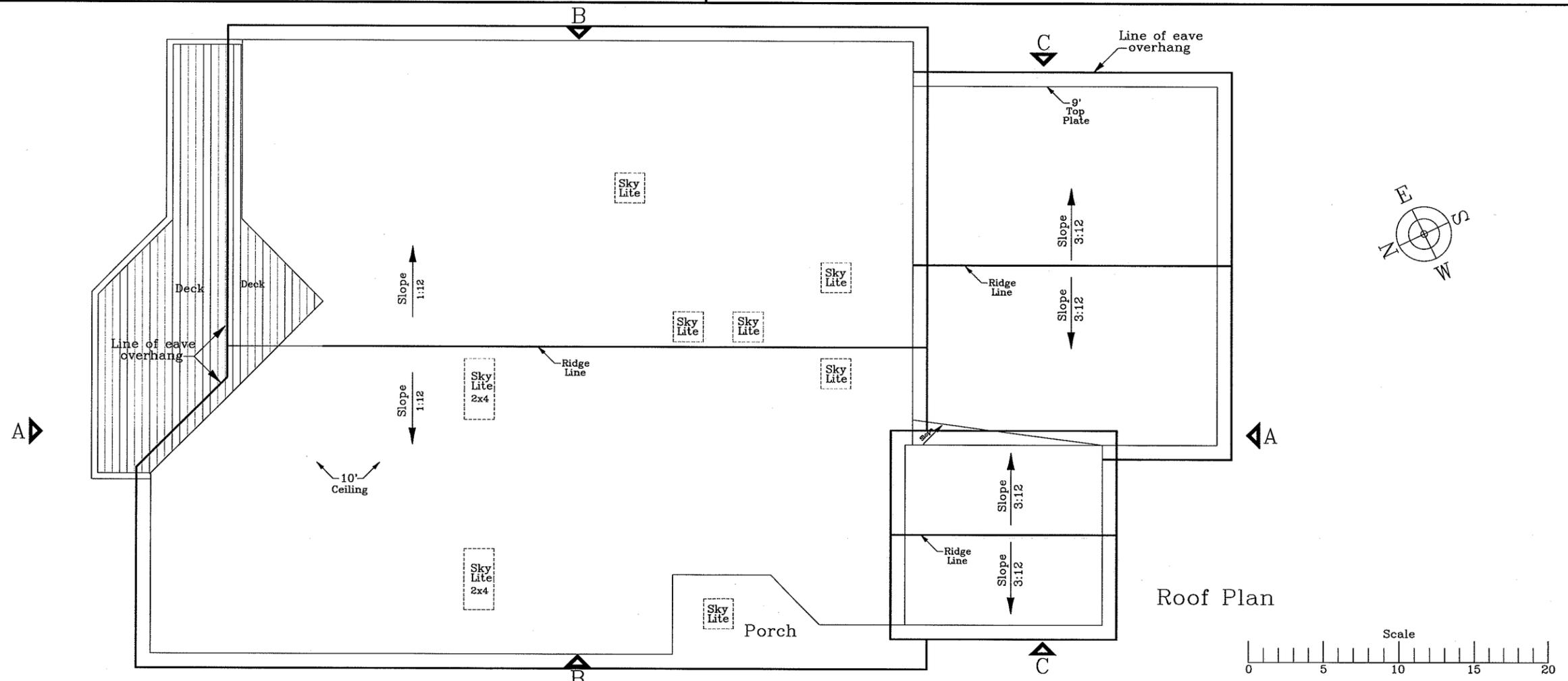
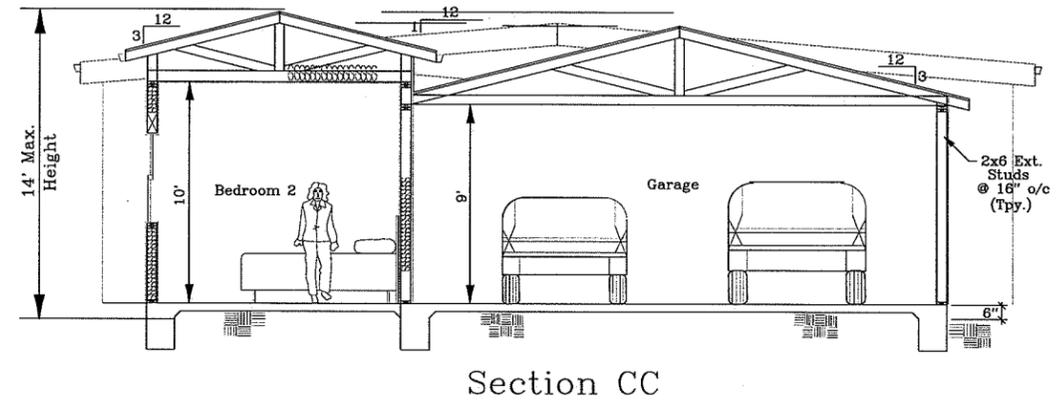
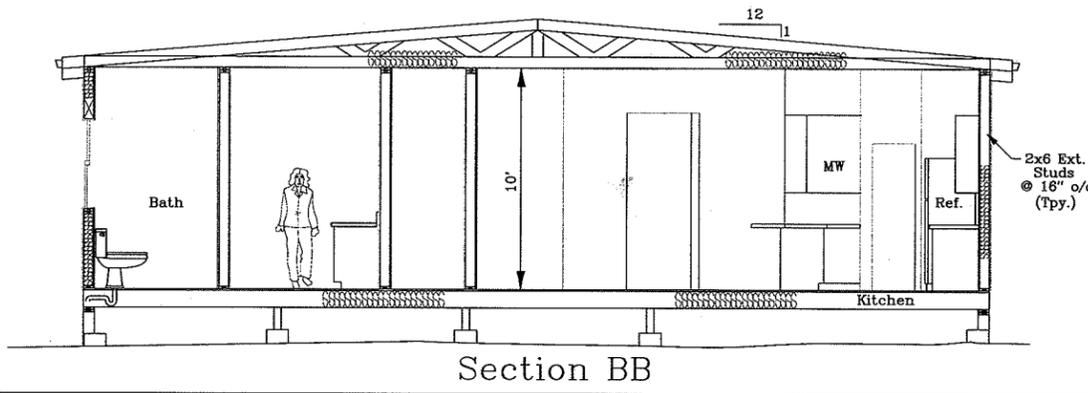
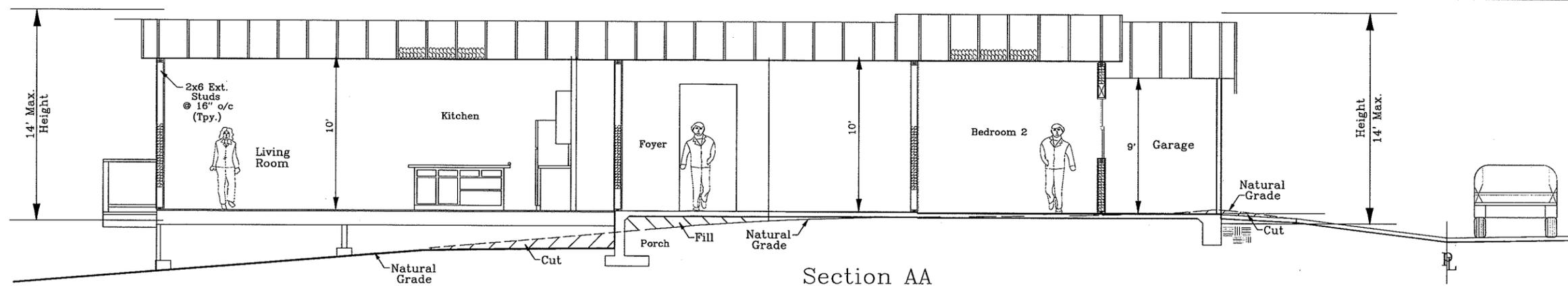
The use of these plans and specifications shall be restricted to the original site for which they were prepared and no alterations or changes shall be made without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these plans and specifications. The client/owner shall verify all dimensions and specifications for construction and shall be responsible for obtaining all necessary permits and approvals. See technical data for material quantities. DO NOT SCALE THESE DRAWINGS. The Client/Owner shall verify all dimensions and specifications for construction and shall be responsible for obtaining all necessary permits and approvals.

*Hank Watterworth*  
 370 Mitchell Drive  
 Los Osos, CA

Elevations

Drawn *Dana Belmonte*  
 Date March 15, 2016  
 Scale 1/4" = 1'0"  
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Sheet  
 A-3



Revisions

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 (805) 461-8317  
 dana Belmonte@gmail.com

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Hank Watterworth  
 370 Mitchell Drive  
 Los Osos, CA

Roof Plan & Sections

Drawn	Dana Belmonte
Date	March 15, 2016
Scale	1/4" = 1'0"
Job Number	1601
Sheet	A-4

A-4





Estero Planning Area  
Planning Area

Coastal Zone  
Planning Area

Residential Single-Family

Los Osos URL

Los Osos URL

Recreation

MITCHELL DR

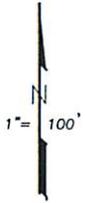
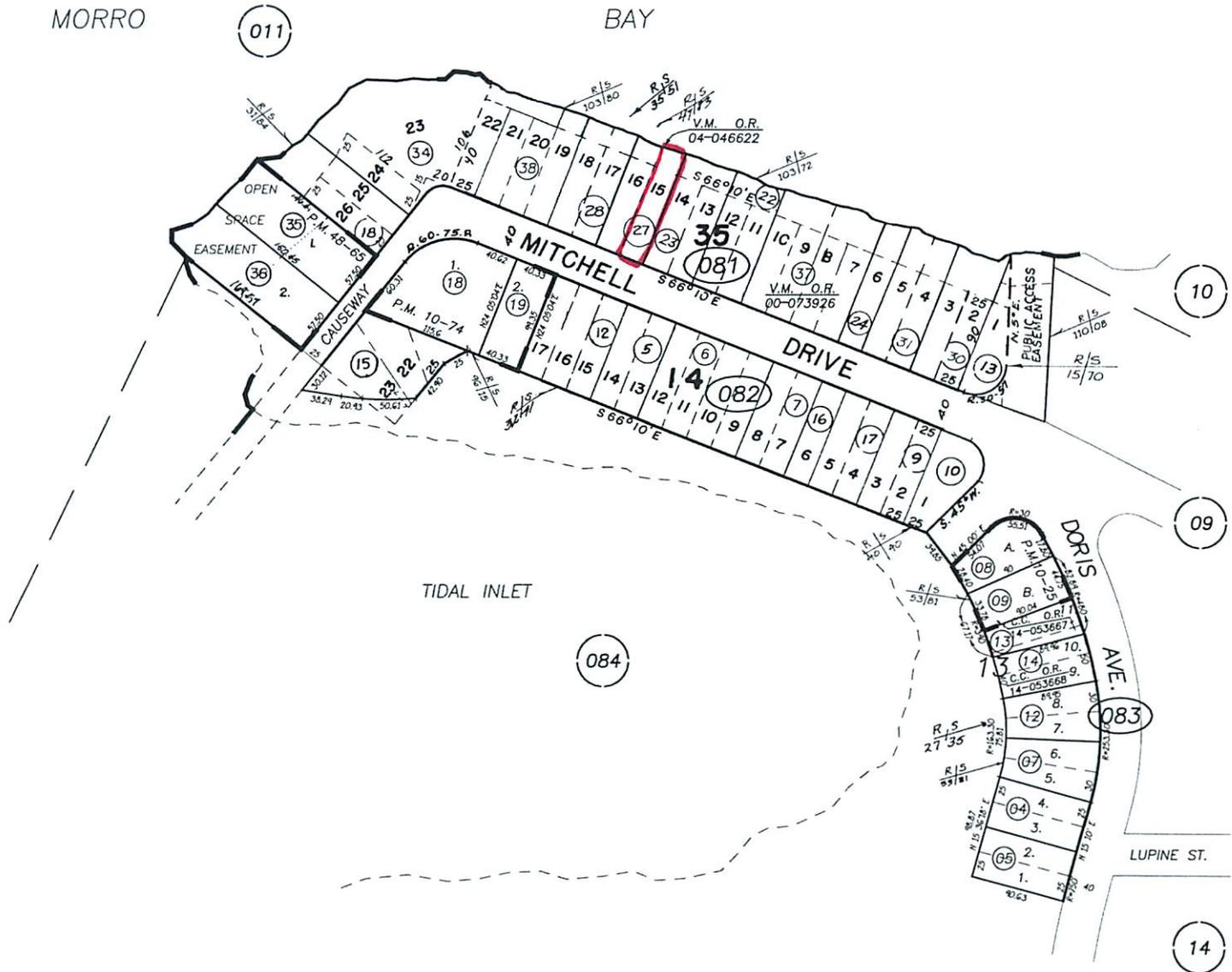
White Hotel

OSOS CA 94025

MORRO

BAY

074-08



REVISIONS	
I.S.	DATE
NA	10-05-04
07-143	08-28-06
NA	01-31-08
NA	05-23-08
NA	11-20-08
15-164	02-17-15



JS  
01-13-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

CUESTA BY THE SEA, R.M. Bk. 3, Pg. 48.

LOS OSOS  
ASSESSOR'S MAP, COUNTY OF  
SAN LUIS OBISPO, CA.  
BOOK 074 PAGE 08



# Parcel Summary Report For Parcel # 074-081-027

4/4/2016  
9:19:42AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    WATTERWORTH HENRY G  
          PO BOX 6012 LOS OSOS CA 93412-6012

OWN    WATTERWORTH EVADENA

OWN    WATTERWORTH EVADENA D

OWN    WATTERWORTH FAMILY REVCBLE LVNG TRU

OWN    WATTERWORTH HENRY

### Address Information

Status            Address  
P                    00370 MITCHELL DR LSOS

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
074081	027	0002	Los Osos	Estero Plannin	WET	COJ		N		
M04-	227	0001	Los Osos	Estero Plannin	RSF	LCP	SRA	Y		
074081	027	0001	Los Osos	Estero Plannin	AS	CA	FH	N		

### Parcel Information

#### Status    Description

Active    CUESTA BY THE SEA BL 35    LTS 15 & 16 & ADJ LD

#### Notes

SEE DOCUMENTS FOR CONCURRENCE LETTER FROM RWQCB

#### Tax Districts



# Parcel Summary Report For Parcel # 074-081-027

4/4/2016  
9:19:42AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SAN LUIS COASTAL  
SAN LUIS OBISPO JT(27,40)  
NO. 02  
LOS OSOS, ZONE B  
AREA NO. 21  
LOS OSOS, ZONE J  
LOS OSOS, ZONE K  
LOS OSOS

### Case Information

**Case Number:**

**Case Status:**

COD2015-00150

REC

Primary Parcel

**Description:**

COMPLAINT: PO HAS IMPORTED SEVERAL TRUCK LOADS OF DIRT ONTO THIS LOT OVER THE YEARS AND NO EC'S OR STOCKPILE/GRADING PERMIT

DRC2015-00110

REC

Primary Parcel

**Description:**

CONSTRUCT NEW SINGLE FAMILY HOME, DEMOLISH EXISTING RESIDENCE AT 378.

SUB2003-00210

RDD

Primary Parcel

**Description:**

PROP 3 TO 1 MERGER