



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 4/22/2016

TO: _____

FROM: Schani Siong (805-781-4374 or ssiong@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00113 KEOUGH – Proposed minor use permit for the addition of a 598 sf detached shop/office. Project location is 1198 Pinewood Drive, Cambria. APN: 013-313-012

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00113

KEOUGH MICHA

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

ADD 598 SQ FT DETACHED SHOP/OFFICE

NOCST/ CAMB

AS GS LCP RSF TH

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Mike Keough Daytime Phone 310-913-1623
Mailing Address 1198 Pinewood Dr. Cambria, Ca. Zip Code 93428
Email Address: _____

Applicant Name same as above Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name Brent Berry Daytime Phone 805-927-4962
Mailing Address 1056 Weymouth St. Cambria, Ca. Zip Code 93428
Email Address: brent@charter.net

PROPERTY INFORMATION

Total Size of Site: 11,000 SF Assessor Parcel Number(s): 013-313-012
Legal Description: LOT 12, BLK 9, TRACT 112, Cambria, SLO county
Address of the project (if known): 1198 Pinewood Dr. Cambria, Ca.
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Pinewood Dr off of Oakhurst.

Describe current uses, existing structures, and other improvements and vegetation on the property:
EXIST. SFR with detached garage & potting shed - existing oak trees

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Add 598 SF detached shop / office

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature]

Date 03.28.16

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): NA

Describe existing and future access to the proposed project site: Pinewood Drive, Cambria, Ca.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: SFR South: SFR
East: SFR West: SFR

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 3721 sq. feet 34 % Landscaping: 6029 sq. feet 55 %
Paving: 1250 sq. feet 11 % Other (specify) _____

Total area of all paving and structures: 4971 sq. feet sq. feet acres

Total area of grading or removal of ground cover: 1700 sq. feet sq. feet acres

Number of parking spaces proposed: 2 EXIST. Height of tallest structure: 14 FT.

Number of trees to be removed: 0 Type: _____

Setbacks: Front 33' Right 16' Left 5' Back 85'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Cambria CSD

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: CCSD

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cambria Fire Dept.

For commercial/industrial projects answer the following:

Total outdoor use area: NA sq. feet sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 37226 SF

Total of area of the lot(s) minus building footprint and parking spaces: 7279 SF

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 11,000 SF acres
Moderate slopes of 10-30%: — acres
Steep slopes over 30%: — acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Pinewood Dr.

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? Residential
4. How many service connections will be required? 1 EXIST.
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: Grove St.
2. What is the amount of proposed flow? Residential G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission Country Disposal
- 3. Where is the waste disposal storage in relation to buildings? Garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

- 1. Name of School District: Coast Unified School District
- 2. Location of nearest police station: _____
- 3. Location of nearest fire station: Burton Drive
- 4. Location of nearest public transit stop: _____
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Cambria Monterey Pine forest, single family residence
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): NA
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: Wall & roof insulation, dual glaze windows

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
removing existing asphalt driveway and installing drought resistant landscape and permeable hardscape.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Minor Use Permit, building Permit.

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

SITE IMPROVEMENT GENERAL CONSTRUCTION, GRADING & DRAINAGE NOTES:

1. NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS AND PERMITS APPROVED BY THE COUNTY.
2. DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
3. AREA OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL AND OBSERVED AND APPROVED BY THE SOILS ENGINEER.
4. FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY. A SOIL OR CIVIL ENGINEER TO DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE(S). THE SOIL OR CIVIL ENGINEER OF RECORD SHALL OBSERVE THE GRADING OPERATION AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH UBC AND COUNTY ORDINANCES. FINAL REPORTS SHALL SATISFY UBC SECTION 531B.1.
5. REMOVE ANY DELETERIOUS MATERIAL (NON-COMPLYING MATERIAL) ENCOUNTERED BEFORE PLACING FILL, INCLUDING EXISTING BRUSH, NATIVE GRASSES, ORGANIC DEBRIS, ROCK LARGER THAN 3" DIAMETER, AND ANY UNSTABLE SOIL ENCOUNTERED IN THE FILL AREA.
6. NO CUT OR FILL SLOPE WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
7. ALL DISTURBED AREA SHALL BE HYDRO SEEDING OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. IF GRADING OCCURS BETWEEN OCTOBER 15 AND APRIL 15, TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN. ALL CUT AND FILL SLOPES SHALL BE NATIVE GRASS MIX SEEDING AND COVERED WITH STRAW MULCH AS SOON AS ROUGH GRADING IS COMPLETE.
8. MINIMUM SET BACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SET BACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING. BLUFF & RAVINE SETBACKS MUST BE FOLLOWED AS INDICATED.
9. MINIMUM GRADED SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST 10 FEET AROUND FOUNDATION, THEN A 2% MINIMUM THEREAFTER.
10. AN APPROVED EROSION CONTROL PLAN MAY BE REQUIRED TO BE SUBMITTED, APPROVED AND IMPLEMENTED SHOULD GRADING OCCUR BETWEEN OCTOBER 15 AND APRIL 15. NOTES AND DETAILS ARE SHOWN ON THIS PLAN.
11. ANY TREES WITHIN 20 FEET OF GRADING ACTIVITIES SHALL BE PROTECTED AS IDENTIFIED IN THE TREE PROTECTION NOTES. NO TREES EXIST IN THE BUILDING AREA.
12. A BOND FOR THE PROPOSED SCOPE OF WORK MAY BE NECESSARY TO ENSURE THAT ANY WORK NOT COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS & SPECIFICATIONS WILL BE CORRECTED TO ELIMINATE POTENTIAL HAZARDOUS CONDITIONS. BONDING REQUIRED SHALL SATISFY LAND USE PERMIT CONDITIONS.
13. WORK WITHIN THE PUBLIC RIGHT OF WAY MAY REQUIRE A PRE-CONSTRUCTION MEETING. WHEN REQUIRED, THE PRE-CONSTRUCTION MEETING SHOULD BE SETUP BY CALLING COUNTY PUBLIC WORKS AT 781-5252. THE COUNTY MAY REQUIRE REPORTS BY THE SOIL OR CIVIL ENGINEER TO ADDRESS AND MONITOR JOB PROGRESS, INCLUDING STATUS OF EROSION AND SEDIMENTATION MONITORING.

SITE IMPROVEMENT EROSION AND SEDIMENT CONTROL NOTES:

1. THE GENERAL CONTRACTOR SHALL PROTECT ALL DISTURBED SOILS TO PREVENT EROSION AND SEDIMENT MIGRATION DURING THE WET SEASON (OCT. 15 - APRIL 15).
2. BEST MANAGEMENT PRACTICES INSTALLED MUST ENSURE THAT SOILS, SEDIMENT AND DEBRIS DO NOT LEAVE THE CONSTRUCTION SITE.
3. DISTURBED SOIL SURFACES SHALL BE PROTECTED AND STABILIZED BY NATIVE GRASS MIX HYDROSEEDING, SEEDING AND COVERING WITH STRAW MULCH (1" THICK MIN.), PLACEMENT OF STRAW MATS AND BLANKETS, OR OTHER METHODS DEEMED NECESSARY. VEGETATION MUST BE ESTABLISHED PRIOR TO RAINS TO BE CONSIDERED EFFECTIVE EROSION CONTROL.
4. IF CONSTRUCTION OCCURS DURING WET SEASON, THE PROJECT BOUNDARY AND ANY AREAS OF CONCENTRATED RUNOFF SHALL BE PROTECTED BY SILT FENCE PLACEMENT (SEE SILT FENCE DETAIL).
5. NECESSARY MEASURES SHALL BE TAKEN TO PREVENT SOIL AND MUD TRACKING ONTO THE STREET WHEN VEHICLES LEAVE THE CONSTRUCTION SITE.
6. ALL NECESSARY MEASURES SHALL BE TAKEN TO PREVENT OFFSITE RUNOFF, INCLUDING STREET RUNOFF, FROM ENTERING THE CONSTRUCTION SITE.

SITE IMPROVEMENT TREE PROTECTION NOTES:

1. NO NATIVE TREES ARE TO BE REMOVED DURING THIS PROJECT.
2. NATIVE OAK TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. A TREE PROTECTION PLAN SHALL BE APPROVED AND IN PLACE PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.
3. ALL NATIVE TREES IN THE PROXIMITY OF THE CONSTRUCTION AREA WILL BE PRESERVED. TREE PROTECTION SHALL BE INSTALLED PRIOR TO GRADING. ALL TREE PROTECTION SHALL BE SHOWN ON PLANS.
4. CONTRACTOR/APPLICANT MUST VERIFY THAT PROTECTION FENCING IS IN PLACE PRIOR TO THE START OF ANY EARTHWORK. IF REQUIRED BY THE COUNTY, ALL REQUIRED TREE PROTECTION CONDITIONS SHALL BE IMPLEMENTED BEFORE CONSTRUCTION ACTIVITIES BEGIN.
5. TREES WITHIN 20 FEET OF GRADING OR TRENCHING SHALL BE PROTECTED BY PLACEMENT OF PROTECTIVE FENCING AS INDICATED. THIS FENCING MUST BE PLACED AT THE DRIP LINE, UNLESS OTHERWISE INDICATED.
6. PROTECTIVE FENCING SHALL BE FOUR-FOOT HIGH SAFETY FENCE. THE FENCE SHALL BE PLACED AT THE DRIP LINE, UNLESS OTHERWISE INDICATED.
7. TRENCHING & EXCAVATION WITHIN TREE DRIP LINES SHALL BE DONE CAREFULLY TO MINIMIZE ROOT DISTURBANCE. DURING FOUNDATION OR RETAINING WALL CONSTRUCTION ANY TRENCHING WITHIN THE ROOT ZONE OF A NATIVE TREE SHALL BE HAND DUG, AUGURED OR BORED. ALL MAJOR ROOTS SHALL BE AVOIDED WHENEVER POSSIBLE AND IF NOT, ALL ROOTS LARGER THAN ONE-INCH DIAMETER SHALL BE "CUT CLEAN" (NOT RAGGED), THEN CAPPED. ONCE TRENCHING HAS EXCEEDED THE ROOT ZONE, CONVENTIONAL EQUIPMENT MAY BE USED.
8. PRUNING LOWER LIMBS IN THE CONSTRUCTION AREA SHALL OCCUR PRIOR TO CONSTRUCTION ACTIVITIES TO MINIMIZE DAMAGE.

SITE DEVELOPMENT NOTES

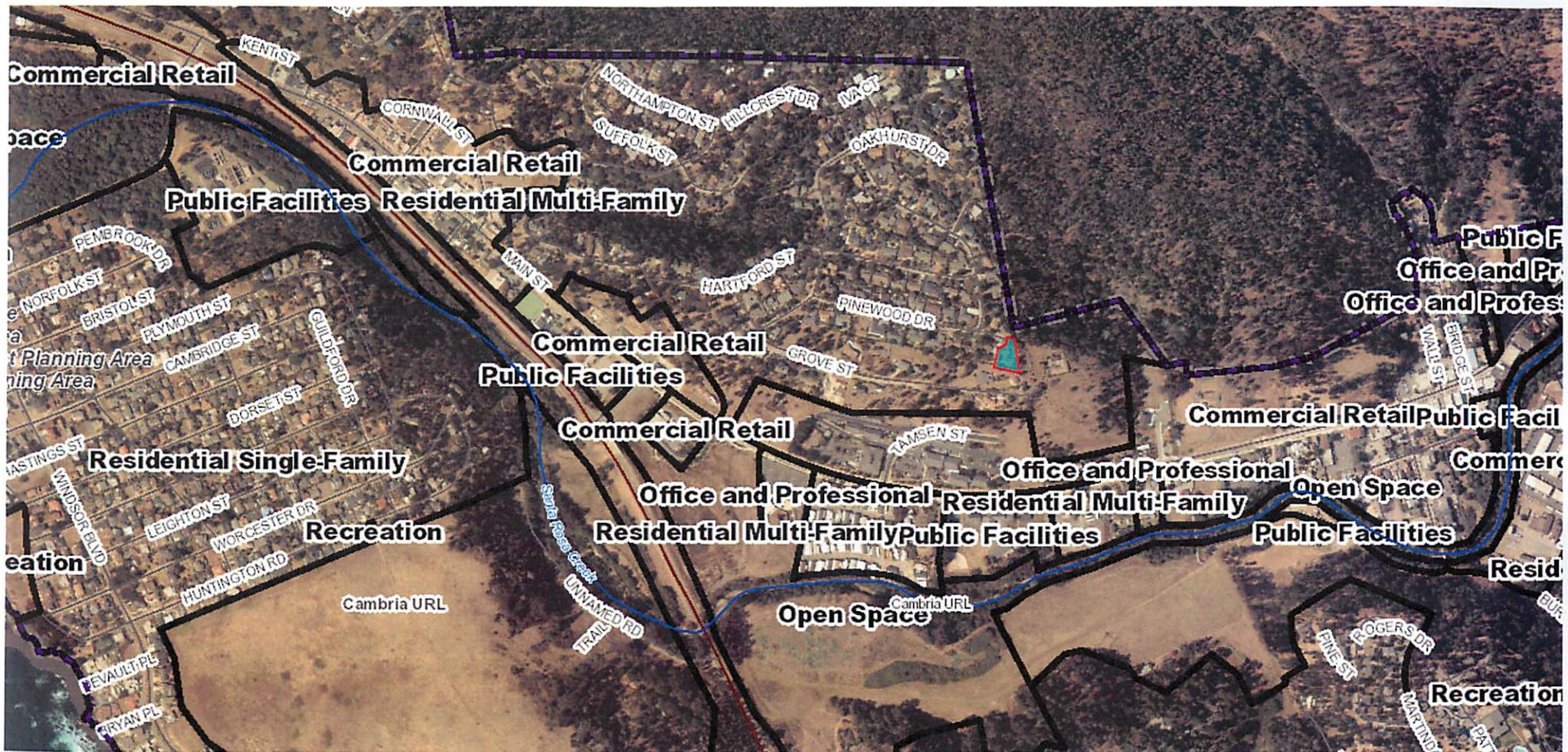
- (1) The "project limit area" shall include all areas of grading (including cut and fill areas, utility trenching and offset improvements) and vegetation removal, the development footprint (i.e., all structures and/or site disturbance) necessary for clearances and staging areas for all construction activities, the location of those activities, and areas for equipment and material storage.
 - (2) Sturdy and highly visible protective fencing that will be placed along the "project limit area". Plan notes shall indicate this fence should remain in place during the duration of project construction to protect vegetation from construction activities.
 - (3) Plan notes shall indicate native trees and undergrowth outside of the "project limit area" shall be left undisturbed.
 - (4) Identify any necessary tree trimming. Plan notes shall indicate a skilled arborist, or accepted arborist's techniques, will be used when removing tree limbs.
 - (5) Plan notes shall indicate wherever soil compaction from construction will occur within driplines that the compacted root zone area shall be aerated by using one of the following techniques:
 - a. Injecting pressurized water.
 - b. Careful shallow ripping that radiates out from the trunk (no cross-root ripping).
 - c. Other County-approved techniques.
 - (6) Plan notes shall indicate no more than one-third of the area of the drip line around any tree to be retained should be disturbed, or as recommended in an arborist's or biologist's report.
- D. Notice of pending tree removal application. Where Plot Plan approval is required for a tree removal permit, a notice shall be posted by the property owner or representative near the front property line on the subject site. The notice shall be maintained in good condition by the property owner until permit issuance.
- E. Construction Practices. Construction practices to protect Monterey pines, oak trees and significant understory vegetation shall be implemented. These construction practices are to include at minimum:
- (1) All plan notes required in Standard C. above shall be implemented.
 - (2) Protective Measures. Practices to protect root systems, trees and other vegetation shall include but not be limited to: methods prescribed in the Cambria Forest Management Plan; avoiding compaction of the root zone; installing orange construction fencing around protected areas shown on the site plan; protecting tree trunks and other vegetation from construction equipment by wood fencing or other barriers or wrapping with heavy materials; disposing of waste, paints, solvents, etc. off-site by approved environmental standards and best practices; and using and storing equipment carefully.
 - (3) Stockpiling of Materials. Materials, including debris and dirt, shall not be stockpiled within 15 feet of any tree, and shall be minimized under tree driplines as required by the land use permit and the Fire Safety Plan. Stockpiled materials shall be removed frequently throughout construction. All stockpiled materials shall be removed before final inspection.
 - (4) Construction Practices. Excavation work shall be planned to avoid root systems of all on-site trees and trees on abutting properties. Any trenching for utilities that may occur within the dripline of trees on the project site shall be hand dug to avoid the root system of the tree.
 - (5) Driveway Placement. When remodeling or replacing existing residences, avoid moving established driveways if trees or significant vegetation would be negatively impacted.

REVISIONS	BY

KEOUGH RESIDENCE SHOP/OFFICE ADDITION

BRENT BERRY
ARCHITECT
656 WEYMOUTH ST. • CAMBRIA • CA 93428
805 927 4952

Date	3.11.16
Scale	
Drawn	BB
Job	KEOUGH
Sheet	2
Of	2 Sheets





Rural Lands

Residential Single-Family

Commercial

Office and Professional

Residential Multi-Family

North Coast Planning Area

Coastal Zone Planning Area

Cambria UFL

HARTFORD ST

PINEWOOD DR

GROVES ST

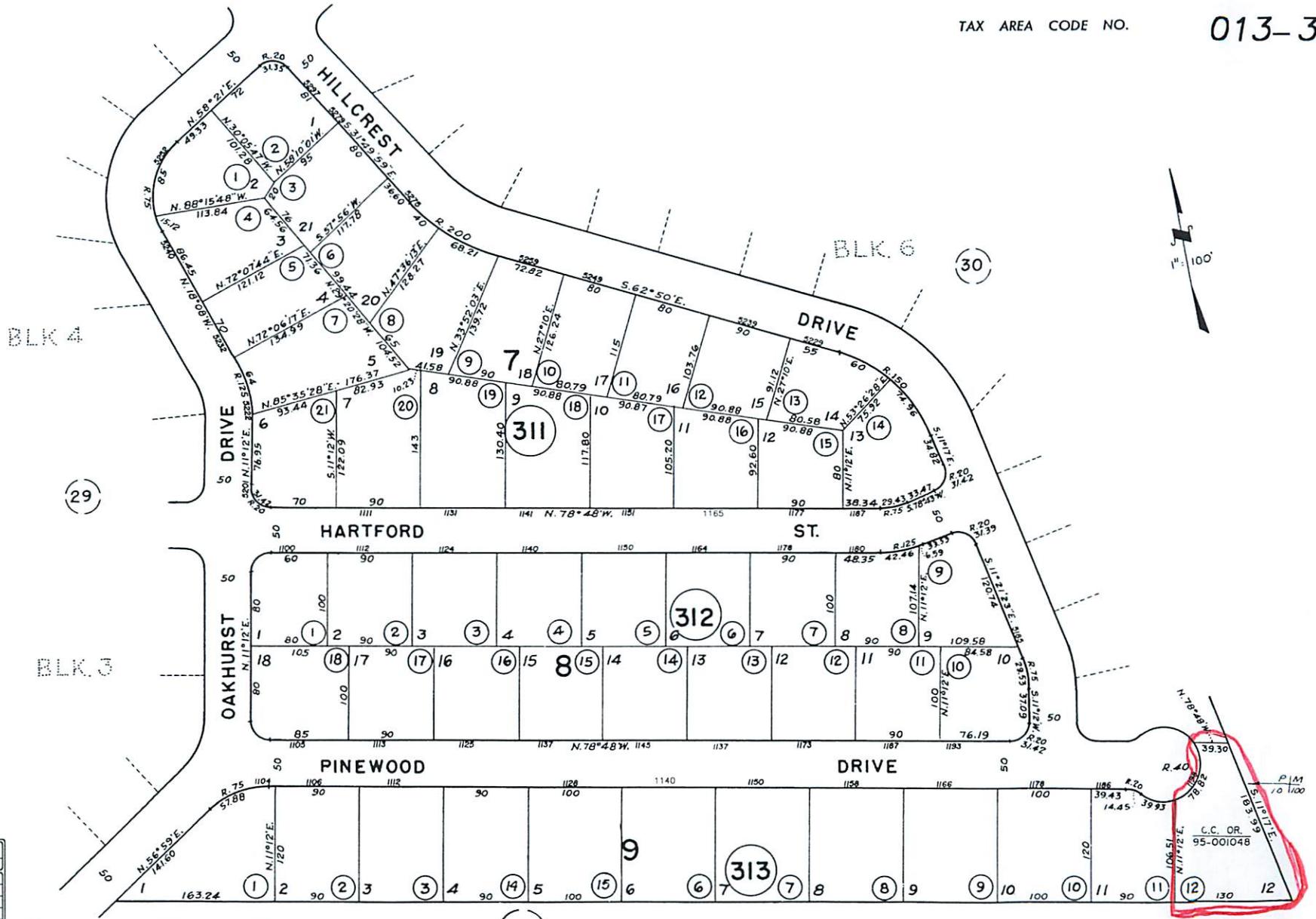
KNOLLWOOD CIR

KNOLLWOOD DR

TAMSEN ST

MAIN ST

Professional



REVISIONS	
TECH	DATE
RS	11-22-99

50 0 100 200

RS 11-22-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

TRACT NO. 112
 SAN LUIS OBISPO COUNTY
 CALIFORNIA



Parcel Summary Report For Parcel # 013-313-012

4/22/2016
1:51:10PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN KEOUGH MICHAEL
 1198 PINWOOD DR CAMBRIA CA 93428-2927
OWN LEE ELIZABETH C

Address Information

Status **Address**
P 01198 PINWOOD DR CAMB

Lot Information:

<u>Tract / Twshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL72-	397	1P	Cambria	North Coast P	RSF	LCP	AS	Y	L2	
COAL72-	397	2P	Cambria	North Coast P	GS			N	L2	

Parcel Information

Status **Description**
Active TR 112 BL 9 LT 12

Notes

Tax Districts

COAST (SB1537)
SAN LUIS OBISPO JT(27,40)
CAMBRIA PUBLIC
COAST UNIFIED SCHOOL - IMP. NO. 1
CAMBRIA (SB1537 BLO)
CAMBRIA COMMUNITY
NO. 02



Parcel Summary Report For Parcel # 013-313-012

4/22/2016
1:51:11PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

CAMBRIA
AREA NO. 21

Case Information

<u>Case Number:</u>	<u>Case Status:</u>	
DRC2015-00113	REC	Primary Parcel

Description:

ADD 598 SQ FT DETACHED SHOP/OFFICE

PMT2014-02164	FNL	Primary Parcel
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Description:

INTERIOR REMODEL ONLY: KITCHEN (224 SF), MASTER BATH (272 SF), ENTRY BATH (80 SF), LAUNDRY (45 SF), CREATE BATH (40 SF), REPLACE WINDOWS LIKE FOR LIKE & REPLACE HEATING SYSTEM

ZON2014-00242	AUT	Primary Parcel
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Description:

REQUEST TO REMOVE ONE (1) ASH TREE LOCATED IN THE BACK YARD INTERFERING WITH SEWER MAIN, AND ONE (1) ASH TREE LOCATED IN THE FRONT YARD LIFTING DRIVEWAY; BOTH TREES ARE HAZARDOUS. TWO ASH TREES INSPECTED, ONE DAMAGING THE SIDEWALK AND ROAD AND THE OTHER IS DYING. O.K. TO REMOVE TWO (2) ASH TREES.



Parcel Summary Report For Parcel # 013-313-012

4/22/2016
1:51:10PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN KEOUGH MICHAEL
 1198 PINEWOOD DR CAMBRIA CA 93428-2927
OWN LEE ELIZABETH C

Address Information

Status Address
P 01198 PINEWOOD DR CAMB

Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL72-	397	1P	Cambria	North Coast P	RSF	LCP	AS	Y	L2	
COAL72-	397	2P	Cambria	North Coast P	GS			N	L2	

Parcel Information

Status Description
Active TR 112 BL 9 LT 12

Notes

Tax Districts

COAST (SB1537)
SAN LUIS OBISPO JT(27,40)
CAMBRIA PUBLIC
COAST UNIFIED SCHOOL - IMP. NO. 1
CAMBRIA (SB1537 BLO)
CAMBRIA COMMUNITY
NO. 02



Parcel Summary Report For Parcel # 013-313-012

4/22/2016
1:51:11PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

CAMBRIA
AREA NO. 21

Case Information

Case Number:

Case Status:

DRC2015-00113

REC

Primary Parcel

Description:

ADD 598 SQ FT DETACHED SHOP/OFFICE

PMT2014-02164

FNL

Primary Parcel

Description:

INTERIOR REMODEL ONLY: KITCHEN (224 SF), MASTER BATH (272 SF), ENTRY BATH (80 SF), LAUNDRY (45 SF), CREATE BATH (40 SF),
REPLACE WINDOWS LIKE FOR LIKE & REPLACE HEATING SYSTEM

ZON2014-00242

AUT

Primary Parcel

Description:

REQUEST TO REMOVE ONE (1) ASH TREE LOCATED IN THE BACK YARD INTERFERING WITH SEWER MAIN, AND ONE (1) ASH TREE
LOCATED IN THE FRONT YARD LIFTING DRIVEWAY; BOTH TREES ARE HAZARDOUS. TWO ASH TREES INSPECTED, ONE DAMAGING THE
SIDEWALK AND ROAD AND THE OTHER IS DYING. O.K. TO REMOVE TWO (2) ASH TREES.