



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 4/29/2016

TO: _____

FROM: Kerry Brown (805-781-5713 or kbrown@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00121 MEHRING – Proposed minor use permit / coastal development plan for a 4,065 sq. ft. single family residence. Project Location is 2756 Houston Drive, Los Osos. APN: 074-453-022

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART I - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00121

MEHRING WILLI

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

4065 SQ. FT. SINGLE FAMILY RESIDENCE

EST/LSOS

CAZ LCP RSF

APPLICANT INFORMATION

Check box for contact person assigned to this project
 Landowner Name WILLIAM MEHRING Daytime Phone 805-466-1011
Mailing Address 1190 Santa Lucia Rd Atascadero Zip Code 93422
Email Address: willmehring@gmail.com

Applicant Name WILLIAM MEHRING Daytime Phone _____
Mailing Address As above Zip Code _____
Email Address: _____

Agent Name _____ Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 1/2 acre Assessor Parcel Number(s): 074-453-022
Legal Description: TR 30U BL 3LT 22 LESS MIN RTS
Address of the project (if known): 2756 Houston Drwc Los Osos CAL
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Rodman

Describe current uses, existing structures, and other improvements and vegetation on the property:

Vacant lot with grass and manzanita bushes / cedar trees

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 4065 sq/ft Single family Residence

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature William Mehring

Date 4-20-16

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: _____

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: _____ South: _____

East: _____ West: _____

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet _____% Landscaping: _____ sq. feet _____%

Paving: _____ sq. feet _____% Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: _____ sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: _____

Number of trees to be removed: _____ Type: _____

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: _____

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 300 gal/day Estimate only
4. How many service connections will be required? One
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: Water service has been in for several years
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

monthly bill is attached.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? N/A feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? 25-100 G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: WASTE MANAGEMENT
- 3. Where is the waste disposal storage in relation to buildings? GARAGE
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: San Luis Coastal School District
- 2. Location of nearest police station: 2099 10th ST Los Osos Los Osos
- 3. Location of nearest fire station: 2315 Bayview HTS Drive Los Osos
- 4. Location of nearest public transit stop: 535 Atwater ST Morro Bay
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? 2 feet/(miles)

Historic and Archeological Information

- 1. Please describe the historic use of the property:
NONE
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: N/A Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: NO

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: NO

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

Building up instead of spreading out. 3 stories not 1

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: Morro Manzanita, Shoulder Banded snail were not found here at this elevation
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): N/A

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

NOTES:

- USABLE SPACE UNDER STAIRS SHALL HAVE WALLS & SOFFITS (ON THE ENCLOSED SIDE) PROTECTED AS REQUIRED FOR 1 HOUR FIRE-RESISTIVE CONSTRUCTION. 2007 C.B.C. SECTION 1009.5.3
- STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 36".

RISE & RUN (SECTION 1009.3)

- THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- PRIVATE STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 10 MAY BE CONSTRUCTED WITH AN 7.75" MAXIMUM RISE AND 10" MINIMUM RUN.

HANDRAILS (SECTION 1009.10)

- STAIRWAYS SHALL HAVE AT LEAST 1 HANDRAIL AND HANDRAILS SHALL BE INSTALLED ON OPEN SIDES OF STAIRWAYS.
- THE TOP OF HANDRAILS BE PLACED NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
- THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

HEADROOM (2007 CBC)

- EVERY REQUIRED STAIRWAY SHALL HAVE HEADROOM CLEARANCE OF NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSINGS TO THE NEAREST SOFFIT ABOVE.

GUARDS (SECTION 1013)

- ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND RAMPS, BALCONIES OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE, OR THE FLOOR BELOW, AND ROOFS USED FOR OTHER THAN SERVICE OF BUILDING SHALL BE PROTECTED BY A GUARD. GUARDS SHALL BE NOT LESS THAN 42" IN HEIGHT, EXCEPT ON STAIRWAYS WHERE THEY MAY BE 34". OPEN GUARDS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

LEGEND

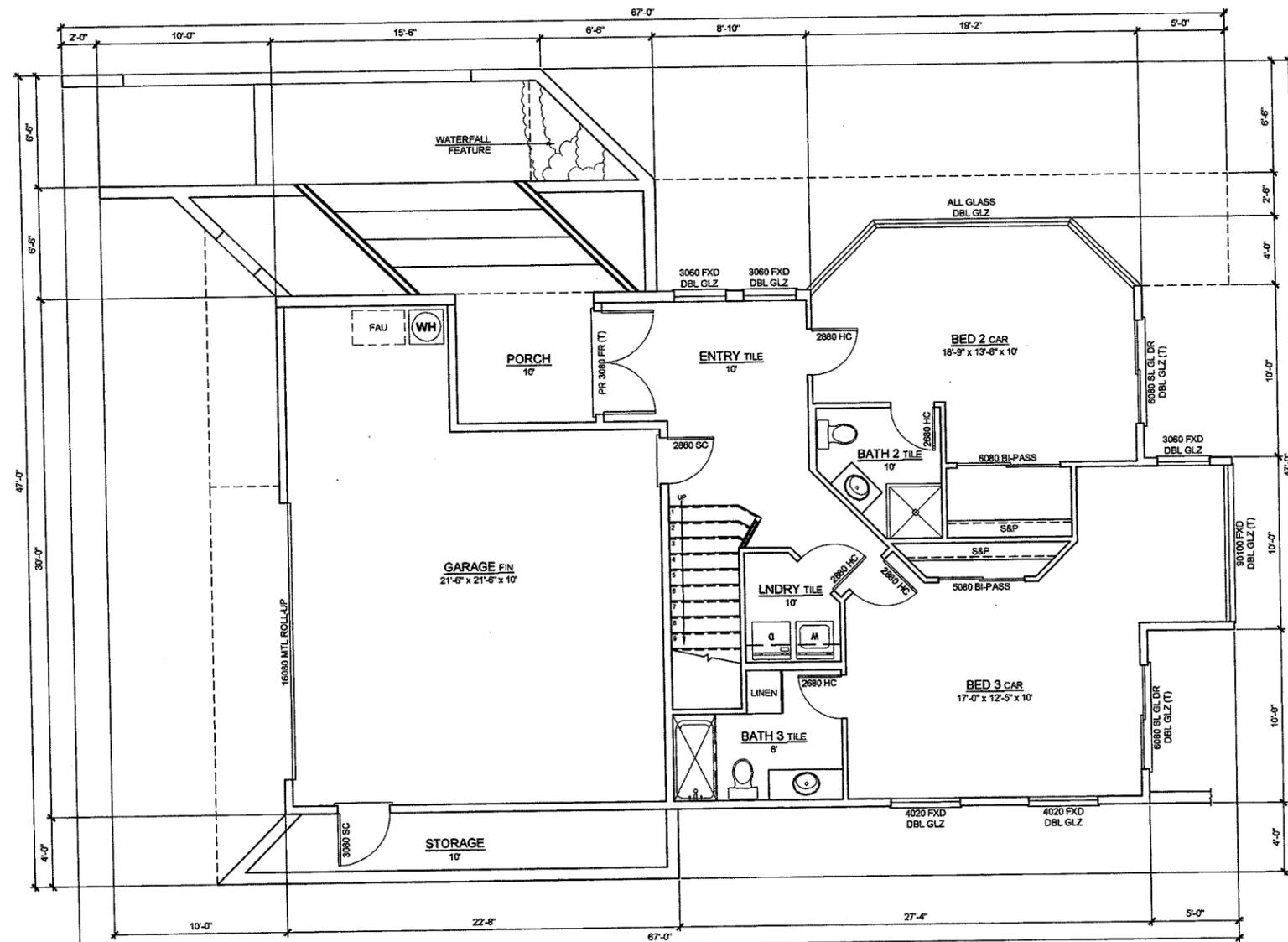
- 2x4 STUDS @ 16" O.C.
 - 2x6 STUDS @ 16" O.C.
 - 2x8 STUDS @ 16" O.C. BALLOON FRAME
 - 8" CONC. RETAINING WALL
 - 1-HOUR WALL
- REFER TO SHEET T-24 FOR ADDITIONAL WALL TYPES AND ABBREVIATIONS

KEYNOTES

- 101 1/2" TYPE 'X' GYP BOARD ON COMMON WALL WITH HOUSE FLOOR TO ROOF SHEATHING (REFER TO FLOOR PLAN NOTES)
- 102 DOUBLE SIDED "SEE THROUGH" GAS F.P. ICBO APPROVED
- 103 VENT DRYER TO EXTERIOR THROUGH ROOF
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- 107 36" HIGH 3" DIA. CONC. FILLED STEEL BOLLARD SET IN 12" SQ. x 12" DEEP FOOTING
- 108 BUILT-IN CABINETS PER OWNER
- 109 BAR COUNTER +36"
- 110 FIBERGLASS LAUNDRY TRAY @ FORMICA TABLE
- 111 AIR-CONDENSER ON CONC. STOOP
- 112 1 3/4" SOLID-CORE 1-HOUR RATED DOOR W/ SELF-CLOSER, TIGHT FITTING
- 113 42" HIGH GUARDRAIL/HANDRAIL
- 114 FALSE BEAMS AT 55" O.C.
- 115 42" TALL WALL WITH 2x6 STUDS AT 16" O.C. WITH WOOD CAP
- 116 42" HANDRAIL PER DETAIL 14/D-2

FLOOR PLAN NOTES

1. ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 4x12 #2 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4x12 #2 DF UNLESS NOTED.
2. ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2x6 STUDS @ 16" O.C.
3. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 70" ABOVE DRAIN INLET.
5. ALL FIREPLACES SHALL HAVE APPROVED COLLAPSIBLE METAL OR GLASS DOORS AND OUTSIDE COMBUSTION AIR. OUTSIDE COMBUSTION AIR IS NOT REQUIRED ON INTERIOR FIREPLACES INSTALLED OVER CONCRETE SLAB ON GRADE. MANUFACTURER'S INSTALLATION GUIDE TO BE ON-SITE FOR INSPECTION.
6. ALL SOLID FUEL BURNING APPLIANCES (STOVES/FIREPLACES) FOR WHICH A CONSTRUCTION PERMIT APPLICATION IS SUBMITTED AFTER FEBRUARY 1, 1994 MAY BE INSTALLED ONLY IF "EPA" CERTIFIED AS RECOGNIZED BY THE AIR POLLUTION CONTROL BOARD (COUNTY BOARD OF SUPERVISOR) ACPD 504.
7. FLUE DAMPER TO BE PERMANENTLY BLOCKED OPEN IF A GAS LOG LIGHTER IS PROPOSED. CMC
8. FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1".
9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND ROOF WITH TWO 1 1/2" x 1/8" METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN (6) #4 NAILS PER STRAP AT EACH JOIST. CBC
10. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 4" ABOVE FLOOR.
11. OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE OF ONE-HOUR FIRE RESTRICTIVE CONSTRUCTION ON THE GARAGE SIDE. CBC
 - A. FIREWALL IS REQUIRED TO EXTEND FROM FLOOR TO ROOF SHEATHING PROVIDED A COMPLETE SEPARATION BETWEEN THE GARAGE AND SFD OR THE CEILING AND ALL BEARING WALLS OF CEILING ARE REQUIRED TO BE COVERED WITH FIRE RATED DRYWALL
 - B. WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED, THE WALLS, BEAMS OR POSTS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH EQUIVALENT FIRE RESTRICTIVE CONSTRUCTION. CBC
 - C. IF THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE CEILING AND ALL SUPPORTING ELEMENTS AND POSTS MUST BE FIRE PROTECTED AND JACKETED FOR PROTECTION AGAINST MECHANICAL DAMAGE 704.2.5 AND 6.
12. PROVIDE ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AT ONE SIDE OF THE ONE HOUR SHAFT OF THE FIREPLACE PER CITY OF PASO ROBLES CITY ORDINANCE.



AREA

FIRST FLOOR	969 SQ.FT.
GARAGE	582 SQ.FT.
PORCH	60 SQ.FT.
STORAGE	92 SQ.FT.
SECOND FLOOR	1538 SQ.FT.
DECK	148 SQ.FT.
THIRD FLOOR	1558 SQ.FT.
DECK	171 SQ.FT.

PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"

PLAN LEGEND

- REFRIGERATOR (N.I.C.)
- COOKTOP W/ HOOD
- OPTIONAL TRASH COMPACTOR
- CONDENSER ON CONCRETE PAD
- DISHWASHER
- OVEN
- DOUBLE SINK W/ DISPOSAL
- LAVATORY
- 22 X 30 ATTIC ACCESS
- WATER CLOSET
- SHOWER
- TUB ON PLATFORM
- WATER HEATER ON PLATFORM
- TUB/SHOWER
- OPTIONAL SOAKING SINK
- DRYER (N.I.C.)
- WASHER (N.I.C.)
- MEDICINE CABINET
- TOILET PAPER DISPENSER @ +18"
- TOWEL BAR (PROVIDE SOLID BACKING)
- GAS METER
- ELEC. METER

NRB DRAFTING SERVICES, INC.
NELSON R. BERNAL

2121 Pine St., SUITE B
Paso Robles, California 93446
Tel: 805.237.3746
Fax: 805.237.1368

ATTENTION: IF PLAN CHECK CORRECTION DATE DOES NOT APPEAR IN THE REVISION BLOCK BELOW, DO NOT LAYOUT/ BUILD STRUCTURE FROM THIS COPY OF CONSTRUCTION DRAWINGS, UNLESS OTHERWISE INDICATED WITH "APPROVED" RED STAMP FROM LOCAL BUILDING AND PLANNING DEPARTMENT. COPIES WITHOUT CORRECTION DATE INDICATED ARE MOST LIKELY PRELIMINARY DOCUMENTS ONLY.

MEHRING RESIDENCE
HOUSTON DRIVE
LOS OSOS

COUNTY OF
SAN LUIS OBISPO
CALIFORNIA

09059

FLOOR PLAN

REVISIONS	
DESCRIPTION	DATE

DRAWN	SCALE	DATE
DB	1/4" = 1'-0"	7-08
JOB NO.	DWG NAME	CHECKED
09059	FLOOR PLAN	
SHEET		
A-1.1		

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FLOOR PLAN NOTES

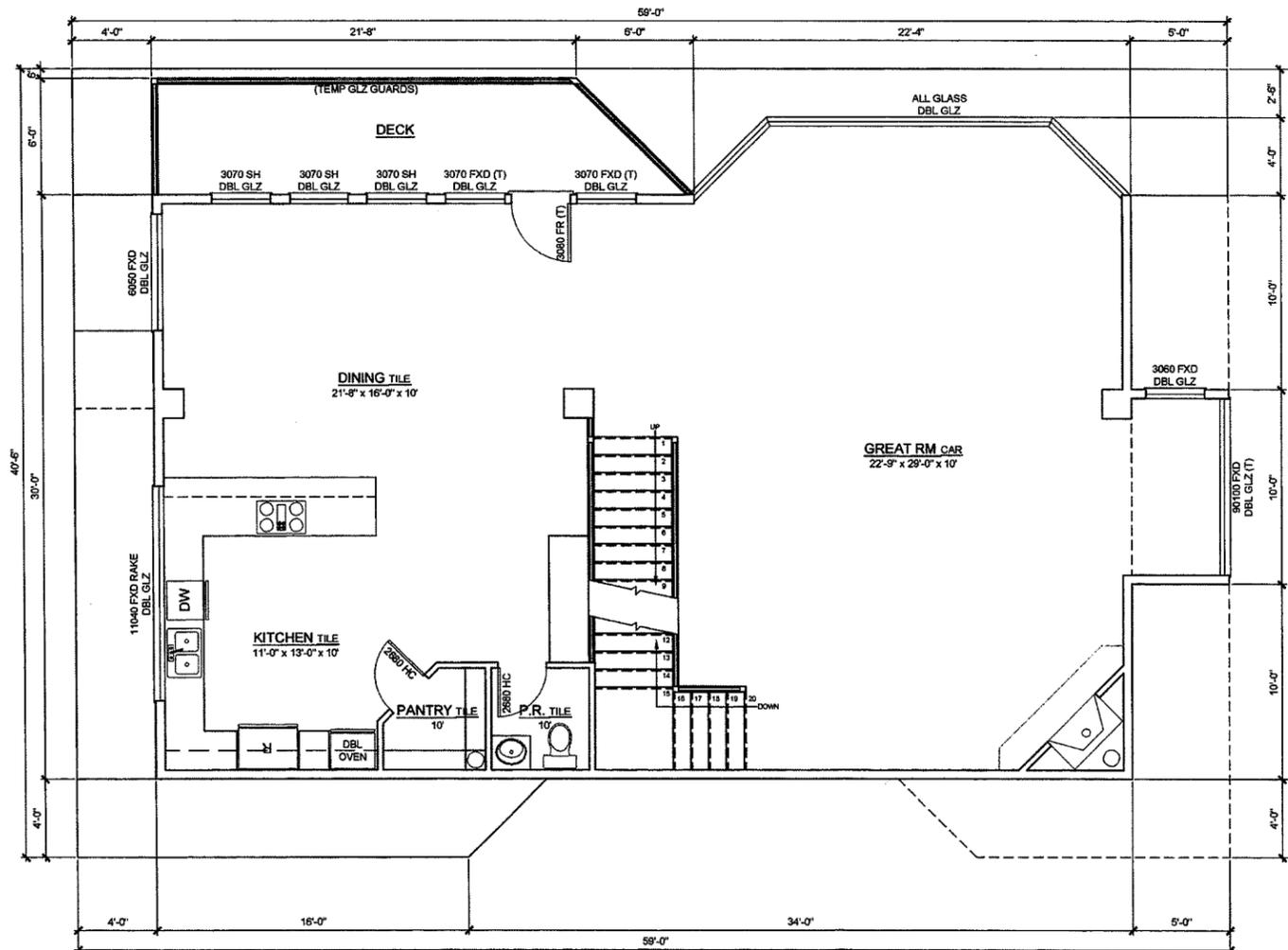
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2. ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2x6 STUDS @ 16" O.C.
3. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 70" ABOVE DRAIN INLET.
5. ALL FIREPLACES SHALL HAVE APPROVED COLLAPSIBLE METAL OR GLASS DOORS AND OUTSIDE COMBUSTION AIR. OUTSIDE COMBUSTION AIR IS NOT REQUIRED ON INTERIOR FIREPLACES INSTALLED OVER CONCRETE SLAB ON GRADE. MANUFACTURER'S INSTALLATION GUIDE TO BE ON-SITE FOR INSPECTION.
6. ALL SOLID FUEL BURNING APPLIANCES (STOVES/FIREPLACES) FOR WHICH A CONSTRUCTION PERMIT APPLICATION IS SUBMITTED AFTER FEBRUARY 1, 1984 MAY BE INSTALLED ONLY IF "EPA" CERTIFIED AS RECOGNIZED BY THE AIR POLLUTION CONTROL BOARD (COUNTY BOARD OF SUPERVISORS) ACPD 504.
7. FLUE DAMPER TO BE PERMANENTLY BLOCKED OPEN IF A GAS LOG LIGHTER IS PROPOSED. CMC
8. FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1".
9. METAL CHIMNEYS SHALL BE ANCHORED AT EACH FLOOR AND ROOF WITH TWO 1 1/2" x 1/8" METAL STRAPS LOOPED AROUND THE OUTSIDE OF THE CHIMNEY INSTALLATION AND NAILED WITH NOT LESS THAN (6) #8 NAILS PER STRAP AT EACH JOIST. CBC
10. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
11. OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE OF ONE-HOUR FIRE RESTRICTIVE CONSTRUCTION ON THE GARAGE SIDE. CBC
 - A. FIREWALL IS REQUIRED TO EXTEND FROM FLOOR TO ROOF SHEATHING PROVIDED A COMPLETE SEPARATION BETWEEN THE GARAGE AND SFD OR THE CEILING AND ALL BEARING WALLS OF CEILING ARE REQUIRED TO BE COVERED WITH FIRE RATED DRYWALL.
 - B. WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED, THE WALLS, BEAMS OR POSTS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH EQUIVALENT FIRE RESTRICTIVE CONSTRUCTION.
 - C. IF THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE CEILING AND ALL SUPPORTING ELEMENTS AND POSTS MUST BE FIRE PROTECTED AND JACKETED FOR PROTECTION AGAINST MECHANICAL DAMAGE 704.2.5 AND 6.
12. PROVIDE ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AT ONE SIDE OF THE ONE HOUR SHAFT OF THE FIREPLACE PER CITY OF PASO ROBLES CITY ORDINANCE.

PLAN LEGEND

REFRIGERATOR (N.I.C.)	COOKTOP W/ HOOD	OPTIONAL TRASH COMPACTOR	CONDENSER ON CONCRETE PAD
DISHWASHER	OVEN	DOUBLE SINK W/ DISPOSAL	LAVATORY
WATER CLOSET	SHOWER	TUB ON PLATFORM	22 X 30 ATTIC ACCESS
TUB/SHOWER	OPTIONAL SOAKING SINK	DRYER (N.I.C.)	WASHER (N.I.C.)
MEDICINE CABINET	TOILET PAPER DISPENSER @ +19"	TOWEL BAR (PROVIDE SOLID BACKING)	
GAS METER	ELEC. METER		

AREA

FIRST FLOOR	969 SQ.FT.
GARAGE	582 SQ.FT.
PORCH	60 SQ.FT.
STORAGE	92 SQ.FT.
SECOND FLOOR	
DECK	148 SQ.FT.
THIRD FLOOR	
DECK	171 SQ.FT.



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

NRB DRAFTING SERVICES, INC.
 NELSON R. BERNAL

2121 Pine St., SUITE B
 Paso Robles, California 93446
 Tel: 805.237.3746
 Fax: 805.237.1368

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MEHRING RESIDENCE
 HOUSTON DRIVE
 LOS OSOS

COUNTY OF
 SAN LUIS OBISPO
 CALIFORNIA

09059
FLOOR PLAN

REVISIONS

DESCRIPTION	DATE

DRWN: SH	SCALE: 1/4" = 1'-0"	DATE: 7-3-09
JOB NO: 09059	DWG NAME: FLOOR PLAN	CHECKED: []
SHEET		
A-1.2		

- NOTES:**
- USABLE SPACE UNDER STAIRS SHALL HAVE WALLS & SOFFITS (ON THE ENCLOSED SIDE) PROTECTED AS REQUIRED FOR 1 HOUR FIRE-RESISTIVE CONSTRUCTION. 2007 C.B.C. SECTION 1009.5.3
 - STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 36".
- RISE & RUN (SECTION 1009.3)**
- THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
 - THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- PRIVATE STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 10 MAY BE CONSTRUCTED WITH AN 7.75" MAXIMUM RISE AND 10" MINIMUM RUN.
- HANDRAILS (SECTION 1009.10)**
- STAIRWAYS SHALL HAVE AT LEAST 1 HANDRAIL AND HANDRAILS SHALL BE INSTALLED ON OPEN SIDES OF STAIRWAYS.
 - THE TOP OF HANDRAILS BE PLACED NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
 - HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
 - THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/2" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

- HEADROOM (2007 CBC)**
- EVERY REQUIRED STAIRWAY SHALL HAVE HEADROOM CLEARANCE OF NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSINGS TO THE NEAREST SOFFIT ABOVE.
- GUARDS (SECTION 1013)**
- ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND RAMPS, BALCONIES OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE, OR THE FLOOR BELOW, AND ROOFS USED FOR OTHER THAN SERVICE OF BUILDING SHALL BE PROTECTED BY A GUARD. GUARDS SHALL BE NOT LESS THAN 42" IN HEIGHT, EXCEPT ON STAIRWAYS WHERE THEY MAY BE 34". OPEN GUARDS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.

LEGEND

- 2x4 STUDS @ 16" O.C.
 - 2x6 STUDS @ 16" O.C.
 - 2x6 STUDS @ 16" O.C. BALLOON FRAME
 - 8" CONC. RETAINING WALL
 - 1-HOUR WALL
- REFER TO SHEET T-24 FOR ADDITIONAL WALL TYPES AND ABBREVIATIONS

KEYNOTES

- 1/2" TYPE 'X' GYP BOARD ON COMMON WALL WITH HOUSE FLOOR TO ROOF SHEATHING (REFER TO FLOOR PLAN NOTES)
- DOUBLE SIDED "SEE THROUGH" GAS F.P. ICBO APPROVED
- VENT DRYER TO EXTERIOR THROUGH ROOF
- FRAME FOR 16" HIGH PLATFORM @ W.H.
- 22x30 ATTIC ACCESS
- FAU IN ATTIC - SEE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS
- 36" HIGH 3" DIA. CONC. FILLED STEEL BOLLARD SET IN 12" SQ. x 12" DEEP FOOTING
- BUILT-IN CABINETS PER OWNER
- BAR COUNTER +36"
- FIBERGLASS LAUNDRY TRAY @ FORMICA TABLE
- AIR-CONDENSER ON CONC. STOOB
- 1 1/2" SOLID-CORE 1-HOUR RATED DOOR W/ SELF-CLOSER, TIGHT FITTING
- 42" HIGH GUARDRAIL/HANDRAIL
- FALSE BEAMS AT 55" O.C.
- 42" TALL WALL WITH 2x6 STUDS AT 16" O.C. WITH WOOD CAP
- 42" HANDRAIL PER DETAIL 14/D-2

FLOOR PLAN NOTES

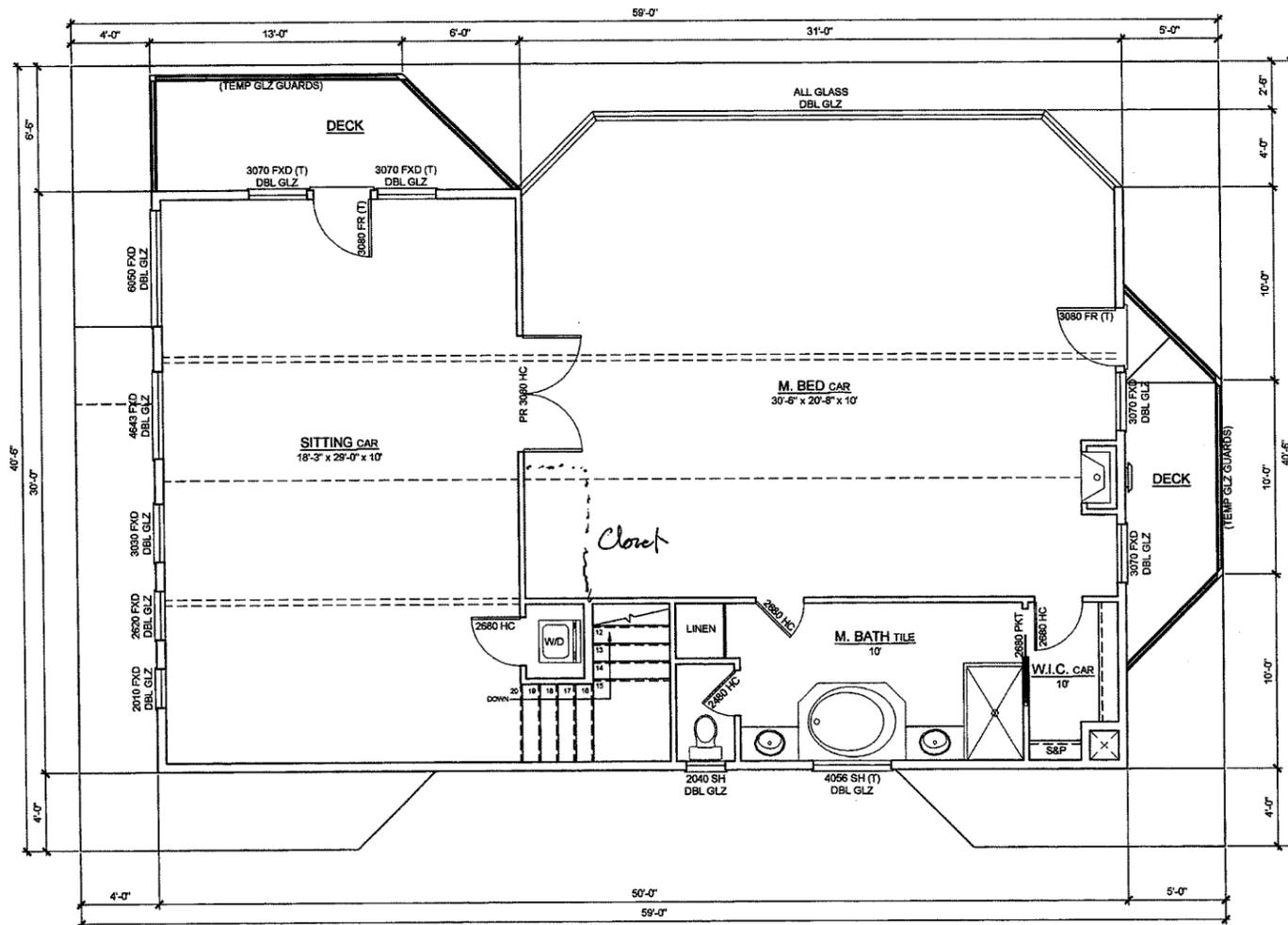
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PLAN LEGEND

- REFRIGERATOR (N.I.C.)
- COOKTOP W/ HOOD
- OPTIONAL TRASH COMPACTOR
- CONDENSER ON CONCRETE PAD
- DISHWASHER
- OVEN/ MICROWAVE
- DOUBLE SINK W/ DISPOSAL
- LAVATORY
- 22 x 30 ATTIC ACCESS
- WATER CLOSET
- SHOWER
- TUB ON PLATFORM
- WATER HEATER ON PLATFORM
- TUB/ SHOWER
- OPTIONAL SOAKING SINK
- DRYER (N.I.C.)
- WASHER (N.I.C.)
- MEDICINE CABINET
- TOILET PAPER DISPENSER @ +19"
- TOWEL BAR (PROVIDE SOLID BACKING)
- GAS METER
- ELEC. METER

AREA

FIRST FLOOR	969 SQ.FT.
GARAGE	582 SQ.FT.
PORCH	60 SQ.FT.
STORAGE	92 SQ.FT.
SECOND FLOOR	1538 SQ.FT.
DECK	148 SQ.FT.
THIRD FLOOR	1558 SQ.FT.
DECK	171 SQ.FT.



PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0"

NRB DRAFTING SERVICES, INC.
NELSON R. BERNAL

2121 Pine St., SUITE B
Paso Robles, California 93446
Tel: 805.237.3746
Fax: 805.237.1368

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MEHRING RESIDENCE
HOUSTON DRIVE
LOS OSOS

COUNTY OF
SAN LUIS OBISPO
CALIFORNIA

09059
FLOOR PLAN

REVISIONS

DESCRIPTION	DATE

DRAWN: BH SCALE: 1/4" = 1'-0" DATE: 7-3-09
JOB NO.: 09059 DWG NAME: CHECKED:
SHEET: **A-1.3**



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MEHRING
 RESIDENCE
 HOUSTON DRIVE
 LOS OSOS

COUNTY OF
 SAN LUIS OBISPO
 CALIFORNIA

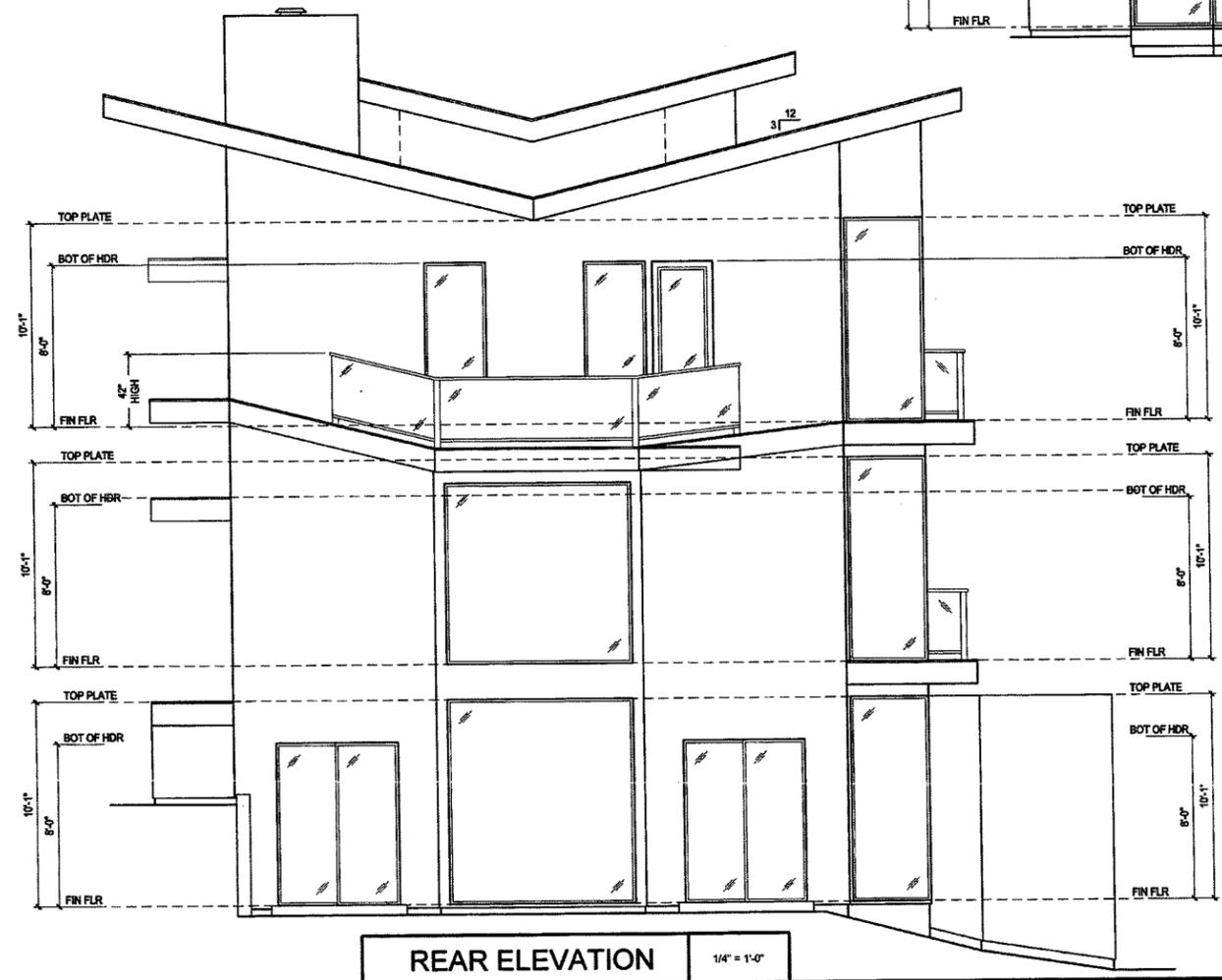
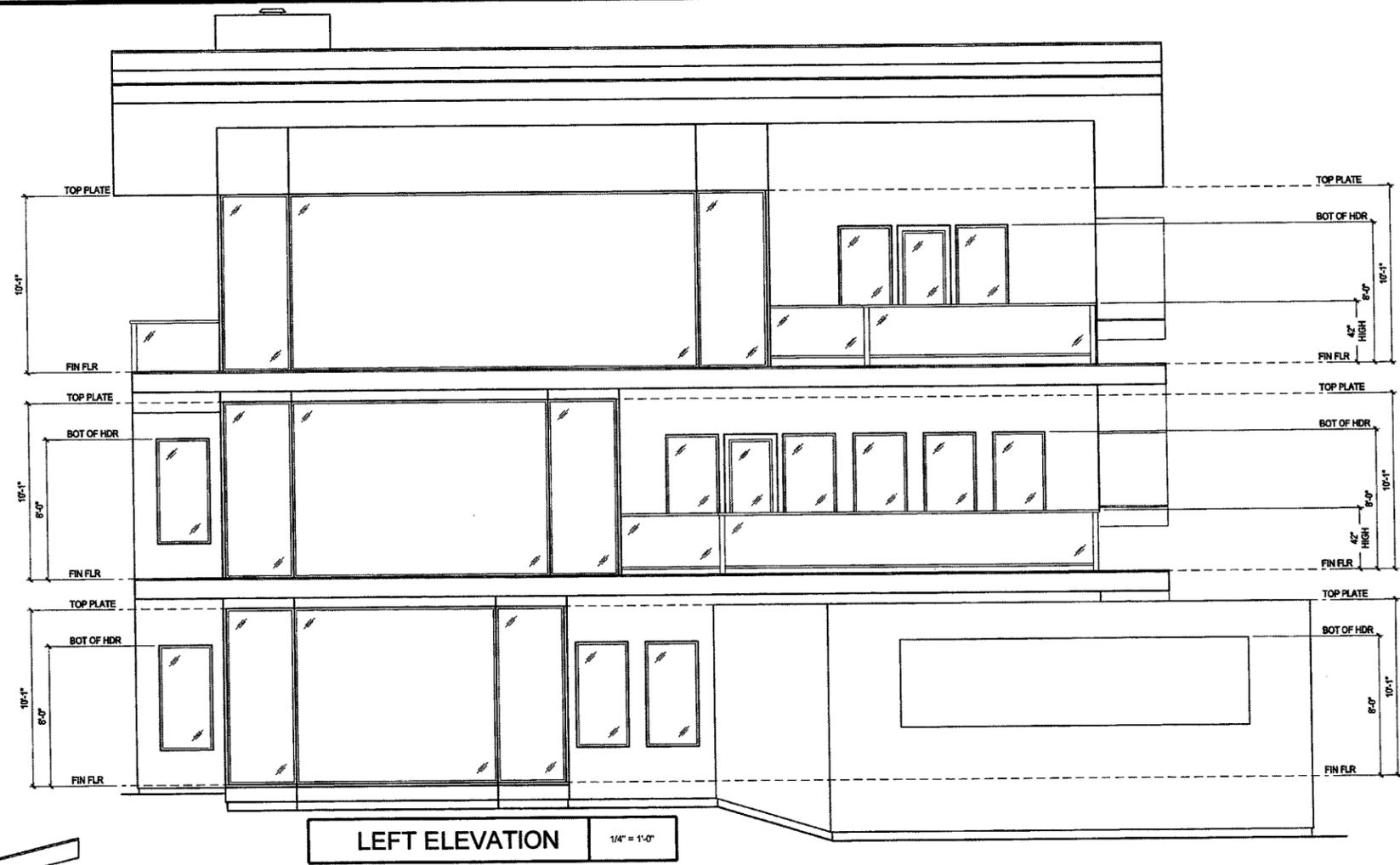
09059

ELEVATIONS

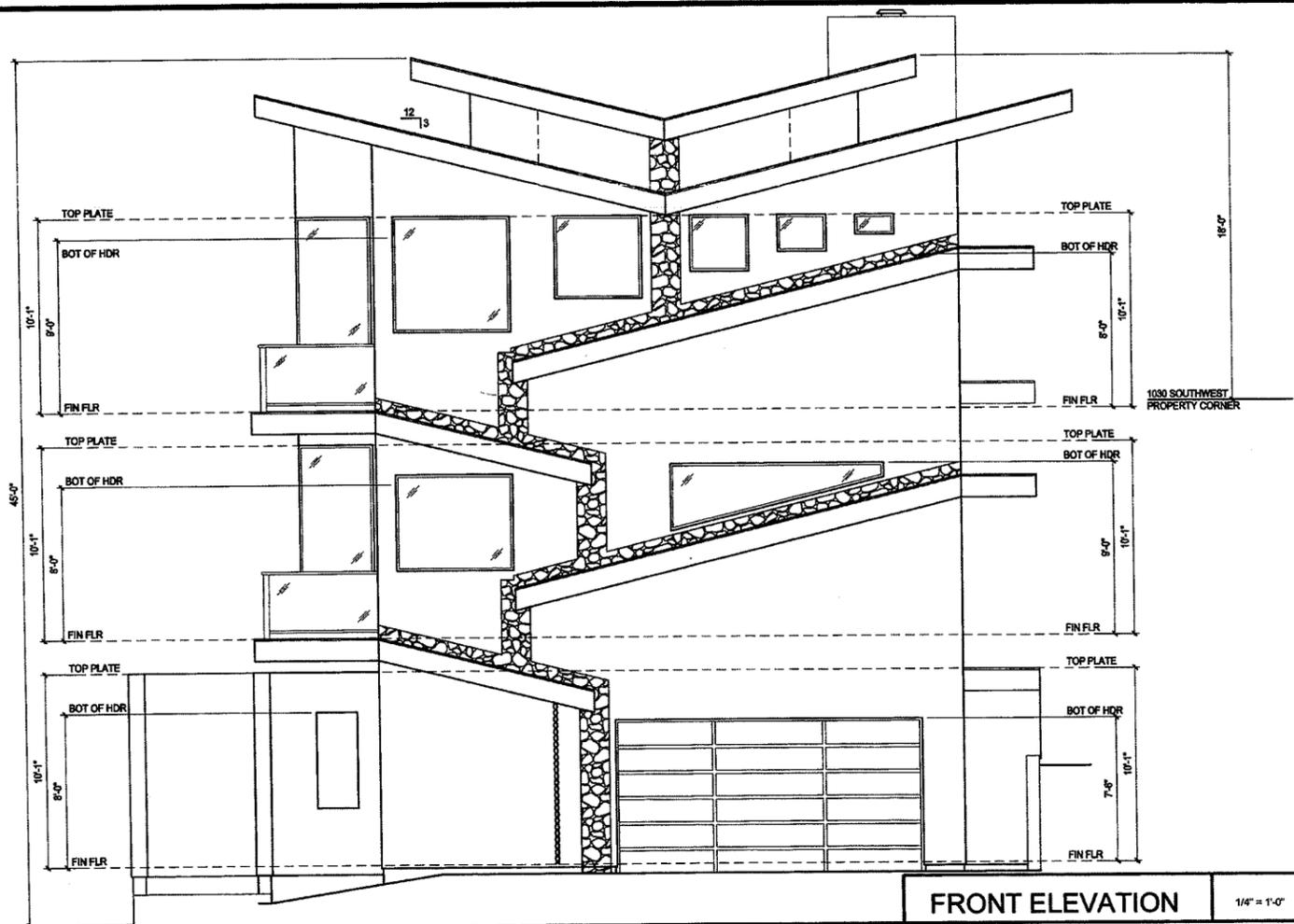
REVISIONS	
DESCRIPTION	DATE

DRAWN	SCALE	DATE
EH	1/4" = 1'-0"	7-3-09
JOB NO.	DWG NAME	CHECKED
09059		

SHEET
A-3.2



ELEVATION NOTES	KEYNOTES
<ol style="list-style-type: none"> GLASS SKYLIGHTS SHALL BE TEMPERED AND COMPLY WITH CBC. ALL ROOFING MATERIAL SHALL BE CLASS 'A', AND SHALL BE ICBO APPROVED. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 28 GALV. SHEET CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 6" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 6" FROM THE CENTERLINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". ALTERNATIVELY, THE VALLEY SHALL CONSIST OF WOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED) ATTIC VENTS ARE TO BE PROTECTED BY 1/4 CORROSION RESISTANT METAL MESH THE CHIMNEY SHALL BE EQUIPPED WITH A SPARK ARRESTOR. THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN 4 TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. SPARK ARRESTOR SCREEN SHALL BE CORROSION RESISTANT AND SHALL HAVE OPENINGS LESS THAN 1/2" AND GREATER THAN 3/8" IN SIZE. FACTORY BUILT CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET. 2 LAYERS OF GRADE 'D' PAPER SHALL BE APPLIED UNDER PORTLAND CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC 	<ol style="list-style-type: none"> CHIMNEY CAP & SPARK ARRESTOR TILE ROOF OVER 30# BUILDING FELT VENTS PER CALC. 2x6 HEM FIR FASCIA HARDI-PLANK HORIZONTAL SIDING OVER APPROVED BUILDING PAPER PRECAST ARCHITECTURAL COLUMNS OVER 6x6 WOOD POSTS 1X TRIM METAL ROLL-UP GARAGE DOOR CRICKET 42" HIGH GUARDRAIL W/ 2x PICKETS @ 4" O.C. FUTURE DOOR / WINDOW LOCATION UNDER FLOOR VENTS PER CALC. DEX-O-TEK OVER DECKING. REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION.



FRONT ELEVATION

1/4" = 1'-0"

ELEVATION NOTES

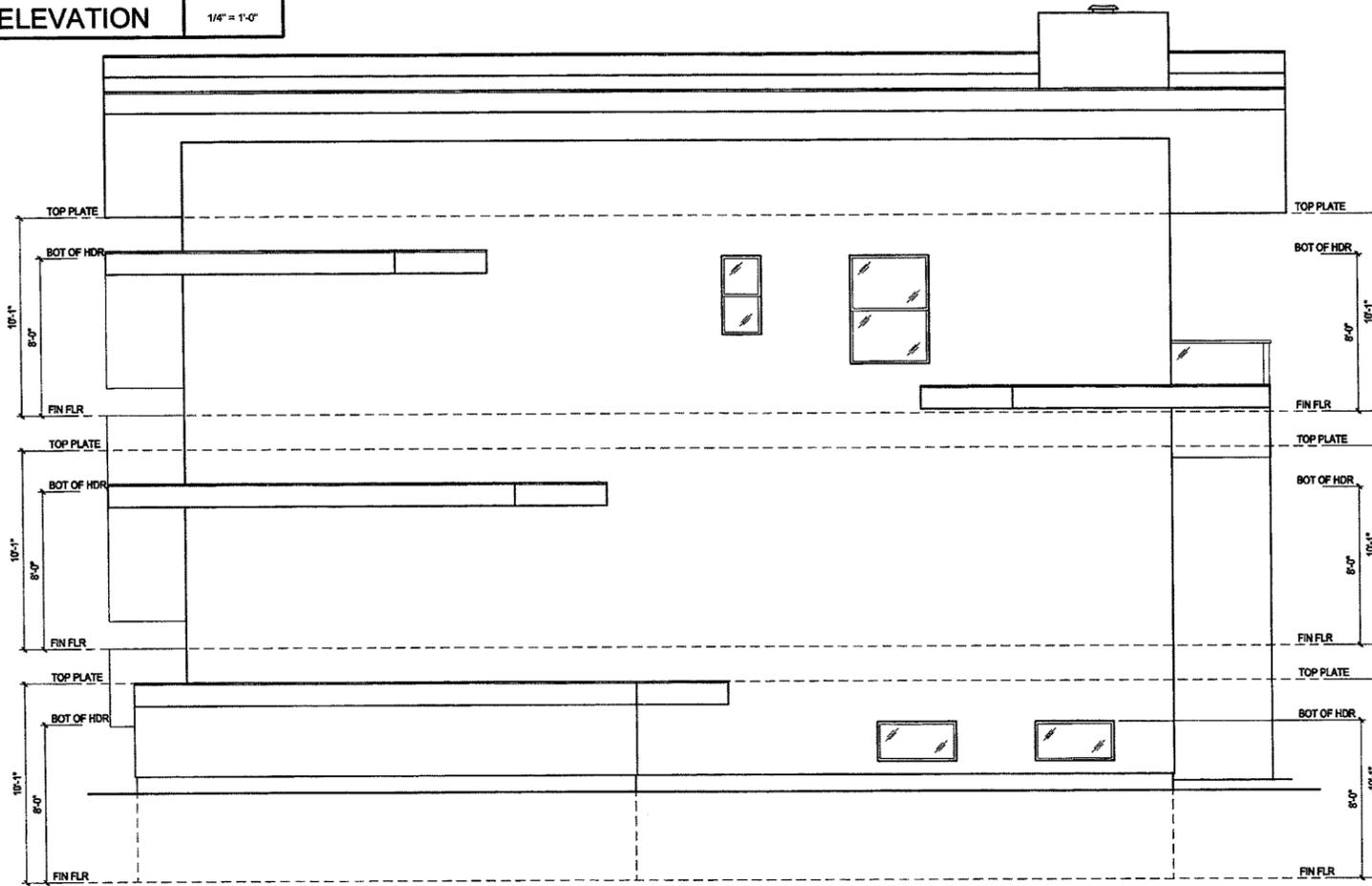
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- ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED)
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- FACTORY BUILT CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET.
- 2 LAYERS OF GRADE 'D' PAPER SHALL BE APPLIED UNDER PORTLAND CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC.

KEYNOTES

- 301 CHIMNEY CAP & SPARK ARRESTOR
- 302 TILE ROOF OVER 30# BUILDING FELT
- 303 VENTS PER CALC.
- 304 2x6 HEM FIR FASCIA
- 305 HARD-PLANK HORIZONTAL SIDING OVER APPROVED BUILDING PAPER
- 306 PRECAST ARCHITECTURAL COLUMNS OVER 6x6 WOOD POSTS
- 307 1X TRIM
- 308 METAL ROLL-UP GARAGE DOOR
- 309 CRICKET
- 310 42" HIGH GUARDRAIL W/ 2x PICKETS @ 4" O.C.
- 311 FUTURE DOOR / WINDOW LOCATION
- 312 UNDER FLOOR VENTS PER CALC.
- 313 DEX-O-TEK OVER DECKING. REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION.

LIVING ROOF VENTILATION REQUIRED

ROOF 2331 / 300 PER CBC 1203.2 WITH VAPOR RETARDER.
 7.77 SQ. FT. X 144 SQ. IN.
 1119 SQ. IN. FREE AREA REQUIRED
 18" DORMER ROOF VENTS @ 135 SQ. IN.
 ATTIC VENTS @ 216 SQ. IN.
 (3) 2 1/2" SCREENED VENT HOLES AT EVERY THIRD BAY AT 13 SQ. INCHES PER BAY
 3 - 18" DORMER ROOF VENTS AT 135 SQ. IN. = 405 SQ. INCHES
 3 ATTIC VENTS @ 216 SQ. INCHES = 648 SQ. INCHES
 10 BAYS @ 13 SQUARE INCHES = 130 SQ. INCHES
 1183 SQ. INCHES PROVIDED



RIGHT ELEVATION

1/4" = 1'-0"



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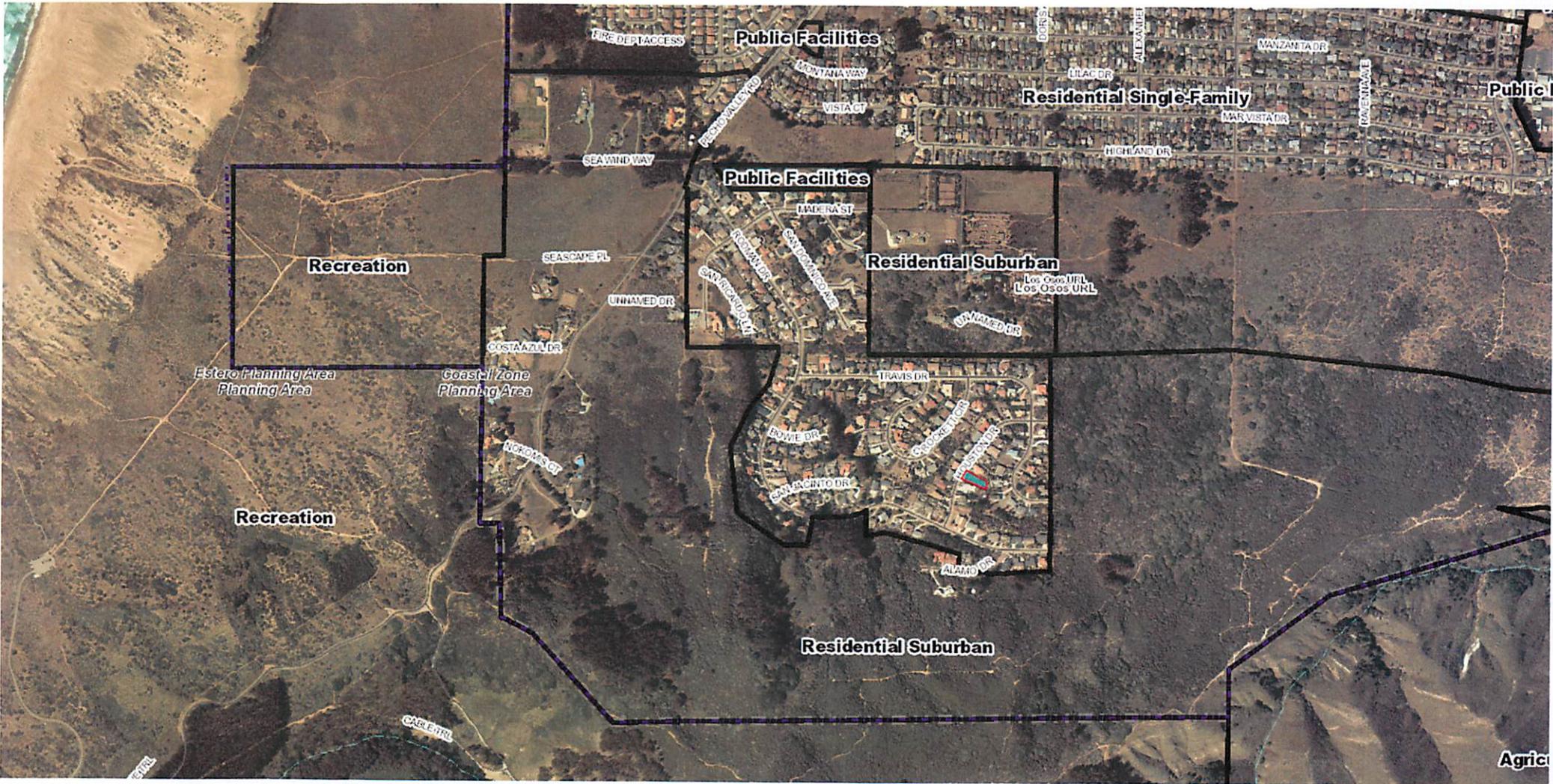
09059

ELEVATIONS

REVISIONS	
DESCRIPTION	DATE

DRAWN	SCALE	DATE
ED	1/4" = 1'-0"	7-3-09
JOB NO.	DWG NAME	CHECKED
09059		

SHEET
A-3.1



Recreation

Public Facilities

Residential Single-Family

Public

Public Facilities

Residential Suburban

Estero Planning Area

Coastal Zone Planning Area

Recreation

Residential Suburban

Agric



TRAVIS DR

VALLEJO DR

BOWE DR

AUSTIN CT

CROCKETT DR

HOUSTON DR

SAN JACINTO DR

Los Osos URDL

RODMAN DR

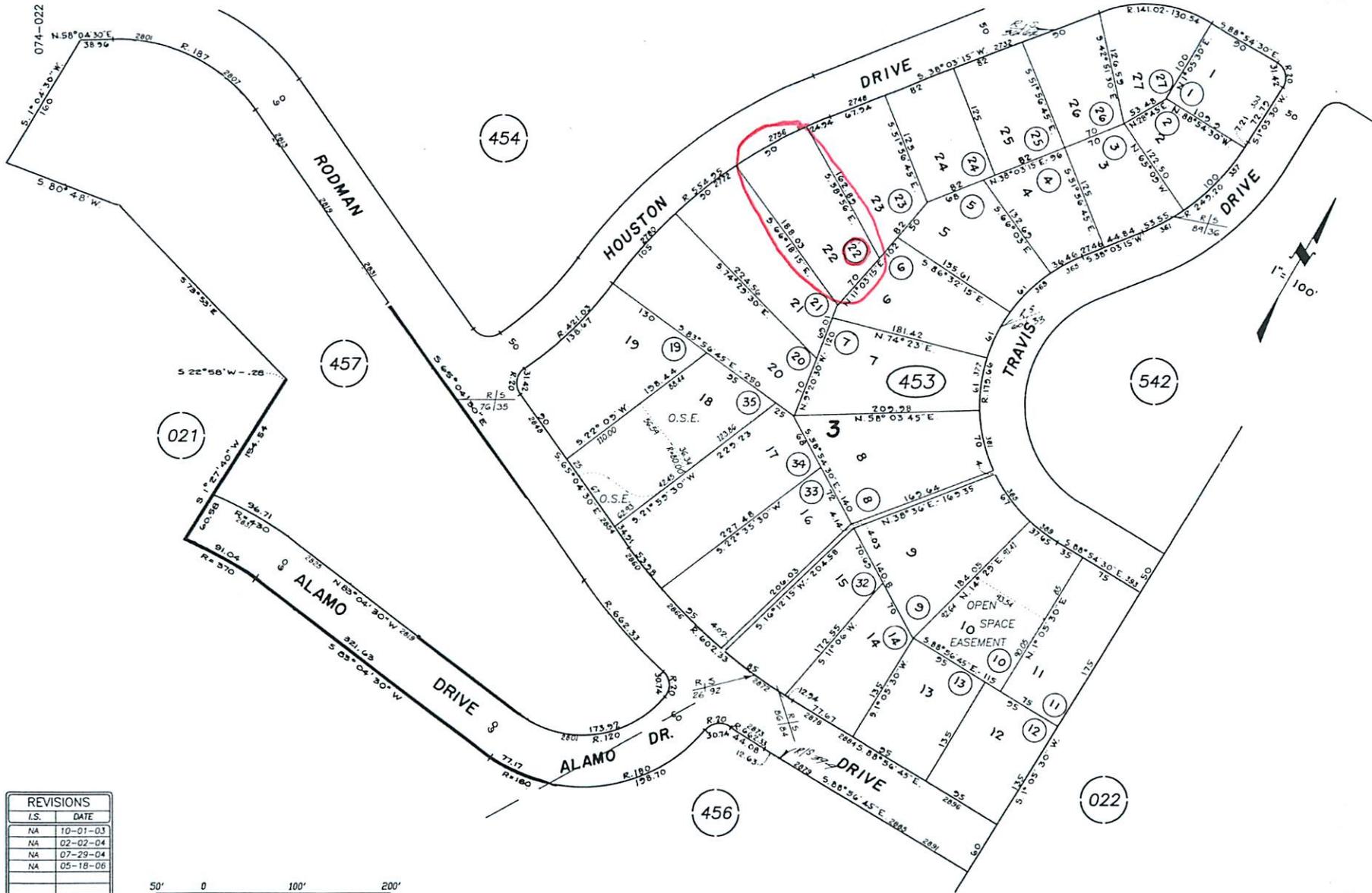
ALAMO DR

Estero Planning Area

Coastal Zone Planning Area

Residential Single-Family





REVISIONS	
I.S.	DATE
NA	10-01-03
NA	02-02-04
NA	07-29-04
NA	05-18-06

50' 0 100' 200'

GB
07-18-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Parcel Summary Report For Parcel # 074-453-022

4/25/2016
11:05:57AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN MEHRING WILLIAM D
 11190 SANTA LUCIA ATASCADERO CA 93422-2227

OWN MEHRING JANICE R

OWN MEHRING TRUST

Address Information

Status **Address**
P 02756 HOUSTON DR LSOS

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
306	0003	0022	Los Osos	Estero Plannin	RSF	LCP	CAZ	Y		

Parcel Information

Status **Description**
Active TR 306 BL 3 LT 22 LESS MIN RTS

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS



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4/25/2016
11:05:57AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

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NO. 02

LOS OSOS, ZONE B

LOS OSOS, ZONE D

Case Information

Case Number:

Case Status:

DRC2015-00121

REC

Primary Parcel

Description:

4065 SQ. FT. SINGLE FAMILY RESIDENCE