



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 6/3/2016

TO: _____

FROM: Kerry Brown (805-781-5713 or kbrown@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00136 FOSTER – Proposed minor use permit for a 1594 SF addition to an existing 2662 SF single family residence; project location is on Ash Ave, Cayucos.
APN: 064-094-028

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00136

FOSTER MICHAEL

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT
ADDITION TO SFD.

EST/ CAYU BNC
CAZ COJ FH LCP RMF

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Michael Foster Daytime Phone 805-234-3120
Mailing Address 255 Ash Cayucos CA Zip Code 93430
Email Address: m.foster@accountant.com

Applicant Name _____ Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

Agent Name John Macdonald Daytime Phone 805-995-1398
Mailing Address 2813 Sandra Barbara Cayucos Zip Code 93430
Email Address: jmacd@charter.net

PROPERTY INFORMATION

Total Size of Site: 7500 s.f. Assessor Parcel Number(s): 064-094-028
Legal Description: Lot 4 Bl 14 Town of Cayucos
Address of the project (if known): 255 Ash - Cayucos
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Ash Street off Cayucos Drive

Describe current uses, existing structures, and other improvements and vegetation on the property:
Exist SFR

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 1594 s.f. addition to ex. SFR
2662 s.f. SFR

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Michael Foster Date 5/27/16

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: Asht St.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: ↓
East: ↓ West: ↓

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2933 sq. feet 39 % Landscaping: 4067 sq. feet 54 %

Paving: 500 sq. feet 7 % Other (specify) _____

Total area of all paving and structures: 3433 sq. feet acres

Total area of grading or removal of ground cover: 1036 sq. feet acres

Number of parking spaces proposed: 2 Height of tallest structure: 28'

Number of trees to be removed: 0 Type: _____

Setbacks: Front 25 Right 3 Left 3 Back 5

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cayucos Fire

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: 5

Total floor area of all structures including upper stories, but not garages and carports: 4756 sq. ft.

Total of area of the lot(s) minus building footprint and parking spaces: 4567 sq. ft.

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer ALL of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 7500 acres S.F.
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: Flood Plain
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Existing Residence. lot 12" above
6. Has a grading plan been prepared? Yes No
If yes, please include with application. 100% Flood
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? _____
- 4. How many service connections will be required? 1
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: Exist SFR w/ meter
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: +/- 15' Location of connection: Alley e rear
- 2. What is the amount of proposed flow? _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission
- 3. Where is the waste disposal storage in relation to buildings? Garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Cayucos
- 2. Location of nearest police station: Sub-station e Fire depart +/- 200'
- 3. Location of nearest fire station: Agu / Cayucos Dr. +/- 200'
- 4. Location of nearest public transit stop: _____
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? 0.25 feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Ec. A SFZ
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): n/a
2. Will the development occur in phases? Yes No
If yes describe: n/a
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: Green build. code

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
n/a

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes No

If yes, please describe and provide "ED" number(s): Existing MUP

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): MUP - Building

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

PROPOSED ADDITION FOR :

MICHAEL & GRETCHEN FOSTER

CAYUCOS, CALIFORNIA.

John MacDonald, Architect
 2813 Santa Barbara Avenue
 Cayucos, CA 93430
 Office 805.995.1398
 FAX 805.995.1544

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 ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY
 RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE
 NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY
 FORM OR MANNER WHATSOEVER. NOR ARE THEY TO BE
 ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING
 THE EXPRESS WRITTEN PERMISSION AND CONSENT OF
 John MacDonald

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE
 PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS
 SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS
 AND CONDITIONS ON THE JOB AND SHALL REPORT ANY
 DISCREPANCIES TO THE ENGINEER OR ARCHITECT FOR
 RESOLUTION PRIOR TO COMMENCING WORK IN QUESTION.

FOSTER RESIDENCE
 255 ASH
 CAYUCOS CA

- ### GENERAL NOTES
- ALL WORK MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE 2010 CBC CODE, 2010 CHC, 2010 CPC, 2010 CEC, 2007 California Energy Code.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS THEREON BEFORE COMMENCING WORK. REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
 - CONTRACTORS ARE RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE NOTIFICATION OF THE DOCUMENTS.
 - CONTRACTOR SHALL CONFIRM THAT PROPER FINISH GRADE ELEVATIONS HAVE BEEN PROVIDED AT THE PERIMETER OF THE BUILDING AREAS. REFER TO BUILDING PLANS AND ADJOINING AREAS. REFER TO BUILDING PLANS. REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH ROUGH GRADING.
 - PROVIDE PIPE GUARDS AT ALL ABOVE GROUND UTILITY EQUIPMENT AS DICTATED BY GOVERNING AGENCIES.
 - PROVIDE PEDESTRIAN OR VEHICULAR PROTECTION BARRICADES TEMPORARY GUARD RAILS AND / OR CANOPIES AS REQUIRED BY THE LOCAL AGENCIES OR AS NECESSARY FOR PEDESTRIAN AND VEHICULAR SAFETY.
 - THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION AMONG HIS VARIOUS SUBCONTRACTORS.
 - IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE MORE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE OBSERVED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING FROM THE DESIGNER.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND ITEMS WITH THE PLUMBING, ELECTRICAL, GAS, TELEPHONE, AND CABLE TV DRAWINGS.
 - CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL EQUIPMENT MANUFACTURERS.
 - GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITIES PRIOR TO COVERING UP ANY WORK REQUIRING INSPECTION.
 - PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS WHERE REQUIRED.
 - ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL.
 - UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR EXPOSED METAL TRIM, TRIMMINGS, HOLDINGS, FRAMES, CASTING, ETC. SHALL BE PAINTED.
 - SEE SOils REPORT FOR RECOMMENDATIONS REGARDING CORROSION PROTECTION. ALL METALLIC UTILITY LINES SHALL BE CORROSION PROTECTED.
 - PROVIDE WEATHER-RESISTANCE BARRIER AT ALL EXTERIOR WALLS SEE H021. NOTE TWO (2) LAYERS OF GRADE "D" TYPE PAPER REQUIRED OVER WOOD BASED SHEATING.
 - THE INSULATION INSTALLER SHALL POST IN A CONSPICUOUS PLACE IN THE BLDG. A STATE INSULATION CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND CONFORMS TO THE STATE ENERGY REGULATIONS NOTE ON PLANS TITLE 24, PART 2, CHAPTER 0-3 STANDARDS FOR INSULATING MATERIAL.
 - THE BUILDER SHALL PROVIDE THE BLDG OWNER MANAGER AND ORIGINAL OCCUPANTS WITH A LIST OF THE FEATURE, MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY AND MAINTENANCE FOR EFFICIENT OPERATION NOTE ON THE PLANS TITLE 24 - SECTION 10-103(B).
 - ALL SHOP WELDING SHALL BE DONE BY AN "APPROVED" ICBO FABRICATING SHOP PRIOR TO ANY STEEL BEING FABRICATED AND SENT TO THE JOBSITE. THE FABRICATING COMPANY SHALL BE APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY PER CBC.
 - THE CONTRACTOR SHALL FIELD VERIFY THE SITE CONDITIONS AS REPRESENTED IN THE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
 - UNLESS NOTED OTHERWISE AS INDICATED, DIMENSIONS ARE TO CENTER LINES OF COLUMNS, AND TO FACE OF WALLS.
 - ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE GOVERNING AGENCY'S BUILDING CODE AND ITS ADOPTIONS, AND WITH ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.
 - WRITTEN DIMENSIONS SOVEREIGN DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING SAME SHALL BE REFERRED TO THE DESIGNER.
 - ANY WALL LUMBER IN CONTACT WITH CONCRETE FLOOR OR FOOTINGS SHALL BE P.F.G. REDWOOD OR PRESERVE TREATED, "ULTRAVANDED" CBC.
 - ALL FRAMING LUMBER SHALL BE GRADE MARKED WITH QUALITY PER CBC. (CALIFORNIA BUILDING CODE) REQUIREMENTS.
 - USE APPROVED FLASHING MATERIALS AT ALL EXTERIOR OPENINGS. UNLESS NOTED OTHERWISE, ALL SHEET METAL SHALL BE 24 GAUGE G.I. OR BETTER, PAINTED WITH G.I. VINYL WASH PRIMER AND A 2NC DUST PRIMER, EXCEPTING PRE-FINISHED METAL AS APPROVED BY THE DESIGNER.
 - PROVIDE ONE (1) POUND WATERPROOF FELT "MINI-M" UNDER ALL EXTERIOR COVERING.
 - ALL EXTERIOR WALL OPENINGS, FLASHING, CENTER FLASHING, EXPANSION JOINTS, SHALL BE CONSTRUCTED IN SUCH A MANNER TO MAKE THEM WATERPROOF. CALLS AND FLASHING WHERE NECESSARY FOR A COMPLETE AND WORKABLE INSTALLATION.
 - CERTIFIED INSULATION MATERIALS, TITLE 24 SECTION 10.
 - INSULATION INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS, NOT MORE THAN 25 AND SMOKE NOT MORE THAN 450.
 - AIR INFILTRATION IS MINIMIZED BY SPECIFICATION OF TESTED MANUFACTURED DOORS AND WINDOWS AND PROPER SEALING AND WEATHER-STRIPPING.
 - CONTRACTORS MUST GANG AND CONCEAL FROM VIEW: ROOF VENTS WHENEVER POSSIBLE.
 - ROOF DRAIN DOWN SPOUTS MUST NOT DRAIN ONTO HARD OR BE VISIBLE FROM TRAFFIC AREAS.
 - ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.
 - PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE STATIC PRESSURE EXCEEDS 80 PSI. (CPC 608.2)

SYMBOLS & ABBREVIATIONS

	COLUMN LINES, GRID LINES	ABV.	ABOVE
	DOOR SYMBOL	A.C.	ADJACENT
	WINDOW SYMBOL	A.P.L.	ADJACENT PROPERTY LINE
	REVISION	B.C.R.	BEGIN CURB RETURN
	MATCH LINE	B.F.	BOTTOM OF FOOTING
	SHADED PORTION	B.O.F.	BOTTOM OF FASCIA
	WORK POINT	BRD	BOARD
	SECTION IDENTIFICATION	B.TUN	BETWEEN
	DETAIL NUMBER	C.B.	CATCH BASIN
	KEYNOTES	C.C.	CENTERLINE
	CONCRETE	C.O.	CLEANOUT
	MASONRY VENEER	C.R.	CLEAR
	CONCRETE BLOCK	C.M.U.	CONCRETE MASONRY UNIT
	GYPSUM BOARD	CONC.	CONCRETE
	NO DOUBLE LINES AT SMALL SCALE	CONT.	CONTINUOUS
	BATT INSULATION	C.Y.	CUBIC YARD
	PLYWOOD	DET.	DETAIL
	PROPERTY LINE	DN.	DOWN
	NEW FINISH GRADE	DRWG.	DRAWING
	SHOWN HORIZONTALLY	E.	EAST
	EXISTING GRADE	E.A.	EAST
	NEW OR FINISHED CONTOURS	E.S.	EXISTING GRADE
	EXISTING CONTOURS	E.L.	ELEVATION
	TOP OF WALL	E.L.	ELEVATION
	TOP OF CURB	E.L.	ELEVATION
	TOP OF PAVEMENT	E.L.	ELEVATION
	SPILL STD.	E.L.	ELEVATION
	STRUCTURAL	E.L.	ELEVATION
	TOP OF PARAPET	E.L.	ELEVATION
	TOP OF FOOTING	E.L.	ELEVATION
	TOP OF FLOOR CURB	E.L.	ELEVATION
	TOP OF WALL	E.L.	ELEVATION
	TYPICAL	E.L.	ELEVATION
	U	E.L.	ELEVATION
	W	E.L.	ELEVATION
	WHERE OCCURS	E.L.	ELEVATION
	REINFORCMENT	E.L.	ELEVATION
	RETENTION	E.L.	ELEVATION
	SECTION	E.L.	ELEVATION
	SPILL STD.	F.G.	FINISH GRADE
	STRUCTURAL	F.P.	FINISH PAVING
	TOP OF PARAPET	F.F.	FLOOR
	TOP OF FOOTING	F.H.	FIRE HYDRANT
	TOP OF WALL	F.L.	FLOOR LINE
	TYPICAL	F.T.C.	FUTURE TOP OF PAVING OR CONCRETE
	U	F.T.P.	FUTURE TOP OF CURB
	W	FTG.	FOOTING
	WHERE OCCURS	G.	GUTTER
	REINFORCMENT	G.A.	GAUGE
	RETENTION	G.Y.P. BRD.	GYPSUM BOARD
	SECTION	GALV.	GALVANIZED
	SPILL STD.	H.C.	HANDICAP
	STRUCTURAL	H.T.	HEIGHT
	TOP OF PARAPET	H.P.	HIGH POINT
	TOP OF FOOTING	J.	JOINT
	TOP OF WALL	M.A.X.	MAXIMUM
	TYPICAL	M.I.N.	MINIMUM
	U	M.T.L.	METAL
	W	N.	NORTH
	WHERE OCCURS	N.G.	NATURAL GRADE
	REINFORCMENT	N.I.C.	NOT IN CONTRACT
	RETENTION	O.C.	ON CENTER
	SECTION	P.L.	PROPERTY LINE
	SPILL STD.	SCHDL.	SCHEDULE

RESIDENTIAL CAL GREEN MANDATORY MEASURES

JOINTS AND OPENINGS, ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO ENFORCING AGENCY.

A MINIMUM OF 10% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH LOCAL ORDINANCES.

V.O.C.'s DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

ADHESIVES, SEALANTS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC LIMITS.

PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MTR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MTR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.

50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSIONS LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

INTERIOR MOISTURE CONTROL

VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED ON SLAB ON GRADE FOUNDATIONS.

MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE INSTALLED IN EVERY BATHROOM.

WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE MINIMUM INSULATION VALUE OF R-4.2

DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1. ESTABLISHED HEAD LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT,
 2. SIZE DUCT SYSTEMS ACCORDING TO ACC 29-0 OR EQUIVALENT,
 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 34-6 OR EQUIVALENT.

HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED

SHEET INDEX

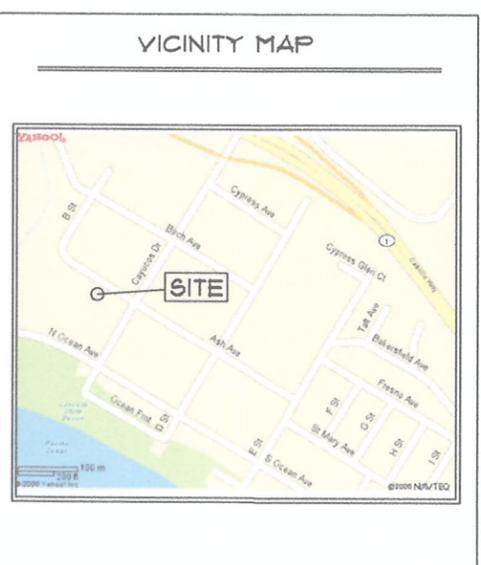
SHEET #	CONTENTS
T-1	TITLE PAGE
A-1	SITE PLAN
A-2	EXISTING LOWER FLOOR
A-3	EXISTING UPPER FLOOR
A-4	NEW LOWER FLOOR
A-5	NEW UPPER FLOOR
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS

PROJECT DATA

OWNERS:
 MICHAEL & GRETCHEN FOSTER
 255 ASH AVENUE
 CAYUCOS, CA 93460
 805.995.0022

LEGAL DESCRIPTION:
 LOT - 4 BLOCK - 14
 APN 064-094-028
 TOWN OF CAYUCOS

SQUARE FOOTAGE:
 EXISTING RESIDENCE 2,662 S.F.
 PROPOSED ADDITION
 LOWER FLOOR 1036 S.F.
 UPPER FLOOR 558 S.F.
 TOTAL ADDITION 1594 S.F.
 TOTAL NEW FLOOR AREA 4256 S.F.
 NEW DECK 355 S.F.
 LOT SIZE (60' X 150') 7500 S.F.



PROJECT TEAM

ARCHITECT:
 John MacDonald, Architect
 2813 Santa Barbara Avenue
 Cayucos, CA 93430
 Office 805.995.1398
 FAX 805.995.1544

TITLE-24 :

DRAWN BY:	JHM
DATE:	5.23.16
REVISIONS	DATE
PLAN CHECK	

- ### APPLICABLE CODES
- 2013 CALIFORNIA ADMINISTRATIVE CODE (CHAP. 4, 6 & 8)
 - 2013 CALIFORNIA BUILDING CODE (CBC)
 - 2013 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2013 CALIFORNIA MECHANICAL CODE (CMC)
 - 2013 CALIFORNIA PLUMBING CODE (CPC)
 - 2013 CALIFORNIA FIRE CODE (CFC)
 - CALIFORNIA TITLE 24, CALIFORNIA STATE ENERGY AND ACCESSIBILITY STANDARDS
 - 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19
 - COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23
 - COUNTY FIRE CODE ORDINANCE - TITLE 16
 - COUNTY LAND USE ORDINANCE - TITLE 22
- ALL CONTRACTORS AND/OR OWNER-BUILDERS MUST SUBMIT CERTIFICATE OF WORKER'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FROM CALIFORNIA LABOR CODE SECTION 5000.
 - GENERAL CONTRACTORS AND/OR OWNER-BUILDERS SHALL COMPLETE AND SUBMIT A CONTRACTOR'S LIST FROM THE DEPARTMENT OF CONSTRUCTION PRIOR TO REQUEST FOR FINAL INSPECTION.
 - THE DEVELOPER / CONTRACTOR / OWNER IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING CURB (OR EDGE OF STREET PAVING) IF NO PAVING CURB (EXISTING) LOCATION FROM THE PROPERTY LINE (S) WITH THE PUBLIC WORK DEPARTMENT.
- APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE IN THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION, HEALTH AND SAFETY CODE SECTION 5400.
 - CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEANUP OF ALL BUILDING MATERIALS.
 - STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.

EROSION CONTROL AND BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

SITE DRAINAGE

THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF WALL.

IMPERVIOUS SURFACES WITHIN 10' OF BUILDING FOUNDATION SHALL BE SLOPED MINIMUM 2% AWAY FROM BUILDING

IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10' OF HORIZONTAL DISTANCE A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM FOUNDATION. SWALES USED FOR THESE PURPOSES SHALL BE SLOPED A MIN. OF 2% WHERE LOCATED WITHIN 10' OF THE BUILDING FOUNDATION.

GRADING AND EROSION CONTROL NOTES

ALL GRADING CONSTRUCTION SHALL CONFORM TO CBC-2010 GRADING-33.

DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION

NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1)

ALL DISTURBED AREA SHALL BE HYDRO-SEEDING OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER COMPLETED CONSTRUCTION

MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 2% FOR FIRST TWO FEET

RESPONSIBLE PARTY FOR SEDIMENTATION AND EROSION CONTROL
MICHAEL FOSTER - (805) 234-3300

DUST MITIGATION MEASURES:

- A) CONSTRUCTION VEHICLE SPEED AT WORK SITE MUST BE LIMITED TO FIFTEEN (15) MPH OR LESS.
- B) PRIOR TO ANY GROUND DISTURBANCE, SUFFICIENT WATER MUST BE APPLIED TO THE AREAS TO BE DISTURBED TO PREVENT VISIBLE EMISSIONS FROM CROSSING PROPERTY LINE
- C) AREAS TO BE GRADED OR EXCAVATED MUST BE KEPT ADEQUATELY WETTED TO PREVENT VISIBLE EMISSIONS FROM CROSSING THE PROPERTY LINE.
- D) STORAGE PILES MUST BE KEPT ADEQUATELY WETTED, TREATED WITH A CHEMICAL DUST SUPPRESSANT, OR COVERED WHEN MATERIAL IS NOT BEING ADDED OR REMOVED FROM PILE.
- E) EQUIPMENT MUST BE WASHED DOWN BEFORE MOVING FROM PROPERTY ONTO A PAVED PUBLIC ROAD; AND
- F) VISIBLE TRACK-OUT ON THE PAVED PUBLIC ROAD MUST BE CLEANED USING WET SWEEPING OR A HEPA FILTER EQUIPPED VACUUM DEVICE WITHIN 24 HOURS

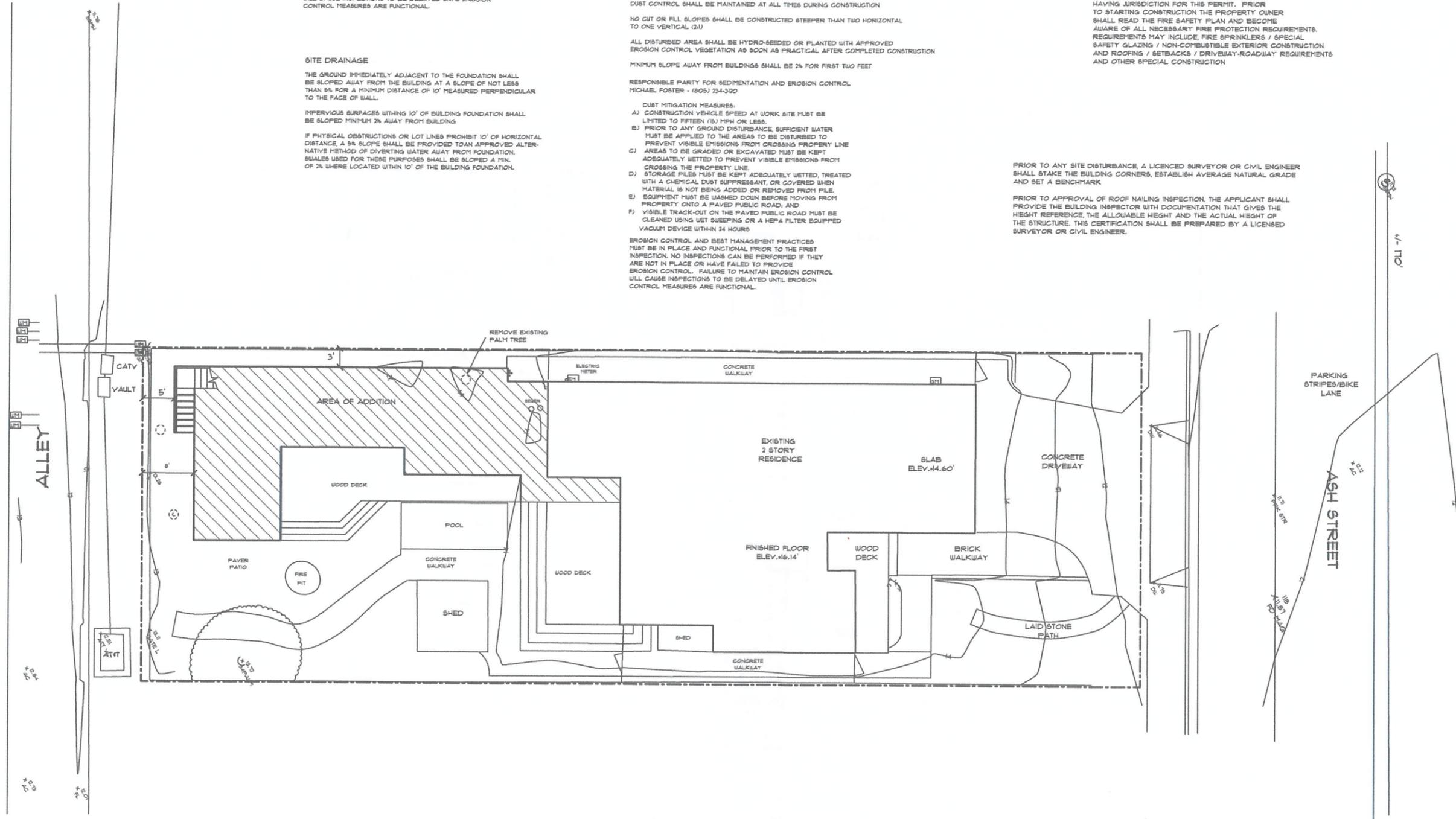
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FIRE SAFETY PLAN

THE APPROVED PROJECT COVERED BY THIS PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQUIREMENTS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION FOR THIS PERMIT. PRIOR TO STARTING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN AND BECOME AWARE OF ALL NECESSARY FIRE PROTECTION REQUIREMENTS. REQUIREMENTS MAY INCLUDE, FIRE SFRINKLERS / SPECIAL SAFETY GLAZING / NON-COMBUSTIBLE EXTERIOR CONSTRUCTION AND ROOFING / SETBACKS / DRIVEWAY-ROADWAY REQUIREMENTS AND OTHER SPECIAL CONSTRUCTION

PRIOR TO ANY SITE DISTURBANCE, A LICENCED SURVEYOR OR CIVIL ENGINEER SHALL STAKE THE BUILDING CORNERS, ESTABLISH AVERAGE NATURAL GRADE AND SET A BENCHMARK

PRIOR TO APPROVAL OF ROOF NAILING INSPECTION, THE APPLICANT SHALL PROVIDE THE BUILDING INSPECTOR WITH DOCUMENTATION THAT GIVES THE HEIGHT REFERENCE, THE ALLOWABLE HEIGHT AND THE ACTUAL HEIGHT OF THE STRUCTURE. THIS CERTIFICATION SHALL BE PREPARED BY A LICENCED SURVEYOR OR CIVIL ENGINEER.



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Cayucos, CA 93430
Office 805.995.1398
FAX 805.995.1544

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STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
255 ASH STREET
CAYUCOS, CA

SITE PLAN

DRAWN BY:	JHM
DATE:	5.23.16
REVISIONS	DATE

SHEET
A-1
OF 8 SHEETS

SITE PLAN

1/8" = 1'-0"

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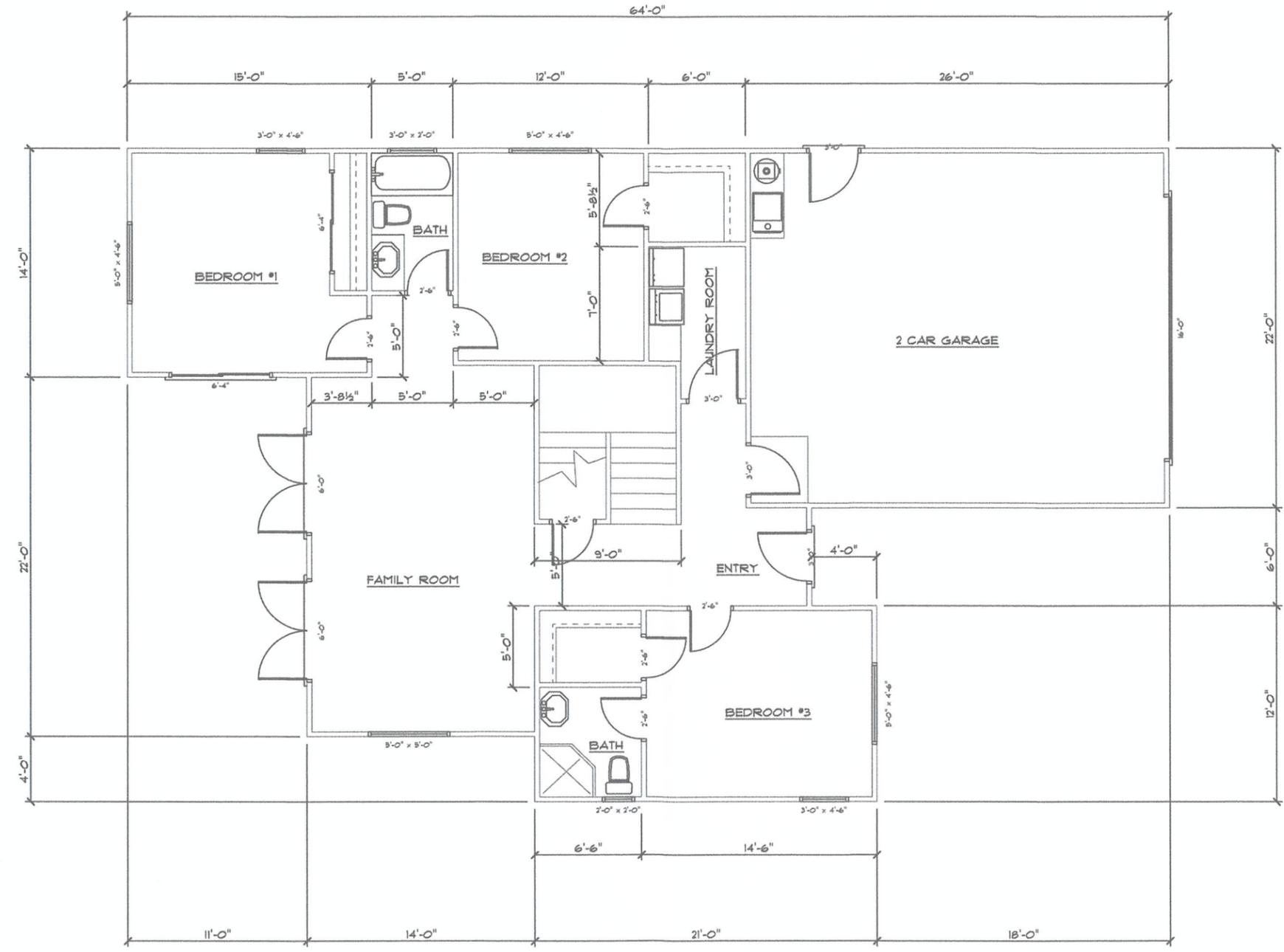
STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

EXISTING LOWER
 FLOOR PLAN



EXISTING LOWER FLOOR PLAN

1/4" = 1'-0"

DRAWN BY:	JHM
DATE:	5.23.16
REVISIONS	DATE

SHEET
A-2
 OF 8 SHEETS

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STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

EXISTING UPPER
 FLOOR PLAN

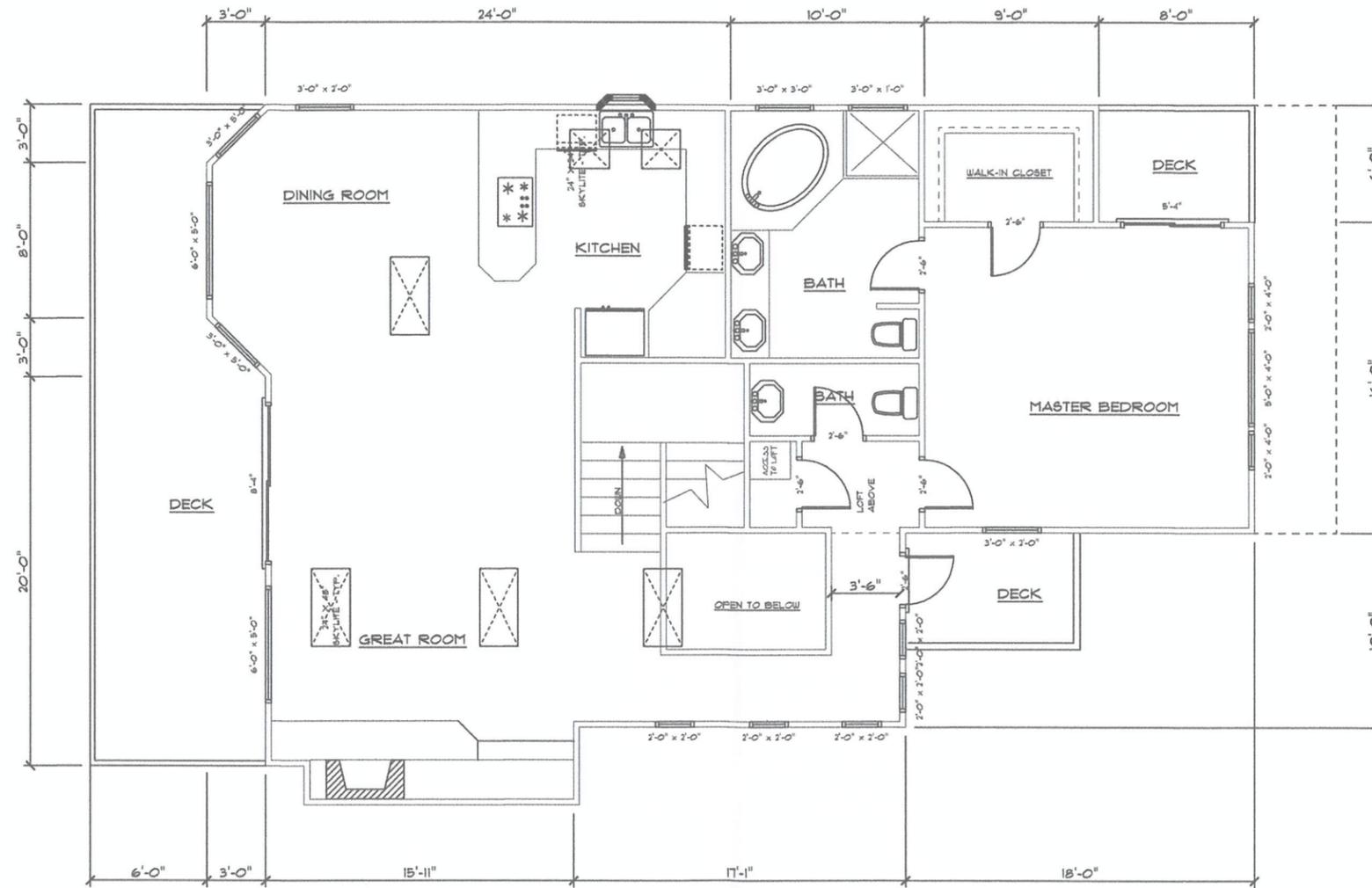
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DATE: 5.23.16

REVISIONS DATE

REVISIONS	DATE

SHEET
A-3
 OF 8 SHEETS



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

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STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

REVISED LOWER
 FLOOR PLAN

DRAWN BY: JHM

DATE: 5.23.16

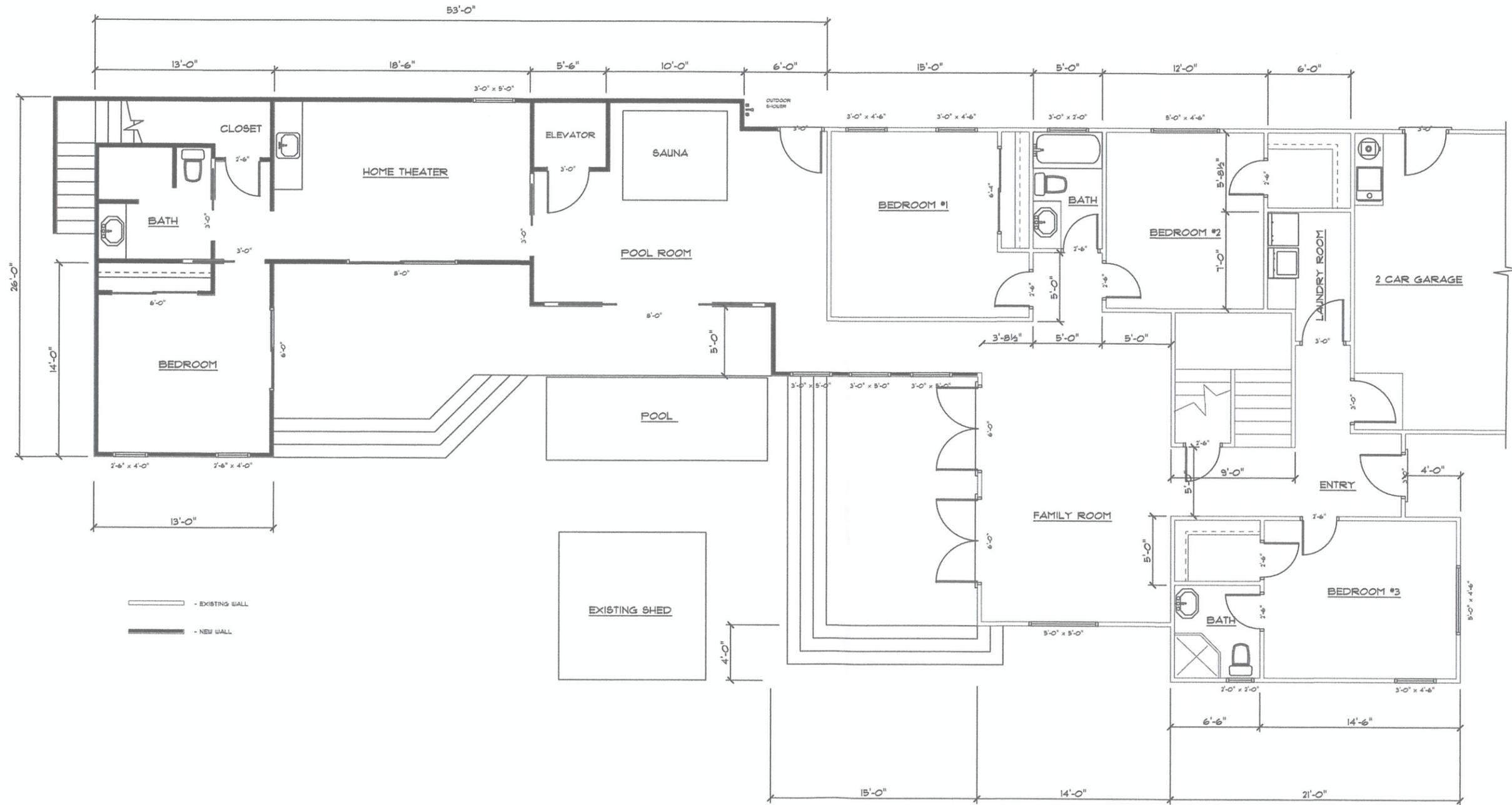
REVISIONS DATE

REVISIONS	DATE

SHEET

A-4

OF 8 SHEETS



REVISED LOWER FLOOR PLAN

1/4" = 1'-0"

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STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

REVISED UPPER
 FLOOR PLAN

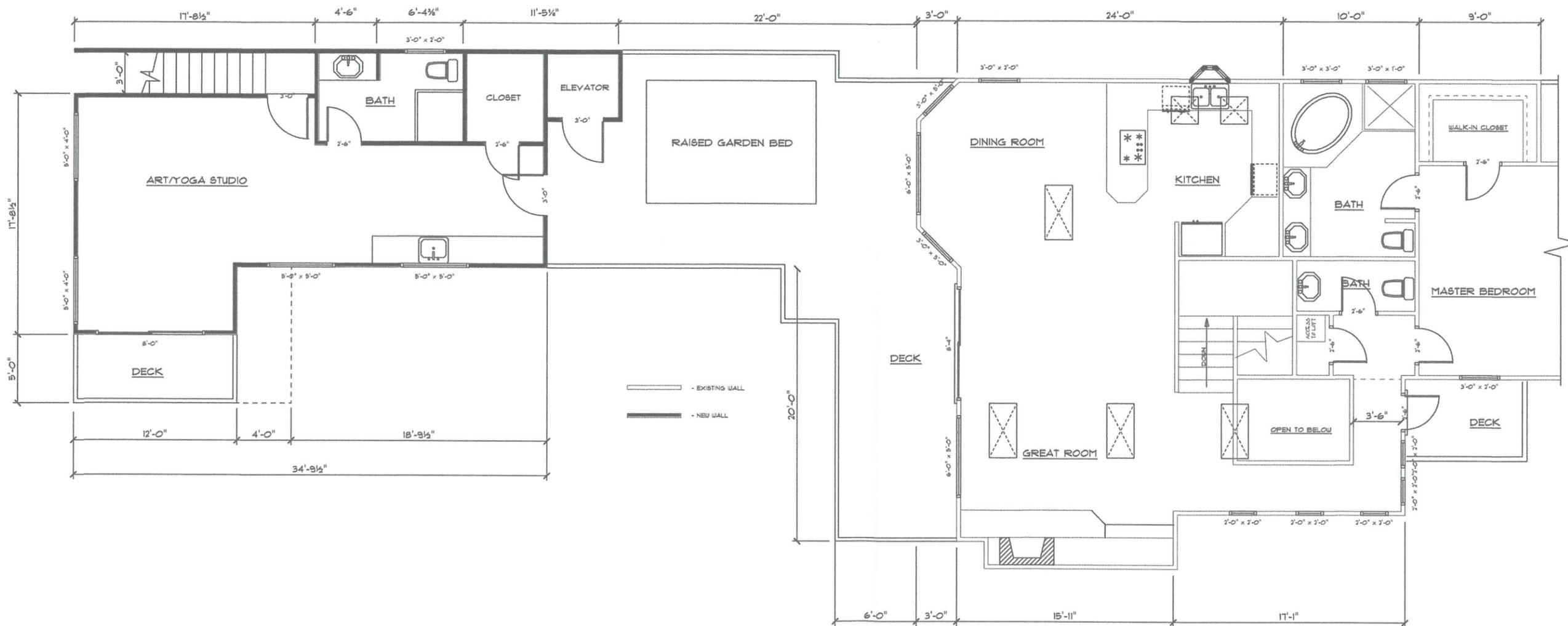
DRAWN BY: JHM

DATE: 5.23.16

REVISIONS DATE

REVISIONS	DATE

SHEET
A-5
 OF 8 SHEETS



UPPER FLOOR PLAN

1/4" = 1'-0"

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STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

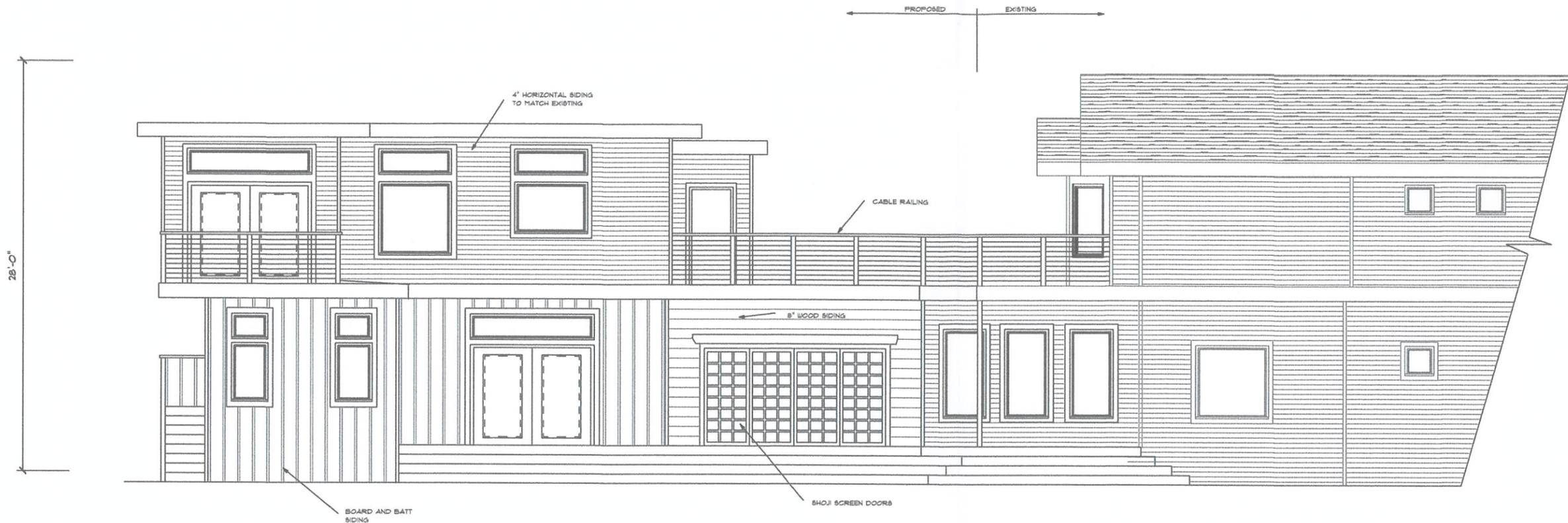
EXTERIOR
 ELEVATIONS

DRAWN BY: JHM
 DATE: 5.23.16

REVISIONS DATE

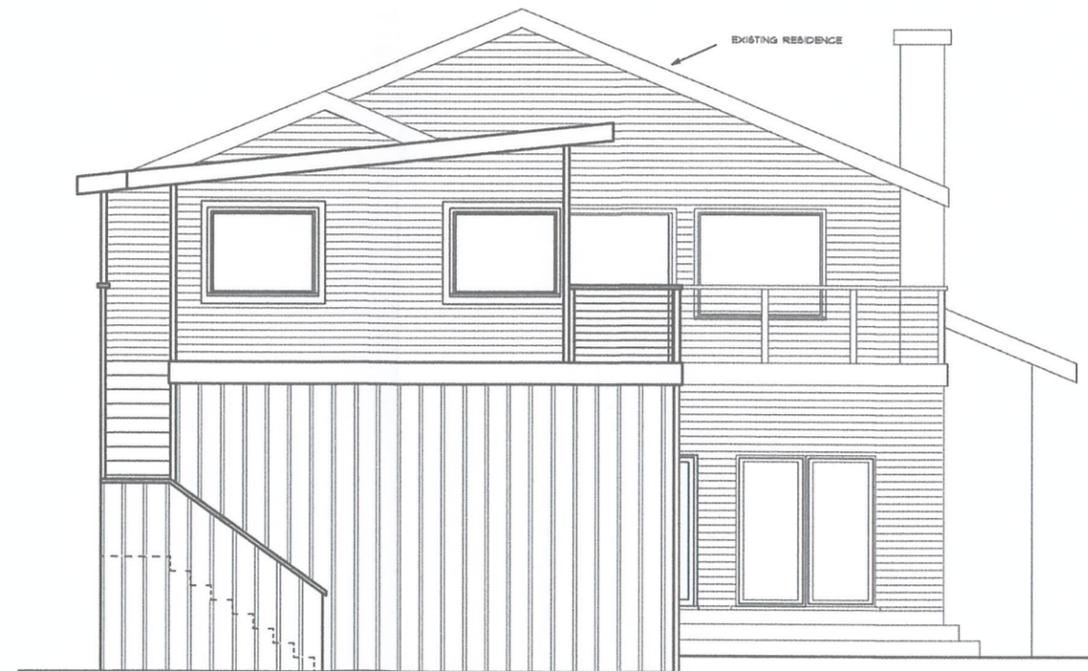
REVISIONS	DATE

SHEET
A-6
 OF 8 SHEETS



LEFT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

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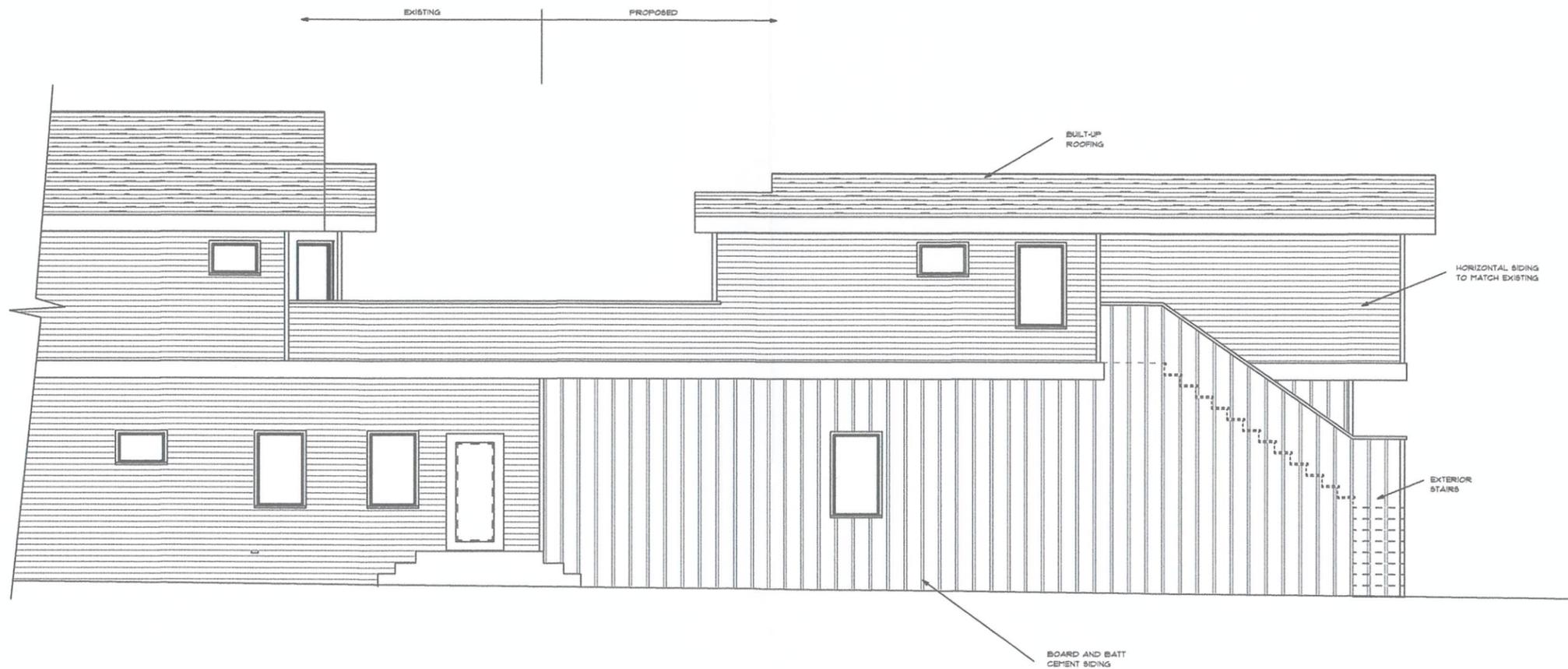
STRUCTURAL ENGINEER:

ENERGY ANALYSIS:

SOILS ENGINEER:

FOSTER RESIDENCE
 255 ASH STREET
 CAYUCOS, CA

EXTERIOR
 ELEVATIONS



RIGHT ELEVATION

1/4" = 1'-0"

DRAWN BY: JHM

DATE: 5.23.16

REVISIONS DATE

REVISIONS	DATE

SHEET
A-7
 OF 8 SHEETS



Commercial Service

*Estero Planning Area
Planning Area*

*Coastal Zone
Planning Area*

Residential Multi-Family

Cayucos URL

Office and Professional

Public Facilities

Commercial Retail

Recreation

B ST

BIRCH AVE

ALLEY

ASH AVE

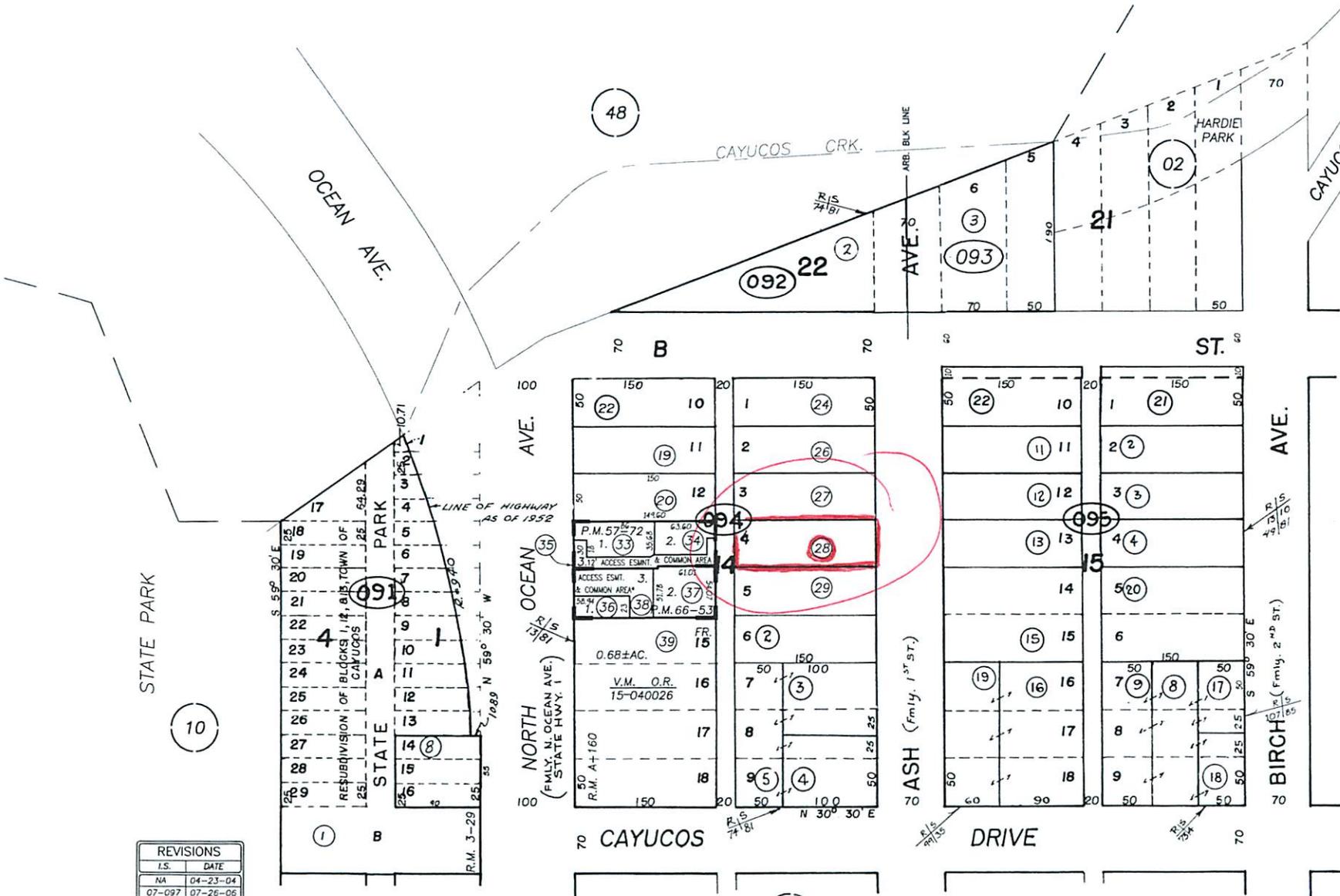
ALLEY

N OCEAN AVE

UNNAMED RD

CAYUCOS DR

CAYUCOS CRK RD.



REVISIONS	
I.S.	DATE
NA	04-23-04
07-097	07-26-06
12-142	03-10-12
16-101	11-18-15

*NOTE: EACH PARCEL INCLUDES AN UNDIVIDED INTEREST IN THE COMMON AREA.



GB 11-16-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

RESUB. BL. 1-12-13: TOWN OF CAUYCOS, R.M. Bk. 3 , Pg. 29
TOWN OF CAUYCOS, R.M. Bk. A , Pg. 160

CAYUCOS
ASSESSOR'S MAP, COUNTY OF
SAN LUIS OBISPO, CA.
BOOK 064 PAGE 09



Parcel Summary Report For Parcel # 064-094-028

5/31/2016
2:41:17PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN FOSTER MICHAEL R
 255 ASH AVE CAYUCOS CA 93430-1002
OWN ROSS GRETCHEN

Address Information

Status Address
A 00255 ASH ST CAYU

Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
TNCAY 064094	0014 028	0004	Cayucos	Estero Plannin	RMF	LCP	CAZ	Y		
		0001	Cayucos	Estero Plannin	FH	COJ		N		

Parcel Information

Status Description
Active TN CAY BL 14 LT 4

Notes

OWNER ASKED TO DO A GUEST HOUSE - GUEST WAS APPROVED WITH USE PERMIT NO MUP REQUIRED. THEY ALSO ASKED ABOUT A SECOND UNIT IN RMF. WE MAY BE ABLE TO FIND THE SECOND UNIT IN SUBSTANTIAL CONFORMITY WITH WHAT WAS ORIGINALLY APPROVED

~~Tax Districts~~ DEPENDENT ON SIZE, PARKING, FLOOR AREA, OPEN AREA ETC. THEY WILL CHECK ON WATER AND SEWER. SECOND UNIT NEEDS TO MEET

OPEN AREA ETC. LOT IS 7500 SF SWC/KBN 10/29/15
COAST (SB1537)

CAYUCOS
SAN LUIS OBISPO JT(27,40)
CAYUCOS-MORRO
CAYUCOS COUNTY
NO. 02



Parcel Summary Report For Parcel # 064-094-028

5/31/2016
2:41:18PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

CAYUCOS
AREA NO. 10
AREA NO. 21

Case Information

Case Number:

Case Status:

C3550	FNL	Primary Parcel
<u>Description:</u> SFD W/ATT GARAGE/LOT 4/MCDONALD/R.SYFAN,RCE SAME AS B991405,B991407,B991408		
DRC2015-00136	REC	Primary Parcel
<u>Description:</u> ADDITION TO SFD.		
PMT2002-27555	REC	Primary Parcel
<u>Description:</u> GUEST HOUSE / LOT 4		
D000054W	WIT	Related Parcel
<u>Description:</u> CURB,GUTTER,SIDEWALK WAIVER		
D980271P	APP	Related Parcel
<u>Description:</u> 5 SINGLE FAMILY DWELLINGS		
D990372P	EXP	Related Parcel
<u>Description:</u> CONSTRUCT SFD		
G840056M	WIT	Related Parcel
<u>Description:</u> LUE CHANGE RES MULTI-FAM TO COMM RETAIL		
P980585	WIT	Related Parcel
<u>Description:</u>		
PMT2002-26505	EXP	Related Parcel
<u>Description:</u> SINGLE FAMILY DU W/ATT GARAGE - EXPIRED		