



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 6/9/2016

**TO:** \_\_\_\_\_

**FROM:** James Caruso (805-781-5702 or jcaruso@co.slo.ca.us)  
Kate Shea (805-781-4097 or kbshea@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00139 JOSEPHSON – Proposed minor use permit to allow the construction of a 2783 SF single family residence, 2 story w/ attached 550 SF 2 car garage. Project location is 3330 Studio Drive, Cayucos.  
APN: 064-421-009

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2015-00139

JOSEPHSON GLE

MINOR USE PERMIT

2783 SF SFR, 2 STORY W/ ATTACHED 550 SF  
2 CAR GARAGE  
EST/ CAYU

CA CAZ GS LCP RSF SSN

## APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Glenn & Letha Josephson Daytime Phone 805-305-1500  
Mailing Address 3340 Studio Dr. Cayucos, CA Zip Code 93430  
Email Address: GlennJosephson@sbcglobal.net

Applicant Name Same as Above Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent Name Richard G. Beller Architect Daytime Phone 805-471-4312  
Mailing Address 1729 Garden Str San Luis Obispo, CA Zip Code 93401  
Email Address: rgbeller@att.net

## PROPERTY INFORMATION

Total Size of Site: 4853 SF Assessor Parcel Number(s): 664-421-009  
Legal Description: Lots 1 & 2, Block 45, Morro Strand #3  
Address of the project (if known): 3330 Studio Dr, Cayucos  
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: \_\_\_\_\_

Describe current uses, existing structures, and other improvements and vegetation on the property:  
one utility shed

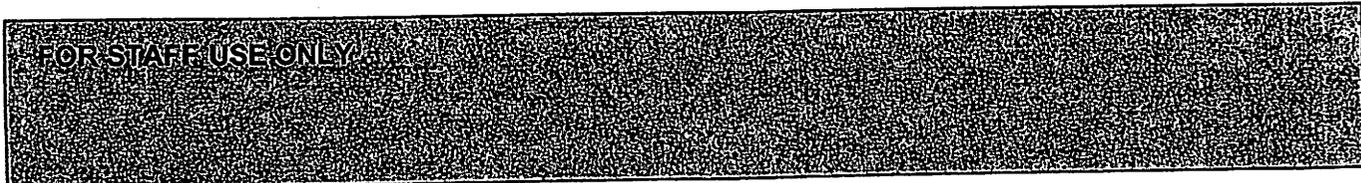
## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 2783 SF SFR, 2 STORY  
W/ ATTACHED 550 SF 2 car garage

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Owner's Signature on next page Date \_\_\_\_\_



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: \_\_\_\_\_

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? 0.103 ac

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: Residential  
East: Residential West: Residential

## For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 2379 sq. feet 49 % Landscaping: 705 sq. feet 16 %  
Paving: 640 sq. feet 13 % Other (specify) DECKS = 1030  
Total area of all paving and structures: 3019  sq. feet  acres  
Total area of grading or removal of ground cover: 4750  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 15 ft  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 0 Right 4 Left 4 Back 5

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: CSA 10A  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: Cayucos Sanitary Dist  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CDF CAYUCOS FIRE

## For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

## For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3  
Total floor area of all structures including upper stories, but not garages and carports: 2783 SF  
Total of area of the lot(s) minus building footprint and parking spaces: 4853 - 2379 = 2474 SF

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 0.11 acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: STUDIO DR.

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 150 gal.
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: 5/8" water meter
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

Please attach any letters or documents to verify that water is available for the proposed project.

**Sewage Disposal Information**

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: 0    Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? 100 gal G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

1. What type of solid waste will be generated by the project?  
 Domestic    Industrial    Agricultural    Other, please explain? \_\_\_\_\_
2. Name of Solid Waste Disposal Company: Mission-Country
3. Where is the waste disposal storage in relation to buildings? in garage
4. Does your project design include an area for collecting recyclable materials and/or composting materials?    Yes    No

**Community Service Information**

1. Name of School District: Cayucos Elem Coast Union H.S.
2. Location of nearest police station: Sheriff Office, Hwy 1
3. Location of nearest fire station: CFD 1/2 mile
4. Location of nearest public transit stop: N/A
5. Are services (grocery/other shopping) within walking distance of the project?    Yes    No  
If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

1. Please describe the historic use of the property:  
Trailer Park
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?    Yes    No  
If yes, please describe: \_\_\_\_\_  
Has an archaeological surface survey been done for the project site?    Yes    No  
If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

*Only complete this section if you are proposing a commercial or industrial project or zoning change.*

1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
2. How many people will this project employ? \_\_\_\_\_
3. Will employees work in shifts?    Yes    No  
If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes    No   If yes, please explain: \_\_\_\_\_
5. Will this project increase the noise level in the immediate vicinity?    Yes    No  
If yes, please explain: \_\_\_\_\_  
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
7. Will hazardous products be used or stored on-site?    Yes    No  
If yes, please describe in detail: \_\_\_\_\_
8. Has a traffic study been prepared?    Yes    No   If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Public Works encroachment permit

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)





Richard G. Beller Architect  
 1729 Garden St. San Luis Obispo, CA 93401 805-471-4312

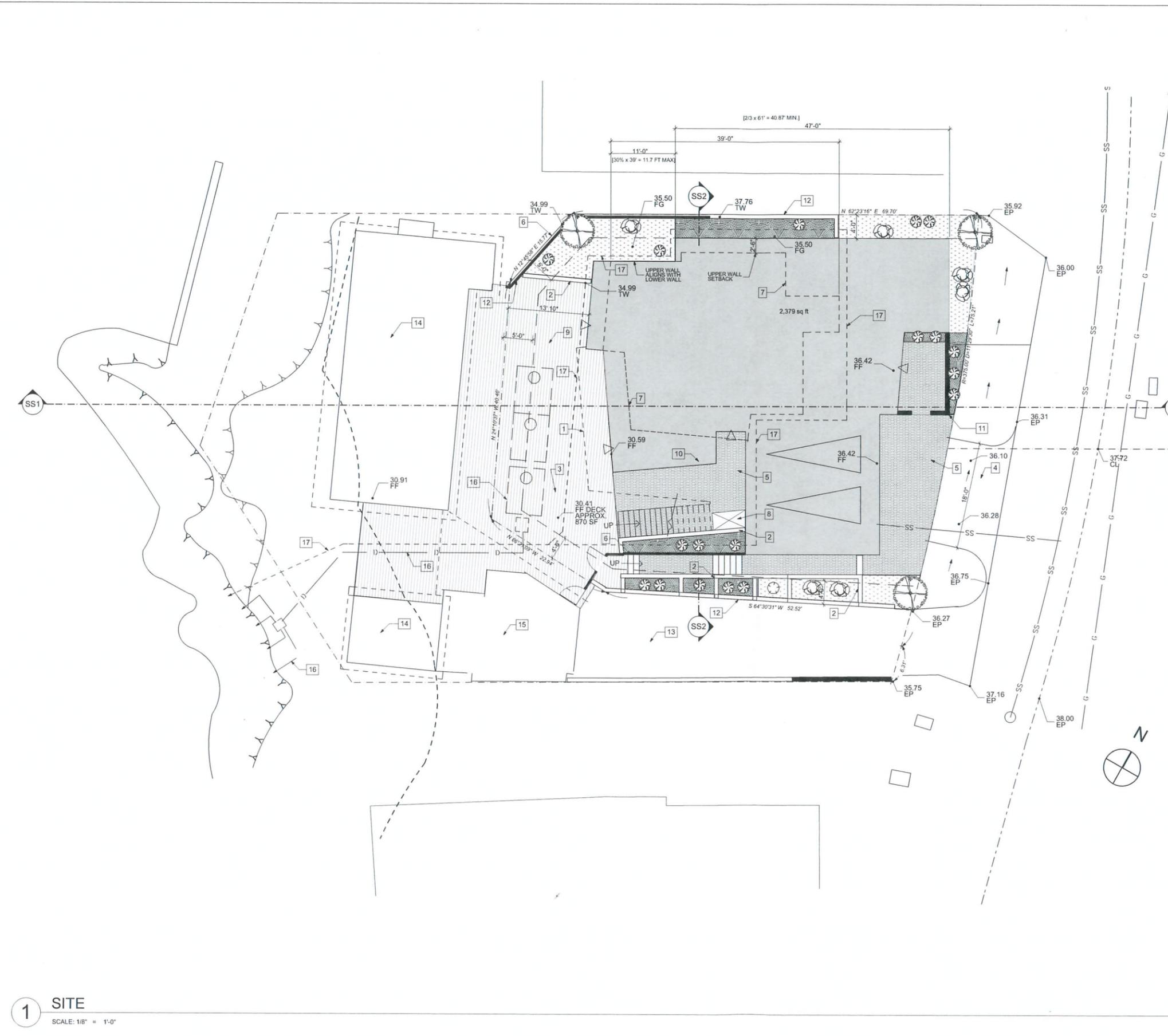


STUDIO RESIDENCE  
 3330 STUDIO DRIVE  
 CAYUCOS, CA

MUP 6.1.16

A1.1

SITE PLAN



**KEYNOTES**

1. LINE OF UPPER BALCONY
2. CONCRETE PLANTER
3. RAIN WATER RUNOFF HOLDING TANK PER CIVIL DRAWINGS
4. AC PAVING
5. CONCRETE PAVERS
6. WOOD FENCE TO MATCH HOUSE SIDING
7. LINE OF UPPER STORY WALLS
8. OUTDOOR SHOWER
9. WOOD DECK
10. LINE OF LOWER STORY WALLS
11. STUCCO WALL WITH RAILING. SEE FRONT ELEVATION
12. EXISTING RETAINING WALL TO REMAIN
13. EXISTING DRIVEWAY TO LOWER HOUSE
14. EXISTING HOUSE ON ADJOINING PROPERTY
15. EXISTING GARAGE ON ADJOINING PROPERTY
16. DRAINAGE LINES AND HOLDING TANKS PER CIVIL ENGINEERING DRAWINGS AND CALCS.
17. SUBSURFACE DRAIN BEHIND RETAINING WALLS TO DAYLIGHT

**LANDSCAPE CONCEPT LEGEND**

- NOTES:**
1. ALL SPECIES DROUGHT TOLERANT
  2. ALL IRRIGATION TO BE DRIP

**GROUND COVER:**

- DECORATIVE GRAVEL BEDS WITH SUCCULENTS TO 12"

**SHRUBS:**

- PALMERS INDIAN MALLOW
- MANZANITA 'HOOKER' OR 'SENTINEL'

**PERENNIALS AND GRASSES:**

- CARAX BARBERAE 'STA BARBARA SEDGE'
- WILD RYE 'CANYON PRINCE'
- ECHEVERIA
- YARROW
- IRIS

- ALOE OR AGAVE

- TREES:**
- ARCTOSTAPHYLOS 'L. EDMONDS'
  - 'SERPENTINE MANZANITA'

1 SITE  
 SCALE: 1/8" = 1'-0"





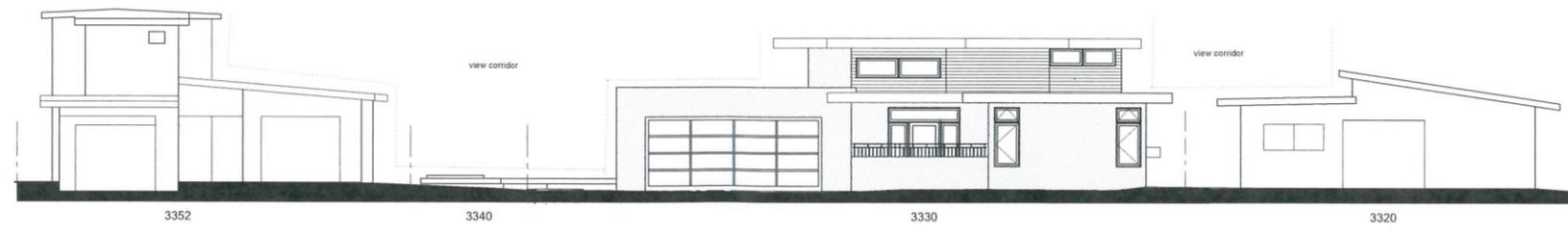
**Richard G. Beller Architect**  
1729 Garden St. San Luis Obispo, CA 93401 805-471-4312



**STUDIO RESIDENCE**  
3330 STUDIO DRIVE  
CAYUCOS, CA



**1** ADJACENT PROPERTY MAP  
SCALE: 1" = 1'-0"



**2** Studio Drive Elevation  
SCALE: 1/8" = 1'-0"

**A1.2**

ADJACENCIES



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1729 Garden St. San Luis Obispo, CA 93401 805-471-4312

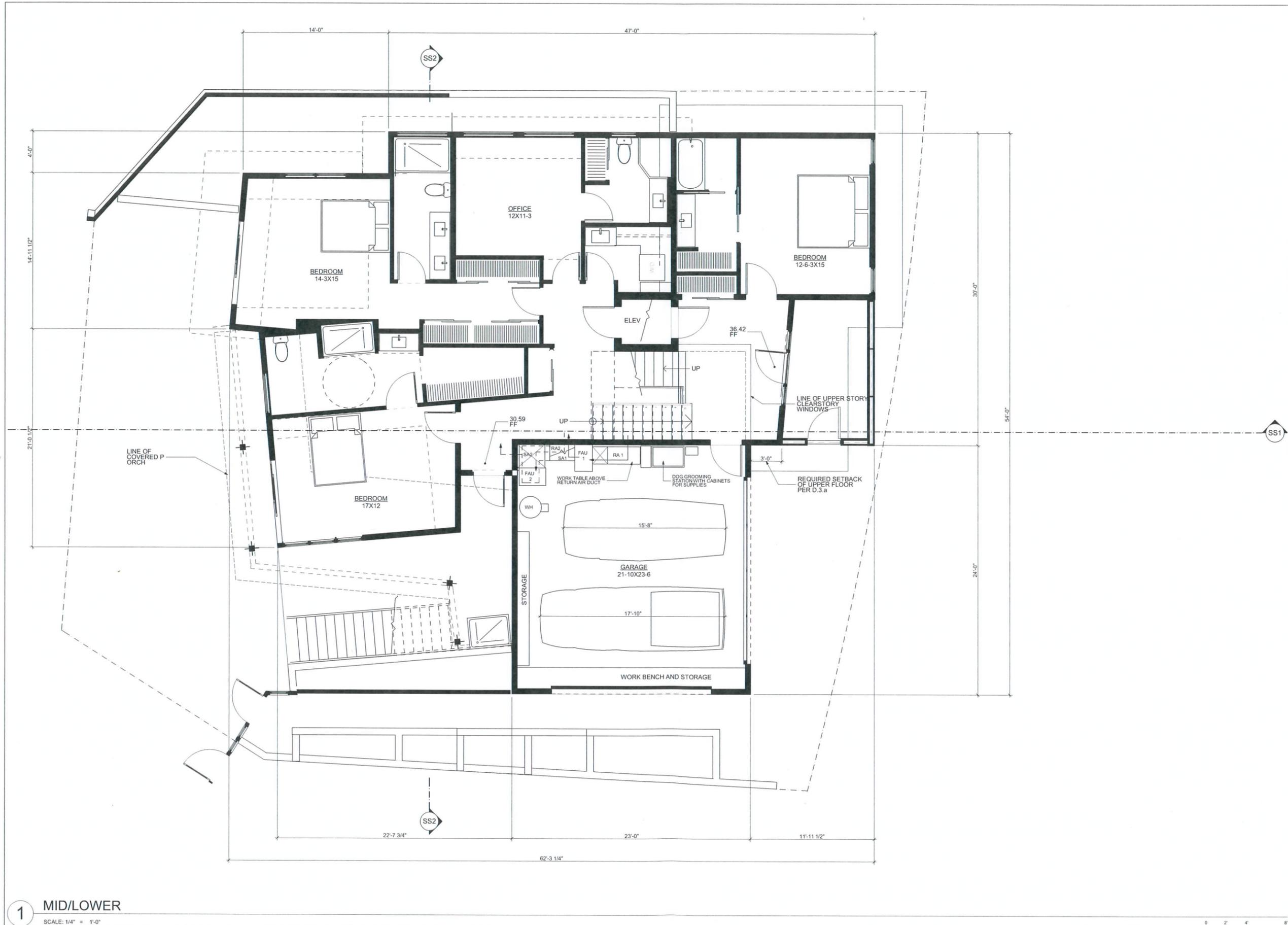


STUDIO RESIDENCE  
3330 STUDIO DRIVE  
CAYUCOS, CA

MUP 6.1.16

A2.1

LOWER FLOOR PLAN



1 MID/LOWER  
SCALE: 1/4" = 1'-0"





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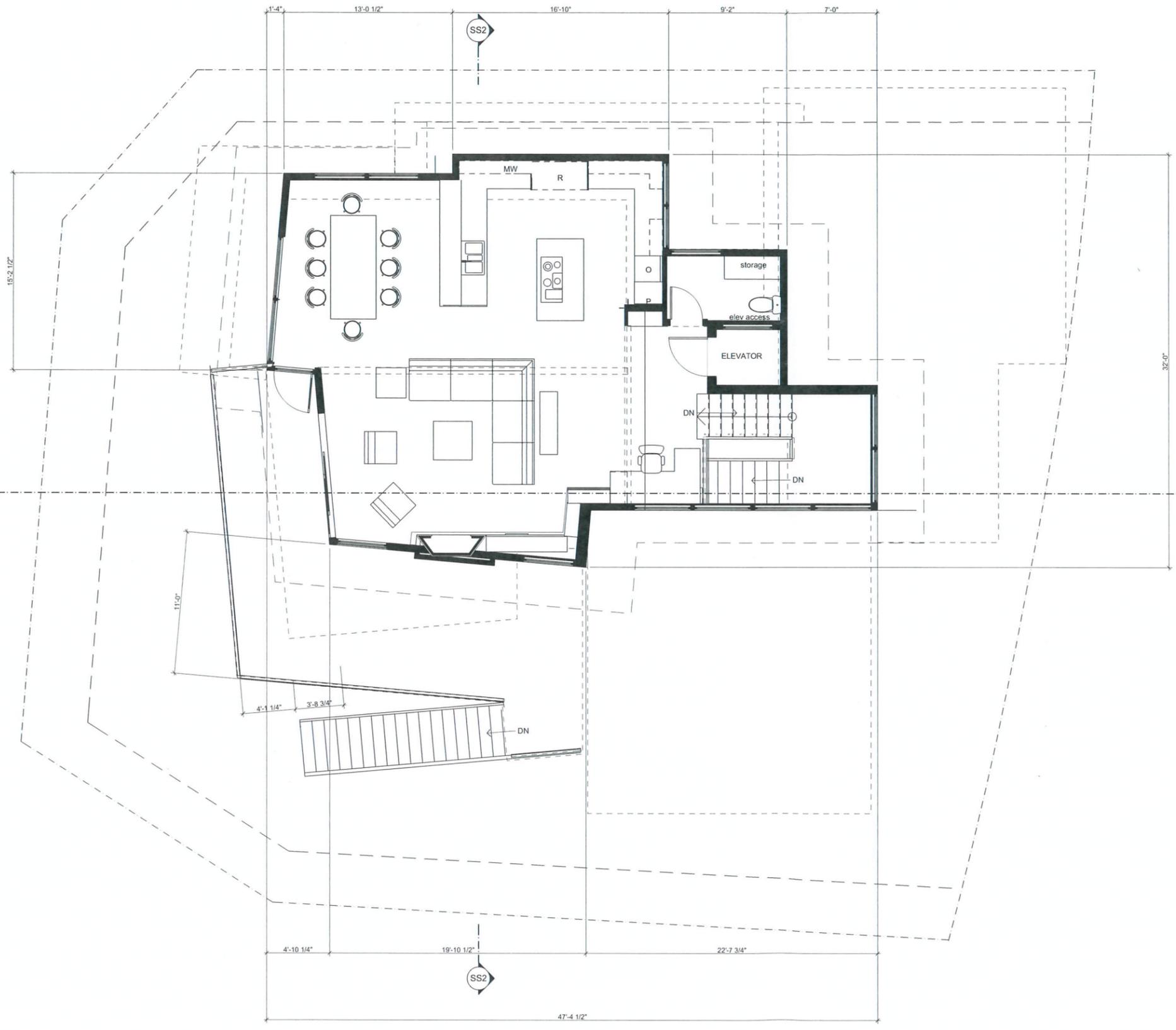


STUDIO RESIDENCE  
3330 STUDIO DRIVE  
CAYUCOS, CA

MUP 6.1.16

A2.2

UPPER  
FLOOR PLAN



UPPER  
SCALE: 1/4" = 1'-0"





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1729 Garden St. San Luis Obispo, CA 93401 805-471-4312

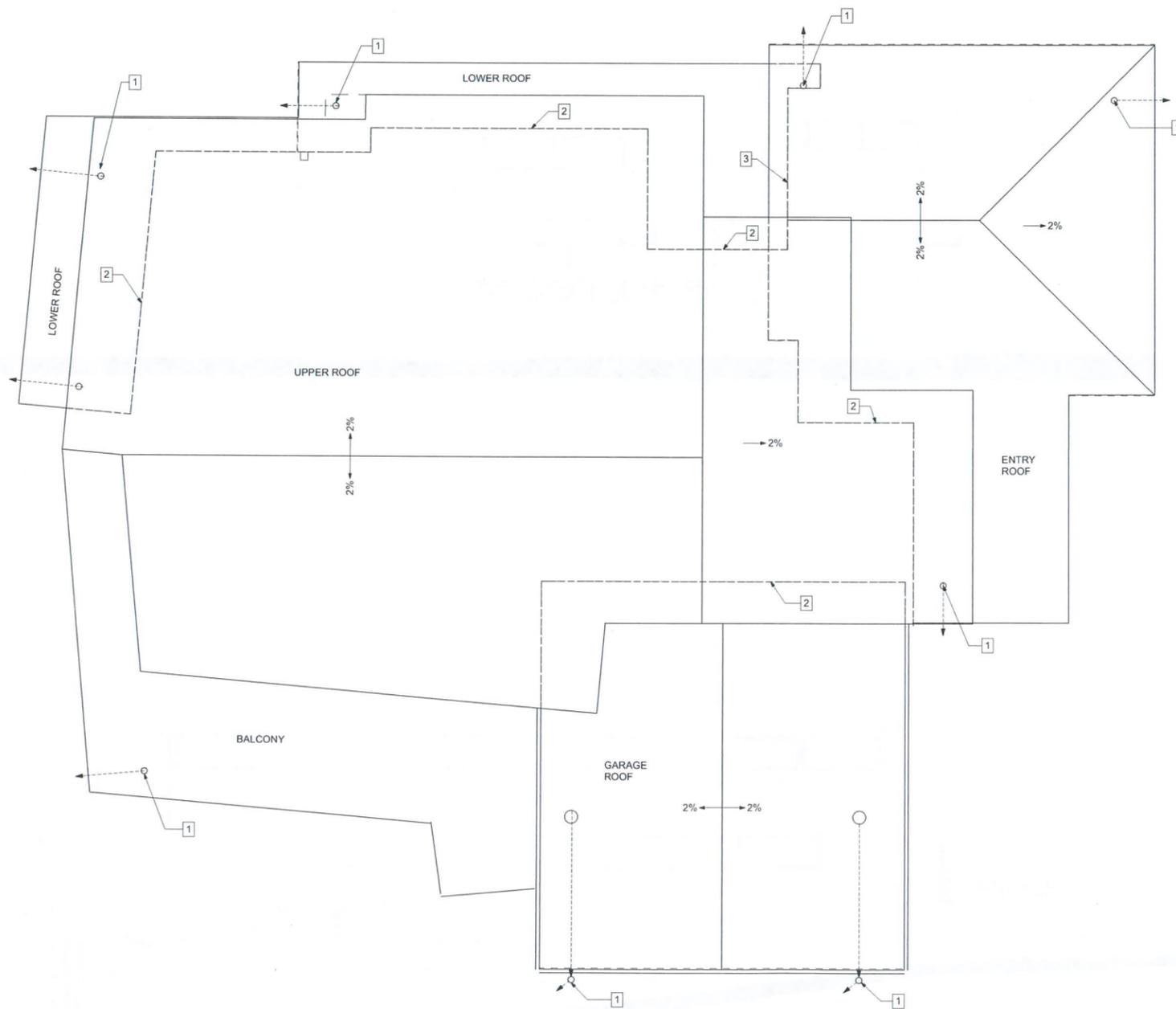


**STUDIO RESIDENCE**  
3330 STUDIO DRIVE  
CAYUCOS, CA

MUP 6.1.16

**A2.3**

ROOF PLAN



**KEYNOTES**

- 1. DOWNSPOUT DRAIN
- 2. LINE OF UPPER WALL
- 3. LINE OF LOWER WALL

**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"





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STUDIO RESIDENCE  
 3330 STUDIO DRIVE  
 CAYUCOS, CA

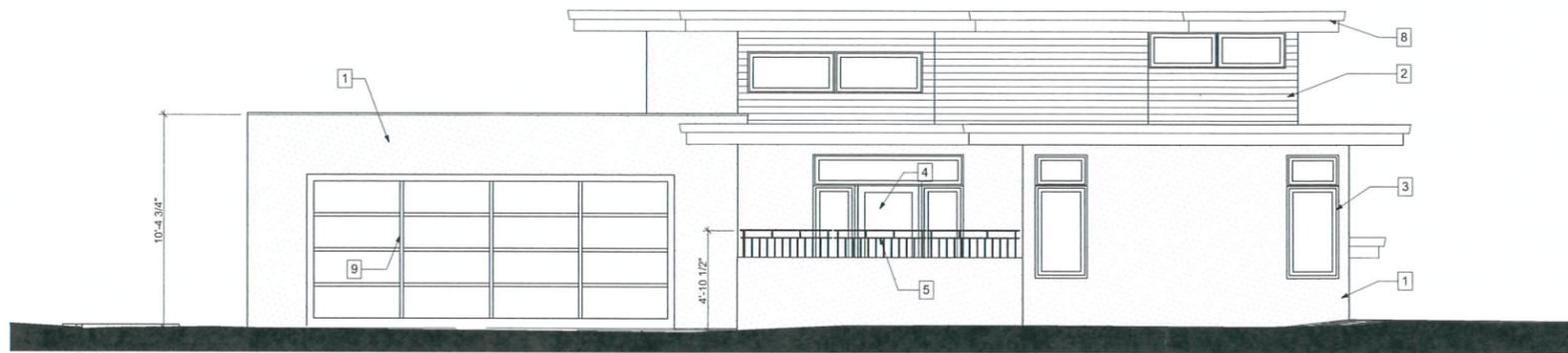
MUP 6.1.16

A3.1

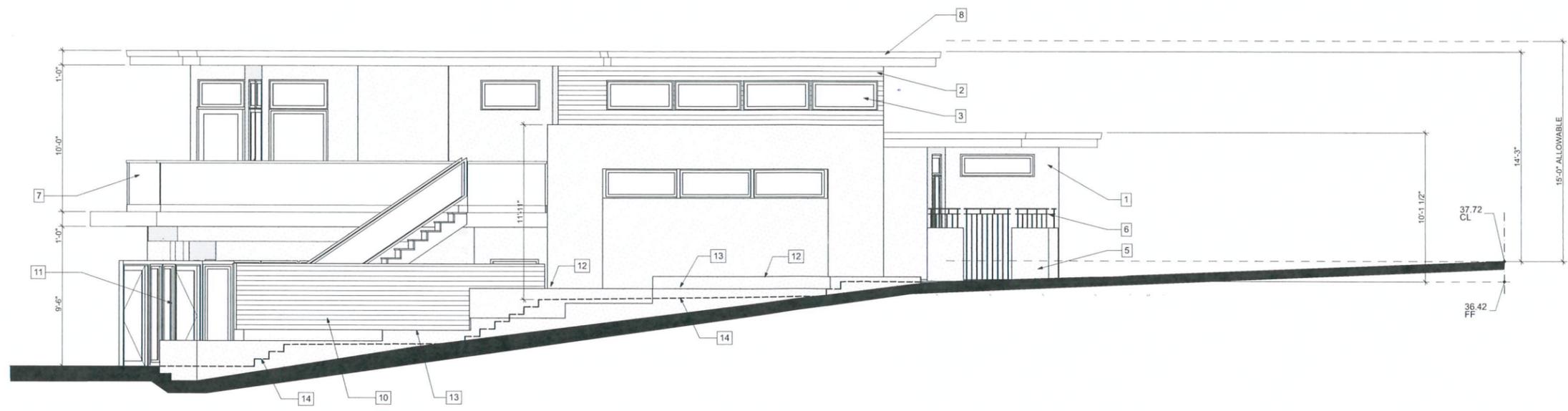
ELEVATIONS  
 FRONT, LEFT SIDE

**KEYNOTES**

1. STUCCO WITH TROWELED ACRYLIC FINISH
2. STAINED RAISCREEN 1 X 4 WOOD SIDING
3. BRONZE ANODIZED WINDOWS
4. PAINTED WOOD FRONT DOOR
5. STAINLESS STEEL RAILING
6. STUCCO SITE WALL WITH TROWELED ACRYLIC FINISH
7. CLEAR TEMPERED GLASS GUARDRAILS
8. COPPER GUTTERS WITH PAINTED WOOD FASCIA
9. BRONZE ANODIZED GARAGE DOOR WITH FROSTED GLASS
10. FENCE WITH RAISCREEN SIDING TO MATCH HOUSE
11. GATE WITH FROSTED GLASS AND SIDE LITE
12. TERRACED MASONRY PLANTER WALLS
13. LINE OF EXISTING STEPPED RETAINING WALL AT DRIVEWAY TO ADJACENT HOUSE
14. LINE OF WALKWAY AT SIDE OF GARAGE

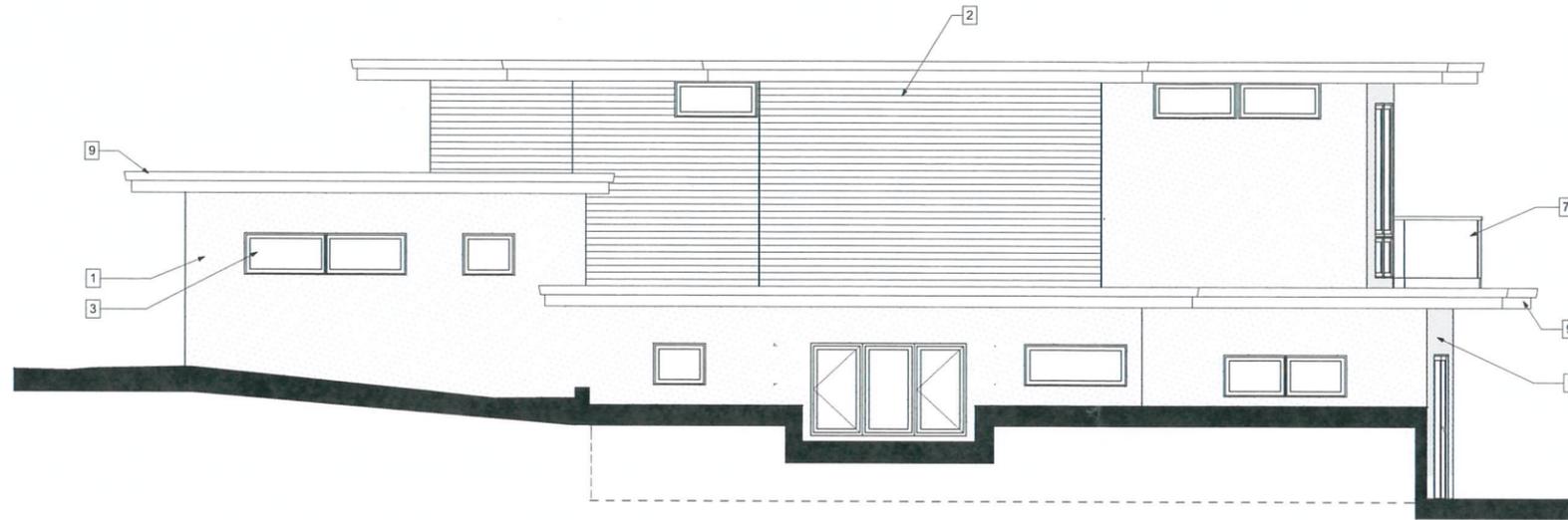


**1 FRONT**  
 SCALE: 1/4" = 1'-0"



**2 LEFT SIDE**  
 SCALE: 1/4" = 1'-0"

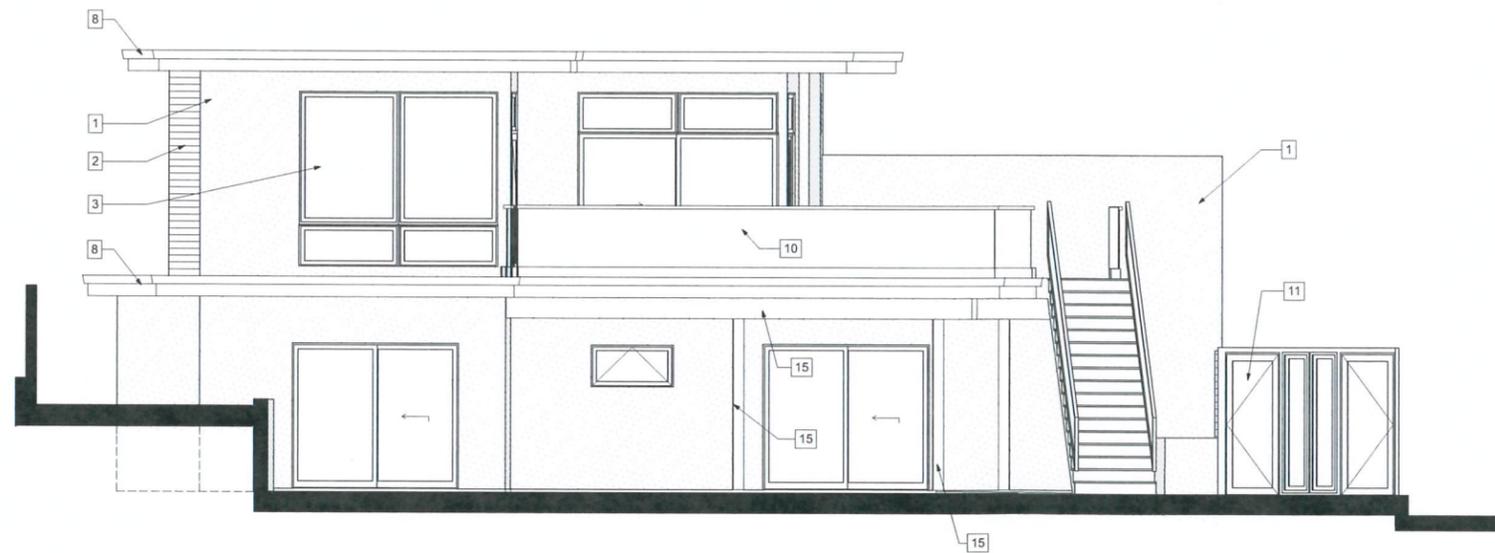




**KEYNOTES**

- 1. STUCCO WITH TROWELED ACRYLIC FINISH
- 2. STAINED RAINSCREEN 1 X 4 WOOD SIDING
- 3. BRONZE ANODIZED WINDOWS
- 4. PAINTED WOOD FRONT DOOR
- 5. STAINLESS STEEL RAILING
- 6. STUCCO SITE WALL WITH TROWELED ACRYLIC FINISH
- 7. CLEAR TEMPERED GLASS GUARDRAILS
- 8. COPPER GUTTERS WITH PAINTED WOOD FASCIA
- 9. BRONZE ANODIZED GARAGE DOOR WITH FROSTED GLASS
- 10. FENCE WITH RAINSCREEN SIDING TO MATCH HOUSE
- 11. GATE WITH FROSTED GLASS AND SIDE LITE
- 12. TERRACED MASONRY PLANTER WALLS
- 13. LINE OF EXISTING STEPPED RETAINING WALL AT DRIVEWAY TO ADJACENT HOUSE
- 14. LINE OF WALKWAY AT SIDE OF GARAGE
- 15. WOOD POSTS AND BEAMS AT REAR PORCH

**1** RIGHT SIDE  
SCALE: 1/4" = 1'-0"



**2** BACK  
SCALE: 1/4" = 1'-0"



**Richard G. Beller Architect**  
1729 Garden St. San Luis Obispo, CA 93401 805-471-4312



**STUDIO RESIDENCE**  
3330 STUDIO DRIVE  
CAYUCOS, CA

MUP 6.1.16

**A3.2**

ELEVATIONS  
BACK, RIGHT SIDE



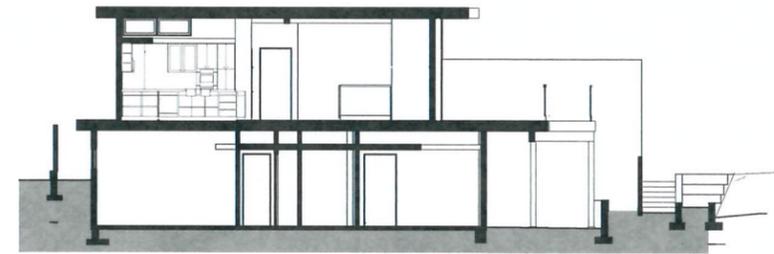
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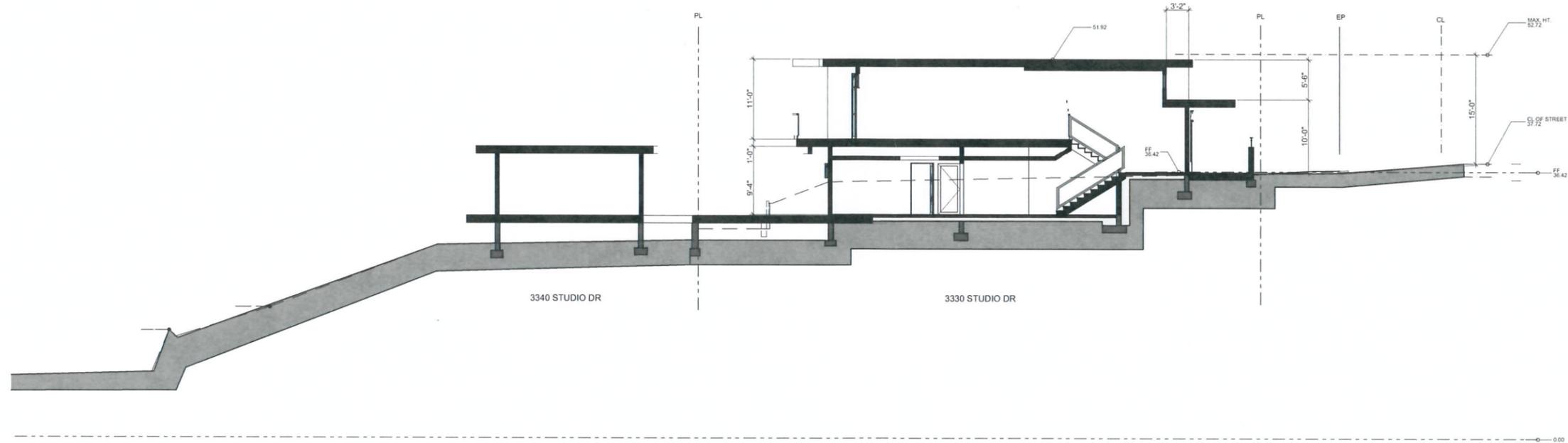
STUDIO RESIDENCE  
3330 STUDIO DRIVE  
CAYUCOS, CA

MUP 6.1.16

A4.1  
SECTIONS

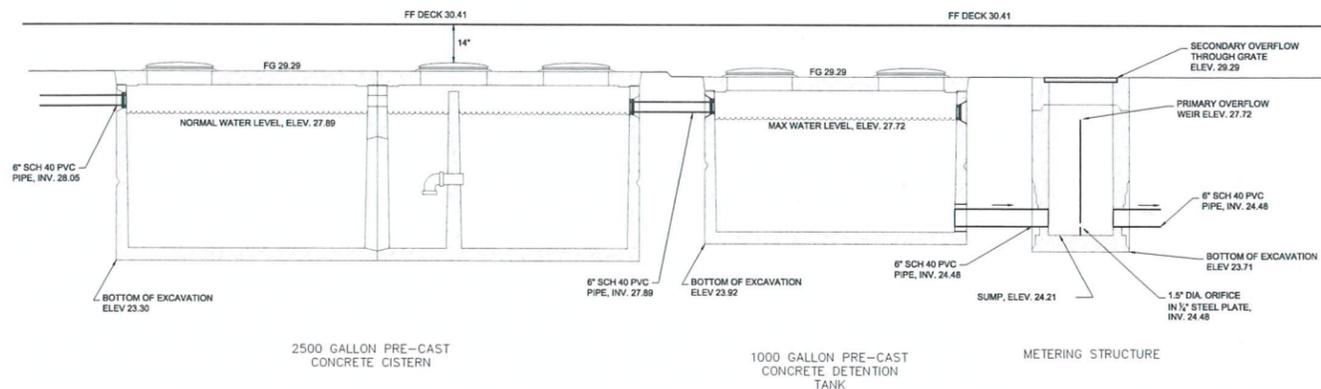


2 SITE CROSS SECTION  
SCALE: 1/8" = 1'-0"



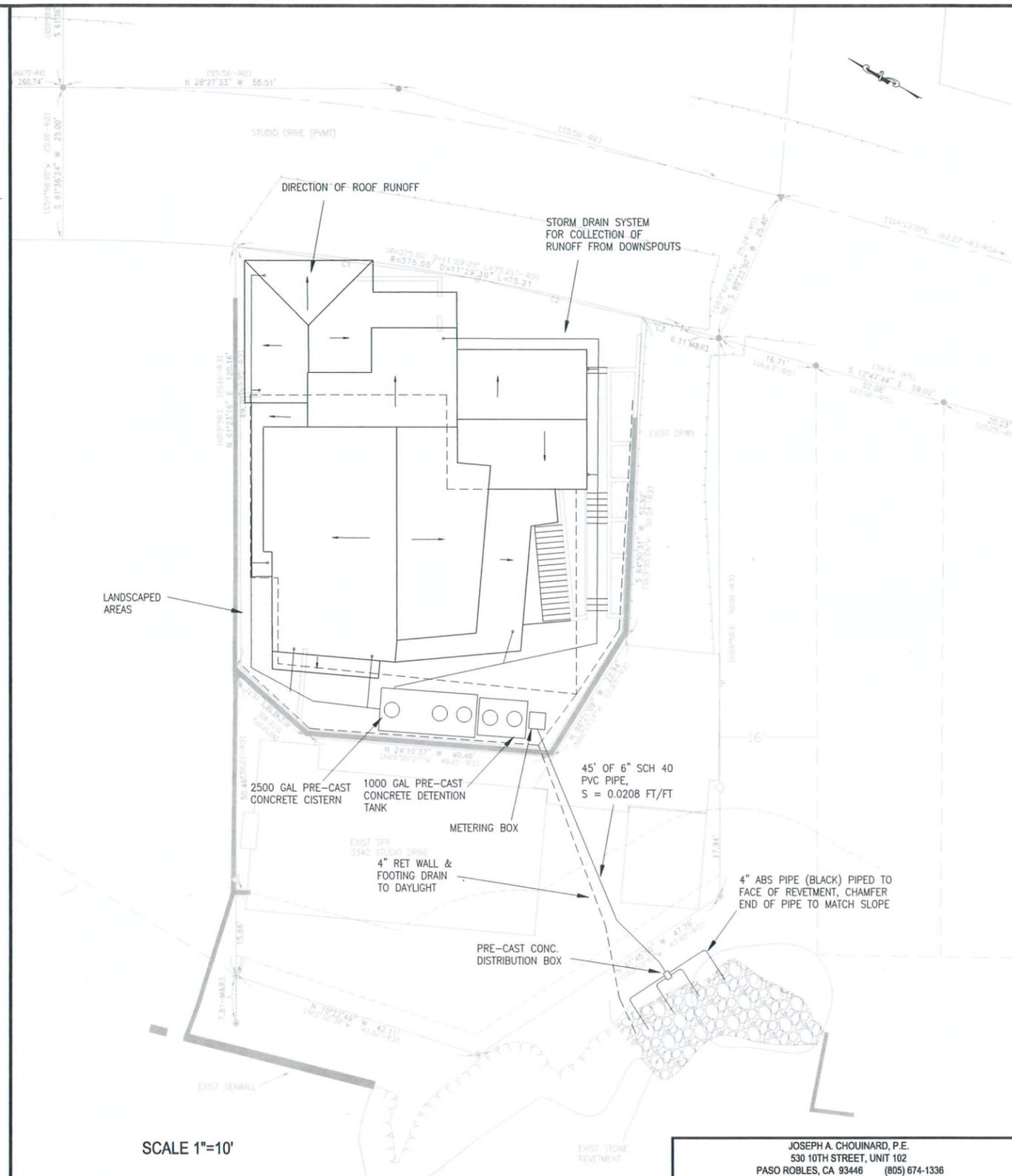
1 SITE LONGITUDINAL SECTION  
SCALE: 1/8" = 1'-0"





STORM WATER  
COLLECTION/DETENTION SYSTEM  
NOT TO SCALE

FILED



SCALE 1"=10'



RECORD DRAWINGS	
JOSEPH A. CHOUINARD, P.E. RCE 58865	DATE
REVISIONS THIS SHEET:	
1	
2	
3	
4	

JOSEPH A. CHOUINARD, P.E. 530 10TH STREET, UNIT 102 PASO ROBLES, CA 93446 (805) 674-1336	
PRELIMINARY STORM DRAINAGE PLAN	
DESIGN/DRAWN JAC	GLENN JOSEPHSON 3330 STUDIO DRIVE CAYUCOS, CA 93430
JOB NO. 16-003	DATE
JOSEPH A. CHOUINARD, P.E. RCE 58865	DATE
	SHEET C-?



Residential Single-Family  
Residential Multi-Family

Commercial Retail

Residential Single-Family

Residential Multi-Family

Residential Single-Family

Recreation

Commercial Retail

Rural Lands

Rural Lands

Adelaida Sub-  
Planning Ar  
North County Plan  
Planning A  
Agricult

Estero Planning Area  
Planning Area  
Coastal Zone  
Planning Area

Agriculture



Coastal Zone  
Planning Area

Recreation

Cayucos URL

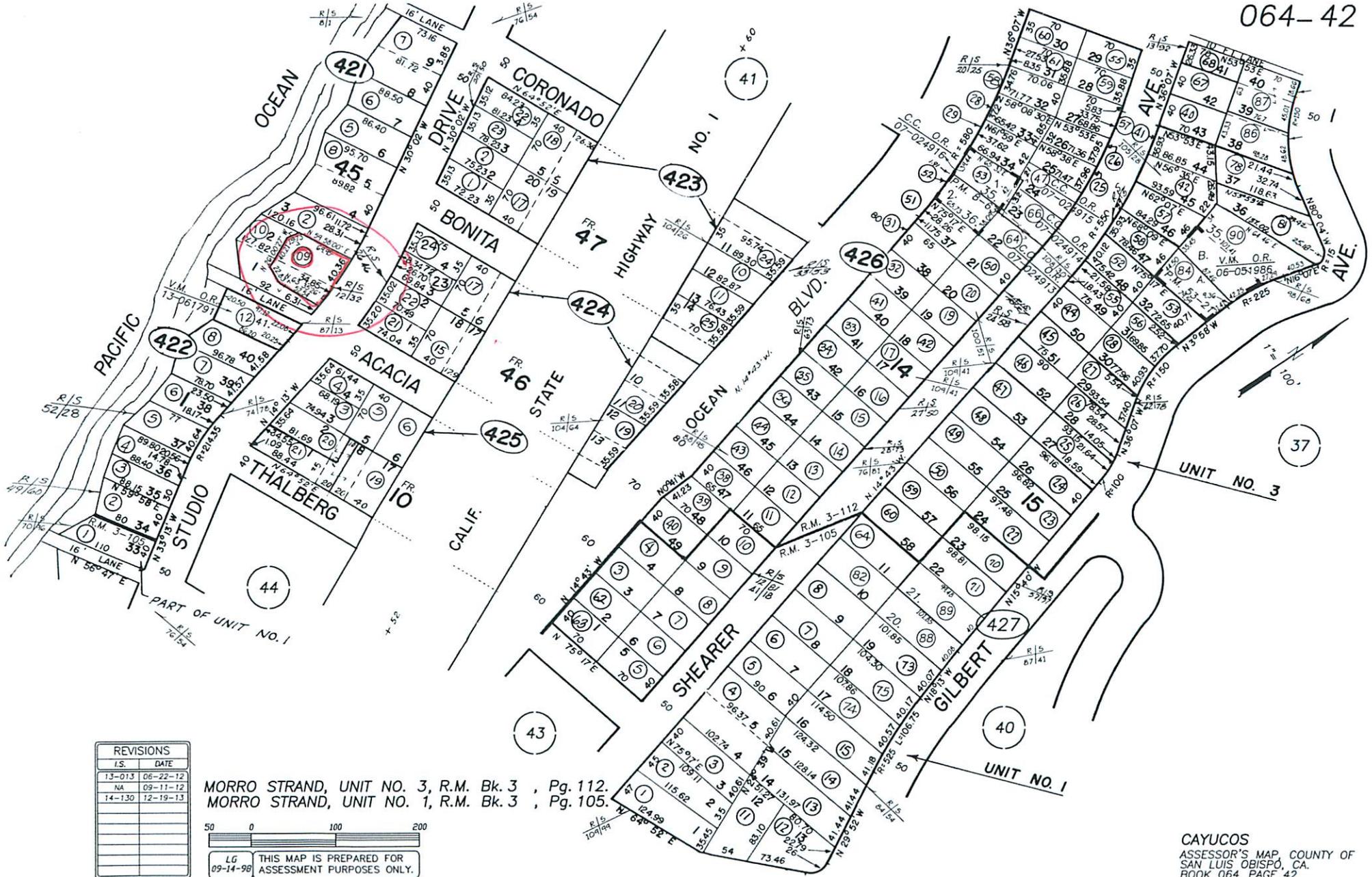
Estero Planning Area  
Planning Area

Residential Single-Family

Cayucos URL

Commercial Retail

Residenti



REVISIONS	
I.S.	DATE
13-013	06-22-12
NA	09-11-12
14-130	12-19-13

MORRO STRAND, UNIT NO. 3, R.M. Bk. 3 , Pg. 112.  
 MORRO STRAND, UNIT NO. 1, R.M. Bk. 3 , Pg. 105.

50 0 100 200  
 LG 09-14-98 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



# Parcel Summary Report For Parcel # 064-421-009

6/6/2016  
1:14:33PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

**Role    Name and Address**

OWN    JOSEPHSON GLENN  
          3340 STUDIO DR CAYUCOS CA 93430-1946

OWN    JOSEPHSON FAMILY TRUST

OWN    JOSEPHSON LETHA

### Address Information

**Status            Address**

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
PLAT-	097	0001	Cayucos	Estero Plannin	RSF	LCP	GS	Y	BS	
APV.C12-	0050	0001	Cayucos	Estero Plannin				N		
064421	009	0001	Cayucos	Estero Plannin	CA	SSN	CAZ	N		

### Parcel Information

**Status    Description**

Active    MORRO STR U 3 BL 45 PTN L TS 1 & 2

### Notes

HAD A PREAPP WITH JOHN HOF AND TIM TOMLINSON. DRAINAGE ISSUES ETC.4/14/11

### Tax Districts

COAST (SB1537)  
 CAYUCOS  
 SAN LUIS OBISPO JT(27,40)  
 CAYUCOS-MORRO



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6/6/2016  
1:14:33PM

## San Luis Obispo County Department of Planning and Building

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San Luis Obispo, California 93408

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CAYUCOS COUNTY  
NO. 02  
CAYUCOS  
AREA NO. 10  
AREA NO. 21  
AREA NO. 10, ZONE A

### Case Information

**Case Number:**

**Case Status:**

DRC2015-00139      REC      Primary Parcel

**Description:**

2783 SF SFR, 2 STORY W/ ATTACHED 550 SF 2 CAR GARAGE

PRE2010-00030      REC      Primary Parcel

**Description:**

ON-SITE PRE-APPLICACION MEETING FIRST 3/28/11 10:00 3340 SATUDIO DRIVE, CAYUCOS

PRE2015-00030      MET      Primary Parcel

**Description:**

NEW SFR

SUB2011-00062      RDD      Primary Parcel

**Description:**

TWO CERTS OF COMPLIANCE