



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 6/13/2016

**TO:** \_\_\_\_\_

**FROM:** Brandi Cummings (805-781-1006 or bcummings@co.clo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00140 TURNER – Proposed minor use permit to allow the construction of a new 2498 SF 2-story single family residence with 675 SF 2-car garage and 563 SF deck. Project location is 2709 Santa Barbara Street, Cayucos. APN: 064-203-070

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Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

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\_\_\_\_\_ Date

\_\_\_\_\_ Name

\_\_\_\_\_ Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00140

TURNER

MINOR USE PERMIT

A NEW 2 STORY 2,498 SF SFR WITH 2-CAR GARAGE (675SF) AND 563 SF OF DECK,

GS LCP RSF

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

## APPLICANT INFORMATION

Check box for contact person assigned to this project  
 Landowner Name JOHN & DAWN TURNER Daytime Phone 805.459.5180  
Mailing Address 2610 STUDIO DR. CAMUCOS CA Zip Code 93430  
Email Address: jated1@2ol.com

Applicant Name JOHN & DAWN TURNER Daytime Phone 805.459.5180  
Mailing Address 2610 STUDIO DR. CAMUCOS CA Zip Code 93430  
Email Address: jated1@2ol.com

Agent Name STUDIO 24 AGENT: LAURA CANNETT Daytime Phone 805.504.0711 x112  
Mailing Address 1540 MARSH ST. STE: 230 SAN LUIS OBISPO, CA Zip Code 93401  
Email Address: LAURA@STUDIO-24.COM

## PROPERTY INFORMATION

Total Size of Site: ~~7440 SF~~ 7440 SF Assessor Parcel Number(s): DVA-208-011 010  
Legal Description: Lot 819 in Blk 78 of Main strand Unit #5, County of SLO, Map filed 2/5/1920 in Blk 5 of maps 079-1  
Address of the project (if known): 2109 SANTA BARBARA ST., CAMUCOS, CA 93430  
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: TAKE HWY 1 TO CAMUCOS, TURN RIGHT ONTO CREEK RD., THEN RIGHT ONTO SANTA BARBARA  
Describe current uses, existing structures, and other improvements and vegetation on the property: PROPERTY IS VACANT WITH WEEDS & CARASSES

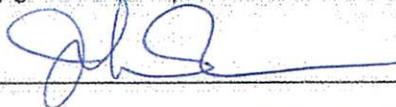
## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): A NEW, 2-STORY, 2,498 SF SFR, WITH 2-CAR GARAGE (675 SF) & 563 SF OF DECK, grading ↓

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature



Date

6-2-16

## FOR STAFF USE ONLY

Grading Between 20-30% - not over 30%  
Geo Rept/soils w/app SC

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: EXISTING + FUTURE ACCESS  
12 PM SANTA BARBARA ST. (PAVED ROAD)

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RESIDENTIAL South: RESIDENTIAL  
East: RESIDENTIAL West: RESIDENTIAL

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2256 sq. feet 32 % Landscaping: 3895 sq. feet 52 %  
Paving: 1189 ~~954~~ sq. feet 16 % Other (specify) \_\_\_\_\_

Total area of all paving and structures: 51084  sq. feet  acres

Total area of grading or removal of ground cover: 6400  sq. feet  acres

Number of parking spaces proposed: 2 Height of tallest structure: \_\_\_\_\_

Number of trees to be removed: 0 Type: \_\_\_\_\_

Setbacks: Front 10' Right 3' MIN. ACTUAL 4.11" Left 3' MIN. ACTUAL 5.0" Back 5'

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: Morro Rock Mutual Water Co.  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: Cayucos Sanitary District  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cayucos Fire protection District

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3  
Total floor area of all structures including upper stories, but not garages and carports: 2,498 SF.  
Total of area of the lot(s) minus building footprint and parking spaces: 5,088 SF.

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

**Your site plan will also need to show the information requested here:**

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: \_\_\_\_\_ acres  
Moderate slopes of 10-30%: .14 acres  
Steep slopes over 30%: .03 acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

- 1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
- 2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
- 3. What is the expected daily water demand associated with the project? 1100 gal / Day
- 4. How many service connections will be required? 1
- 5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
- 6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other N/A

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

- 1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? N/A feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
- 4. Has a piezometer test been completed?  
 Yes     No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

- 1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: 150'    Location of connection: EASEMENT TO EAST OF PROPERTY
- 2. What is the amount of proposed flow? \_\_\_\_\_ 150 G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No NOT INSTALLED YET

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: MISSION COUNTRY DISPOSAL
- 3. Where is the waste disposal storage in relation to buildings? TRASH TO BE LOCATED IN GARAGE
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: COAST UNIFIED SCHOOL DISTRICT
- 2. Location of nearest police station: 850 MORRO BAY BLVD
- 3. Location of nearest fire station: CAL FIRE (CDF COUNTY FIRE) - ST. 11 2250 CHANEY AVE
- 4. Location of nearest public transit stop: SOUTH OCEAN BLVD TOLD CREEK RD.
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
VACANT LOT IN RESIDENTIAL NEIGHBORHOOD
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

*Only complete this section if you are proposing a commercial or industrial project or zoning change.*

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: WE WILL FOLLOW CAL GREEN MEASURES OR GREEN BLDG. CODE

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
DESIGN OF HOUSE IS VERY COMPACT TO MINIMIZE GRADING

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?  Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): COUNTY OF SLO PLANNING DEPT. ENTITLEMENTS & A BLDG. PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



**PRELIMINARY EARTHWORK ESTIMATE  
NET SITE VOLUMES, FINISH GRADING:**

EXCAVATION: 875 CUBIC YARDS  
FILL: 0 CUBIC YARDS  
NET EXPORT: 875 CUBIC YARDS

CONTRACTOR TO VERIFY  
EARTHWORK QUANTITIES. ENGINEER  
QUANTITIES ARE ESTIMATED.

NOTE: EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES AND COULD VARY ACCORDING TO THESE FACTORS. CONTRACTOR SHALL CONFIRM EXISTING TOPOGRAPHY, SHALL REVIEW THE SITE AND THE GEOTECHNICAL REPORT(S), AND SHALL PERFORM AN INDEPENDENT QUANTITY TAKEOFF AND BID ACCORDINGLY.

ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THIS PROJECT LISTED BELOW.

GEOTECHNICAL REPORT BY: GEOSOLUTIONS, INC.  
220 HIGH STREET  
SAN LUIS OBISPO, CA 93401  
(805) 543-8530  
info@geosolutions.net

TITLE OF REPORT: ENGINEERING GEOLOGY INVESTIGATION  
2709 SANTA BARBARA AVENUE  
CAYUCOS AREA  
SAN LUIS OBISPO COUNTY, CALIFORNIA

PROJECT SL09321-1

**GEOTECHNICAL RECOMMENDATIONS**

August 18, 2015 Page No. SL09321-1

**3.0 RECOMMENDATIONS**

The following are recommended for implementation at the Site:

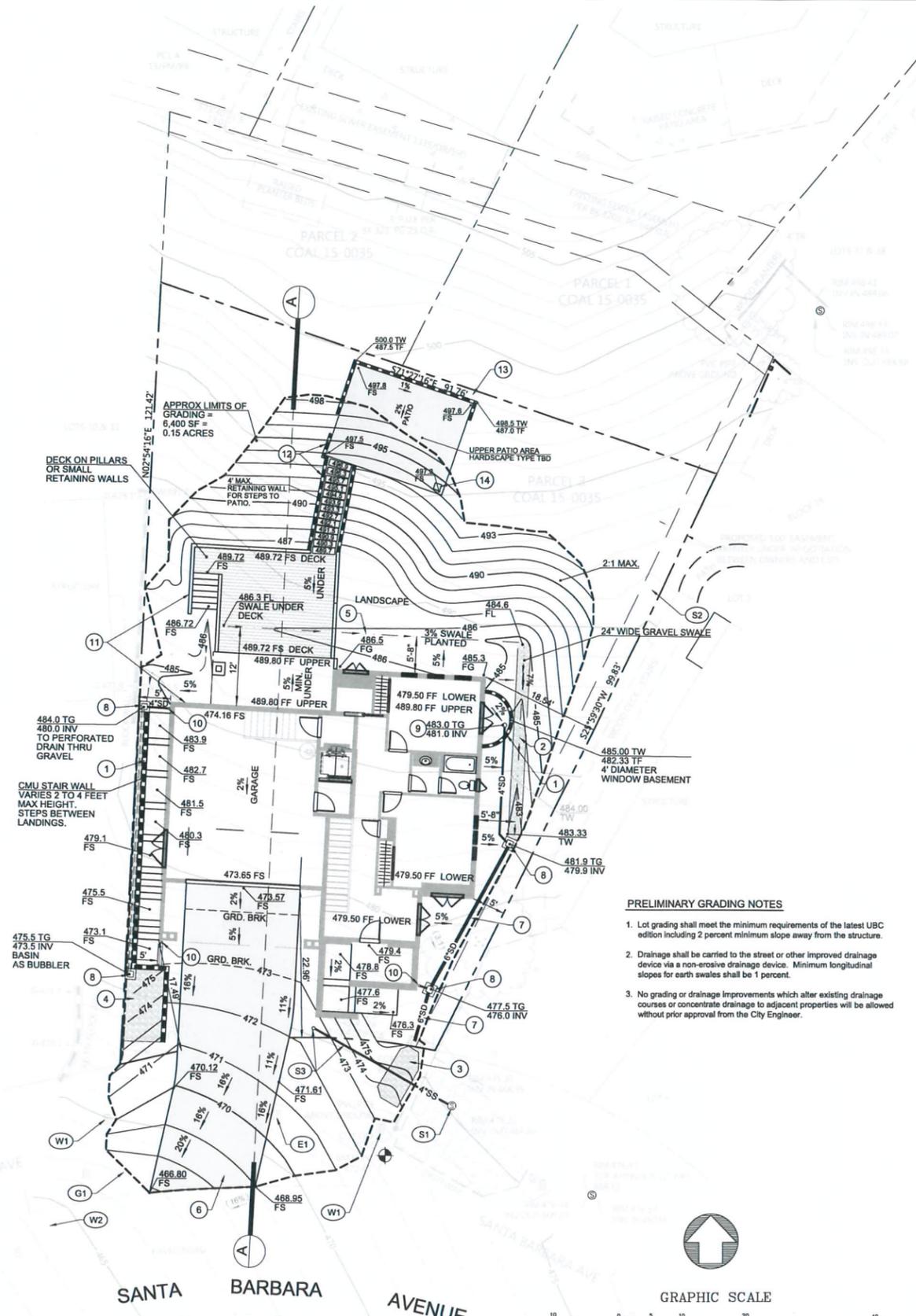
- It is recommended that the project engineering geologist review the project plans prior to construction.
- It is recommended that the recommendations within the project soils engineering report be incorporated into design.
- It is recommended that the engineering geologist observe foundation excavations during construction. This would include observation of excavation trenches prior to placement of rebar or concrete.
- It is recommended that cut slopes behind retaining walls be sloped at a minimum of 2:1 (horizontal to vertical) slope measured from the base of the proposed facing. If all of this area is recommended to be with crushed gravel and fiber fabric at the gravel soil interface. This gravel will aid in rapid drainage behind the wall and reduce soil weight on the wall.
- It is recommended that the foundations for the proposed residence (or the keyways and benches of fill slopes) be founded into Franciscan Complex material. There is a potential for differential settlement occurring between foundations supported on two soil materials having different settlement characteristics, such as native soil, landslide debris, Franciscan material, and engineered fill. It is recommended that all of the foundations be founded in equally competent uniform material. It is recommended that keyways and benches follow current Building Code guidelines.
- Cut slopes into landslide debris should anticipate weak material. Contractors should be aware that cut slopes behind walls may have to be cut at slopes less steep than 2:1 (horizontal to vertical) or shoring may be necessary.
- The following dust mitigation measures are recommended to be initiated at the start and maintained throughout the duration of the construction or grading activity.
  - Construction vehicle speed at the work site must be limited to fifteen (15) miles per hour or less.
  - Prior to any ground disturbance, sufficient water must be applied to the areas to be disturbed to prevent visible emissions from crossing the property line.
  - Areas to be graded or excavated must be kept adequately wetted to prevent visible emissions from crossing the property line.
  - Storage piles must be kept adequately wetted, treated with a chemical dust suppressant, or covered when material is not being added to or removed from the pile.
  - Equipment must be washed down before moving from the property onto a paved public road, and
  - Visible track out on the paved public road must be cleaned using wet sweeping or a HEPA filter equipped vacuum device within twenty-four (24) hours.
- Surface drainage should be controlled to prevent concentrated surface flow on either natural or constructed slopes. Surface drainage gradients should be planned to prevent ponding and promote drainage of surface water away from building foundations, edges of pavements and sidewalks or natural or man-made slopes. For soil areas we recommend that a minimum of five (5) percent gradient be maintained.
- Seepage is anticipated within landslide debris and along the interface of the landslide debris and underlying Franciscan units, and within the Franciscan material. (Franciscan Complex). Surface drainage facilities (graded swales, gutters, positive grades, etc.) are recommended at the base of cut slopes that allow surface water to be transferred away from the base of the slope. The project designer is recommended to offer specific design criteria for mitigation of water drainage behind walls and other areas of the site. This is especially important in areas of retaining walls for residences. Material such as Akademin or Asteridrin or equivalent should be installed on the wall per manufacturer's specifications. A contractor experienced in this type of installation should be consulted for this work. Drainage from the subsurface should not be connected into conduit from surface drains and should not connect to downspout drainage pipes.
- Excavation, fill, and construction activities should be in accordance with appropriate codes and ordinances of the County of San Luis Obispo. In addition, unusual subsurface conditions encountered during grading such as springs or fill material should be brought to the attention of the Engineering Geologist and Soils Engineer.
- It is recommended that the foundations for the proposed residence be in conformance with California Building Code guidelines (1806.5.3, 1806.5.6, and Figure 18-1-1). Face of the footing setback distance should be a minimum of 18 inches (measured horizontally) from the face of the slope where H is the height of slope. This setback distance need not exceed 6 feet. The Soils Engineer can provide recommendations that supersede this recommendation.
- It is recommended that numerical slope stability analyses be conducted on permanent soil or rock slopes cut steeper than 2:0-1 (horizontal to vertical).
- Fill slopes designed or constructed steeper than California Building Code requirements (2:0-1 horizontal to vertical) should be evaluated by a numerical slope stability analysis completed by the project soils engineer.
- Gutters are recommended to be installed along all sloped rooflines. Gutter downspouts should not allow concentrated drainage to discharge near the residence foundations but rather should convey the water in solid piping away from the residence and toward drainage facilities.

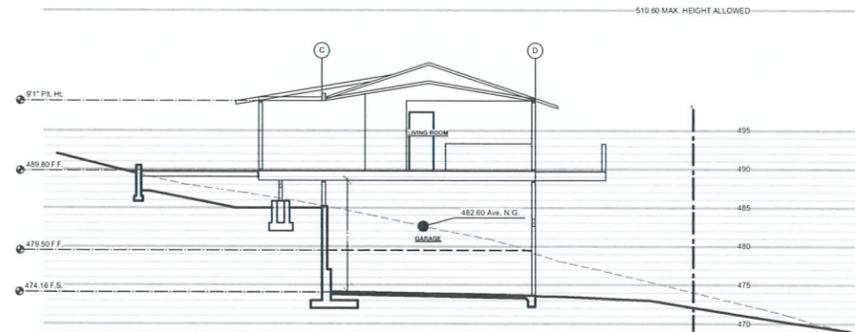
**UTILITY NOTES**

- EXISTING CAYUCOS SEWER DISTRICT MANHOLE.
- EXISTING OR PROPOSED 3" SEWER EASEMENT. PROTECT ALL SEWER LINES THRU THIS AREA.
- SEWER CLEANOUT AND 4" PVC (SDR35) SEWER LATERAL, PRELIMINARY LOCATION. COORDINATE WITH CSD FOR CONNECTION.
- EXISTING WATER SERVICE. FOR ON-SITE DOMESTIC PVC WATERLINE, CONTRACTOR TO DETERMINE ROUTE TO HOUSE HOOK-UP. TWO WATER SERVICES SHOWN ON PLAN, CHECK FOR CORRECT WM FOR THIS ADDRESS BEFORE CONSTRUCTION.
- EXISTING FIRE HYDRANT IS WITHIN 150 FEET OF PROPOSED HOUSE AT THE CORNER OF SANTA BARBARA ST AND ORVILLE AVE.
- GAS SERVICE: LOCATE GAS SUB OR SERVICE AND COORDINATE WITH LOCAL GAS PURVEYOR AT THE START OF CONSTRUCTION.
- ELECTRIC SERVICE: LOCATE ELECTRIC SUB OR SERVICE AND COORDINATE WITH LOCAL ELECTRIC PURVEYOR (PG&E) AT THE START OF CONSTRUCTION.

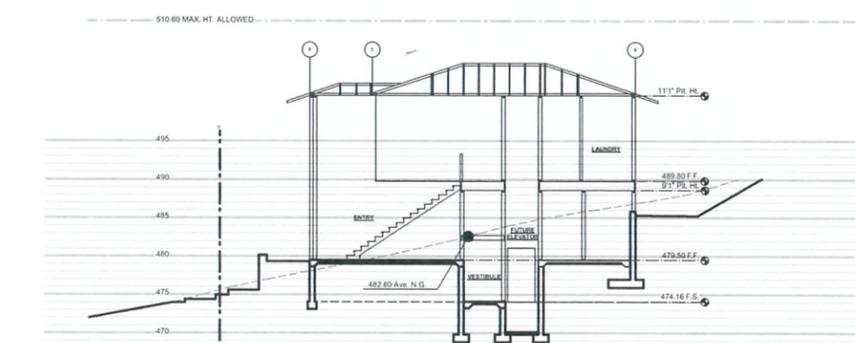
**PRELIMINARY CONSTRUCTION NOTES:**

- CMU RETAINING WALLS WILL BE PER STRUCTURAL ENGINEER'S DETAILS. TYPICAL 8" THICK CMU STONE. OPTIONAL WILL BE POURED-IN-PLACE CONCRETE WALL.
- 24" WIDE LANDSCAPED DRAINAGE SWALE. DEPTH = 4 INCHES MINIMUM. SWALE SLOPES OVER 5% SHALL BE GRAVEL OR ROCK LINED FOR EROSION CONTROL.
- INSTALL 4' x 9' ROCK DRAINAGE DISSIPATER WITH 2" TO 3" DIAMETER SIZE ROCKS. OPTIONAL - CONSTRUCT 6" CURB AROUND ROCK DISSIPATER FOR STABILIZATION.
- INSTALL 6' x 11' ROCK DRAINAGE DISSIPATER WITH 2" TO 3" DIAMETER SIZE ROCKS. OPTIONAL - CONSTRUCT 6" CURB AROUND ROCK DISSIPATER FOR STABILIZATION.
- EARTH / LANDSCAPED (VEGETATIVE) DRAINAGE SWALE. DEPTH = 4 INCHES MIN. LONGITUDINAL SLOPE = 2.0 % OR GREATER.
- DRIVEWAY (FINAL SURFACE PER ARCHITECT), 3 INCH THICK AC OR PAVERS (OR 4 INCH CONCRETE WITH NO. 4 BARS AT 18" O.C.E.W.) OVER 6 INCH THICK AGG BASE OVER 12 INCH SCARIFY AND RECOMPACT NATIVE SOIL TO 95% RELATIVE DENSITY.
- INSTALL 6" PVC PIPE AT 2% MINIMUM SLOPE.
- INSTALL 12" ROUND ATRIUM INLET, "ADS" OR EQUIVALENT. UV INHIBITED. INSTALL GRAVEL AROUND BASIN AS INLET PROTECTION. OPTIONAL - USE CONCRETE SQUARE 12x12 INLET WITH STEEL GRATE, MIDSTATE CONCRETE OR EQUIVALENT.
- INSTALL 6" ROUND BRASS OR OTHER DECORATIVE INLET ON HARDSCAPE.
- ROOF DRAINAGE WILL CONNECT TO 4" SITE DRAINS VIA 3/4" ROOF DRAINS. BEST UNDERGROUND ROUTE TO SITE DRAINS PER CONTRACTOR. ROOF DRAINS NOT CONNECTED TO SITE DRAIN PIPES SHALL FLOW TO APPROVED SPLASH BLOCK OR EQUIVALENT.
- SEE STRUCTURAL ENGINEER'S PLANS FOR FOUNDATIONS AND PATIOS. FOUNDATIONS AND PATIOS MAY HAVE EXTENDED FOOTINGS AT EDGES WHERE NEEDED.
- UPPER STEPS AND PATIO. HARDSCAPE TYPE TBD.
- PATIO WALL IS 30" MAX. HEIGHT AND 18" CLEAR OF FUTURE PROPERTY LINE. WALL TYPE TBD.
- POST CORNER (TYPICAL), IF PATIO BECOMES WOOD CONSTRUCTION.



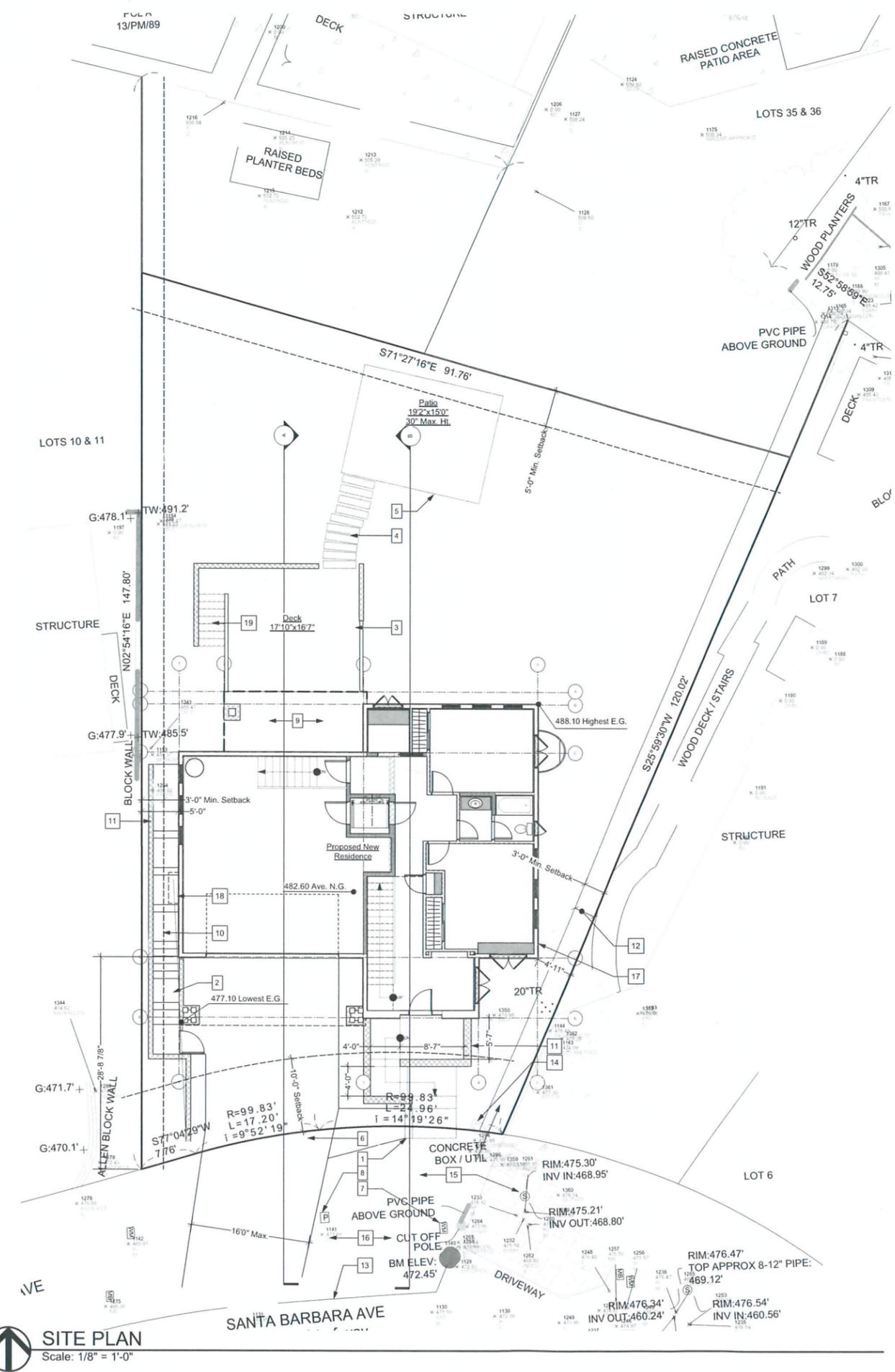


**SITE SECTION A**  
Scale: 3/32" = 1'-0"



**SITE SECTION B**  
Scale: 3/32" = 1'-0"

- SITE PLAN KEYNOTES**
1. Colored concrete steps up to entrance
  2. Steps up to sideyard
  3. Wood framed deck off of kitchen
  4. Landscape steps up to patio
  5. Proposed location of deck/patio. Deck within setbacks shall be 3'-0" Max. in height
  6. Colored concrete driveway
  7. Existing water meter vault
  8. Existing phone/cable. Relocate as required for new driveway
  9. Garden storage under floor
  10. Concrete walkway up to garden storage
  11. Retaining wall per plan
  12. Indicates 3'-0" wide sewer easement
  13. Indicates line of street pavement
  14. Existing concrete utility box
  15. Field verify for sewer line p.o.c.. Coordinate with local utility company and install per local utility company recommendations
  16. Provide for new electrical power service to site. Install service per local utility company requirements
  17. Provide for new gas meter. Connect to existing gas line at street per local utility company requirements
  18. Indicates location of fireplace above. Provide for outdoor shower this location
  19. Stairs down from deck



**SITE PLAN**  
Scale: 1/8" = 1'-0"

studio  
**2G**  
Architects, LLP  
gibson • gough

1540 Marsh Street, Suite 230  
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P 805.594.0771  
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LICENSURE ARCHITECT  
LAWRENCE T. P.  
PROFESSIONAL SEAL  
OF CALIFORNIA

**Turner Residence**  
2709 Santa Barbara  
Cayucos, Ca 93430

DATE	ISSUE
09MAR16	Initial schematics
23MAR16	Site Plan, Floor Plan and front Elevation
25MAR16	Site Plan, Sections, Floor Plan and Elevation
05MAY16	Schematics to Owner
06JUN16	MUP Submission

JOB NUMBER  
**1617**

**SITE PLAN**

SHEET NUMBER  
**AC1.0**  
FLOOR PLANS  
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**EXTERIOR ELEVATIONS GENERAL NOTES:**

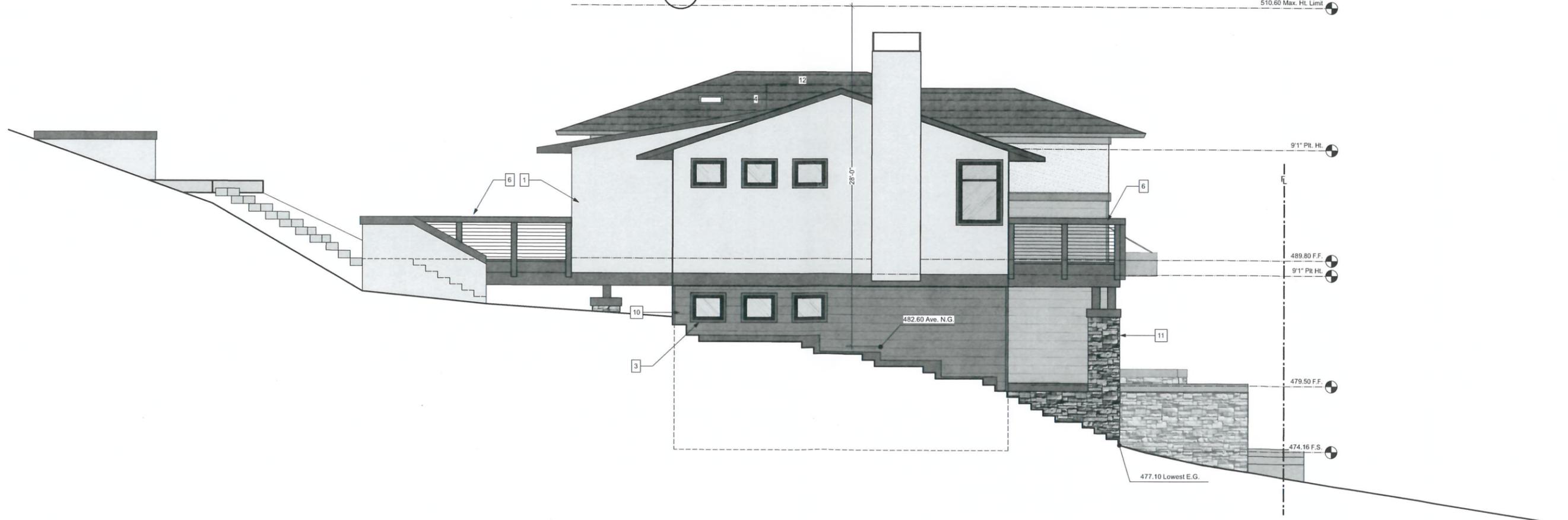
- EXTERIOR FINISHES AND COLORS TBD**
- FLASHING:** PROVIDE FLASHING AND COUNTER-FLASHING PER CBC 2013 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOB. FLASHING AND COUNTER-FLASHING SHALL BE MIN. 26 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL (I.E. AT ROOF PENETRATIONS, LOUVERS, ETC.)
- LATH AND PLASTER:** EXTERIOR PLASTER TO COMPLY WITH U.B.C. AND SHALL CONSIST OF A BASE (SCRATCH) COAT, FINISH (BROWN) COAT, AND A (FINAL) COLOR COAT. PROVIDE GALV. EXTERIOR CORNER BEADS AND INTERIOR CORNER REINFORCING.
- WEEP SCREEDS** SHALL BE A MINIMUM 0.019-INCH (0.48mm) (NO. 26 GALV. SHEET GAGE) CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS RECEIVING EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED
- WEATHER RESISTIVE BARRIERS** SHALL BE INSTALLED AS REQUIRED IN SECTION 1404.2 PER 2010 CBC, AND WHEN APPLIED OVER WOOD BASE SHEATHING, SHALL INCLUDE TWO LAYERS OF GRADE D PAPER (per 2510.6 2010 CBC)
- GUTTER AND DOWNSPOUTS** SHALL BE INSTALLED ON ALL ROOF AREAS U.N.O. ALL GUTTERS SHALL BE PAINTED U.N.O. ALL DOWNSPOUTS SHALL BE ALUMINUM PAINTED (U.N.O.)
- WHERE APPLICABLE, CHIMNEY CAPS, EXTENSIONS, FLUES AND INSERTS MAY REQUIRE AN EPA APPROVED CATALYTIC CONVERTER OR EQUAL PER COUNTY OF SAN LUIS OBISPO AIR QUALITY REQUIREMENTS. VERIFY WITH LOCAL JURISDICTIONS FOR TYPE, SPECIFICATIONS AND ADDITIONAL INFORMATION
- WHERE APPLICABLE, A SPARK ARRESTOR, WITH MIN. 1/4" WIRE MESH, SHALL BE INSTALLED ON ALL CHIMNEYS

**EXTERIOR ELEVATION KEYNOTES**

- Exterior plaster finish-Typ.
- Fiber Cement Trim, Prime and paint
- Fiberglass window system per plan
- Roofing per plan
- Metal Canopy with wood trim and craftsman style hardware
- Cable Rail for minimal view blockage
- Cloacy sectional garage door, Modern steel collection
- Wood trim at columns, Prime and paint
- Steps up to sideyard
- Hardie fiber cement lap-siding, 8" reveal
- Cultured Stone ledgestone finish
- Metal chimney cap



**EXTERIOR ELEVATION-SOUTH**  
Scale: 1/4" = 1'-0"



**EXTERIOR ELEVATION-WEST**  
Scale: 1/4" = 1'-0"

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LICENSED ARCHITECT  
STATE OF CALIFORNIA  
No. 43117A

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Cayucos, Ca 93430

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**EXTERIORS**

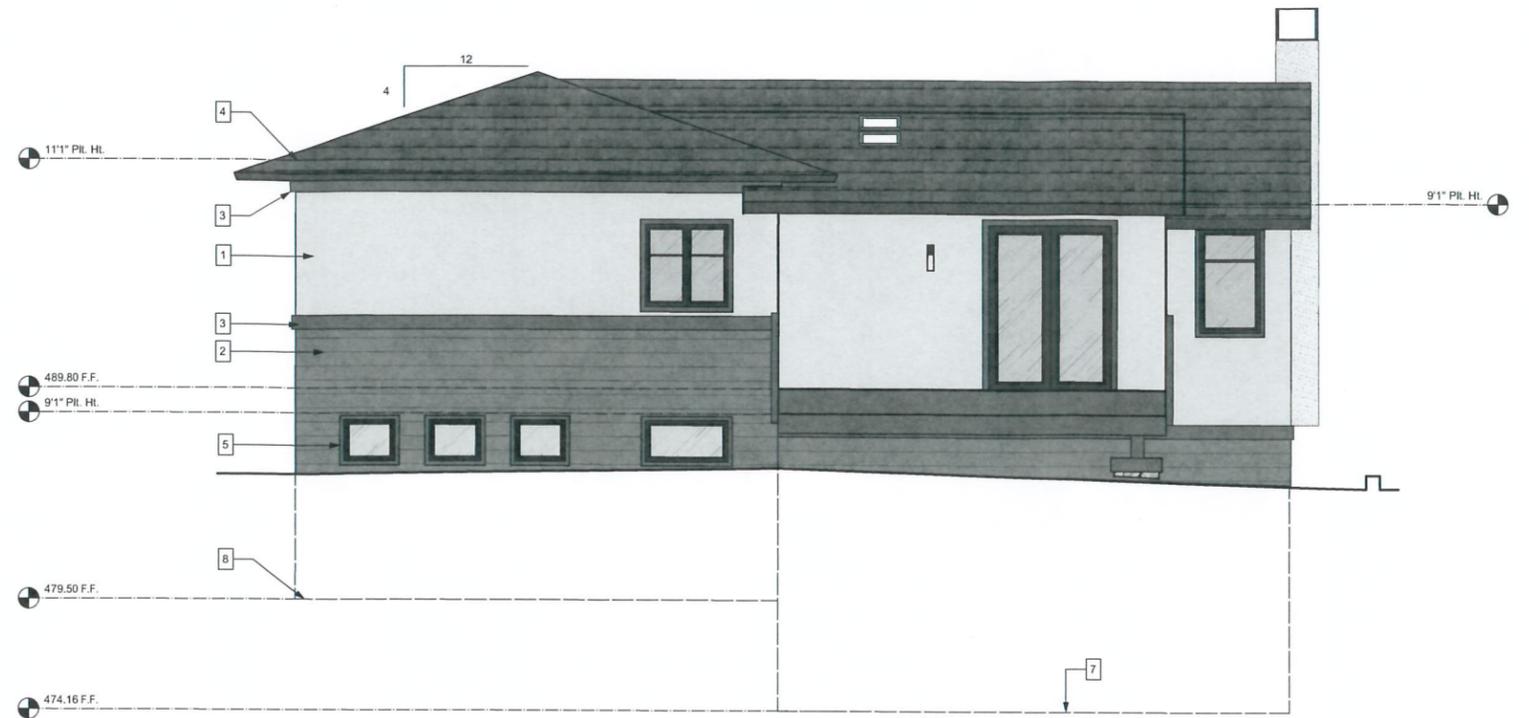
SHEET NUMBER  
**A9.0**  
EXTERIORS

**EXTERIOR ELEVATIONS GENERAL NOTES:**

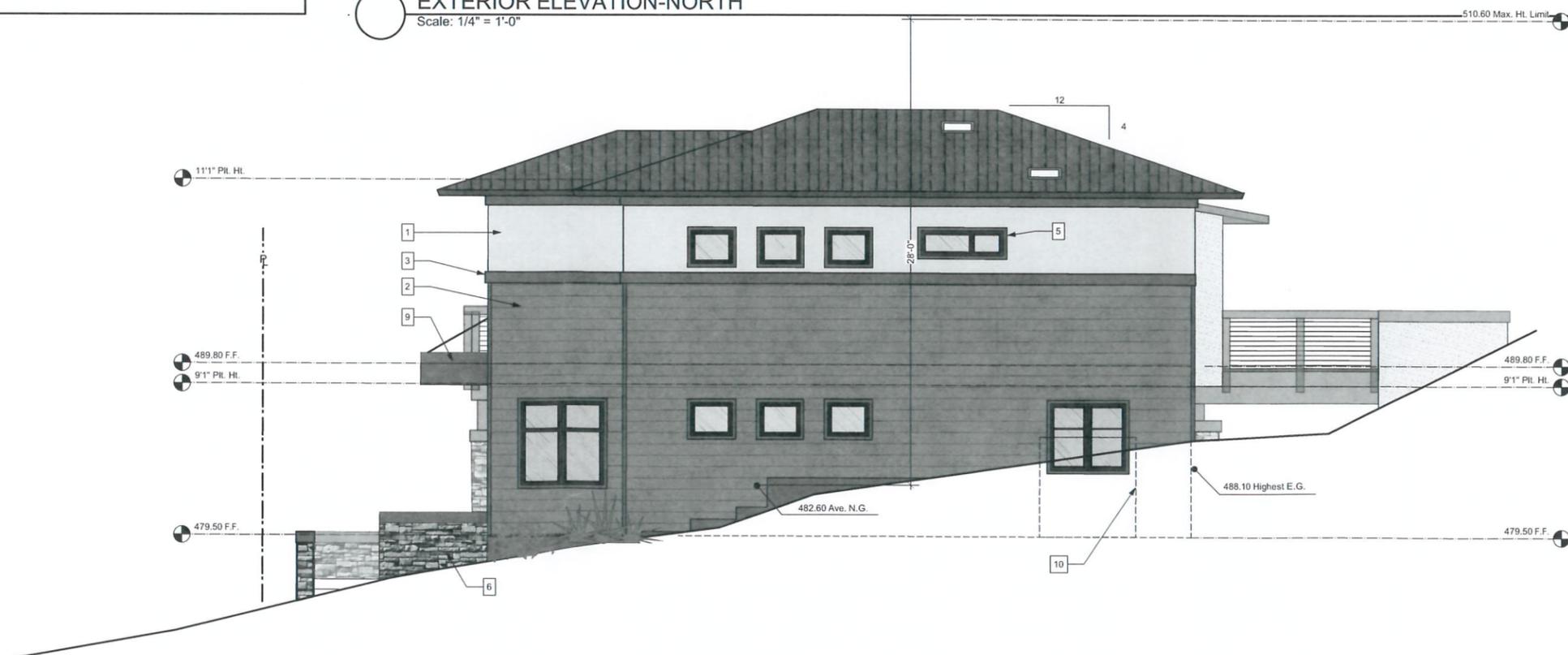
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**EXTERIOR ELEVATION KEYNOTES**

1. Exterior plaster finish-Typ.
2. Hardie fiber cement lap-siding, 8" reveal
3. Fiber Cement Trim. Prime and paint
4. Roofing per plan
5. Fiberglass window system per plan
6. Cultured Stone ledgerstone finish
7. Indicates line of garage floor
8. Indicates line of first floor
9. Metal Canopy with wood trim and craftsman style hardware
10. Dashed line indicates outline of window well



EXTERIOR ELEVATION-NORTH  
Scale: 1/4" = 1'-0"



EXTERIOR ELEVATION-EAST  
Scale: 1/4" = 1'-0"



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**EXTERIORS**

SHEET NUMBER  
**A9.1**  
EXTERIORS







064-203-070

CANTON

CANTON

CANTON

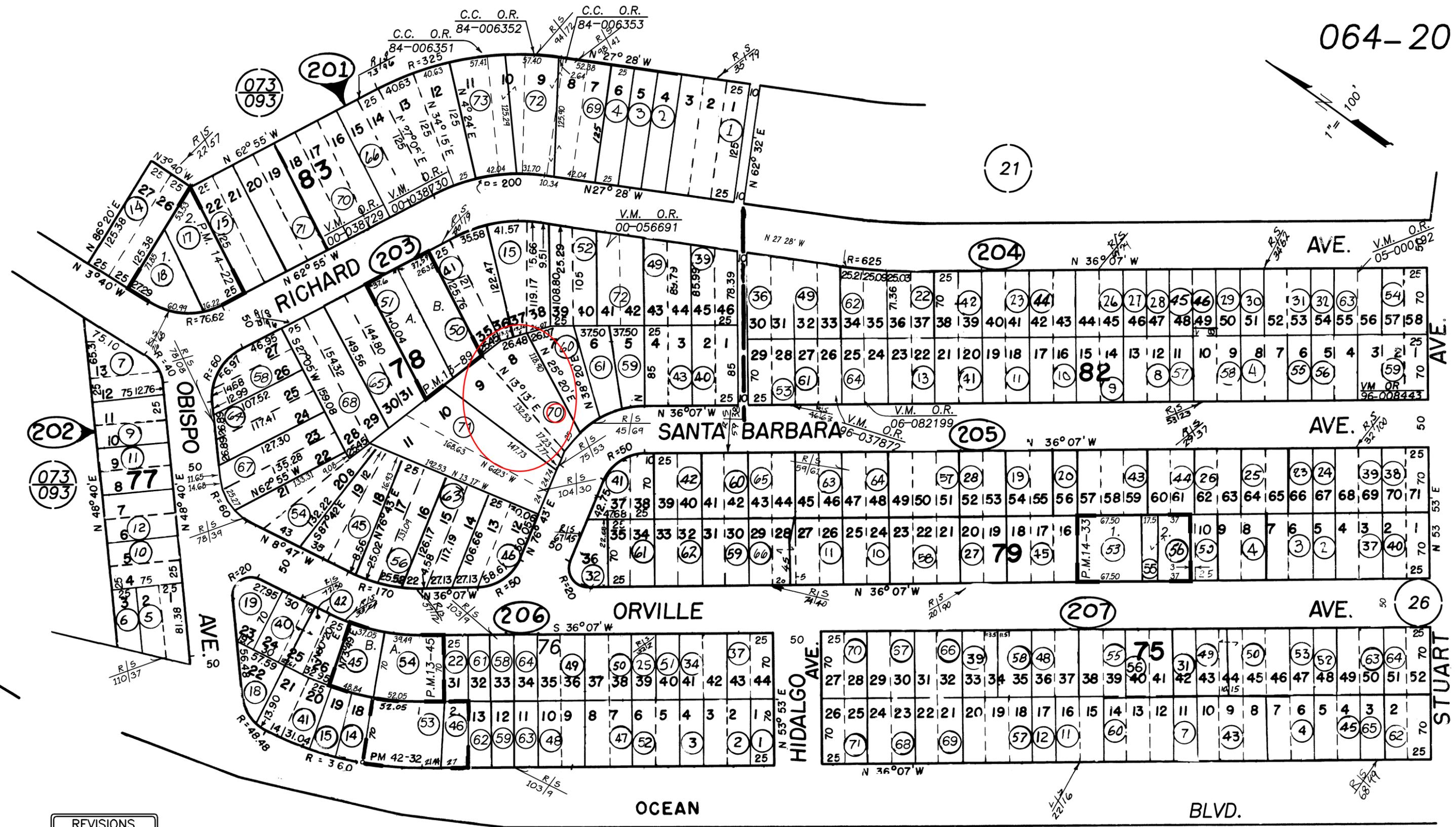
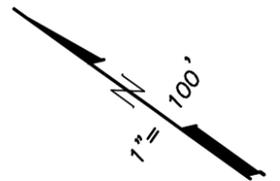
CANTON

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CANTON



REVISIONS	
I.S.	DATE
NA	10-07-03
06-004	07-01-05
07-268	12-12-06
07-276	12-26-06
08-026	03-19-07



LZ 9/18/97 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

25



# Parcel Summary Report For Parcel # 064-203-070

6/14/2016  
8:41:55AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    DAVIS JAMES A III  
           101 LOMBARD ST UNIT 208W SAN FRAN CA 94111-

OWN    DAVIS LINDA M

### Address Information

Status            Address  
 P                    02709 SANTA BARBARA AV CAYU

### Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL15-	0035	1P						Y	L2	

### Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL15-	0035	0003	Cayucos	Estero Plannin	RSF	LCP	GS	Y		
COAL15-	0035	2P	Cayucos	Estero Plannin				Y	L2	

### Parcel Information

Status    Description  
 Active    MORRO STR U5 BL 78 LTS 8 & 9

### Notes

APN (2 UNDERLYING LEGAL LOTS) SUBJECT TO LOT CONSOLIDATION. KN

### Tax Districts

COAST (SB1537)  
 CAYUCOS  
 SAN LUIS OBISPO JT(27,40)



# Parcel Summary Report For Parcel # 064-203-070

6/14/2016  
8:41:56AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

CAYUCOS-MORRO  
CAYUCOS COUNTY  
NO. 02  
CAYUCOS  
AREA NO. 10  
AREA NO. 21  
AREA NO. 10, ZONE A

### **Case Information**

**Case Number:**

**Case Status:**

DRC2015-00140      REC      Primary Parcel

**Description:**

A NEW 2 STORY 2,498 SF SFR WITH 2-CAR GARAGE (675SF) AND 563 SF OF DECK, GRADING BETWEEN 20-30%.

PMT2002-26677      EXP      Related Parcel

**Description:**

GRADING FOR 2 SFRS BL78 LOTS 8,9,10,11 SEE B001897/2 FOR LOTS 10,11

PRE2014-00038      MET      Related Parcel

**Description:**

LOT LINE ADJUSTMENT

SUB2014-00053      RDD      Related Parcel

**Description:**

MOVE PROPERTY LINES TO EQUALIZE LOT SIZES AND ALLOW SPACE FOR LANDSCAPING