



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 7/19/2016

TO: _____

FROM: Brandi Cummings (805-781-1006 or bcummings@co.clo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2016-00001 SUVANTO – Proposed minor use permit to enclose existing exterior entry stairs (216 SF) interior (walls, cabinets, etc.) for a new total of 2323 SF. Project location is 486 Bristol Street in Cambria.
APN: 022-181-018

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building



APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2016-00001 SUVANTO ALLEN I
 MINOR USE PERMIT
 ENCLOSE EXISTING EXTERIOR ENTRY
 STAIRS (216 SQFT) INTERIOR (WALLS,
 NOCST/ CAMB
 AS GS LCP RSF TH

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Allen & Marci Suwanto Daytime Phone (559) 790-3360
 Mailing Address 880 Birch Clovis CA Zip Code 93611
 Email Address: marcisuwanto@yahoo.com

Applicant Name Allen & Marci Suwanto Daytime Phone (559) 790-3360
 Mailing Address 880 Birch Clovis Zip Code 93611
 Email Address: marcisuwanto@yahoo.com

Agent Name Andy Hatchison Daytime Phone (559) 760-0156
 Mailing Address 48751 RD 620 OAK HURST, CA Zip Code 93644
 Email Address: andyh@sti.net

PROPERTY INFORMATION

Total Size of Site: 5250 SQ FT Assessor Parcel Number(s): 22-181-18
 Legal Description: LOTS 32, 33, 34 CAMPRA PINES SUBDIVISION UNIT 5
 Address of the project (if known): 4860 BRISTOL STREET
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: WINDSOR BLVD TO BRISTOL ST TO ADDRESS

Describe current uses, existing structures, and other improvements and vegetation on the property:
EXIST. SFD W/ GARAGE GAZEBO, FENCE, TYP RESIDENTIAL LANDSCAPE

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): ENCLOSE EXIST. EXTERIOR ENTRY STAIRS (216 #) INTERIOR CHANGES (WALLS, CABINETS, ETC.) NEW TOTAL SQ FT = 2323

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Allen Suwanto, Marci Suwanto Date 4/21/16

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: DRIVEWAY OFF OF BRISTOL ST.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: Residential
East: Residential West: Residential

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2323 sq. feet 44 % Landscaping: 3028 sq. feet 58 %
Paving: 1615 sq. feet 19 % Other (specify) _____

Total area of all paving and structures: 2222 sq. feet acres

Total area of grading or removal of ground cover: PROPOSED sq. feet acres

Number of parking spaces proposed: 5 EXIST. Height of tallest structure: _____

Number of trees to be removed: _____ Type: _____

Setbacks: Front 10' Right 3' Left 3' Back 5'

Proposed water source: On-site well Shared well Other Cambria Community Service

Community System - List the agency or company responsible for provision: District

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: Cambria Wastewater

Do you have a valid will-serve letter? Yes No (If yes, please submit copy) Department

Fire Agency: List the agency responsible for fire protection: Cambria Fire Department
Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 (exist) Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: 1361.7

Total of area of the lot(s) minus building footprint and parking spaces: 2881

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: .12 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: existing residence
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: BRISTOL STREET

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system EXISTING
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: existing SFD
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
 Bacteriological? Yes No
 Chemical? Yes No
 Physical Yes No
 Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

N/A

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

N/A

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
 Distance to nearest sewer line: 25' Location of connection: ROAD
2. What is the amount of proposed flow? SFD TYPICAL G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: _____
- 3. Where is the waste disposal storage in relation to buildings? _____
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Coast Unified School District
- 2. Location of nearest police station: Monterey County Sheriff's Department
- 3. Location of nearest fire station: Cal Fire San Luis Obispo County Fire Station 10
- 4. Location of nearest public transit stop: NA
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? 1-2 miles feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property: N/A
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

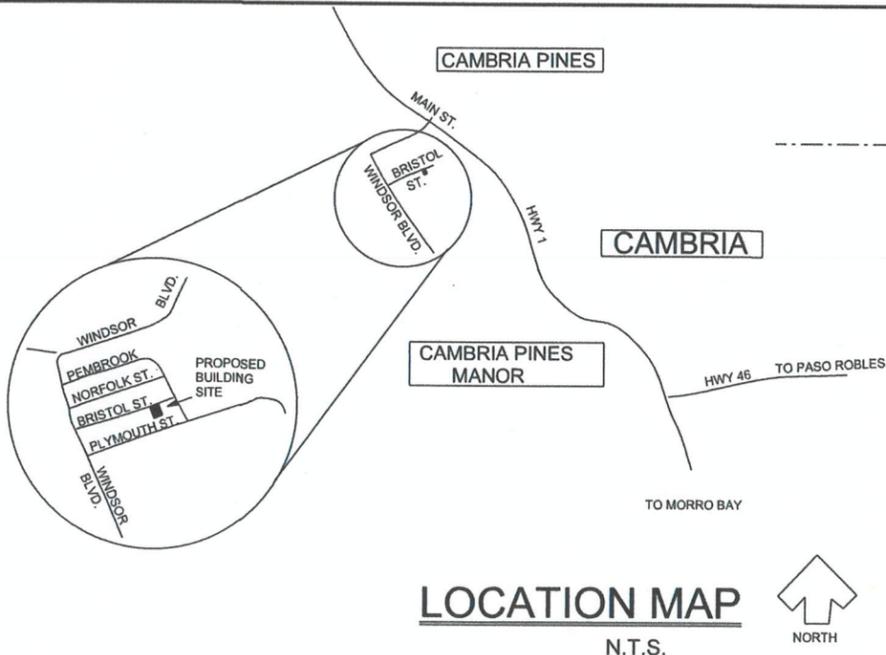
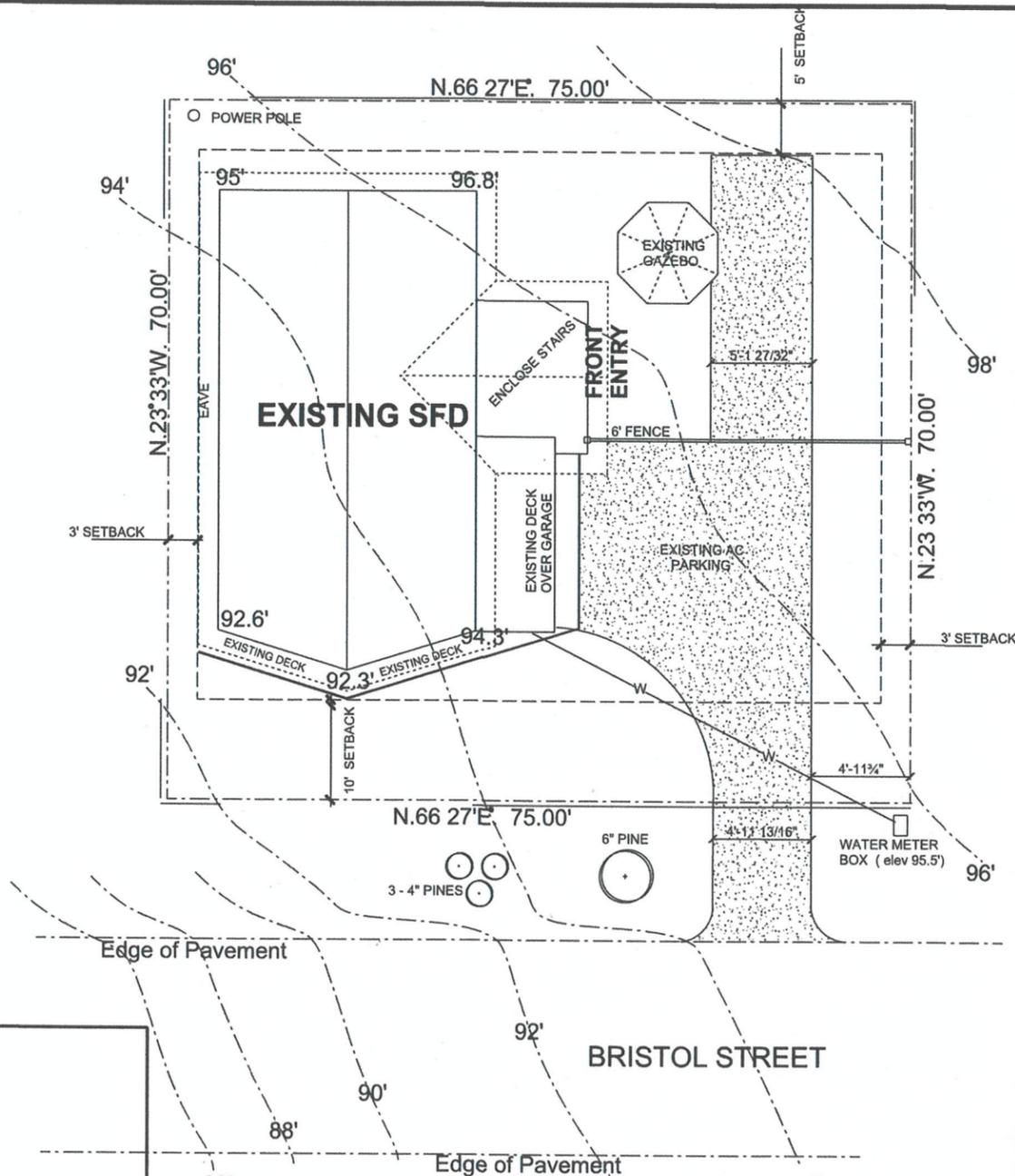
1. List any mitigation measures that you propose to lessen the impacts associated with your project:
TYPICAL WASTE MANAGEMENT AND DISPOSAL

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING PERMIT

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



SITE PLAN

1" = 10' 1/2" 1/4"

JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE
 Contractor to locate and expose all property corners and string property lines prior to the foundation inspection

GENERAL NOTES:

1. Locate and expose all property corners and string property lines prior to the foundation inspection.
2. Provide and maintain toilet facilities at the job site. Chemical toilets are acceptable.
3. Provide inspection card and an approved set of plans at the job site.
4. Street address to be posted at driveway entrance and visible from roadway.
5. Finish floor elevation shall be above the crown of the street.
6. All construction shall comply with adopted codes, ordinances, and policies of the governing agency and the latest editions of the following:
 California Residential Code (CRC)
 California Plumbing Code (CPC)
 California Mechanical Code (CMC)
 California Fire Code (CFC)
 California Electrical Code (CEC)
7. The general contractor shall be responsible for the verification of all dimensions, grades, and other conditions, and shall correlate all such items at the jobsite.
8. Contractor to provide to the building division a completed CEC Form CF-6R prior to the request for a final inspection. It is understood that no final inspection shall be made until this form is submitted.

SAN LUIS OBISPO COUNTY PLANNING AND BUILDING DEPARTMENT (805) 781-5600
CAMBRIA FIRE DEPARTMENT (805) 927-6240
CAL FIRE (805) 927-4262

PROJECT INFORMATION:
 Alterations to SFD
 486 Bristol Street
 Cambria, CA 93428
 Living Space: Existing 2107 sq ft
 Addition 216 sq ft
 Removed
 New Total 2323 sq ft

Porch/Patio/Deck: addition, 108.5 sq ft
 Garage: N/A
 OCCUPANCY: R-3, U1
 CONSTRUCTION: V-B
 OCCUPANCY CATEGORY: II

APN: 22-181-18
 GPS Coordinates:
 Latitude: 35.565429 Longitude: -121.104518
 Elevation: 110'
 Climate Zone: 5
 Design Floor Live Load: 40 psf
 Design Roof Live Load: 20 psf
 Design Ground Snow Load: N/A
 Design Basic Wind Speed: 85 mph
 Design Wind Exposure: C
 Method for Wind Design: SIMPLE
 Design Seismic Soil Site Class: D
 Spectral Response Ss: .636
 Spectral Response S1: .235
 Spectral Response Sds: .589
 Spectral Response Sd1: .309
 Seismic Design Category: D
 Soil Bearing Capacity: 1500 psf
 Seismic Design Method: Equiv. Lat. Force Proc.
 Water Pipe: Copper, PEX
 Sewer Pipe: ABS

OWNER:
 Marci and Allen Suvanto
 880 Birch
 Clovis, CA 93611
 (559) 790-3360

BUILDER:
 DNK Construction
 Dave Casner
 P.O. Box 544 Ahwahnee, CA 93601
 (209) 966-2767
 Lic. # 553524

PLANS:
 Andrew B. Hutchison, general contractor
 48751 Road 620 Oakhurst, CA 93744
 (559) 760-0156 (559) 683-2918
 Lic. # 415779

ENGINEERING :

NOTE: This project is an addition to an existing single family dwelling. The original dwelling was constructed prior to 2008 and prior to WUI requirements. This project, being an addition to the original dwelling, is exempt from WUI requirements.

ENERGY CONSERVATION NOTES:

- The contractor (or the person with overall responsibility for construction, or persons responsible for the installation of regulated manufactured devices) shall make available to Madera County building inspection staff the Installation Certificates for manufactured devices regulated by the Appliance Efficiency Regulation or Part 6 (forms CF-6R) prior to the request for a final inspection. It is understood that no final inspection will be made until these forms are submitted. Title 24, EES, Part 1, Section 10-103 (a)(3)(A-C)
- After installing wall, ceiling, or floor insulation, the insulation installer shall post in a conspicuous location in the building, a certificate (page 12 of CF-6R) signed by the installer, stating that the installation is consistent with the plans and specifications for which the building permit was issued. The certificate shall also state the manufacturer's name and material identification, the installed R-value, and (in applications of loose fill insulation) the minimum installed weight per square foot consistent with the manufacturer's labeled density for the desired R-value. Title 24, EES, Part 1, Section 10-103(a)(4).
- Builder shall provide the building owner at occupancy the appropriate Certificates of Compliance and a list of the features, materials, components, and mechanical devices installed in the dwelling unit and instructions on how to operate and maintain them efficiently. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. Title 24, EES, Part 1, Section 10-103 (4) (c) (1-2).
- A set of installation certificates CF-2R-ENV-HERS shall be field verified by a third party HERS rater. Items listed under "Special Features" are required to be verified in the field.
- A set of CF-3Rs labeled ENV and MECH that are applicable to the construction project are required to be assembled and posted at the building site. Copies of the CF-2R are to be provided to the Builder, HERS provider, and San Luis Obispo County Building Inspection staff for every home that utilizes HERS verification for compliance.
- This building design meets the requirements of Section 1403(c) Title 24, CCR

HERS TEST REQUIRED FOR DUCTING ON NEW SYSTEM

INDEX TO DRAWINGS

- 1 Site Plan, Gen. Information
- 2 Floor Plan
- 3 Foundation Plan
- 4 Elevations
- 5 Floor Framing
- 6 Roof Framing
- 7 Cross Sections
- 8 Details
- 9 Structural Page
- 10 Electrical
- 11 Mechanical
- 12 CalGreen
- 13 Title 24

NOTE: THE CONTRACTOR SHALL INSPECT ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN THOSE AND WHAT IS SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR MATERIAL QUANTITIES REQUIRED, INCLUDING ENGINEERING AND ALL APPLICABLE CODES TAKE PRECEDENCE IN ANY DISCREPANCIES.

Suvanto Remodel
 486 Bristol Street Cambria, CA 93428

Andrew B. Hutchison, general contractor
 48751 Road 620 Oakhurst, CA 93644
 (559) 683-2918 Cont. Lic. #415779

DATE	6/11/15
DRAWN BY	ABH
SCALE	AS NOTED
REVISIONS	
1	

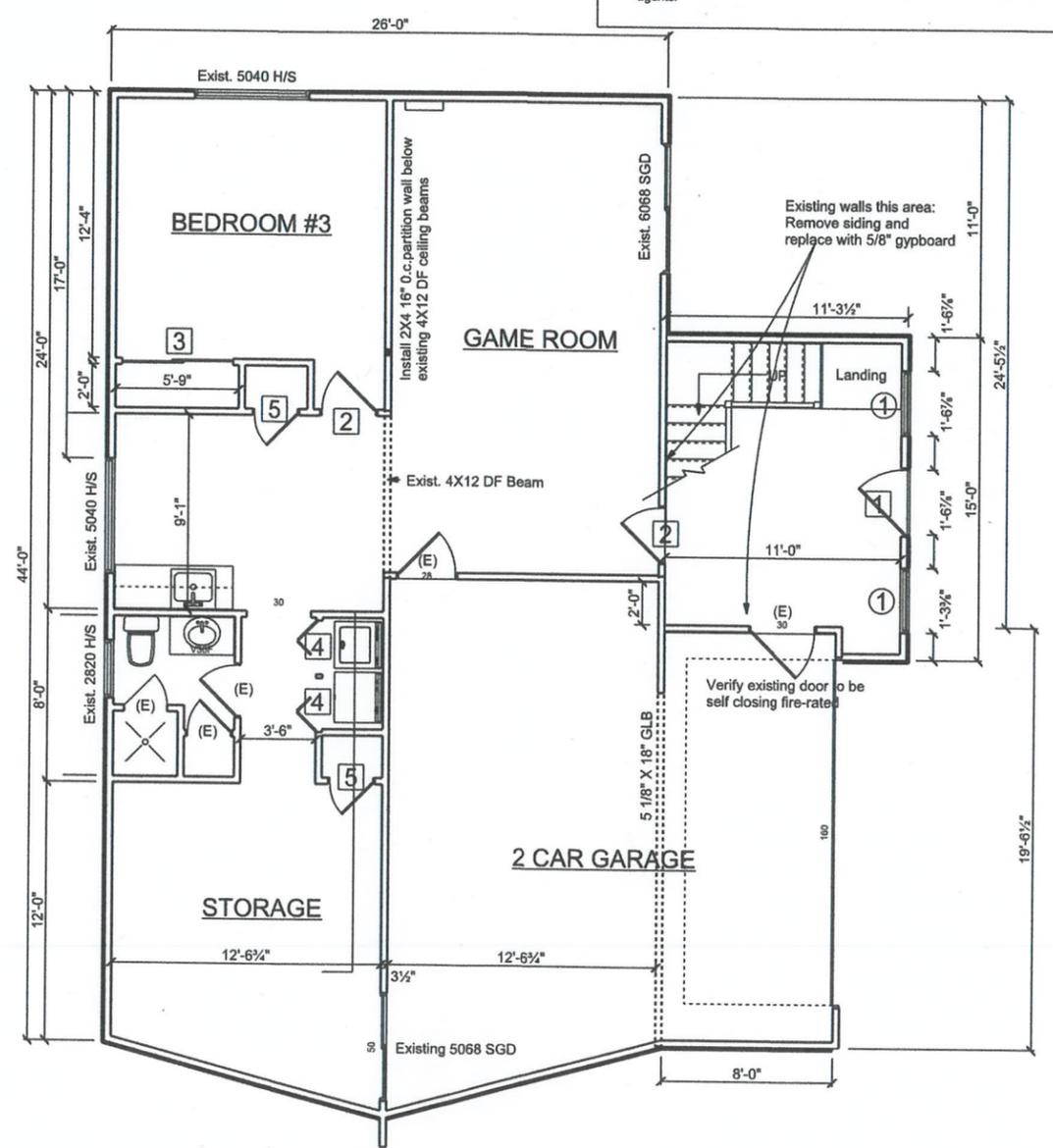
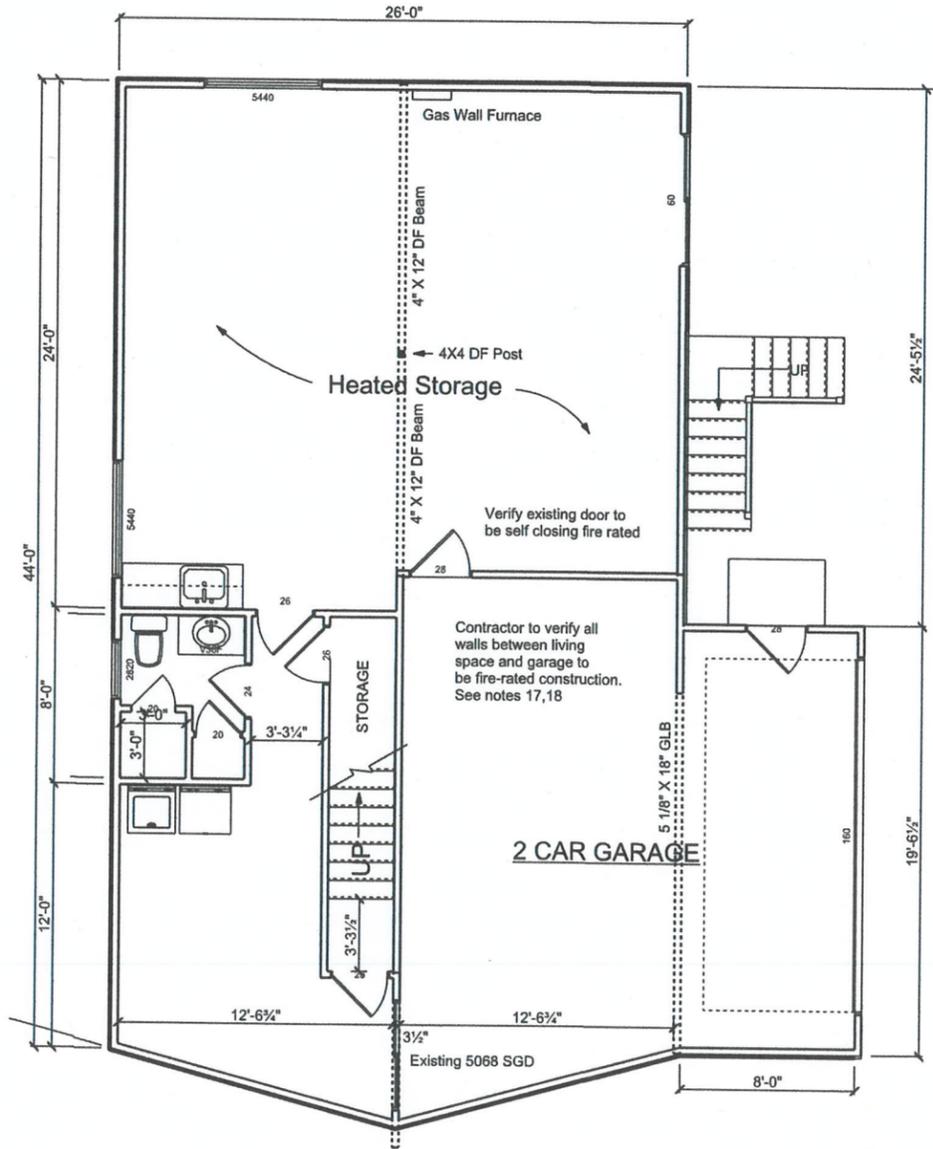
WINDOW AND DOOR SCHEDULE						
ITEM	#	SIZE	TYPE	MATERIAL	TEMPERED	NOTES
1	4	3040	CASEMENT	dbl glazed vinyl	YES	
1	1	3068	FRENCH	wood, glass	YES	
2	3	2668	Oak slab	wood		
3	1	5068	BIPASS	wood		
4	2	3068	BIFOLD	wood		
5	2	2068	Oak slab	wood		

W WATER HEATER REQUIREMENTS:

- Combustion air requirements: 1/1000 X BTU of unit = sq. in. required. Min. requirements: 50 sq. in. air opening to outside air within 12" of ceiling and within 12" of floor.
- Water heaters to be provided with a temperature and pressure relief valve having a full sized drain of galvanized steel or hard drawn copper to the outside of the building with the end of the drain pipe not more than 24" or less than 6" above the grade, pointing downward, with the end being unthreaded. Terminating inside a garage is not permitted.
- Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one-third (1/3) and lower one-third (1/3) of its vertical dimensions. At the lower point, a minimum of four (4) inches shall be maintained above the controls with the strapping.
- Water heaters located in a garage and generating a glow, spark, or flame must be a minimum of 18" above the floor level. Water heaters installed in a separate enclosed space having access only from outside of the garage may be installed at floor level if combustion air is taken from the exterior of the garage.
- Gas fired water heaters shall be installed in an approved LPG pan with a drain to the outside of the building.
- Water heaters located in areas where they may be subjected to mechanical or physical damage shall be suitably guarded against such damage by use of barriers or locating the water heater out of the path of any damage-causing agents.

C CONSTRUCTION REQUIREMENTS

- Bedrooms to have at least one exterior door or window for egress. Minimum window dimensions: 5.7 total sq. ft., 24" clear height, 20" clear width. Maximum sill height: 44" above finished floor.
- Window areas for habitable rooms to be min. 8% of floor area. Provide operable windows for all habitable rooms, with opening equal to 4% of floor area. Window area for bathrooms and laundry rooms of 15 sq. ft. or larger to be min. 1/20 of floor area. When under 15 sq. ft., provide exterior window with not less than 1-1/2 sq. ft. opening. In bathrooms, laundry rooms, etc., in lieu of natural ventilation, provide mechanical ventilation equal to 5 air changes per hour.
- Habitable rooms shall have a minimum ceiling height of 7'6". Hallways, bathrooms, etc. to be minimum 7'.
- Minimum headroom for stairways to be 6'8". Minimum width to be 36".
- Minimum width for hallways to be 36".
- Stairs to be max. 7 3/4" riser and 10" min. tread. Handrail to be 34" to 38" above tread nosing. Handgrip on rail to be 1 1/2" to 2" in cross-section or the shape shall provide an equivalent gripping surface, 1 1/2" between wall and rail.
- Guardrails are required on all stairs, porches, decks, etc. over 30" in height. Guardrails shall be min. 42" in height with no openings to allow an object 4" in diameter to pass through. Max. opening on stair railings to be less than 5" between railing and intersection of tread and riser. (See detail in these drawings)
- Guardrails shall be designed to resist a horizontal force of 20 lbs. per sq. ft. applied at the top of the railing.
- Exterior balconies, stairs, decks, etc. shall be positively anchored to the primary structure at not more than 8" on center. Toenailing or nails subject to withdrawal shall not be used in lieu of anchors.
- All glazing within 18" of finished floor, within 24" of door openings, within 60" of tubs and shower floors, sliding glass doors, tub and shower doors, or anywhere else subject to human impact while walking to be tempered.
- Glazing having a rough opening area greater than 9 sq. ft. and when located in hazardous locations as defined in CBC 2406 shall meet provisions of CBC 2406.
- Cement, fiber cement, or glass mat gypsum shall be used as a base for tile in tub and shower areas, and wall and ceiling panels in shower areas. Materials shall conform to ASTM C 1178, C1288 or C 1325 and shall be installed according to manufacturer's instructions.
- Bathrooms: Provide 30" min. width for toilets, with 15" on each side and 24" clear in front. Shower/tub doors to be min. 22" wide and sliding or out-swinging. Shower/tub walls to be impervious to min. 70" from floor. Bathtubs to have min. 12" X 12" access at drain, or welded plastic drain fittings. Provide spaltub access per manufacturer. Toilets shall have an effective flush volume of 1.28 gallons.
- Shower and tub/shower combinations shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type, having a maximum mixed water setting of 120 degrees. CPC 414.5.
- Unprotected combustible material to be 30" min. above kitchen ranges, 24" if protected.
- Interior walls to be Class C flame spread per CBC 803.5.
- All supporting framework and columns in garages beneath another story to be one-hour fire resistive construction and jacked for protection against damage.
- Use materials approved for one-hour fire resistive construction on the garage side and adjacent to the house from floor to roof sheathing. When attic separation is not provided directly above the wall adjacent to the living area, walls supporting the ceiling must be of one-hour fire resistive construction. Use 1 3/8" solid wood self-closing door. This includes attic access doors. Ducts to be constructed of No. 26 gauge sheet metal.
- Flames on all gas-fired appliances shall not be less than 18" from finished floor. Provide metal pan with drain to outside.
- Provide dryer vent to outside of building. Dryer vents to be max. 14" with 2" subtracted for each 90 degree bend. Provide backdraft prevention at terminus.
- Combustion air for water heaters: 1/1000 X BTU of unit = sq. in. required. Min. requirements for both: 50 sq. in. air opening to outside air within 12" of ceiling and 12" of floor.
- Combustion air for Forced Air Units: BTU of unit = sq. in. required. Min. requirements for both: 50 sq. in. air opening to outside air within 12" of ceiling and 12" of floor.
- Provide an approved waterproofing wrap under wood siding. CBC 1404.2.
- Top of floor to be 6" min. above finished grade with a min. 2% slope away from the building for min. 10' or as limited by property lines.
- Any vertical cut or fill differential in excess of 12" between adjacent properties shall be supported by an approved retaining wall. Wood retaining walls shall not be used to retain more than 24" of soil.
- Retaining walls that are 2' or more in height measured from the bottom of the footings, posts, keys, or structures, to the top of the wall and that retain 12" or more of soil require a permit and inspection. Submit engineered design.
- Provide Certificate of Insulation signed by installer prior to final inspection.
- Roofs to be Class A or better. Certified by installer east of Madera Canal.
- Provide approved carbon monoxide alarm in dwelling units and sleeping units within which fuel burning appliances are installed, including all dwelling units with attached garages.
- There shall be a floor or landing on each side of a door. Such floor or landing shall be at the same elevation on each side of the door.
- All exterior windows and glazing shall be insulating glass units with a minimum of one tempered pane meeting the requirements of Section 2406, or glass block units, or have a minimum 20 minute fire resistive rating per NFPA 257, or conform to the requirements of SFM 12-7A-2.
- All exterior doors shall conform to the requirements of SFM 12-7A-1, or shall be of approved non-combustible materials, or minimum 1 3/8" solid core, or shall have a minimum fire resistive rating of 20 minutes per NFPA 252.
- All flashings shall be installed in such a manner as to prevent moisture from entering the wall or to redirect it to the surface.
- All exterior doors shall have a landing on the outside of the door. Landing to be min 36" in direction of travel and the full width of the door. In Group R-3 occupancies, there shall be a landing at all exterior doorways. Landing shall be not more than 7 3/4" below the top of the threshold, provided the door does not swing over the threshold. Landing shall be a minimum of 36" in the direction of travel, and the full width of the door or stairway, whichever is greater. Threshold height in R-2 & R-3 shall be limited to 3/4" for sliding glass doors and 1/2" for other doors. EXCEPTION: Thresholds shall be limited to 7 3/4", provided the door is an exterior door, is not a means of egress, does not swing over the landing or step, and is not on an accessible route or part of an accessible or accessible dwelling unit.
- Combustible materials shall be a minimum of 2" from flues, chimneys, and fireplaces, and 6" from flue openings.
- Sleeves shall be provided to protect all piping through concrete and masonry walls and concrete floors.
- All shower compartments, regardless of shape, shall have a minimum finished interior of 1024 sq inches and shall be capable of encompassing a 30" circle.
- Provide non-removable backflow preventers on all hose bibbs.
- Appliances design to be fixed in position shall be securely fastened in place. Equipment supports shall be designed for wind, seismic, or other loads that may be placed on them.
- Provide minimum 20" X 30" attic access (22" X 30" with attic installed equipment) with a minimum of 30" of headroom to access all parts of attic. Access door or hatch to have insulation equal to that of the ceiling or wall around it.
- All chimneys for residential type or low heat gas utilization equipment shall extend at least 3 feet above the highest point where it passes through the roof of the building and at least 2 feet higher than any portion of the building within a horizontal distance of 10 feet.



LOWER FLOOR PLAN

Andrew B. Hutchison, general contractor
48751 Road 620 Oakhurst, CA 93644
(559) 683-2918 Cont. Lic. #415779

Suvanto Remodel
486 Bristol Street Cambria, CA 93428

DATE: 6/1/15
DRAWN BY: ABH
SCALE: AS NOTED

REVISIONS

2

NOTE: THE CONTRACTOR SHALL INSPECT ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR ALL DISCREPANCIES BETWEEN THOSE AND WHAT IS SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL ALSO BE SOLELY RESPONSIBLE FOR MATERIAL QUANTITIES REQUIRED. INCLUDED ENGINEERING AND ALL APPLICABLE CODES TAKE PRECEDENCE IN ANY DISCREPANCIES.

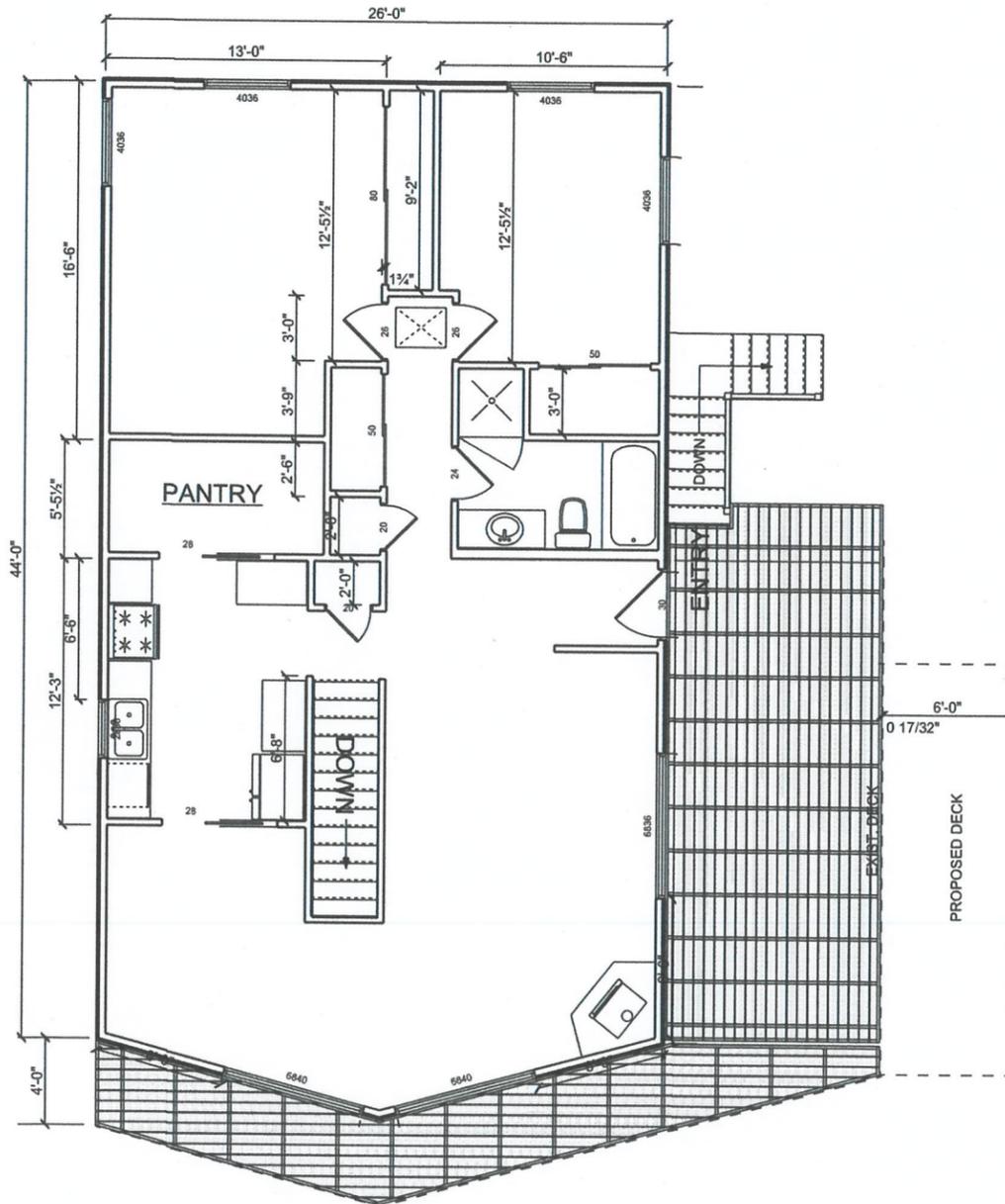
WINDOW AND DOOR SCHEDULE						
ITEM	#	SIZE	TYPE	MATERIAL	TEMPERED	NOTES
①	3	3066	PICTURE	dbl glazed vinyl	YES	
②	1	3640	PICTURE	dbl glazed vinyl	YES	
③	1	3040	PICTURE	dbl glazed vinyl	YES	
①	1	3068	ROLLING BARN	wood, glass		
②	1	6068	French Pair	wood, glass	YES	
③	1	5068	Oak slab	wood		

W WATER HEATER REQUIREMENTS:

- Combustion air requirements: 1/1000 X BTU of unit = sq. in. required. Min. requirements: 50 sq. in. air opening to outside air within 12" of ceiling and within 12" of floor.
- Water heaters to be provided with a temperature and pressure relief valve having a full sized drain of galvanized steel or hard drawn copper to the outside of the building with the end of the drain pipe not more than 24" or less than 6" above the grade, pointing downward, with the end being unthreaded. Terminating inside a garage is not permitted.
- Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one-third (1/3) and lower one-third (1/3) of its vertical dimensions. At the lower point, a minimum of four (4) inches shall be maintained above the controls with the strapping.
- Water heaters located in a garage and generating a glow, spark, or flame must be a minimum of 18" above the floor level. Water heaters installed in a separate enclosed space having access only from outside of the garage may be installed at floor level if combustion air is taken from the exterior of the garage.
- Gas fired water heaters shall be installed in an approved LPG pan with a drain to the outside of the building.
- Water heaters located in areas where they may be subjected to mechanical or physical damage shall be suitably guarded against such damage by use of barriers or locating the water heater out of the path of any damage-causing agents.

C CONSTRUCTION REQUIREMENTS

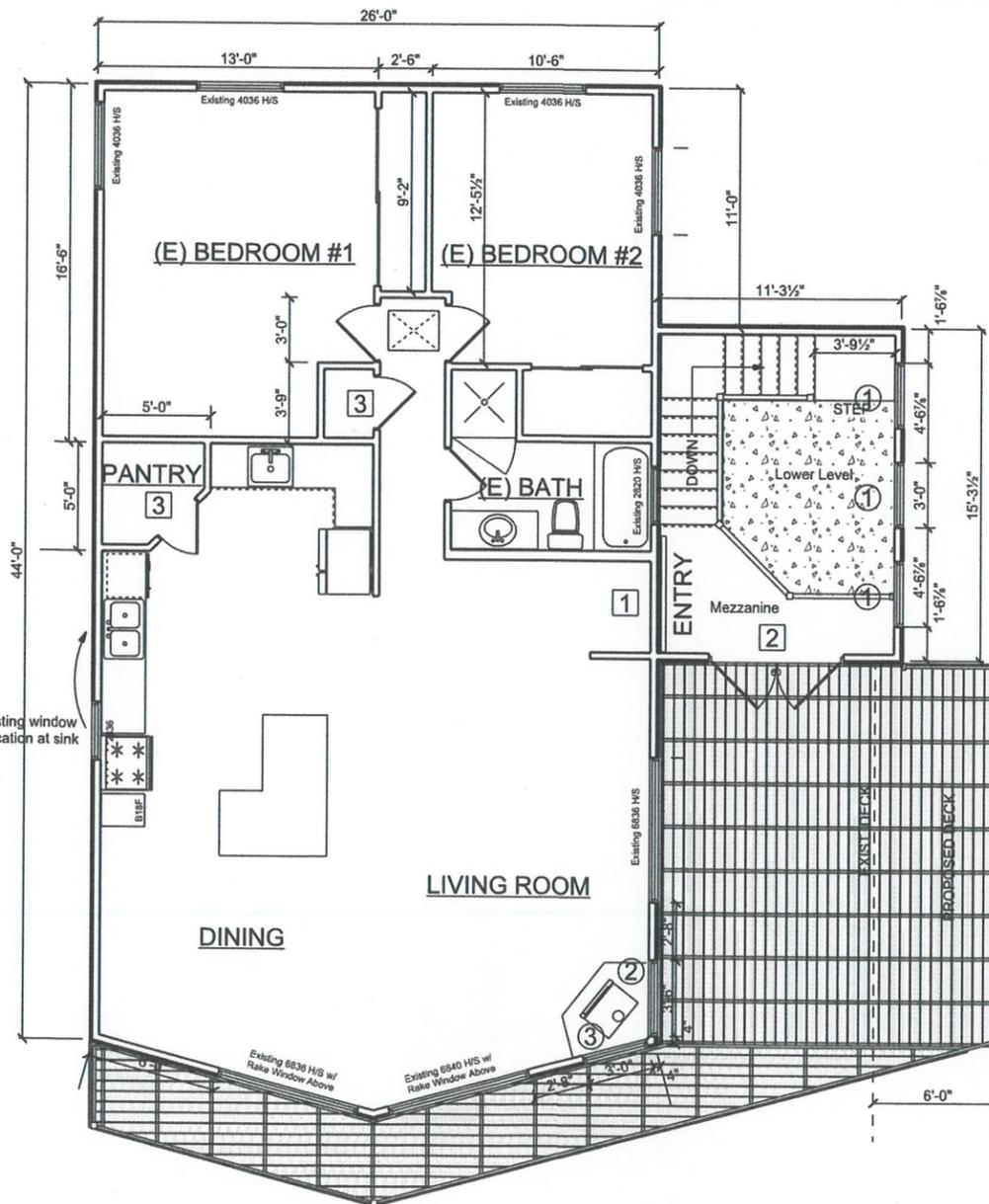
- Bedrooms to have at least one exterior door or window for egress. Minimum window dimensions: 5.7 total sq. ft., 24" clear height, 20" clear width. Maximum sill height: 44" above finished floor.
- Window areas for habitable rooms to be min. 8% of floor area. Provide operable windows for all habitable rooms, with opening equal to 4% of floor area. Window area for bathrooms and laundry rooms of 15 sq. ft. or larger to be min. 1/20 of floor area. When under 15 sq. ft., provide exterior window with not less than 1-1/2 sq. ft. opening. In bathrooms, laundry rooms, etc., in lieu of natural ventilation, provide mechanical ventilation equal to 5 air changes per hour.
- Habitable rooms shall have a minimum ceiling height of 7'6". Hallways, bathrooms, etc. to be minimum 7'.
- Minimum headroom for stairways to be 6'8". Minimum width to be 36".
- Minimum width for hallways to be 36".
- Stairs to be max. 7 3/4" riser and 10" min. tread. Handrail to be 34" to 38" above tread nosing. Handgrip on rail to be 1 1/2" to 2" in cross-section or the shape shall provide an equivalent gripping surface, 1 1/2" between wall and rail.
- Guardrails are required on all stairs, porches, decks, etc. over 30" in height. Guardrails shall be min. 42" in height with no openings to allow an object 4" in diameter to pass through. Max. opening on stair railings to be less than 6" between railing and intersection of tread and riser. (See detail in these drawings)
- Guardrails shall be designed to resist a horizontal force of 20 lbs. per sq. ft. applied at the top of the railing.
- Exterior balconies, stairs, decks, etc. shall be positively anchored to the primary structure at not more than 8' on center. Toenailing or nails subject to withdrawal shall not be used in lieu of anchors.
- All glazing within 18" of finished floor, within 24" of door openings, within 60" of tubs and shower floors, sliding glass doors, tub and shower doors, or anywhere else subject to human impact while walking to be tempered.
- Glazing having a rough opening area greater than 9 sq. ft. and when located in hazardous locations as defined in CBC 2406 shall meet provisions of CBC 2406.
- Cement, fiber cement, or glass mat gypsum shall be used as a base for tile in tub and shower areas, and wall and ceiling panels in shower areas. Materials shall conform to ASTM C 1178, C1288 or C 1325 and shall be installed according to manufacturer's instructions.
- Bathrooms: Provide 30" min. width for toilets, with 15" on each side and 24" clear in front. Shower/tub doors to be min. 22" wide and sliding or out-swinging. Shower/tub walls to be impervious to min. 70" from floor. Bathrooms to have min. 12" X 12" access at drain, or welded plastic drain fittings. Provide spillover access per manufacturer. Toilets shall have an effective flush volume of 1.28 gallons.
- Shower and tub/shower combinations shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type, having a maximum mixed water setting of 120 degrees. CPC 414.5.
- Unprotected combustible material to be 30" min. above kitchen ranges, 24" if protected.
- Interior walls to be Class C flame spread per CBC 803.5.
- All supporting framework and columns in garages beneath another story to be one-hour fire resistive construction and jacketed for protection against damage.
- Use materials approved for one-hour fire resistive construction on the garage side and adjacent to the house from floor to roof sheathing. When attic separation is not provided directly above the wall adjacent to the living area, walls supporting the ceiling must be of one-hour fire resistive construction. Use 1 3/8" solid wood self-closing door. This includes attic access doors. Ducts to be constructed of No. 26 gauge sheet metal.
- Flames on all gas-fired appliances shall not be less than 18" from finished floor. Provide metal pan with drain to outside.
- Provide dryer vent to outside of building. Dryer vents to be max. 14' with 2' subtracted for each 90 degree bend. Provide backdraft prevention at terminus.
- Combustion air for water heaters: 1/1000 X BTU of unit = sq. in. required. Min. requirements for Forced Air Units: BTU of unit = sq. in. required. Min. requirements for both: 50 sq. in. air opening to outside air within 12" of ceiling and 12" of floor.
- Provide an approved waterproof building wrap under wood siding. CBC 1404.2.
- Top of floor to be 6" min. above finished grade with a min. 2% slope away from the building for min. 10' or as limited by property lines.
- Any vertical cut or fill differential in excess of 12" between adjacent properties shall be supported by an approved retaining wall. Wood retaining walls shall not be used to retain more than 24" of soil.
- Retaining walls that are 2' or more in height measured from the bottom of the footings, posts, keys, or structures, to the top of the wall and that retain 12" or more of soil require a permit and inspection. Submit engineered design.
- Provide Certificate of Insulation signed by installer prior to final inspection.
- Roofs to be Class A or better. Certified by installer east of Madera Canal.
- Provide approved carbon monoxide alarm in dwelling units and sleeping units within which fuel burning appliances are installed, including all dwelling units with attached garages.
- There shall be a floor or landing on each side of a door. Such floor or landing shall be at the same elevation on each side of the door.
- All exterior windows and glazing shall be insulating glass units with a minimum of one tempered pane meeting the requirements of Section 2406, or glass block units, or have a minimum 20 minute fire resistive rating per NFPA 257, or conform to the requirements of SFM 12-7A-2. All exterior doors shall conform to the requirements of SFM12-7A-1, or shall be of approved non-combustible materials, or minimum 1 3/8" solid core, or shall have a minimum fire resistive rating of 20 minutes per NFPA 252.
- All flashings shall be installed in such a manner as to prevent moisture from entering the wall or to redirect it to the surface.
- All exterior doors shall have a landing on the outside of the door. Landing to be min 36" in direction of travel and the full width of the door. In Group R-3 occupancies, there shall be a landing at all exterior doorways. Landing shall be not more than 7 3/4" below the top of the threshold, provided the door does not swing over the threshold. Landing shall be a minimum of 36" in the direction of travel, and the full width of the door or stairway, whichever is greater. Threshold height in R-2 & R-3 shall be limited to 3/4" for sliding glass doors and 1/2" for other doors. EXCEPTION: Thresholds shall be limited to 7 3/4", provided the door is an exterior door, is not a means of egress, does not swing over the landing or step, and is not on an accessible route or part of an adjustable or accessible dwelling unit.
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EXISTING MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1,207 sq ft

Move existing window to new location at sink



NEW MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

1,207 sq ft

MAIN FLOOR PLAN

Suvanto Remodel
486 Bristol Street Cambria, CA 93428

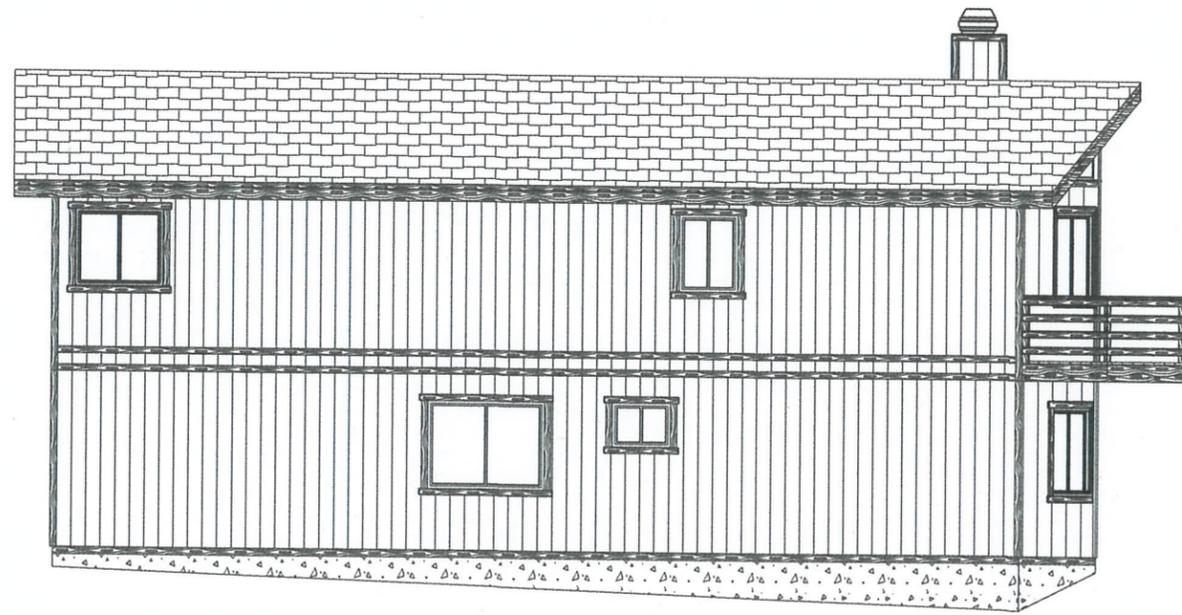
Andrew B. Hutzchison, general contractor
48751 Road 620 Oakhurst, CA 93644
(559) 683-2918 Cont. Lic. #415779

DATE: 6/1/15
DRAWN BY: ABH
SCALE: AS NOTED

REVISIONS

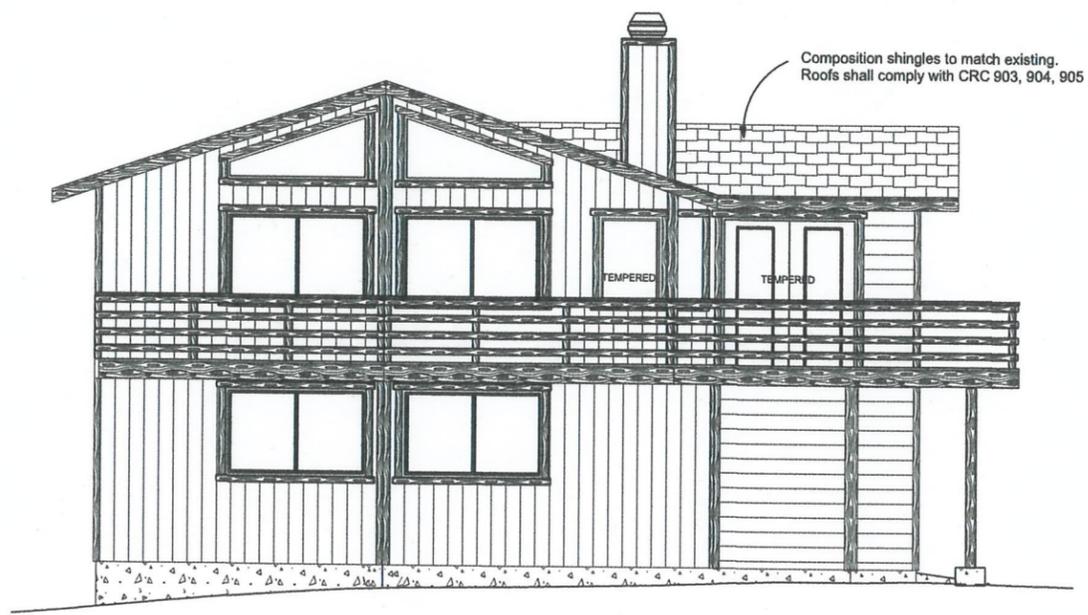
3

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REAR ELEVATION

SCALE: 1/4" = 1'-0"



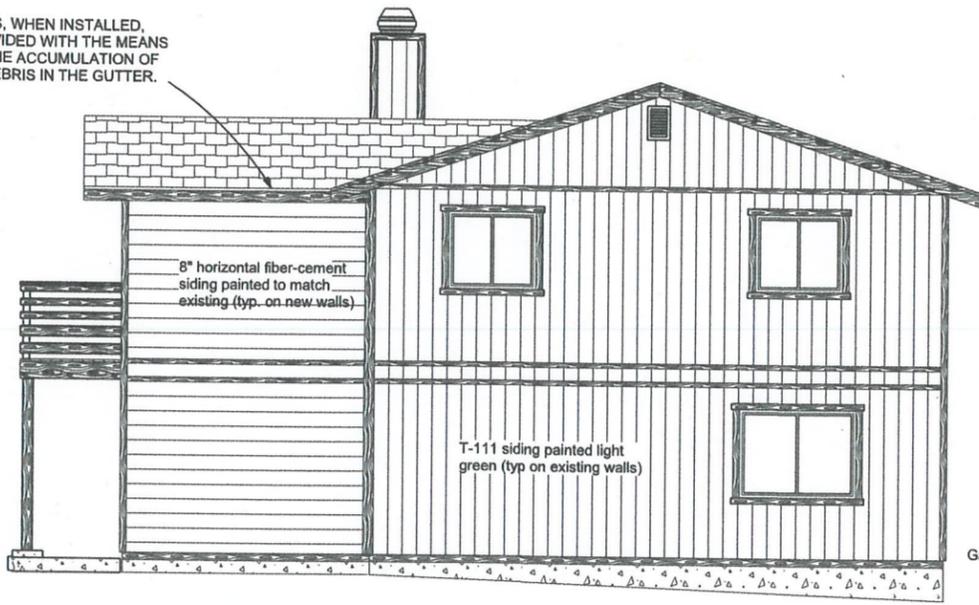
LEFT ELEVATION

SCALE: 1/4" = 1'-0"

VENTILATION REQUIREMENTS:

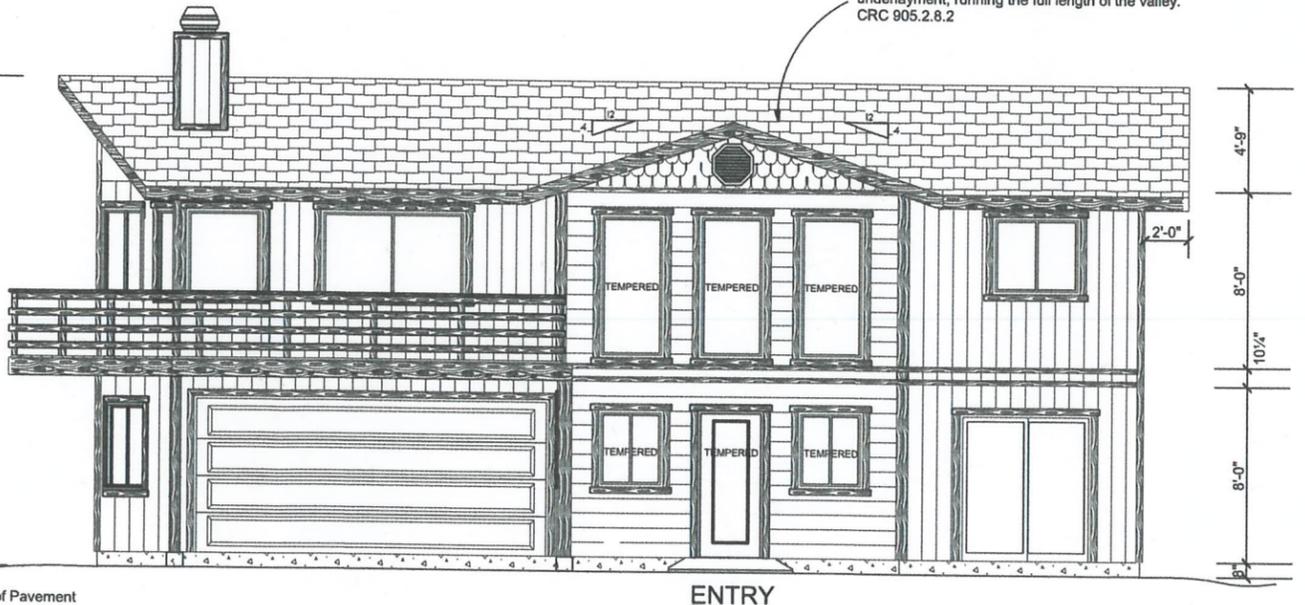
Attic: Per R806.2
 172 sq ft/300 X 144 = 82 sq in required
 Use 2 ea - 14" X 5 1/2" eave vent @ 65 sq in ea = 130 sq in
 Use 1 ea - 22" X 22" Octagon gable vent or equivalent @ 54 sq in

ROOF GUTTERS, WHEN INSTALLED, SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



Andrew B. Hutchison, general contractor
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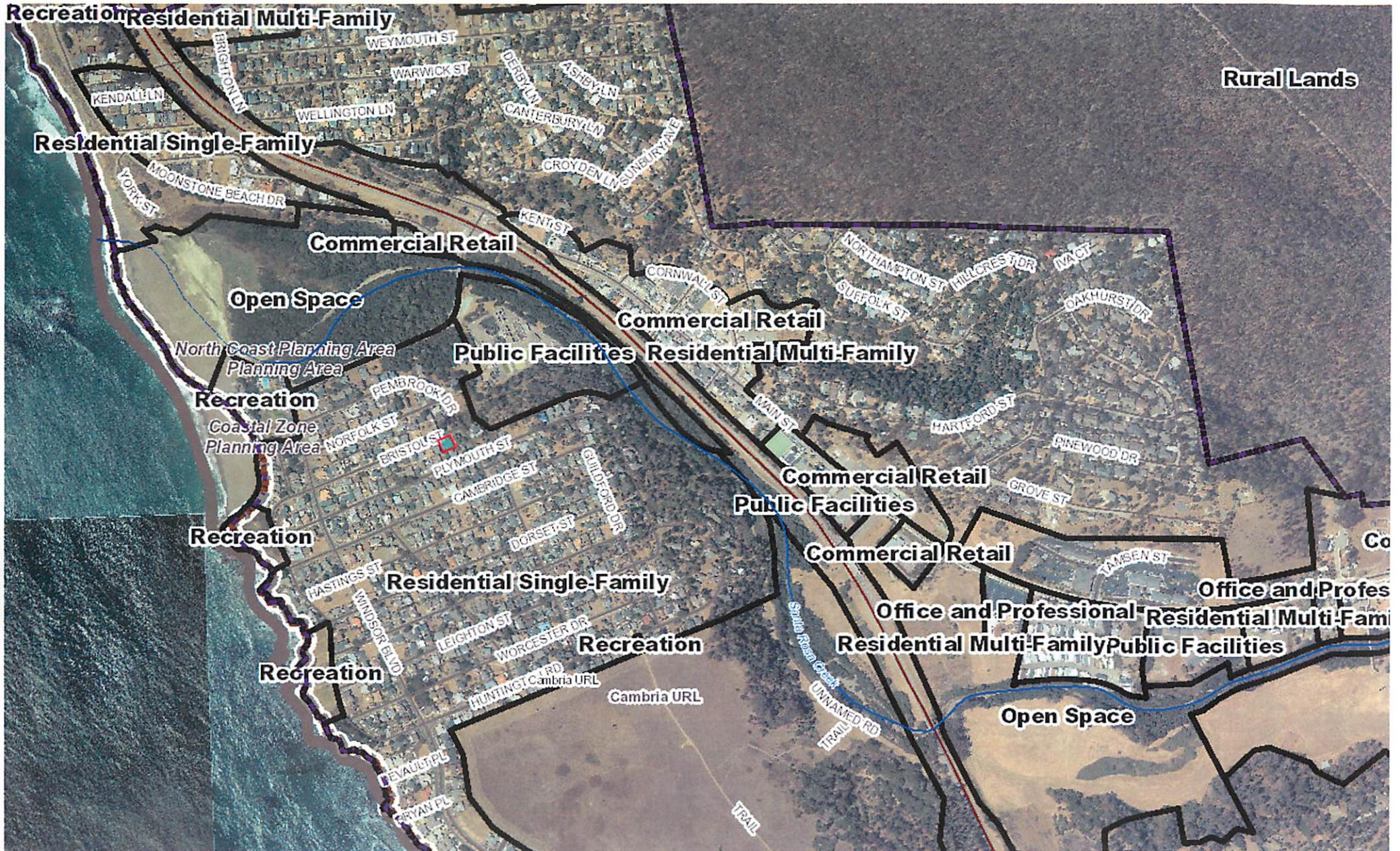
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REVISIONS

ELEVATIONS

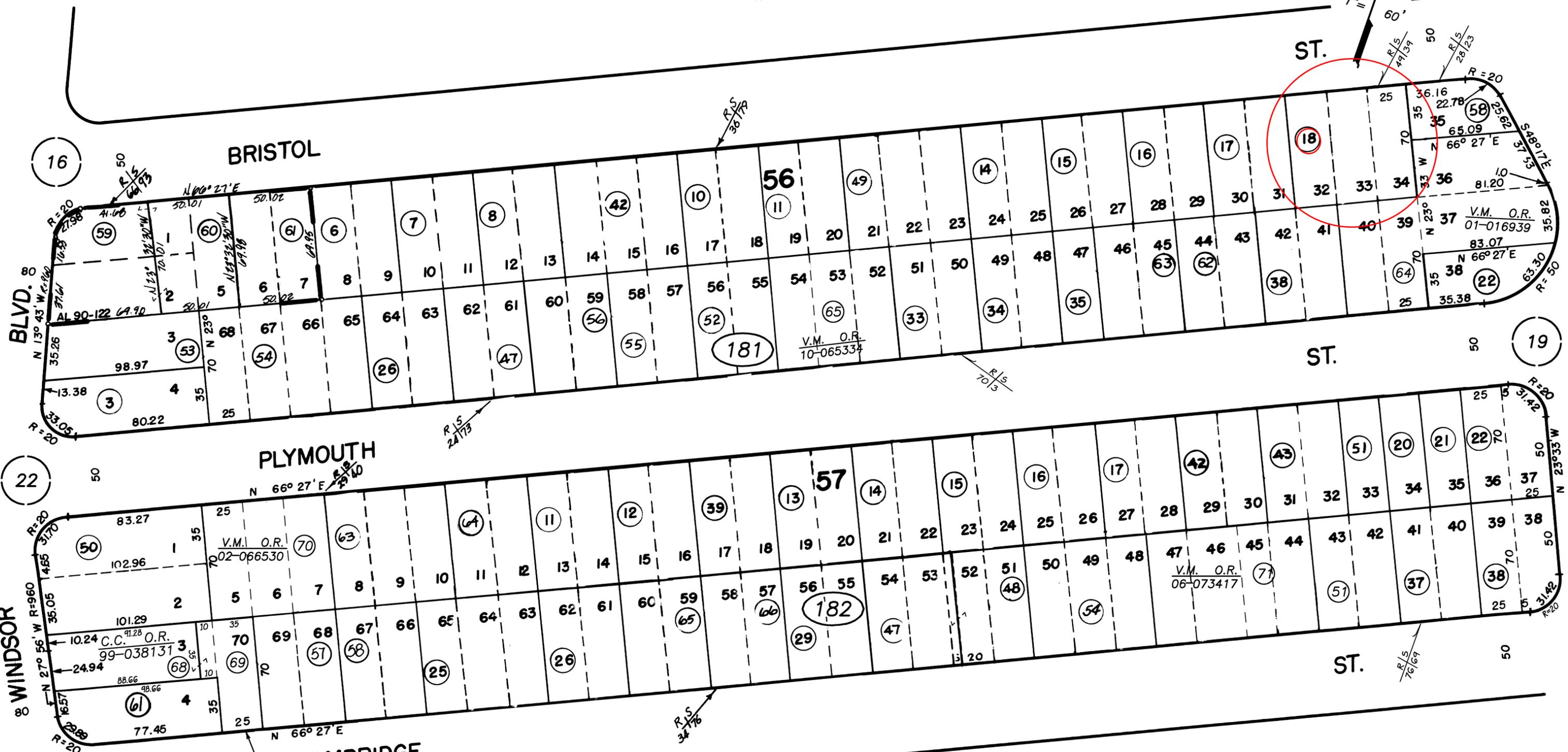
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Cambria UFL

17



16

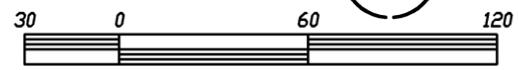
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23

REVISIONS	
I.S.	DATE
07-246	11-20-06
11-150	02-25-11



LZ 06-11-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

AL 90-122, O.R. VOL. 3685, PGS. 35-46.

CAMBRIA PINES UNIT NO. 5, R.M. Bk. 5, Pg. 02

CAMBRIA ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 022 PAGE 18



Parcel Summary Report For Parcel # 022-181-018

7/11/2016
9:44:31AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN SUVANTO ALLEN F
 880 BIRCH AVE CLOVIS CA 93611-0347

OWN SUVANTO ALLEN F & MARCI L DECLARATI

OWN SUVANTO MARCI L

Address Information

Status **Address**
 00486 BRISTOL ST CAMB

Lot Information:

<u>Tract / TwnsHP</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CPUNIT5	0056	0032	Cambria	North Coast P	RSF	LCP	AS	Y	L3	W84010902
CPUNIT5	0056	0033	Cambria	North Coast P	GS			Y	L3	
CPUNIT5	0056	0034	Cambria	North Coast P				Y	L3	

Parcel Information

Status **Description**
 Active CAM PINES U 5 BL 56 LTS 32 33 & 34

Notes

Tax Districts

COAST (SB1537)
 SAN LUIS OBISPO JT(27,40)
 CAMBRIA PUBLIC
 COAST UNIFIED SCHOOL - IMP. NO. 1



Parcel Summary Report For Parcel # 022-181-018

7/11/2016
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CAMBRIA (SB1537 BLO)
CAMBRIA COMMUNITY
NO. 02
CAMBRIA
AREA NO. 21

Case Information

Case Number:

Case Status:

DRC2016-00001 REC Primary Parcel

Description:

ENCLOSE EXISTING EXTERIOR ENTRY STAIRS (216 SQFT) INTERIOR (WALLS, CABNIETS, ETC.) NEW TOTAL SQFT =2323 SQFT

P000018T ACC Primary Parcel

Description:

OK TO REMOVE ONE MONTEREY PINE

P000041T ACC Primary Parcel

Description:

OK TO REMOVE SECOND MONTEREY PINE TREE ON PROP LINE

PMT2004-03937 FNL Primary Parcel

Description:

REAPIR OF EXISTING DECK AND GUARDRAIL (DRY ROT) AND REPLACE EXISTING STAIRS WITH NEW MATERIALS (NO EXPANSION)

ZON2008-00158 AUT Primary Parcel

Description:

HAZARDOUS TREE DETERMINATION. SIGNS OF UPROOTING AND BEETLE DAMAGE. BACK OF DRIVEWAY ON SW PROPERTY LINE. OKAY TO REMOVE ONE TREE.