



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 10/21/2016

TO: _____

FROM: Ivana Yeung (805-781-4099 or iyeung@co.slo.ca.us)
Matt Leal (805-781-5113 or mleal@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2016-00026 MATTHEW – Proposed minor use permit for the addition of a rear exterior deck to an existing single family residence. Project location is 369 Travis Drive, Los Osos.
APN: 074-453-005

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
- Conditional Use Permit/Development Plan Plot Plan
- Curb, Gutter & Sidewalk Waiver Other Site Plan
- Surface Mining/Reclamation Plan Zoning Clearance
- Amendment to approved land use permit Variance

DRC2016-00026

MATTHEW WILL

MINOR USE PERMIT

ADDITION OF REAR EXTERIOR DECK TO EXISTING SFR EST/LSOS

CAZ LCP RSF

APPLICANT INFORMATION Check box for contact

person assigned to this project

Landowner Name Bill Matthew Daytime Phone 661-978-9238
 Mailing Address 369 Travis Drive Los Osos Zip Code 93402
 Email Address: billmatth@gmail.com

Applicant Name same as land owner Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Peter Danciart Daytime Phone _____
 Mailing Address 1750 Prefumo Canyon Rd #46, SLO, CA Zip Code 93405
 Email Address: peter@danciart.com

PROPERTY INFORMATION

Total Size of Site: 18,500 sq.ft. Assessor Parcel Number(s): 074-453-005
 Legal Description: _____
 Address of the project (if known): 369 Travis Drive Los Osos
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Travis Drive, Rodman Drive, Pecho Valley Road, LOVR
 Describe current uses, existing structures, and other improvements and vegetation on the property:
Existing single family residence

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): rear exterior deck

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature *Bill Matthew* Date 10-10-16

FOR STAFF USE ONLY



LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): n/a

Describe existing and future access to the proposed project site: _____

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: SFR South: SFR
East: SFR West: SFR

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 2,987 sq. feet 22 % Landscaping: 12,837 sq. feet 69.3 %
Paving: 1,592 sq. feet 8.6 % Other (specify) _____

Total area of all paving and structures: 1,084 (n)deck + 2,987(e)+1,592(e)= 5,663 sq. feet acres

Total area of grading or removal of ground cover: 530 sq. feet acres

Number of parking spaces proposed: (e) 2 Height of tallest structure: (E) 17'3"

Number of trees to be removed: 0 Type: n/a

Setbacks: Front 25 feet Right 5 feet Left 5 feet Back 20 feet

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Golden State Water

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/Industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3

Total floor area of all structures including upper stories, but not garages and carports: _____ sf

Total of area of the lot(s) minus building footprint and parking spaces: _____ sf

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? n/a
4. How many service connections will be required? n/a
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis(OK or Problems)
 Will Serve Letter Pump Test _____ Hours / _____ GPM
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (Individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? n/a feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mission Country Disposal
- 3. Where is the waste disposal storage in relation to buildings? On the side yard of the garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

- 1. Name of School District: San Luis Unified School District
- 2. Location of nearest police station: 2099 10th Street, Los Osos, CA 93402
- 3. Location of nearest fire station: 2315 Bayview Heights Dr. Los Osos, CA 93042
- 4. Location of nearest public transit stop: Pine Street & LOVR, 1.5 Miles
- 5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project? Yes No

Historic and Archeological Information

- 1. Please describe the historic use of the property: SFR
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.
- 9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
 If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No
 If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): n/a
2. Will the development occur in phases? Yes No
 If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No
 If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
 If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: n/a

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project: n/a
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
 If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?
 Yes No

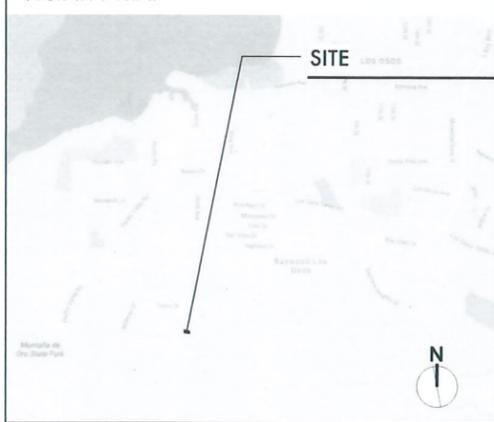
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): n/a

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project

VICINITY MAP



MATTHEW/BAINBRIDGE RESIDENCE

369 TRAVIS DRIVE LOS OSOS, CA 93042

DECK PROJECT

DANCIART ARCHITECTURE

MATTHEW WILL

GENERAL NOTES

- LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. DETAILS SHALL TAKE PRECEDENCE OVER PLANS AND SECTIONS.
- DO NOT SCALE DRAWINGS!!! WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE OF DRAWINGS. DIMENSIONS ARE TO FACE OF FOOTING OR FACE OF STUDS, UNLESS NOTED OTHERWISE.
- NOTES ON DRAWINGS SHALL TAKE PRECEDENCE OVER SEPARATE SPECIFICATIONS.
- TYPICAL DETAILS SHALL APPLY TO ALL POSSIBLE CONDITIONS UNLESS TYPICAL DETAILS AND TYPICAL NOTES ARE MINIMUM REQUIREMENTS TO BE USED WHEN SPECIFIC CONDITIONS ARE NOT USED OTHERWISE.
- THIS SET OF PLANS SHALL BE ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS.

GENERAL NOTES CONTINUED

- AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING, A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 ENERGY CONSERVATION STANDARDS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION AND INSTALLED R-VALUE.
- DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DESIGNED TO LIMIT AIR LEAKAGE INTO & FROM THE BUILDING ENVELOPE.
- MANUFACTURED DOORS AND WINDOWS SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER AND NOT EXCEEDING THOSE SHOWN IN THE REGULATIONS.
- SITE CONSTRUCTION DOORS AND WINDOWS, EXTERIOR JOINT AND OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
- EXCEPTION: FIRE RATED DOORS AND WINDOWS, UNFRAMED GLASS DOORS AND EXTERIOR ELEVATION SHAFT VENTILATION DAMPERS ARE ALSO NOT REQUIRED.
- THE BID SUBMITTAL, BY THE CONTRACTOR, REPRESENTS THAT HE/SHE IS FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND FULLY UNDERSTANDS THE FACILITIES, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK FOR THIS PROJECT.
- DUST CONTROL SHALL BE MAINTAINED TO THE SATISFACTION OF THE AGENCY OF RECORD.
- SUB-CONTRACTOR SHALL PROVIDE TITLE 24-APPROVALS & GUARANTEES FOR ALL ASSEMBLIES.
- EACH SUB-CONTRACTOR SHALL THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS AND RELATED SPECIFICATIONS.
- THE BID SUBMITTAL, BY THE SUB-CONTRACTOR, REPRESENTS THAT HE IS FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND FULLY UNDERSTANDS THE FACILITIES, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK FOR THIS PROJECT.
- THE FAILURE OF OMISSION OF ANY SUB-CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM, INSTRUMENT, OR OTHER DOCUMENT, OR TO VISIT THE SITE AS NECESSARY, AND BECOME ACQUAINTED WITH THE EXISTING CONDITIONS, SHALL IN NO WAY RELIEVE THEM FROM THEIR OBLIGATIONS WITH RESPECT TO THEIR BID OR THE CONTRACT. NO ADDITIONAL CHARGES WILL BE ALLOWED BECAUSE OF LACK OF SUCH KNOWLEDGE.
- EACH SUB-CONTRACTOR SHALL BE FAMILIAR WITH PERTINENT RULES AND REGULATIONS OF GOVERNMENT BODIES HAVING JURISDICTION, STATE OF LABOR, MATERIALS MARKETS, AND SHALL MAKE DUE ALLOWANCE FOR ALL CONTINGENCIES.
- THE SUB-CONTRACTOR SHALL VISIT THE SITE BEFORE SUBMITTING HIS BIDS AND VERIFY ALL EXISTING CONDITIONS.
- THE SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE SUB-CONTRACTOR SHALL CERTIFY ALL ELEVATIONS, FLOW LINES AND POINTS OF CONNECTIONS BEFORE BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- AT COMMENCEMENT OF WORK THE SUB-CONTRACTORS ACCEPTS RESPONSIBILITY FOR ALL EXISTING CONDITIONS.
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT CITY BUSINESS LICENSE NUMBERS.
- PERMITS AND INSPECTIONS: CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS FROM THE LOCAL BUILDING DEPT. PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT LOCAL BUILDING DEPT. FOR ALL RECORD INSPECTIONS. AN APPROVED SET OF PLANS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
- NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT AN INSTALLATION IN VIOLATION OF APPLICABLE CODES AND/OR RESTRICTIONS, SHOULD ANY CHANGES IN THE DRAWINGS BE NEEDED IN ORDER TO COMPLY WITH APPLICABLE REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE AND CEASE WORK ON ALL PARTS OF THE CONSTRUCTION WHICH ARE AFFECTED.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS BY THE BUILDING DEPT. AND OTHER AGENCIES AS REQUIRED.
- THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. THE LOCAL GOV. AGENCY, OWNER, ARCHITECT OR ENGINEER ARE NOT RESPONSIBLE FOR THE OVERALL COORDINATION & MANAGEMENT OF WORK.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. EACH CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND PROCEDURES IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES.
- WHERE A MANUFACTURER IS INDICATED FOR A SPECIFIC ITEM, INSTALL SUCH SPECIFIED ITEM PER MANUFACTURER'S RECOMMENDATIONS.
- ALL TRADE NAMES SPECIFIED ON ANY DRAWINGS, MAY BE CHANGED FOR ANOTHER APPROVED EQUAL UPON THE EXPRESSED APPROVAL OF THE ARCHITECT.
- ALL SUB-CONTRACTORS, RELATED TRADES AND SUPPLIERS SHALL COOPERATE AND SO AS NO DELAYS OR LOSS OF TIME WILL OCCUR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE OVERALL COORDINATION OF EACH SUB-CONTRACTOR AND SHALL PROVIDE A SCHEDULE FOR OVERALL MANAGEMENT OF TIME AND WORK PROGRESS.
- CLEAN-UP: EACH CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE SITE ALL WASTE MATERIALS AND DEBRIS WHICH MAY BE ACCUMULATE ON THE SITE OR IN THE BUILDING. FINAL CLEAN-UP OF ALL SURFACES AND REMOVAL OF FOREIGN SUBSTANCES FROM THE JOB SITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH THE OWNER(S) REGARDING THE SELECTION OF ANY ITEMS NOT SPECIFIED IN THESE PLANS, INCLUDING BUT NOT LIMITED TO: KITCHEN APPLIANCES, BATHROOM SPECIALTIES, CABINETRY, INTERIOR FINISHES, FLOOR FINISHES, HARDWARE AND ELECTRICAL FIXTURES.
- EXTERIOR MECHANICAL EQUIPMENT SHALL BE SCREENED PER CITY REQUIREMENTS.

CONSTRUCTION NOTES

- PENETRATION OF FIRE - RESISTANT WALLS, FLOOR CEILINGS AND ROOF CEILINGS SHALL BE PROTECTED AS REQUIRED IN 2013 CBC SECTION 712
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN THE 2013 CBC TABLE 803.9
- MINIMUM HEADROOM CLEARANCE FOR STAIRWAY SHOULD BE NO LESS THAN 80". THIS MEASUREMENT IS FROM A PLANE TANGENT TO THE STAIRWAY THREAD NOSING. (2013 CBC, 1009.2)
- NO CONSTRUCTION MATERIALS CONTAINING ASBESTOS MAY BE USED ON THIS PROJECT.
- ALL WATER CLOSET COMPARTMENTS SHALL BE MIN. 30" CLEAR (WIDTH) AND HAVE MIN. 24" CLEAR FROM FRONT OF THE WATER CLOSET.
- WALL SURFACES BEHIND CERAMIC TILE OR OTHER FINISH MATERIALS SHALL BE CONSTRUCTED OF A MATERIAL NOT ADVERSELY AFFECTED BY WATER RESISTANT GYP. BOARD. NO W.V.G.B SHALL BE INSTALLED ON ANY CEILINGS.
- ANY FLOOR AREAS TO RECEIVE CARPET AND PAD OR RESILIENT FLOORING (CORK) SHALL BE LEFT CLEAN, DRY, AND DUST FREE PRIOR TO INSTALLATION.
- ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS, MIN.
- ALL BATHROOM FIXTURES, AND APPLIANCES SHALL BE CHOSEN BY THE OWNER.
- A CERTIFICATE OF CONSTRUCTION COMPLIANCE BASED ON OBSERVATION OF CONSTRUCTION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND SHALL BE SIGNED BY THE CONTRACTOR AT THE TIME OF FINAL INSPECTION.
- INSULATION INSTALLER SHALL POST A SIGNED CERTIFICATE STATING THAT THE INSULATION CONFORMS WITH TITLE 24, PART 2, CHAPTER 2 - 53, AND THAT THE MATERIALS CONFORM WITH TITLE 20, CHAPTER 2, SUB-CHAPTER 4, ARTICLE 3.
- ADJACENT DISSIMILAR METALS SHALL BE AVOIDED OR SEPARATED TO AVOID GALVANIC REACTION.
- ALL HARDWARE, INCLUDING (BUT NOT LIMITED TO) DOOR LATCHES, HINGES, CABINETRY HARDWARE, TYPES AND FINISHES SHALL BE CHOSEN BY THE OWNER.
- NEW ROOFING, GUTTERS, FLASHINGS & MOISTURE SEALANTS BETWEEN NEW WORK AND EXISTING CONSTRUCTION SHALL BE INSTALLED SUCH THAT EXTERIOR MOISTURE WILL NOT PENETRATE THE BUILDING ENVELOPE.
- LAP ROOFING, GUTTERS, FLASHINGS, MOISTURE BARRIERS AND SEALANTS TO DIRECT EXTERIOR MOISTURE AWAY FROM THE BUILDING ENVELOPE.

DRC2016-00026

MINOR USE PERMIT

ADDITION OF REAR EXTERIOR DECK TO EXISTING SFR EST/LSOS

CAZ LCP RSF

SHEET INDEX

T-1.0 TITLE SHEET

ARCHITECTURAL

C-1.0 SITE PLAN & SECTION A
C-2.0 GRADING / DRAINAGE PLAN
A-1.0 DIMENSION PLAN
A-9.0 EXTERIOR ELEVATIONS
TOTAL 5 SHEETS

PROJECT STATISTICS

SITE SUMMARY

LOCATION: 369 TRAVIS DRIVE LOS OSOS, CA 93042
 ZONE: RSF - RESIDENTIAL SINGLE FAMILY CAZ - COASTAL APPEALABLE ZONE LCP - LOCAL COASTAL PLAN AREA
 LEGAL DESCRIPTION: LOT 5, BLOCK 3 OF TRACT 306 CABRILLO ESTATES, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, MAP RECORDED MAY 19, 1964 IN BOOK 7, PAGE 8 OF MAPS
 APN: 074-453-005
 SITE AREA: 18,500 SQ FT
 MAX. LOT COVERAGE: 45% MAXIMUM LOT COVERAGE
 ACTUAL BLDG COVERAGE: 4,068 SQ FT (22% FOOTPRINT COVERAGE)
 ACTUAL LANDSCAPE COVERAGE: 12,837 SQ FT (69.3% LANDSCAPE COVERAGE)
 ACTUAL HARDSCAPE COVERAGE: 1,592 SQ FT (8.6% HARDSCAPE COVERAGE)

BUILDING SUMMARY

EXISTING USE: SINGLE FAMILY RESIDENCE
 OCCUPANCY: R-3, U
 CONSTRUCTION: TYPE V-B NON-SPRINKLERED
 NUMBER OF STORIES: ONE
 SQUARE FOOTAGE: 2,296 SQ FT (EXISTING RESIDENCE)
 147 SQ FT (EXISTING COVERED PORCH)
 541 SQ FT (EXISTING GARAGE)
 1,084 SQ FT NEW DECK

PROJECT DESCRIPTION

CONSTRUCTION OF NEW RAISED, REAR WOOD DECK WITH WOOD TRELLIS, CONCRETE STAIRS AND ASSOCIATED HARDSCAPE

SCOPE OF WORK

SITE (N) FLATWORK, CONC. STAIRS, GRADING FOR DECK CARPENTRY
 ROOFING (N) WOOD DECK W/ TRELLIS AND RAILING
 ATTACH TRELLIS AND ASSOC. FLASHINGS
 DOORS & WINDOWS N/A
 FINISHES EXTERIOR PAINT - LOW VOC
 SPECIALTIES FLOORING - NEW PLASTIC DECKING
 MECHANICAL N/A
 ELECTRICAL REROUTE UNDERGROUND CABLE LINES AS REQUIRED

CODE COMPLIANCE

CODES: ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:
 2013 CALIFORNIA BUILDING CODE (CBC)
 2013 CALIFORNIA MECHANICAL CODE (CMC)
 2013 CALIFORNIA PLUMBING CODE (CPC)
 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 2013 CALIFORNIA GREEN CODE
 2013 CALIFORNIA ENERGY CODE
 TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE
 NFPA NATIONAL FIRE CODES
 ORDINANCES OF THE CITY OF SAN LUIS OBISPO
 ALL OTHER CODES ADOPTED BY THE AGENCIES HAVING JURISDICTION OVER THIS PROJECT

PROJECT DIRECTORY

OWNER: BILL MATTHEW & JEAN BAINBRIDGE
 369 TRAVIS DRIVE
 LOS OSOS, CA 93042
 CONTACT: BILL MATTHEW
 PH: 805-704-5142
 E-MAIL: PETER@DANCIART.COM
 STRUCTURAL ENGINEER: SMITH STRUCTURAL GROUP
 811 EL CAPITAN WAY, SUITE 240
 SAN LUIS OBISPO, CA 93401
 CONTACT: LEE S. ENGLEMEIER, PE
 PH: 805-439-2110 X 102
 E-MAIL: LEE@SMITHSTRUCTURAL.COM
 ARCHITECT: DANCIART ARCHITECTURE
 1750 PREFUMO CANYON ROAD #46
 SAN LUIS OBISPO, CA 93405
 CONTACT: PETER DANCIART, AIA, LEED AP
 PH: 805-704-5142
 E-MAIL: PETER@DANCIART.COM
 C.A.L.I.C. #: C32076

ABBREVIATIONS

A/C	AIR CONDITIONING	N	NEW
A.F.F.	ABOVE FINISH FLOOR	NI	NATURAL GRADE
ALT.	ALTERNATE	N.I.C.	NOT IN CONTRACT
AMT.	AMOUNT	N.T.S.	NOT TO SCALE
APPROX.	APPROXIMATE	O	BOARD
AVG.	AVERAGE	O.C.	ON CENTER
B.D.	BOARD	O.D.	OUTSIDE DIAMETER
B.T.W.N.	BETWEEN	O.P.N.G.	OPENING
B.L.D.C.	BUILDING	O.R.G.	ORIGINAL
B.L.K./B.L.K.G.	BLOCK / BLOCKING	OZ.	OUNCE
C.F.M.	CUBIC FEET PER MINUTE	P	PERPENDICULAR
CHG.	CHANGE	P.L.P.	PLYWOOD
CL.R.	CLEARANCE	P.L.A.M.	PLASTIC LAMINATE
C.L.G.	CLEAR/CLEARANCE	P.L.Y.W.D.	PLYWOOD
C	CENTERLINE	P.P.R.	PAIR
C.M.U.	CONCRETE MASONRY UNIT	P.P.R.	PROJECT
COL.	COLUMN	P.S.F.	POUNDS PER SQUARE FOOT
CONC.	CONCRETE	P.S.I.	POUNDS PER SQUARE INCH
CONSTR.	CONSTRUCTION	P.M.T.	PAVEMENT
C.O.T.G.	CLEAN OUT TO GRADE	P.T.D.F.	PRESSURE TREATED DOUG FIR
CTR.	CENTER	Q	QUART
CU FT.	CUBIC FOOT	QTY.	QUANTITY
CU IN.	CUBIC INCH	R	RISER
CU YD.	CUBIC YARD	RAD.	RADIUS
DBL.	DOUBLE	R.D.	ROAD
DEG.	DEGREE	REF.	REFRIGERATOR
DEPT.	DEPARTMENT	REF.	REINFORCEMENT
DIAG.	DIAGONAL	R.F.O.	ROUGH OPENING
DIA.	DIAMETER	R.T.S.	REFER TO STRUCTURAL
DIM.	DIMENSION	S	SCHEDULE
DIV.	DIVISION	S.C.	SOLID CORE
D.S.	DOWNSPOUT	S.E.C.T.	SECTION
D.W.	DUMBWATER / DOWNSPOUT	S.H.W.R.	SHOWER
E	EXISTING	S.N.G. CYL.B.	SINGLE CYLINDER DEADBOLT
(E)	EXISTING	SHT	SHEET
ELEC.	ELECTRIC	SIMM	SIMILAR
ELEV.	ELEVATOR	SPEC(S)	SPECIFICATION(S)
ENCL.	ENCLOSURE	SQ. FT.	SQUARE FEET
EQ.	EQUAL	S.S.	STAINLESS STEEL
EQ. SUP.	EQUIPMENT	S.T.	STREET
EXIST.	EXISTING	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
F	FLOOR	STR.	STRUCTURE
F.D.	FLOOR DRAIN	S.V.M.	SYMBOL
F.O.	FURNISHED BY OWNER	T	TREAD
FG.	FINISH GRADE	T.O.C.	TOP OF CONCRETE CURB
F.H.	FIRE HYDRANT	T.O.C.B.	TOP OF CATCH BASIN
FIN.	FINISH	T.E.	TELEPHONE
FL.	FLOOR	TEMP.	TEMPERATURE
FLOR.	FLORESCENT	T&G	TONGUE AND GROOVE
F.O.F.	FACE OF CONCRETE	T.K.	THICK
F.O.F.	FACE OF FINISH	T.M.	TRIM
F.O.M.	FACE OF MASONRY	T.O.C.	TOP OF CONCRETE CURB
F.S.	FACE OF STUD	T.O.S.	TOP OF SLAB
FS.	FINISH SURFACE	T.O.W.	TOP OF WALL
FT.	FOOTING	T.V.	TELEVISION
G	GALVE	TYP.	TYPICAL
GAL.	GALLON	U	UNFINISHED
GALV.	GALVANIZED	U.O.	UNLESS NOTED OTHERWISE
GYP.	GYPSONUM	UR.	UNRAIL
H	HOSE BIBB	V	VENT
H.B.	HEADER	V.C.T.	VENT COMPOSITION TILE
H.R.D.W.	HARDWARE	V.V.	VERTICAL VENTILATION
HORIZ.	HORIZONTAL	V.G.D.F.	VERTICAL GRAN DOUG FIR
HP	HORSE POWER	V.I.F.	VERIFY IN FIELD
HT.	HEIGHT	V.T.R.	VENT THRU ROOF
I	INSIDE DIAMETER	W	WATER CLOSET
ID.	INSIDE DIAMETER	WC.	WATER CLOSET
IN	INFORMATION	WD.	WOOD
INSUL.	INSULATION	WH.	WATER HEATER
INT.	INTERIOR	WI.	WIRING
J	JANITOR	WM.	WOMEN
JAN.	JUNCTION	W.P.	WATERPROOFING
JCT.	JOINT	WSC.T.	WINDSCOT
JT.	JOINT	W.	WITH
K	KITCHEN	WO.	WITHOUT
KIT.	KITCHEN	WV.	WATER VALVE
LAV.	LAVATORY	ACRONYMS	
LB.	POUND	A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
LF.	LINEAL FOOT	A.S.T.M.	AMERICAN SOCIETY FOR TESTING AND MATERIALS
LN.	LINEAR	C.B.C.	CALIFORNIA BUILDING CODE
LT.WT.	LIGHT WEIGHT	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
M	MAXIMUM	N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
M.B.	MACHINE BOLT	O.S.H.P.D.	OCCUPATIONAL SAFETY AND HEALTH ACT
M.C.	MEDICINE CABINET	U.F.C.	UNIFORM FIRE CODE
MECH.	MECHANICAL	W.I.C.	WOODWORK INSTITUTE OF CALIFORNIA
MEI.	MEDIA		
MEZZ.	MEZZANINE		
MFR./MFRG.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTL.	METAL		

DEMOLITION GENERAL NOTES

- NO WORK SHALL BE PERFORMED UNTIL ALL UTILITIES ARE SHUT-OFF, REMOVED, DISCONNECTED, OR CAPPED TO INSURE WORKERS' SAFETY AND ABILITY TO PERFORM PROPOSED DEMOLITION.
- PRIOR TO DEMOLITION, ANY EROSION CONTROL METHODS REQUIRED SHOULD BE IN INSTALLED AND SUFFICIENTLY VERIFIED BY THE GENERAL CONTRACTOR, WHERE REQUIRED.
- HOURS OF DEMOLITION SHALL BE LIMITED FROM 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY. VERIFY WITH OWNER.
- PEDESTRIANS SHALL BE PROTECTED FROM CONSTRUCTION / DEMOLITION AS STATED IN C.B.C. CHAPTER 33, SECTION 3303.
- DUST CONTROL MEASURES SHALL BE IN EFFECT CONTINUOUSLY DURING DEMOLITION AS TO LIMIT THE AMOUNT OF AIRBORNE DEBRIS AND DUST.
- MATERIAL AND CONSTRUCTION DEBRIS TO BE HAULED OFF SITE SHALL BE SUFFICIENTLY COVERED OR TARPED AS TO NOT ALLOW ANY MATERIAL TO LEAVE THE VEHICLE WHILE ON ANY PUBLIC RIGHT-OF-WAY.
- MATERIAL AND CONSTRUCTION DEBRIS TO BE HAULED OFF SITE SHALL BE RECYCLED OR DISPOSED OF PROPERLY IN AN APPROVED MEANS.
- REMOVE ALL DEBRIS AND TRASH FROM PREMISES AND REMOVE FROM SITE DAILY.
- SAFEGUARDS DURING CONSTRUCTION AND DEMOLITION SHALL BE IN ACCORDANCE WITH U.F.C. ARTICLE 87. COMBUSTIBLE CONSTRUCTION DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE WITHIN THE BUILDING AND SHALL BE REMOVED DAILY.
- VERIFY ALL ITEMS TO BE DEMOLISHED WITH OWNER/TENANT PRIOR TO COMMENCING DEMOLITION / REMOVAL. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND IMMEDIATELY.
- PRIOR TO CONSTRUCTION / DEMOLITION, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE AS BUILT CONDITION.
- VERIFY FRAMING MEMBER SIZES AND DIRECTION AND NOTIFY ARCHITECT/ENGINEER WITH DISCREPANCIES.
- VERIFY ALL PLUMBING LOCATIONS WITH OWNER/TENANT PRIOR TO CONSTRUCTION/DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- A CONSTRUCTION AND DEMOLITION RECYCLING PLAN AND DISPOSAL REPORT SHALL BE COMPLETED BY OWNER OR CONTRACTOR, AND SUBMITTED TO THE COUNTY OF SAN LUIS OBISPO, AS REQUIRED.

EXTERIOR ELEVATIONS NOTES

- EXTERIOR FINISHES AND COLORS SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
- FLASHING: PROVIDE FLASHING AND COUNTER-FLASHING PER C.B.C. 1707 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOINT. FLASHING AND COUNTER-FLASHING SHALL BE MIN. 26 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL (I.E. AT ROOF PENETRATIONS, LOUVERS, ETC.).
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS UNLESS OTHERWISE NOTED. ALL GUTTERS SHALL BE GALV. METAL PAINTED TO MATCH FASCIA. UNLESS OTHERWISE NOTED, ALL DOWNSPOUTS SHALL BE GALV. METAL PAINTED TO MATCH ADJACENT WALL FINISH (UNLESS OTHERWISE NOTED) AND TIED INTO UNDERGROUND DRAINAGE REFER TO GRADING/DRAINAGE PLAN FOR ADDITIONAL INFORMATION.
- WHERE APPLICABLE, CHIMNEY CAPS, EXTENSIONS, FLUES AND INSERTS MAY REQUIRE AN EPA APPROVED CATALYTIC CONVERTER OR EQUAL PER COUNTY OF SANTA BARBARA AIR QUALITY REQUIREMENTS. VERIFY WITH LOCAL JURISDICTIONS FOR TYPE, SPECIFICATIONS AND ADDITIONAL INFORMATION.
- WHERE APPLICABLE, A SPARK ARRESTOR, WITH MIN. 1/4" WIRE MESH, SHALL BE INSTALLED ON ALL CHIMNEYS.

MAINTENANCE STATEMENT

THIS PROJECT DOES NOT ADDRESS ANY SHORT OR LONG TERM MAINTENANCE REQUIREMENTS FOR THE MATERIALS, FINISHES AND/OR SURFACES SPECIFIED, DETAILED AND INDICATED IN THESE DRAWINGS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF OTHERS TO EITHER PROVIDE THIS INFORMATION, OR PROVIDE THE NAMES AND RESOURCES FOR THIS ISSUE. FURTHERMORE, THESE PLANS HAVE NOT BEEN DEVELOPED TO ADDRESS ANY PRIORITY, OR DETERMINATION, OF ANY MAINTENANCE PROGRAM OR PROCESS, OTHER THAN THE INFORMATION SUPPLIED BY OTHERS, THE OWNER AND THEIR AGENTS.

HAZAROUS MATERIALS STATEMENT

THE ARCHITECT IS NOT RESPONSIBLE FOR THE DETERMINATION OR REMOVAL METHODS OF ANY HAZARDOUS MATERIALS.

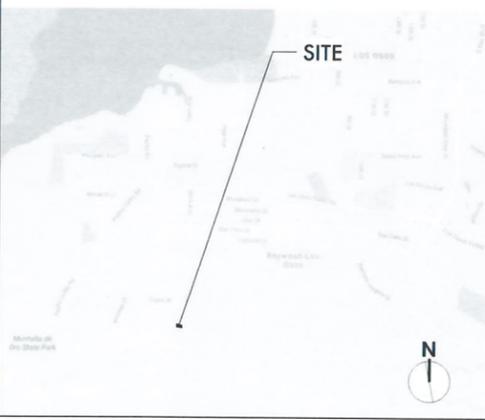


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MATTHEW-BAINBRIDGE RESIDENCE
 369 TRAVIS DRIVE
 LOS OSOS, CA 93042
 APN: 074-453-005

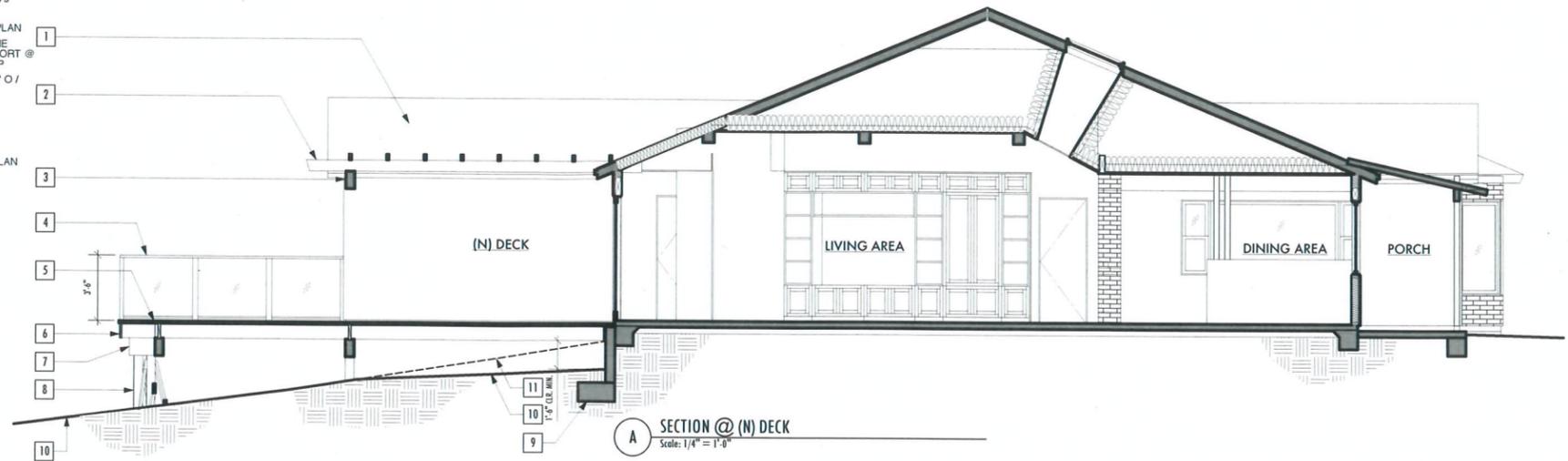
DATE	DESCRIPTION
10 OCT 16	PLANNING DEPT. SUBMITTAL
1601	PROJECT NUMBER
	SHEET NAME
	TITLE SHEET
	SHEET NUMBER
	T-1.0

VICINITY MAP



SECTION REFERENCE NOTES

- 1 (E) SINGLE FAMILY RESIDENCE
- 2 (N) WESTERN RED CEDAR WOOD TRELLIS; SHAPED 2X4's @ 24" O.C. / SHAPED 2X6's @ 24" O.C.
- 3 (N) WESTERN RED CEDAR WOOD TRELLIS BEAM, PER PLAN
- 4 (N) +42" HIGH, CLEAR ACRYLIC PANEL AND WOOD FRAME GUARD RAIL, W/ 4X4 WESTERN RED CEDAR VERT. SUPPORT @ 48" O.C. MAX., W/ 2X6 WESTERN RED CEDAR WOOD CAP
- 5 (N) 2X6 TREX DECKING W/ TREX DECK PROTECT TAPE / DECK JOISTS, PER PLAN
- 6 (N) PTDF 2X10 DECK JOISTS
- 7 (N) PTDF WOOD DECK BEAM, PER PLAN
- 8 (N) PTDF 6X6 COLUMN W/ 12"Ø CONCRETE PIER, PER PLAN
- 9 (N) CONCRETE RETAINING WALL, PER PLAN
- 10 (N) GRADE
- 11 (E) GRADE



SECTION @ (N) DECK
Scale: 1/4" = 1'-0"

SITE PLAN REFERENCE NOTES:

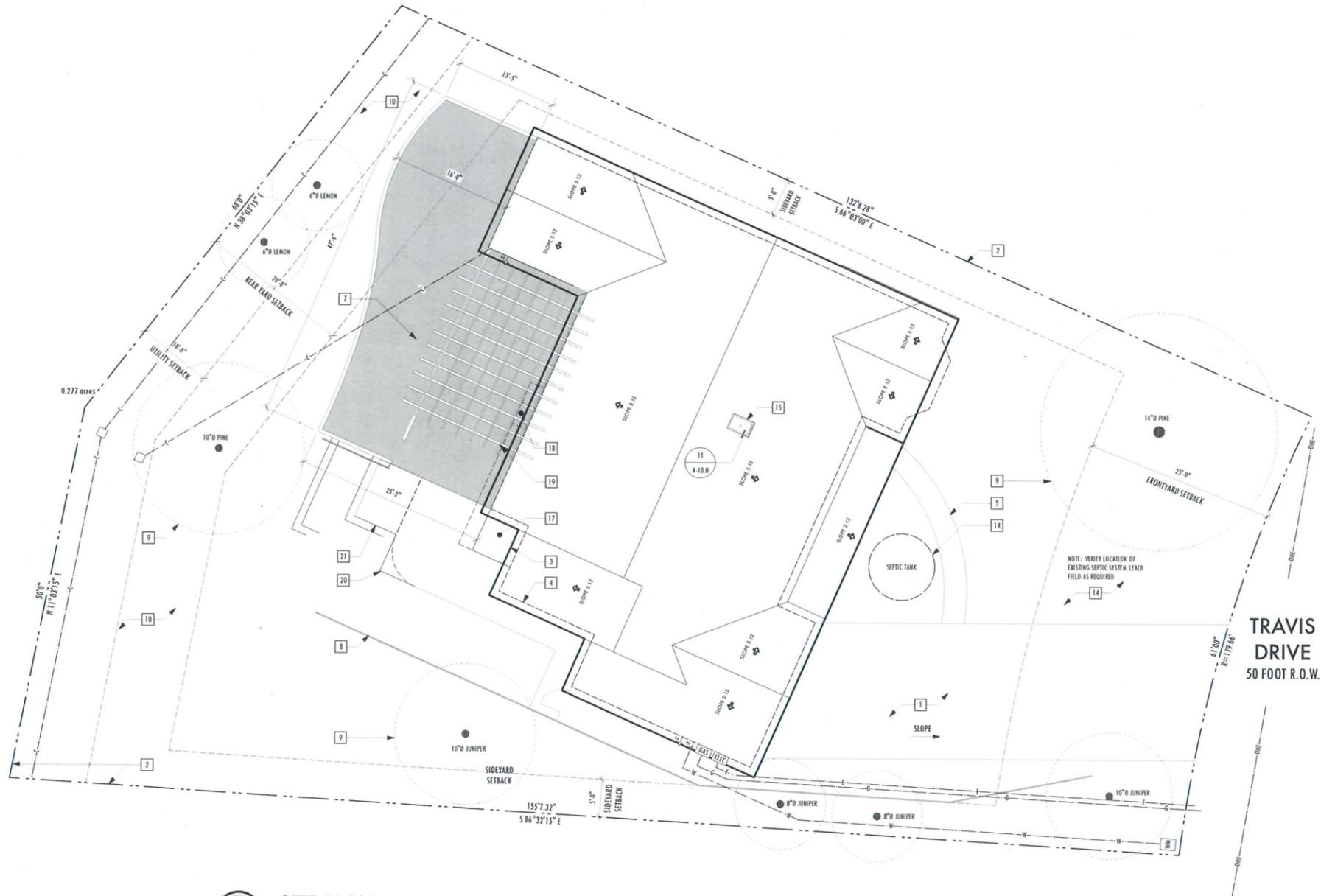
- 1 (E) CONCRETETE DRIVEWAY
- 2 (E) FENCE
- 3 LINE INDICATES ROOF
- 4 DASHED LINE INDICATES BUILDING FOOTPRINT
- 5 (E) HARDSCAPE TO REMAIN
- 6 (E) HARDSCAPE TO BE REMOVED
- 7 (E) WOOD RETAINING WALL TO REMAIN
- 8 (E) CMU RETAINING WALL TO REMAIN
- 9 (E) TREE
- 10 (E) LANDSCAPING
- 11 (E) 100 AMP ELEC. SERVICE
- 12 (E) GAS METER
- 13 (E) WATER METER
- 14 (E) SEPTIC TANK - VERIFY LOCATION IN FIELD AS REQUIRED
- 15 (N) SKYLIGHT PER PLAN - TEMPERED
- 16 (N) CONC. LANDING 36" MIN. IN DIRECTION OF TRAVEL, MAX 2% SLOPE
- 17 (N) LANDSCAPING
- 18 (N) WOOD DECK WITH +42" A.F.F. GUARDRAIL, PER PLAN
- 19 (N) WOOD TRELLIS, PER PLAN
- 20 (N) HARDSCAPE
- 21 (N) STAIRS - 6" RISER AND 12" TREAD, TYP WITH MIN. 36" LEVEL LANDING IN THE DIRECTION OF TRAVEL, 2% SLOPE MAX.

NOTE:

ALL WET AND DRY UTILITY LINE LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD PRIOR TO ANY WORK ON UTILITIES, AS REQUIRED.

FIRE HYDRANT NOTE:

THE NEAREST FIRE HYDRANT IS LOCATED DOWNHILL ± 385' AT THE CORNER OF TRAVIS AND HOUSTON. THE NEXT CLOSEST FIRE HYDRANT IS LOCATED UPHILL ± 405' AT THE END OF TRAVIS DRIVE.



SITE PLAN
SCALE: 1/8" = 1'-0"



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DATES

10 OCT 16
PLANNING DEPT. SUBMITTAL
PROJECT NUMBER

1601

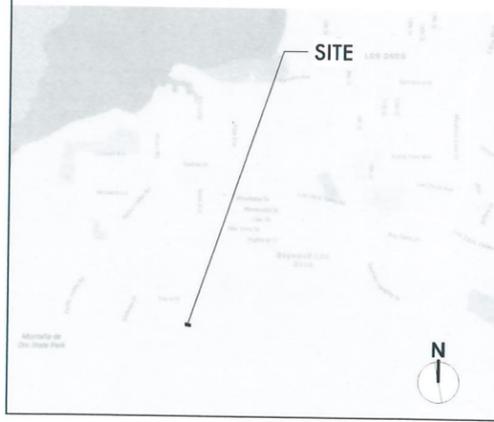
SHEET NAME

SITE PLAN

SHEET NUMBER

C-1.0

VICINITY MAP



GRADING NOTES:

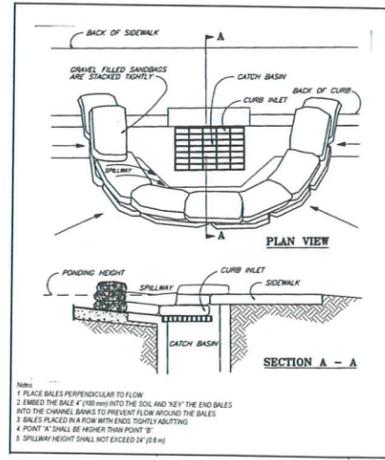
- MAX. SLOPE IS 2:1 AT ALL CUT AND FILL AREAS
- NO GRADING SHALL BE DONE WITHIN 2' OF PROPERTY LINES
- MINIMUM 5% DRAINAGE FOR 10'-0" MINIMUM AWAY FROM THE BUILDING FOUNDATION IS REQUIRED.
- PROVIDE 2'-0" LEVEL AREA, HEADER BOARD, OR WALL BETWEEN BACK OF SIDEYARD AND PLANTING AREAS
- ALL SLOPES EXCEEDING 5' IN HEIGHT AND EXCEEDING 4:1 SLOPES SHALL BE PLANTED WITH APPROVED PLANTING MATERIALS TO PREVENT EROSION. A WATERING SYSTEM SHALL BE PROVIDED AS DESCRIBED IN THE LANDSCAPE DRAWINGS.
- EROSION OF GROUND IN THE AREA OF DRAINAGE DISCHARGE SHALL BE PREVENTED BY THE INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.
- ALL EXCESS MATERIAL FROM GRADING OPERATIONS SHALL BE DISPOSED OF OUTSIDE THE CITY LIMITS IN AN ACCEPTABLE LOCATION, OR A SIGNED STATEMENT LOCATION OF THE DISPOSAL SITE WITHIN THE CITY LIMITS SHALL BE SUBMITTED.
- CONCENTRATED DRAINAGE SHALL NOT DRAIN OVER SIDEYARDS OR DRIVEWAY RAMP.
- AS REQUIRED, PROVIDE MINIMUM 18" UNDER FLOOR CLEARANCE TO GRADE AT FLOOR JOISTS AND MIN. 12" UNDER FLOOR CLEARANCE TO GRATE AT GIRDERS. REFER TO FOUNDATION DETAILS.
- IN THE EVENT OF ENCOUNTERING ANY SUBSURFACE ARCHAEOLOGICAL MATERIALS, ALL WORK MUST CEASE. CONTACT ARCHITECT & CITY PLANNING DEPARTMENT IMMEDIATELY.
- CONSTRUCTION & GRADING ACTIVITIES SHALL BE LIMITED TO 7:00 AM - 8:30 PM MONDAY-FRIDAY.
- GRADING EXPORT DISPOSAL SITE SHALL BE IDENTIFIED & ALL APPROVALS OBTAINED PRIOR TO FINAL MAP RECORDATION.
- GRADING SHALL CONFORM TO ALL CITY OF SAN LUIS OBISPO ORDINANCES AND 2013 CRC.
- PERFORATED DRAINS AT REAR OF RETAINING WALLS SHALL BE TIED INTO SITE DRAINAGE PIPING SHOWN ON THIS SHEET.
- ALL GRADING SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS REPORT NO. (AVAILABLE FOR REVIEW AT THE ARCHITECT'S OFFICE).
- DURING GRADING OPERATIONS THE OBSERVATION AND TESTING RECOMMENDATIONS OF THE SOILS REPORT SHALL BE CONDUCTED, OR ANOTHER QUALIFIED GEOTECHNICAL ENGINEERING FIRM APPROVED IN ADVANCE BY THE OWNERS AND ARCHITECT.
- THE EXISTING TOPSOIL SHALL BE REMOVED FROM THE AREA TO BE GRADED, STOCKPILED NEARBY AND PROTECTED FROM EROSION TO BE RETURNED TO THE EXPOSED CUT & FILL AREAS OUTSIDE THE BUILDING PAD AT THE END OF GRADING OPERATIONS. THE CLEARING OF EXISTING VEGETATION SHALL BE CONFINED TO THOSE AREAS DESIGNATED IN THESE DRAWINGS AS COVERED BY BUILDINGS, PAVEMENTS, CUT OR FILL SLOPES, OR NEW LANDSCAPING INSTALLATIONS.
- WHERE FILL IS TO BE PLACED ON AREAS THAT SLOPE MORE THAN 10% HORIZONTAL BENCHES SHALL BE CUT AND THE REMAINING SURFACE SHALL BE PREPARED AND FILLED IN ACCORDANCE WITH THE SOILS REPORT.
- THE CONTOURS AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A NATURAL APPEARANCE WITH SMOOTH TRANSITIONS.
- DURING GRADING AND UNTIL LANDSCAPING IS ESTABLISHED, DUST SHALL BE CONTROLLED WITH MOISTURE; SOIL WHICH TRACKED OR SPILLED ON PUBLIC OR PRIVATE STREETS SHALL BE CLEANED UP IN THE SAME DAY TO THE SATISFACTION OF THE COUNTY ENGINEERING DEPT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY AND NO PERSON SHALL EXCAVATE OR SUFFICIENTLY CLOSE TO THE PROPERTY LINE ADJOINING PUBLIC STREETS, SIDEWALK, ALLEY, OR OTHER PRIVATE OR PUBLIC WAY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, OR OTHER DAMAGE WHICH MIGHT RESULT. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE WHICH MIGHT RESULT. EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL WHICH ARE DAMAGED AS A RESULT OF HIS OPERATIONS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THIS PROJECT AFFECTING THE SAFETY OF ALL PERSONS ON OR ABOUT THE SITE, INCLUDING APPLICABLE PROVISIONS OF O.S.H.A. & THE COUNTY HEALTH DEPARTMENT
- THE FACES OF CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION AS INDICATED IN THE EROSION AND SEDIMENTATION CONTROL DRAWINGS AND NOTES HEREIN.
- PRIOR TO THE START OF ANY BUILDING CONSTRUCTION THE CONTRACTOR SHALL FURNISH THE COUNTY WITH CERTIFICATION FROM THE SOILS ENGINEERS OF RECORD THAT BUILDING SUBGRADES ARE WITHIN CONFORMANCE OF THE APPROVED PLANS AND THAT PROPER COMPACTION AND PREPARATION HAS BEEN OBTAINED. PROPER COMPACTION SHALL ALSO BE CONFIRMED BY THE THE SOILS ENGINEER FOR UTILITY BACKFILLS.
- A CERTIFICATION OF COMPLIANCE WITH THE APPROVED GRADING PLANS SHALL BE SUBMITTED TO THE BUILDING DIVISION BY THE CONTRACTOR PRIOR TO FINAL APPROVAL OF THE PROJECT FOR OCCUPANCY.
- NO ADJUSTMENT OF ELEVATION SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE BUILDING OFFICIAL AND THE ARCHITECT.
- RUNOFF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPLIED TO ALL SLOPES IN EXCESS OF 10% ACCORDING TO THE EROSION AND SEDIMENTATION CONTROL DRAWINGS AND NOTES HEREIN.
- THE ADJOINING STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF THE DAY.

GRADING LEGEND:

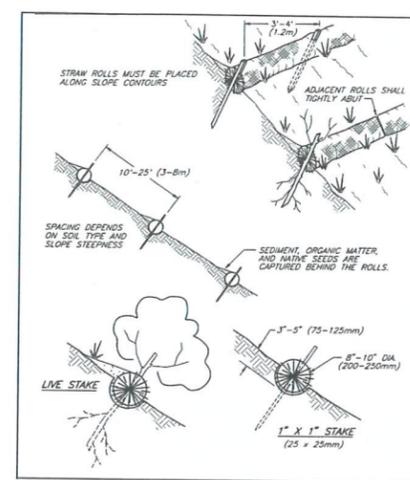
---(000)---	EXISTING TOPOGRAPHICAL CONTOUR
---(000)---	FINISH TOPOGRAPHICAL CONTOUR
(000)	FINISH SPOT GRADE ELEVATION
F.F.	FINISH FLOOR
F.S.	FINISH SURFACE
F.G.	FINISH GRADE
N.G.	NATURAL GRADE
T.O.C.	TOP OF CURB
T.O.FTG.	TOP OF FOOTING
T.O.G.	TOP OF GRATE
T.O.CONC.	TOP OF CONCRETE
T.O.R.	TOP OF RAIL
T.O.W.	TOP OF WALL
FL.	FLOW LINE
PAD	TOP OF GRADED PAD (MIN.)
P.O.C.	POINT OF CONNECTION
---	CENTERLINE OF SWALE (MIN. 1.5%)
---	PVC U.G. DRAIN LINE @ 1.5% MIN.
---	4" Ø PERF. PVC DRAIN LINE @ 2% MIN.
---	RIP-RAP @ D LINE DAYLITE @ DRAINAGE EASEMENT

NOTE:

- BENCH MARK REFERENCE IS FINISH FLOOR @ 112.75. ADJUST AND MODIFY TO EXISTING BENCH MARK, AS NECESSARY, FOR GRADE VERIFICATION.
- VERIFY ACTUAL FINISH FLOOR ELEVATION TO DRAIN, PER PLAN, PRIOR TO SETTING FINISH FLOOR ELEVATION.
- VERIFY EXISTING GRADES. NOTIFY ARCHITECT'S OFFICE OF ANY DISCREPANCIES.
- USE TREMCO COLD MEMBRANE SEALANT TREMPROOF 60 (1-800-321-7906). APPLY PER ASTM C836 @ ALL BELOW GRADE C.M.U. OR CONCRETE EXTERIOR SURFACES-TYP.



- Notes:
- PLACE SALES PERPENDICULAR TO FLOW
 - EMBED THE SALES 4" (100mm) INTO THE SOIL AND 'KEY' THE END SALES INTO THE CHANNEL BANKS TO PREVENT FLOW AROUND THE SALES
 - SALES PLACED IN A ROW WITH ENDS TIGHTLY ADJUTING
 - POINT 'A' SHALL BE HIGHER THAN POINT 'B'
 - SPILLWAY HEIGHT SHALL NOT EXCEED 1/4" (6mm)

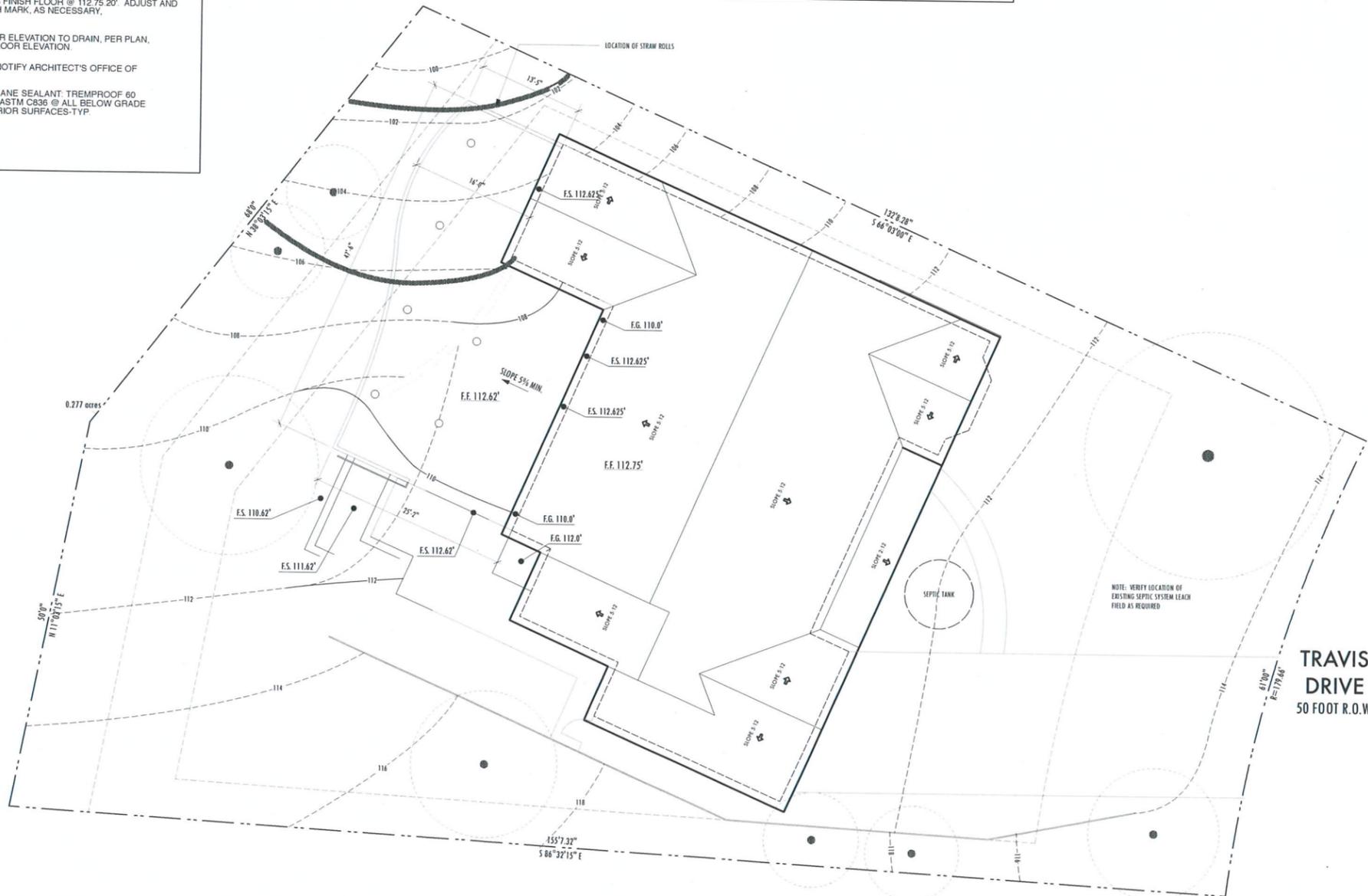


1 STORM DRAIN PROTECTION

SCALE: N.T.S.

2 EROSION PROTECTION

SCALE: N.T.S.



GRADING PLAN
SCALE: 1/8" = 1'-0"

DANCIART
ARCHITECTURE

17700 REDWOOD CTR RD #148
SANTA MONICA, CALIFORNIA 90405
805.704.5142
PETER@DANCIART.COM
WWW.DANCIART.COM



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MATTHEW-BAINBRIDGE RESIDENCE
369 TRAVIS DRIVE
LOS OSOS, CA 93042
APN: 074-453-005

DATE	
10 OCT 16	PLANNING DEPT SUBMITTAL
1601	PROJECT NUMBER
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	GRADING PLAN
	SHEET NUMBER

C-2.0

SAFETY GLAZING REQUIREMENTS

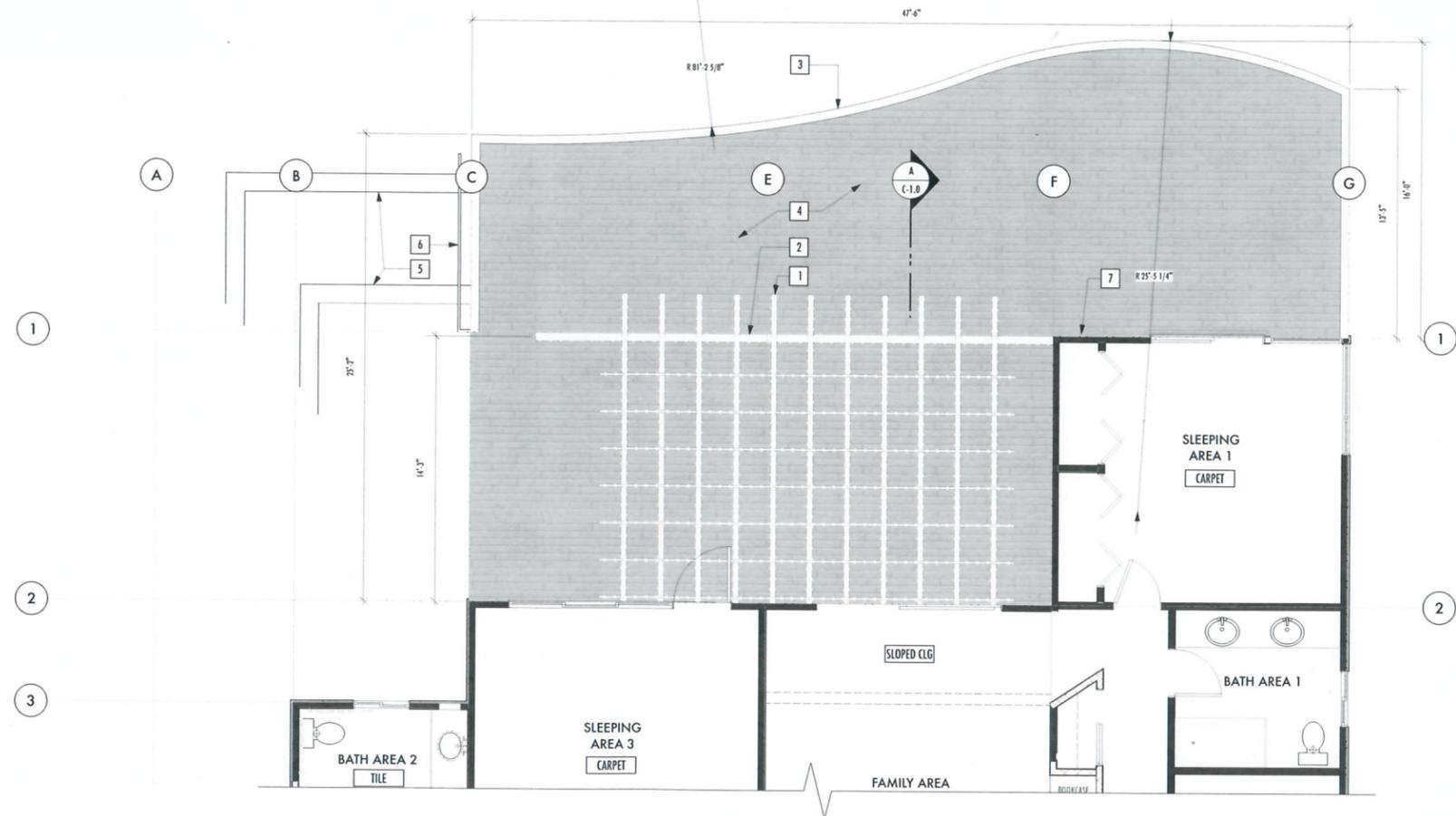
1. INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS, INCLUDING GLAZING USED IN FIRE ASSEMBLIES SHALL PASS ALL TEST REQUIREMENTS UBC STANDARD.
2. HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING
 - A. GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES
 - B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS
 - C. GLAZING IN STORM DOORS
 - D. GLAZING IN ALL UNFRAMED SWINGING DOORS
 - E. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - F. GLAZING IN A FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 - G. GLAZING IN A INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEET ALL THE FOLLOWING CONDITIONS:
 1. EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQ. FT.
 2. EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR
 3. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.
 - H. GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL PANELS AND NONSTRUCTURAL IN-FILL PANELS. EXCEPTIONS:
 1. GLAZING IN ITEM 6 WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN DOOR AND THE GLAZING.
 2. GLAZING IN ITEM 7 WHEN A PROTECTIVE BAR IS INSTALLED ON THE ACCESSIBLE SIDES OF THE GLAZING 34 INCHES (864MM) TO 38 INCHES (965MM) ABOVE THE FLOOR. THE BAR SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT (729 N/M) WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1 1/2 INCHES (38MM) IN HEIGHT
 3. OUTBOARD PANE IN INSULATING GLASS UNITS AND IN OTHER MULTIPLE GLAZED PANELS IN ITEM 7 WHEN THE BOTTOM EXPOSED EDGE OF THE GLASS IS 25 FEET (7620MM) OR MORE ABOVE ANY GRADE, ROOF, WALKING SURFACE, OR OTHER HORIZONTAL OR SLOPED (WITHIN 45 DEGREES OF HORIZONTAL) SURFACE ADJACENT TO THE GLASS EXTERIOR
 4. OPENINGS IN THE DOOR THROUGH WHICH A 3 INCH DIAMETER (76.2MM) SPHERE WILL NOT PASS
 5. ASSEMBLIES OF LEADED, FACETED OR CARVED GLASS IN ITEMS 1, 2, AND 6 AND 7 USED FOR DECORATIVE PURPOSES
 6. CURVED PANELS IN REVOLVING DOOR ASSEMBLIES
 7. DOORS IN COMMERCIAL REFRIGERATED CABINETS
 8. GLASS BLOCK PANELS COMPLYING WITH SECTION 2110
- I. GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
 1. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE POOL SIDE OF THE GLAZING
 2. THE GLAZING IS WITHIN 5' OF A SWIMMING POOL OR SPA DECK AREA.
- J. GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE
3. PLASTIC GLAZING USED IN EXTERIOR APPLICATIONS SHALL COMPLY WITH THE WEATHERING REQUIREMENTS OF UBC STANDARD.

WALL LEGEND

- (E) 2 X 4 INTERIOR FRAMING @ 16" O.C.
 - DEMO - EXISTING 2X WALL FRAMING
 - (N) 2 X FRAMING - @ 16" O.C.
- 33 -> DETAIL NUMBER
A-1.0 -> SHEET NUMBER

FLOOR PLAN REFERENCE NOTES:

- 1 (N) WESTERN RED CEDAR WOOD TRELLIS: SHAPED 2X4'S @ 24" O.C. O/ SHAPED 2X8'S @ 24" O.C.
- 2 (N) WESTERN RED CEDAR WOOD TRELLIS BEAM, PER PLAN
- 3 (N) 1/2" HIGH CLEAR ACRYLIC PANEL AND WOOD FRAME GUARD RAIL W/ 4X4 WESTERN RED CEDAR VERT. SUPPORT @ 48" O.C. MAX. W/ 2X6 WESTERN RED CEDAR WOOD CAP
- 4 (N) 2X6 TREX® DECKING W/ TREX DECK PROTECT TAPE® O/ DECK JOISTS, PER PLAN
- 5 (N) CONCRETE STAIRS, 6" RISERS, 12" TREADS
- 6 (N) 1 1/2" Ø HANDRAIL @ +34" -36" A.F.S., PER 2013 CRC
- 7 (E) WALLS OF SINGLE FAMILY RESIDENCE



DIMENSIONAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

DANCIART ARCHITECTURE

11500 REDWOOD CIRCLE #104
LOS ANGELES, CALIFORNIA 90024
TEL: 310.512.1122
WWW.DANCIART.COM

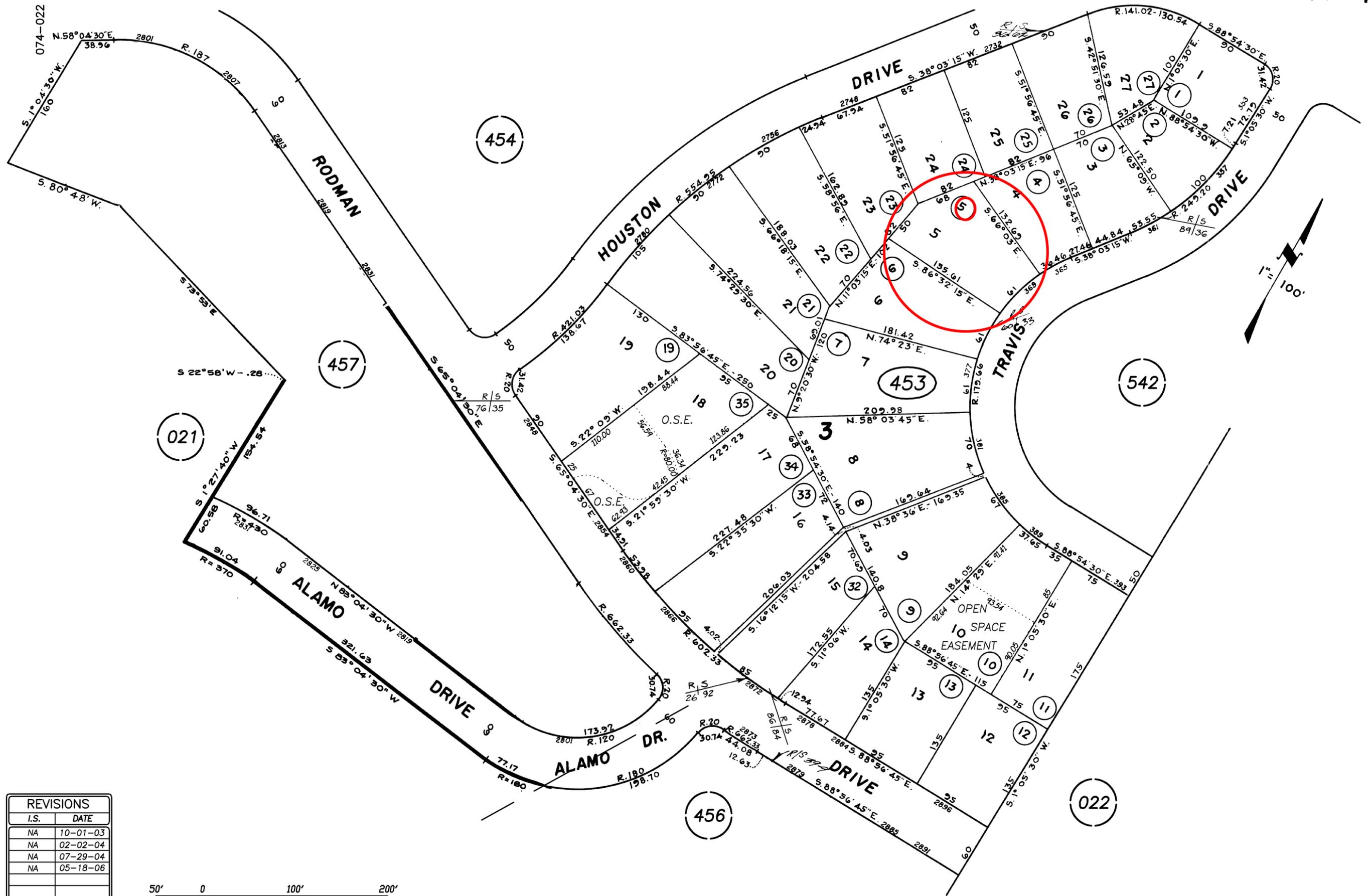


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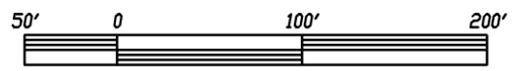
MATTHEW-BAINBRIDGE RESIDENCE
369 TRAVIS DRIVE
LOS OSOS, CA 93042
APN: 074-453-005

DATE	
10 OCT 16	PLANNING DEPT. SUBMITTAL
PROJECT NUMBER	1601
SHEET NAME	DIMENSION FLOOR PLAN
SHEET NUMBER	A-1.0





REVISIONS	
I.S.	DATE
NA	10-01-03
NA	02-02-04
NA	07-29-04
NA	05-18-06



GB 07-18-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Parcel Summary Report For Parcel # 074-453-005

10/21/2016
2:40:25PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role **Name and Address**

OWN MATTHEW WILLIAM B
369 TRAVIS DR LOS OSOS CA 93402-4327
OWN BAINBRIDGE GEORGENE M

Address Information

Status **Address**
P 00369 TRAVIS DR LSOS

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
306	0003	0005	Los Osos	Estero Plannin	RSF	LCP	CAZ	Y		

Parcel Information

Status **Description**
Active TR 306 BL 3 LT 5 LESS MIN RTS

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
LOS OSOS, ZONE J
LOS OSOS, ZONE K
LOS OSOS
NO. 02
LOS OSOS, ZONE B



Parcel Summary Report For Parcel # 074-453-005

10/21/2016
2:40:26PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

LOS OSOS, ZONE D

Case Information

Case Number:

Case Status:

96188 FNL Primary Parcel

Description:

REPAIR FOUNDATION TO EXIST. SFD

99220 FNL Primary Parcel

Description:

REROOF WITH SHEATHING

DRC2016-00026 REC Primary Parcel

Description:

ADDITION OF REAR EXTERIOR DECK TO EXISTING SFR

PMT2010-00357 FNL Primary Parcel

Description:

Electrical Panel Replacement REPLACE MAIN 100 AMP ELECTRICAL SERVICE WITH NEW

PMT2016-01931 RVW Primary Parcel

Description:

REMODEL (378 SF) INCLUDING 244 SF OF KITCHEN/BATH & 134 SF OF WORKSHOP CONVERSION TO BATH