



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

## THIS IS A NEW PROJECT REFERRAL

**DATE:** 11/10/2016

**TO:** \_\_\_\_\_

**FROM:** Cody Scheel (805-781-5157 or cscheel@co.slo.ca.us)  
Coastal Team / Development Review

**PROJECT DESCRIPTION:** DRC2016-00039 NYE – Proposed minor use permit for the construction of a 2597 SF single family residence with 2 car garage. Project location is 1850 Strand Ave, Oceano. APN: 061-072-020

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

**PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?**

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

**PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?**

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

**PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.**

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Date

\_\_\_\_\_

Name

\_\_\_\_\_

Phone



# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2016-00039 NYE, PEGGY & PA  
 MINOR USE PERMIT  
 NEW 2597 SQUARE FT SFR W/2 CAR GARAGE  
 SOCST/ OCNO  
 AR AS CAZ FH LCP RMF  
 SSN

### APPLICANT INFORMATION Check box for contact

person assigned to this project

*no* →  Landowner Name Peggy & Paul Nye Daytime Phone 805.481.2323  
 Mailing Address 2820 Doty Drive A.G. Zip Code 93420  
 Email Address: jnye1@icloud.com

Applicant Name same as landowner Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

*yes* →  Agent Name Clinton Iwanicha, Architect Daytime Phone 805.459.2849  
 Mailing Address 2454 Hemlock Ave, M.B. Zip Code 93442  
 Email Address: cmiaarchitect@gmail.com

### PROPERTY INFORMATION

Total Size of Site: 2998 SF Assessor Parcel Number(s): 061-072-020  
 Legal Description: \_\_\_\_\_  
 Address of the project (if known): 1850 Strand Ave, Oceano  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Strand Ave off of Pier Ave  
 Describe current uses, existing structures, and other improvements and vegetation on the property:  
VACANT SAND LOT

### PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): New ~~2597~~ 2597 S.F SFR w/ 2-car garage

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Margaret J. Nye Date 11-4-16

FOR STAFF USE ONLY



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: chain link fence & gate

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential South: Residential  
East: 11 West: open beach

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1688 sq. feet 26 % Landscaping: 0 sq. feet 0 %  
Paving: 394 sq. feet 13 % Other (specify) 916 SF previous paving 31%  
Total area of all paving and structures: 2082 SF  sq. feet  acres  
Total area of grading or removal of ground cover: 2998  sq. feet  acres  
Number of parking spaces proposed: 2 Height of tallest structure: 24'-11" above avg grade  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 14'-11" Right 3'-0" Left 3'-0" Back 10'-2"

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: OCSD  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: OCSD  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: 5-cities

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: 3  
Total floor area of all structures including upper stories, but not garages and carports: 2597 sf  
Total of area of the lot(s) minus building footprint and parking spaces: 1310 sf



**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 200 gallons
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach. \_\_\_\_\_
7. Does water meet the Health Agency's quality requirements?  
 Bacteriological?     Yes     No  
 Chemical?     Yes     No  
 Physical     Yes     No  
 Water analysis report submitted?     Yes     No  
N/A
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis ( OK or  Problems)  
 Will Serve Letter     Pump Test \_\_\_\_\_ Hours / \_\_\_\_\_ GPM  
 Surrounding Well Logs     Hydrologic Study     Other Oceanic Community water district

Please attach any letters or documents to verify that water is available for the proposed project.

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? \_\_\_\_\_ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No    If 'Yes', please attach.
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
 Distance to nearest sewer line: \_\_\_\_\_    Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? 200 GPD
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No  
N/A

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: South county Sanitary Services
- 3. Where is the waste disposal storage in relation to buildings? in garage
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?     Yes     No

**Community Service Information**

- 1. Name of School District: Lucia Mar
- 2. Location of nearest police station: Gravel Beach Police, 711 Rockaway
- 3. Location of nearest fire station: Scitias-station 3, 1655 Front St, Oceano
- 4. Location of nearest public transit stop: 13th & Highway 1
- 5. Are services (grocery/other shopping) within walking distance (1/2 mile or closer) of the project?     Yes     No

**Historic and Archeological Information**

- 1. Please describe the historic use of the property: vacant lot
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

*Only complete this section if you are proposing a commercial or industrial project or zoning change.*

- 1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
- 2. How many people will this project employ? \_\_\_\_\_
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.
- 9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between 4:00 to 6:00 p.m. \_\_\_\_\_

10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
 If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No  
 2. If yes, is the site currently under land conservation contract?  Yes  No  
 3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_  
 \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_  
 \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
 If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_  
 \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
 If yes, please describe: \_\_\_\_\_  
 \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: Low flow water fixtures, LED light fixtures

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
on site water percolation of storm water
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No  
 If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): FAA aviation easement for airport.

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned to the project

# A PROPOSED NEW RESIDENCE FOR: the nye's



clinton m. iwanicha  
architect

california license#: C30531  
email: cmiarchitect@gmail.com  
phone: 805.459.2849

architect seal:



project type:  
new residence

project address:  
1850 strand ave.  
oceanso, california

## water saving requirements

INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20 PERCENT USING ONE OF THE FOLLOWING METHODS. (CGC 4.303.1)  
A) WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED.  
B) A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED.  
WHEN USING THE CALCULATION METHOD SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES. 4.303.2  
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS. 4.303.3  
OUTDOOR WATER USE  
AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. 4.304.1

## required special inspections

REFER TO SHEET S0.1 & S1.3 FOR A LIST OF REQUIRED SOILS OBSERVATION AND STRUCTURAL SPECIAL INSPECTIONS

## BMP statement

REFER TO SHEET AS1.3 FOR BMP PLAN FOR MORE INFO

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.

PERSON RESPONSIBLE FOR EROSION CONTROL MONITORING IS JOHN WOULBROUN 805-610-7265

## erosion control monitor

PERSON RESPONSIBLE FOR EROSION CONTROL MONITORING IS JOHN WOULBROUN 805-610-7265

## 3rd party verification requirement

NEW HOMES GREATER THAN 2500SF SHALL COMPLETE 3RD PARTY VERIFICATION. REFER TO GREEN POINT RATING CHECKLIST ON SHEET T1.2. VERIFICATION SHALL BE DONE BY TIM CARSTARS OF CARSTARS ENERGY PH. 805-904-9048

## HERS required inspections

A HOME ENERGY RATING SYSTEM (HERS) RATER IS REQUIRED TO PERFORM A HOME ENERGY RATING PRIOR TO CONSTRUCTION COMPLETION.

## title 24 compliance

ENERGY COMPLIANCE FORMS CF2R AND CF3R WILL BE BE COMPLETED AND SUBMITTED TO THE BUILDING INSPECTOR AT TIME OF INSPECTION OF RELATED COMPONENT.

## soils inspection

## statement of compliance

THIS PROJECT HAD BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE SAN LUIS OBISPO COUNTY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I/VWC WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASES.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING 2013 BUILDING STANDARDS CODES:

CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2012 IBC)  
CALIFORNIA RESIDENTIAL CODE (2012 IRC)  
CALIFORNIA PLUMBING CODE (2012 UPC)  
CALIFORNIA MECHANICAL CODE (2012 UMC)  
CALIFORNIA ELECTRICAL CODE (2011 NEC)  
CALIFORNIA ENERGY CODE (V 2008 UNTIL 7/1/2014)  
CALIFORNIA GREEN BUILDING CODE  
CALIFORNIA FIRE CODE (2012 IFC)  
CALIFORNIA REFERENCE STANDARDS CODE  
COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19  
COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23  
COUNTY FIRE CODE ORDINANCE - TITLE 16  
COUNTY LAND USE ORDINANCE - TITLE 22

REQUIRED REFERENCE STANDARDS:

ASCE 7-10 (MINIMUM DESIGN LOADS)  
AISC 341-10 (2005 SEISMIC DESIGN FOR STEEL BLDGS.)  
AISC 358-10 (PREQUALIFIED CONNECTIONS FOR SPECIAL AND INTERMEDIATE MOMENT FRAMES)  
AISC 360-10 (2005 STEEL SPECS 13TH ED)  
ACI 318-11 (CONCRETE DESIGN)  
ACI 530-11 (MASONRY DESIGN)  
AF&PA/NDS-2012 (WOOD DESIGN)  
WFCM-01 (WOOD FRAME CONST. MANUAL 1-2 SFD)

## existing project data

PROPERTY OWNER: PEGGY AND PAUL NYE  
2828 DOTY DRIVE  
ARROYO GRANDE, CA 93420  
PH. 805-461-2323

SITE ADDRESS: 1850 STRAND AVE, OCEANO CA 93445

ASSESSOR'S PARCEL NUMBER: 061-072-020

SITE AREA: 2998 SF

SITE ZONING: RMF

COASTAL ZONE: YES

## proposed project data

SCOPE OF PERMIT:

CONSTRUCT A NEW 2597 S.F. RESIDENCE WITH AN ATTACHED 496 SF 2 CAR GARAGE AND A ROOF DECK. SITE TO CONSIST OF 916 SF OF PERVIOUS PAVING, 31% OF SITE. HOUSE DESIGN WAS DICTATED BY RE-PURPOSED WINDOWS FROM ANOTHER PROJECT. EVERY WINDOW THAT PURCHASED FOUND A PLACE IN THIS DESIGN. STEPPING BACK AND BREAKING UP OF THE HOUSE MASSING WAS INCORPORATED ON THE EAST, SOUTH AND WEST FACADE OF THE HOUSE, ALL THE MOST VISIBLE FROM STRAND AVE AND THE BEACH.

PROPOSED BUILDING OCCUPANCY AND CONSTRUCTION TYPE:

SINGLE FAMILY RESIDENCE: R-3 (TYPE II-B), SPRINKLERED GARAGE: U-1 (TYPE II-B), SPRINKLERED

SOFT BREAKDOWN:  
LIVING AREA = 1192 SF  
1ST FLOOR = 1192 SF  
2ND FLOOR = 1405 SF  
TOTAL = 2597 SF

ATTACHED GARAGE = 496 SF  
2ND FLOOR BALCONY = 103 SF  
2ND FLOOR DECK = 57 SF  
ROOF DECK = 452 SF

LOT COVERAGE

PROPOSED BUILDING COVERAGE = 1688 SF / 2998 SF = 56%  
IMPERVIOUS PAVING = 394 SF / 2998 SF = 13%  
PERVIOUS PAVING = 916 SF / 2998 SF = 31%  
LANDSCAPING = 0% (WATER CONSERVATION MEASURE)

BUILDING SETBACKS AND HEIGHTS:

RESIDENTIAL RURAL ZONING SETBACK ALLOWANCES  
FRONT = 14' (SPECIAL STRAND AVE SETBACK)  
SIDES = 3'  
REAR = 10'

PROPOSED SETBACKS  
FRONT = 14'-1"  
SIDES = 3'-0" (NORTH) & 3'-0" (SOUTH)  
REAR = 10'-2"

ZONING HEIGHT ALLOWANCE = 25FT ABOVE AVG. GRADE

PROPOSED HOUSE MAXIMUM HEIGHT = 24'-11" ABOVE AVG. GRADE < 25FT... OK!

PROPOSED CUT AND FILL QUANTITIES = < 50 YARDS

PROPOSED LANDSCAPING = 0 SF (WATER CONSERVATION MEASURE)

PERVIOUS AREA CALCULATION:  
PERVIOUS AREA = 916SF (FRONT DRIVEWAY, NORTH & SOUTH WALKWAY)

TOTAL IMPERVIOUS AREA = 2,998SF (TOTAL LOT) - 916SF (PERVIOUS AREA) = 2,082SF < 2,500SF

## sheet index

REV. 1

T1.0	TITLE SHEET: SITE PLAN, PROJECT DATA, PROJECT DIRECTORY AND VICINITY MAP
AS1.1	EXISTING SITE PLAN & PROPOSED OVERALL SITE PLAN
1 OF 3	CIVIL TITLE SHEET AND EROSION CONTROL PLAN
2 OF 3	CIVIL NOTES AND DETAILS
3 OF 3	CIVIL FINISH GRADING & DRAINAGE PLAN
A1.1	PROPOSED 1st & 2nd FLOOR PLAN
A1.2	PROPOSED ROOF DECK PLAN
A3.1	PROPOSED BUILDING PERSPECTIVES
A3.2	PROPOSED BUILDING ELEVATIONS
A3.3	PROPOSED BUILDING ELEVATIONS

DRC2016-00039

NYE, PEGGY & PA

MINOR USE PERMIT

NEW 2597 SQUARE FT SFR W/2 CAR GARAGE  
SOCST/ OCNO

AR AS CAZ FH LCP RMF  
SSN

## consultant directory

ARCHITECT:	CLINTON M. IWANICHA, ARCHITECT 2456 HEMLOCK AVE MORRO BAY, CA 93442 ph. 805.254.4051 fx. 866.271.1155 EMAIL: cmiarchitect@gmail.com	SOILS ENGINEER & SPECIAL INSPECTOR:	GSI SOILS INC. 524 EAST CHAPEL STREET SANTA MARIA, CA 93454 PH: 805.349.0140 CONTACT: RON CHURCH
CIVIL ENGINEER:	ROBERTS ENGINEERING, INC. 2015 VISTA DE LA VINA TEMPLETON, CA 93465 CONTACT: TIM ROBERTS, PE ph. 805.239.0664 EMAIL: tim@robtsenginc.com	ARCHEOLOGIST:	LSA ASSOCIATES, INC. 1998 SANTA BARBARA STREET-SUITE 120 SAN LUIS OBISPO, CA 93401 CONTACT: LEROY LAURIE ph. 805.440.8712

client:

Peggy & Paul Nye  
2828 Doty drive  
arroyo grande, california  
93420-5334

Sheet Title:  
cover sheet

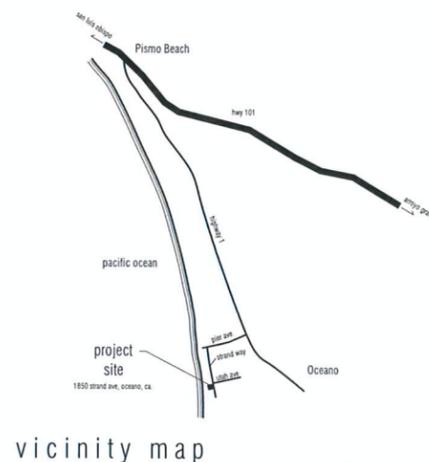
Sheet Info:

plot date: 11.04.16

rev.	description	date

Sheet:

t1.0



vicinity map



architect seal:



project type:  
new residence

project address:  
1850 strand ave.  
oceanso, california

client:  
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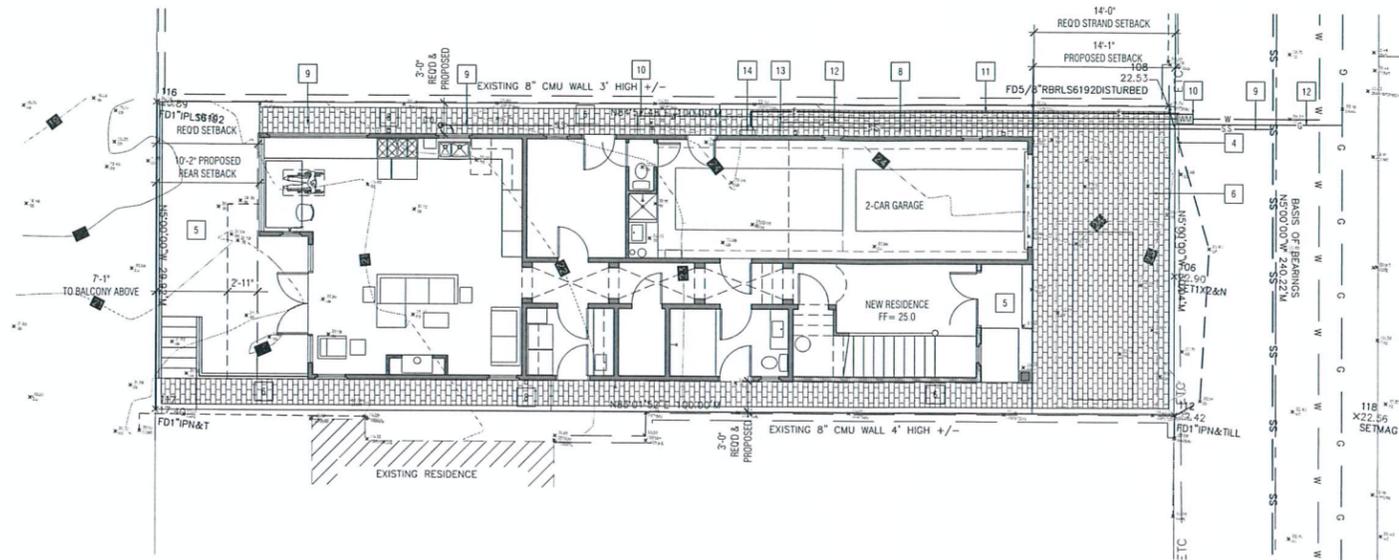
Sheet Title:  
existing and proposed  
site plan

Sheet Info:

plot date: 11.04.16

rev.	description	date

Sheet:



PERVIOUS AREA CALCULATION:

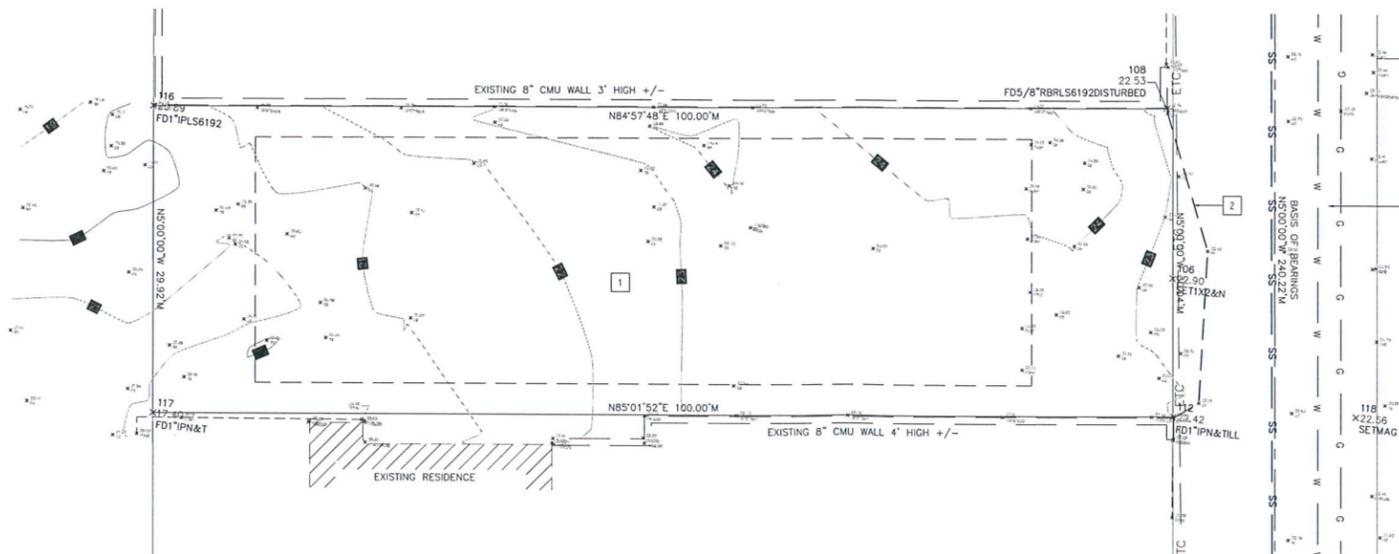
PERVIOUS AREA = 916SF (FRONT DRIVEWAY, NORTH & SOUTH WALKWAY)

TOTAL IMPERVIOUS AREA = 2,998SF (TOTAL LOT) - 916SF (PERVIOUS AREA) = 2,082SF < 2,500SF

proposed site plan  
SCALE: 1/4" = 1'-0" NORTH

key notes

- 1 EXISTING TOPOGRAPHY, SAND AND GRAVEL
- 2 EXISTING PAVING EDGE
- 3 EXISTING UNDERGROUND UTILITIES
- 4 NO NEW CURB GUTTER AND SIDEWALK ARE PROPOSED BECAUSE NOT REQUIRED ON STRAND AVE
- 5 NEW CONCRETE FLATWORK
- 6 NEW PERVIOUS PAVERS (916SF PROPOSED)
- 7 NEW CONCRETE WALL WITH GLASS RAILING
- 8 NEW DOWNSPOUT LOCATIONS
- 9 NEW 4" ABS SEWER LINE, SLOPE MIN 2% TO EXISTING SEWER IN ALLEY. PROVIDE CLEAN OUT AS SHOWN
- 10 NEW 1/2" WATER LINE & WATER METER
- 11 NEW UNDERGROUND ELECTRICAL, PHONE, AND CABLE LINE
- 12 NEW UNDERGROUND GAS LINE
- 13 NEW GAS METER LOCATION, 36" MIN. CLEARANCE TO ELECTRICAL PANEL
- 14 NEW MAIN 200A ELECTRICAL PANEL



existing site plan & topography  
SCALE: 1/4" = 1'-0" NORTH

architect seal:



project type:  
new residence

project address:  
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93420-5334

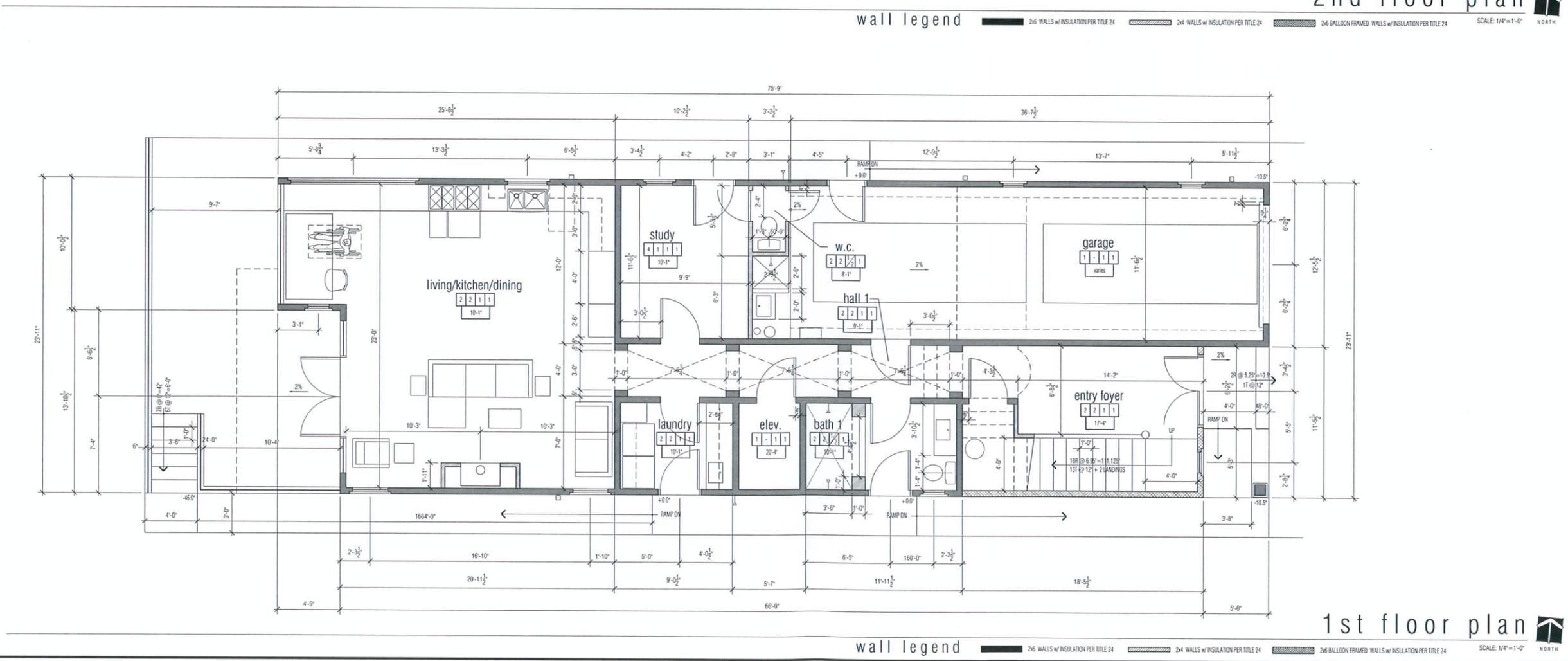
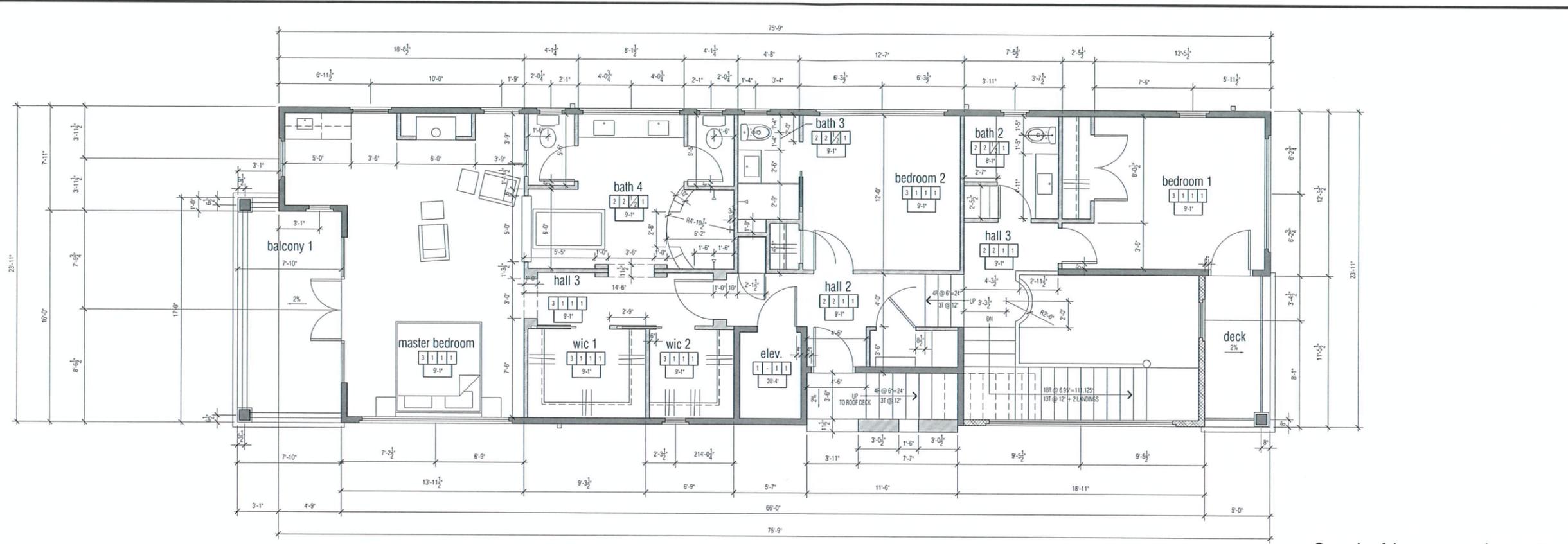
Sheet Title:  
1st floor plan

Sheet Info:  
plot date: 11.04.16

REV	DESCRIPTION	DATE

Sheet:

a1.1



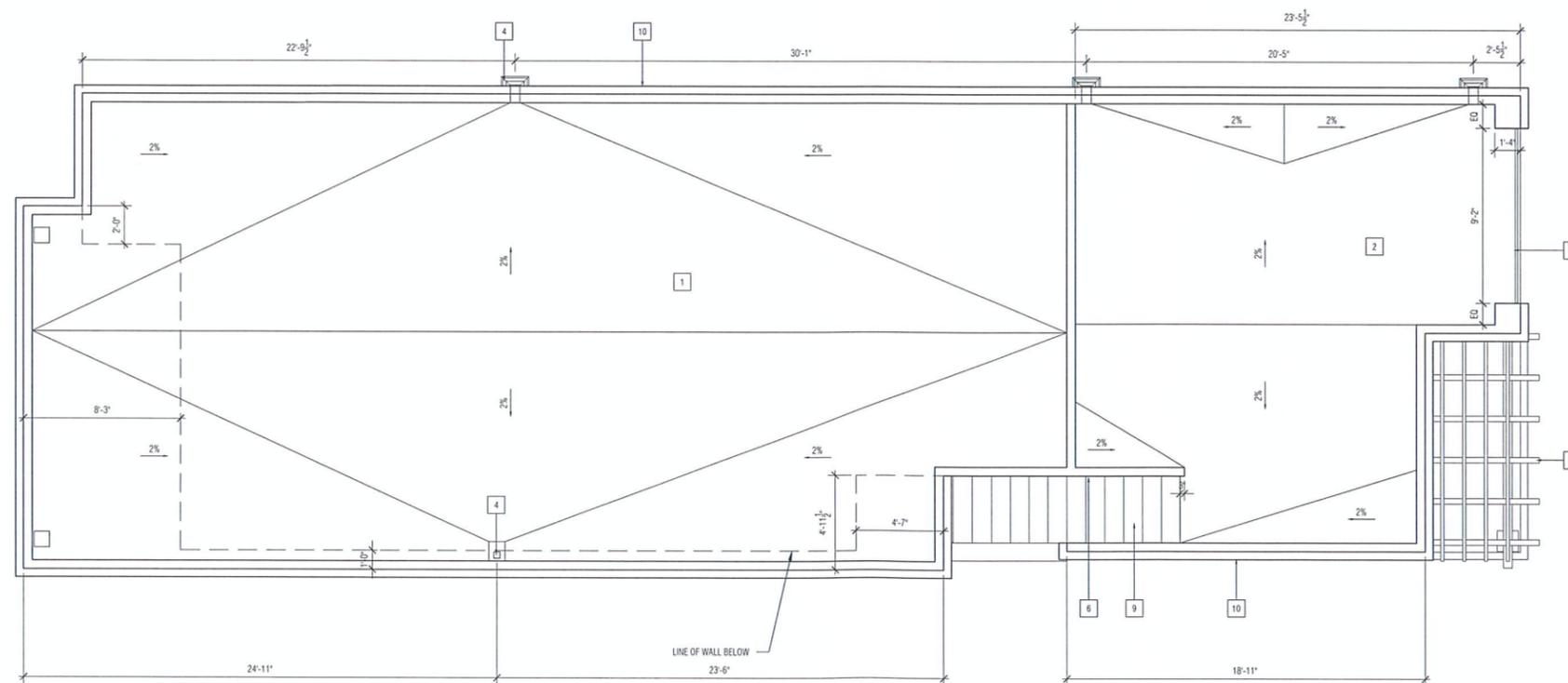
architect seal:



project type:  
new residence

project address:  
1850 strand ave.  
oceanso, california

client:  
Peggy & Paul Nye  
2828 Doty drive  
arroyo grande, california  
93420-5334



key notes

- 1 ROOF WATERPROOF (FLEX-TPD) THERMOPLASTIC SINGLE PLY SYSTEM . SLOPE STAIR TREADS 2% MIN. TO DRAIN - REFER TO SHEET A6.2
- 2 DECK WATERPROOFING - "ALX" WATERPROOFING ACRYLIC RESIN AND CEMENT BLEND OVER EXTERIOR RATED FLYWOOD (OSB NOT ALLOWED), WATERPROOFING NOT ROOFING - REFER TO SHEET A6.1
- 3 VELLUX SKYLIGHT ON CURB (MODEL ECM 3434), REFER TO DETAIL
- 4 LINE OF SCUPPER & DOWNSPOUT, REFER TO SITE PLAN FOR DRAINAGE INFO.
- 5 BRONZE METAL RAILING, REFER TO DETAIL
- 6 1.5" DIA. BRONZE PIPE HANDRAIL WITH RETURNS TO WALL, REFER TO DETAIL AS/AS.1
- 7 LINE OF TRELIS BELOW, REFER TO DETAIL A1/AS.2
- 8 COPPER SCUPPER DRAIN & DOWNSPOUT, REFER TO DETAIL B4 & CA/AS.1 (PROVIDE SPLASH BLOCK AT EXIT)
- 9 STAIR TREADS & LANDINGS SHOULD SLOPE 1% MIN FOR DRAINAGE
- 10 LINE OF CONCRETE CORNICE MOLDING, REFER TO DETAIL

Sheet Title:  
roof plan

Sheet Info:  
plot date: 11.04.16

rev	description	date

Sheet:

roof plan   
SCALE: 1/4"=1'-0"

a1.2

architect seal:



project type:  
new residence

project address:  
1850 strand ave.  
oceanso, california

client:  
Peggy & Paul Nye  
2828 Doty drive  
arroyo grande, california  
93420-5334

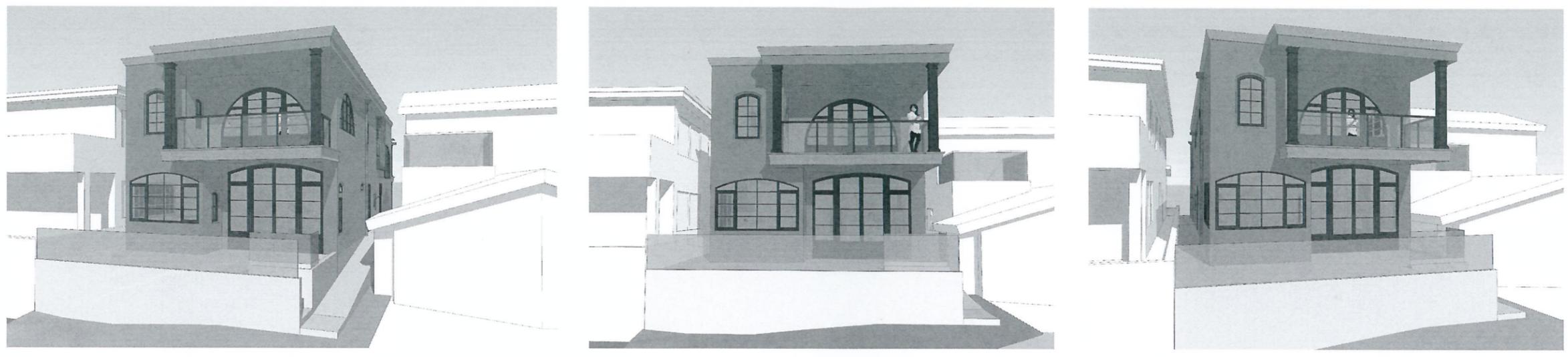
Sheet Title:  
elevations

Sheet Info:  
plot date: 11/04/16

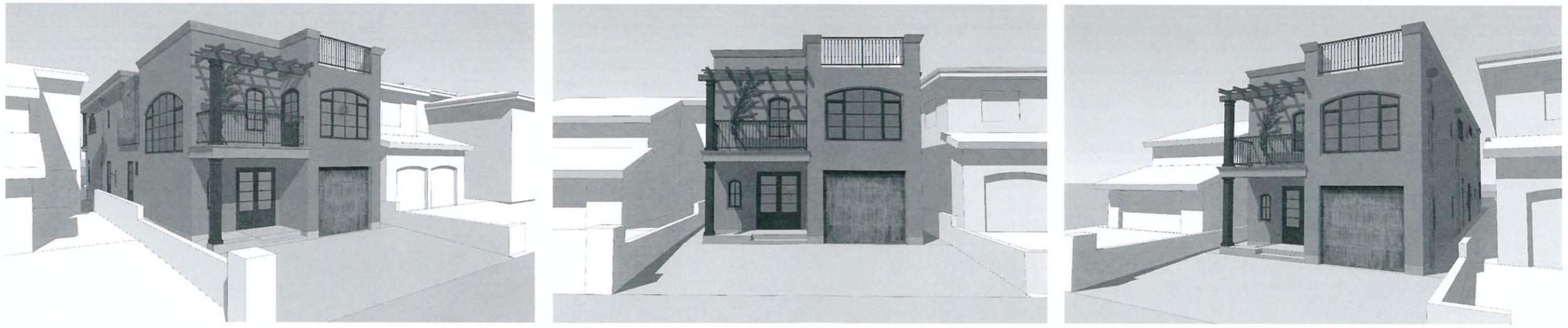
rev	description	date

Sheet:

a3.1



west renderings  
SCALE: 1/4"=1'-0"



east renderings - street view from strand ave  
SCALE: N.T.S.

architect seal:



project type:  
 new residence

project address:  
 1850 strand ave.  
 oceano, california

client:  
 Peggy & Paul Nye  
 2828 Doty drive  
 arroyo grande, california  
 93420-5334

Sheet Title:  
 elevations

Sheet Info:  
 plot date: 11.04.16

rev.	description	date

Sheet:

a3.2



east elevation (strand ave)

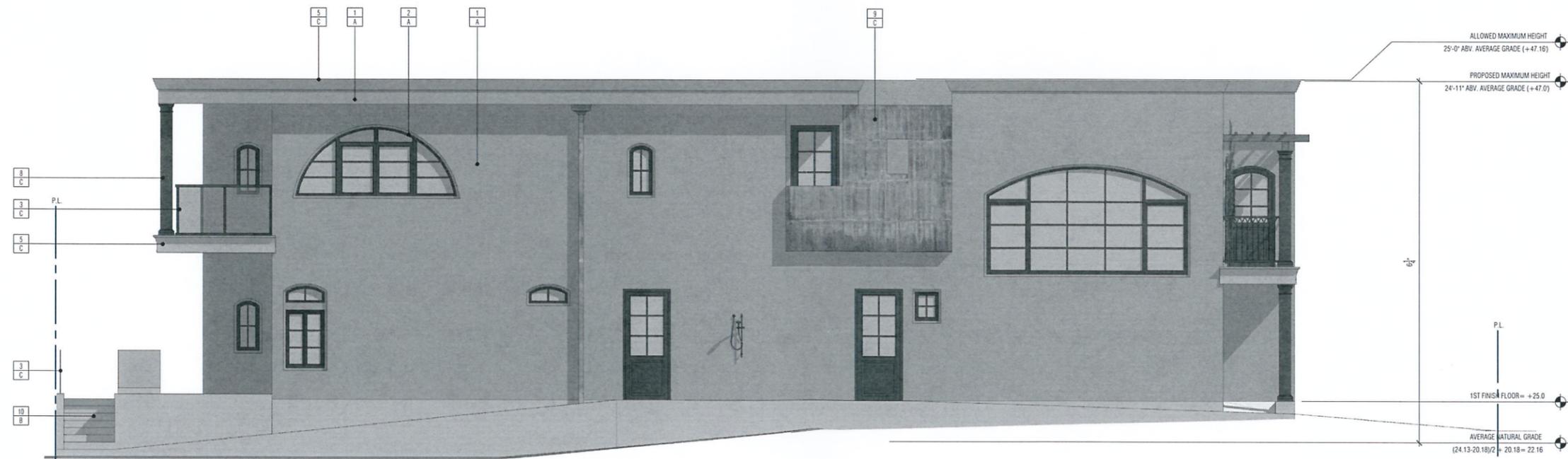
SCALE: 1/4"=1'-0"

material

1. SMOOTH SAND STUCCO EXTERIOR FINISH
2. BRONZE WINDOWS & DOORS PER PLAN
3. TEMPERED GLASS RAILING WITH BRONZE METAL FRAME
4. COPPER SCUPPER & DOWNSPOUT
5. CONCRETE MOLDING
6. BRONZE METAL RAILING
7. WESTERN RED CEDAR
8. ARCHITECTURAL COLUMN OVER STRUCTURAL POST
9. COPPER PANEL OR FLASHING, USE COPPER NAILS FOR ATTACHMENT
10. EXPOSED CONCRETE

color

- A. DRY SAGE 2142-40 (BENJAMIN MOORE)
- B. CLEAR STAINSEALER
- C. NATURAL FINISH



south elevation

SCALE: 1/4"=1'-0"

architect seal:



project type:  
 new residence

project address:  
 1850 strand ave.  
 oceano, california

client:  
 Peggy & Paul Nye  
 2828 Doty drive  
 arroyo grande, california  
 93420-5334

Sheet Title:  
 elevations

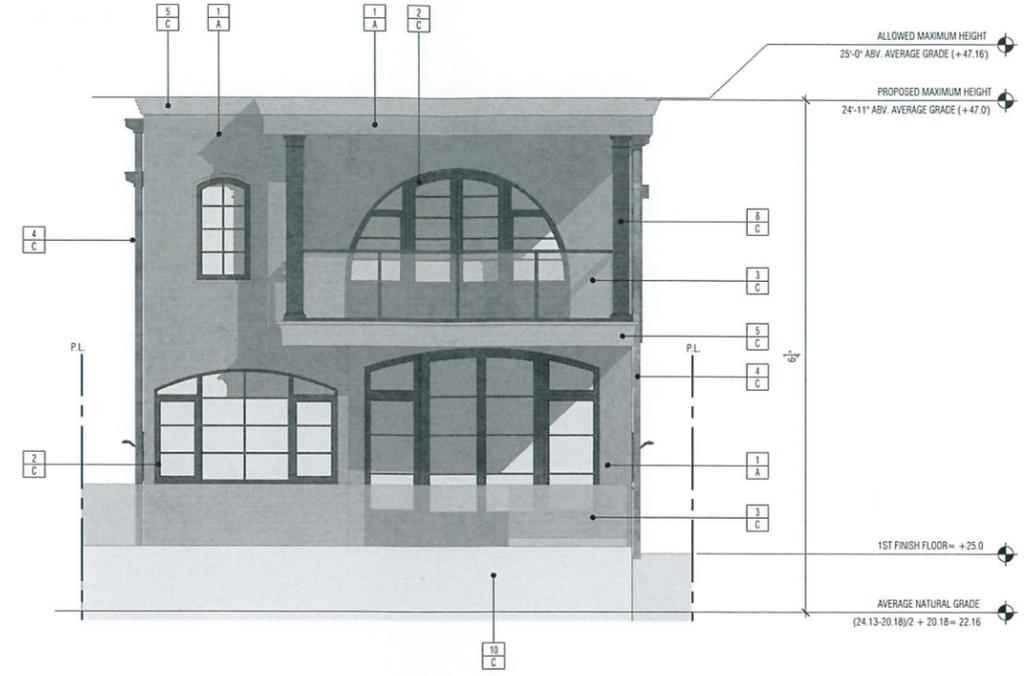
Sheet Info:

plot date: 11.04.16

rev	description	date

Sheet:

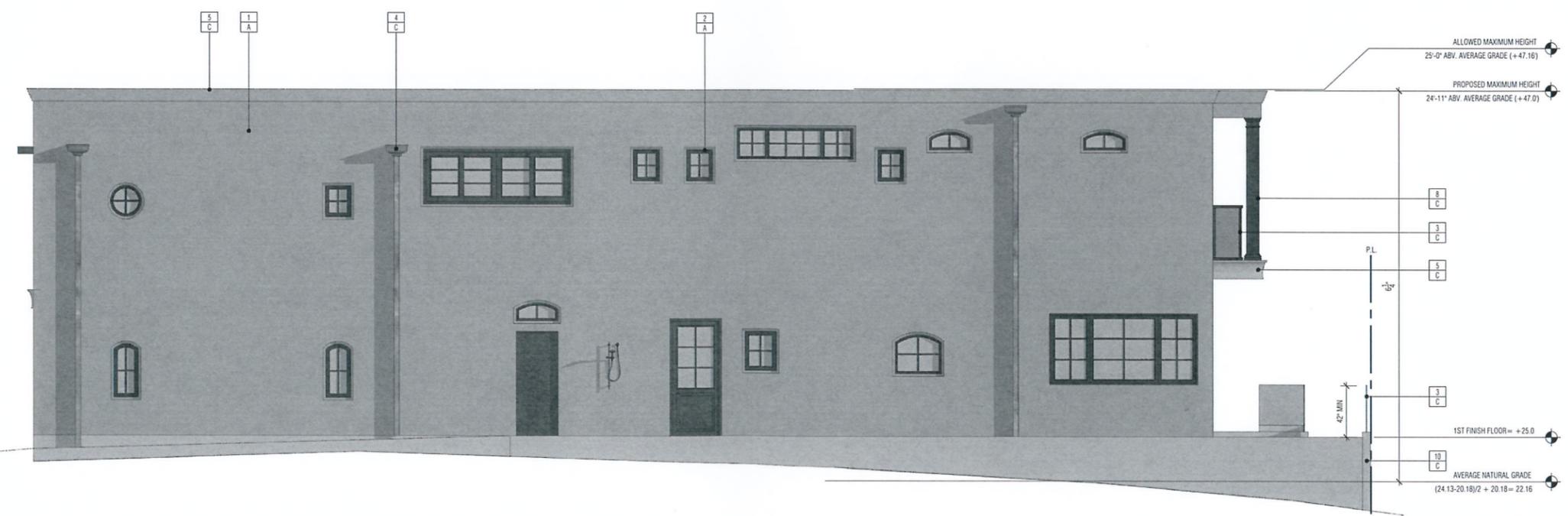
a3.3



west elevation

SCALE: 1/4"=1'-0"

- | material   | color                                |
|--|--------------------------------------|
| 1. SMOOTH SAND STUCCO EXTERIOR FINISH                        | A. DRY SAGE 2142-40 (BENJAMIN MOORE) |
| 2. BRONZE WINDOWS & DOORS PER PLAN                           | B. CLEAR STAINSEALER                 |
| 3. TEMPERED GLASS RAILING WITH BRONZE METAL FRAME            | C. NATURAL FINISH                    |
| 4. COPPER SCUPPER & DOWNSPOUT                                |                                      |
| 5. CONCRETE MOLDING  |                                      |
| 6. BRONZE METAL RAILING                                      |                                      |
| 7. WESTERN RED CEDAR   |                                      |
| 8. ARCHITECTURAL COLUMN OVER STRUCTURAL POST                 |                                      |
| 9. COPPER PANEL OR FLASHING, USE COPPER NAILS FOR ATTACHMENT |                                      |
| 10. EXPOSED CONCRETE   |                                      |

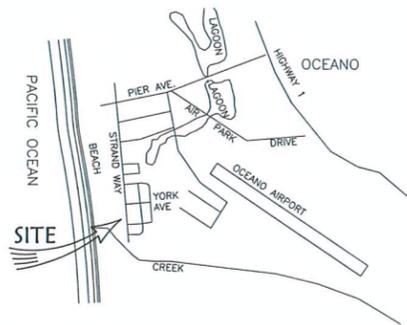


north elevation

SCALE: 1/4"=1'-0"

VICINITY MAP

Not to Scale

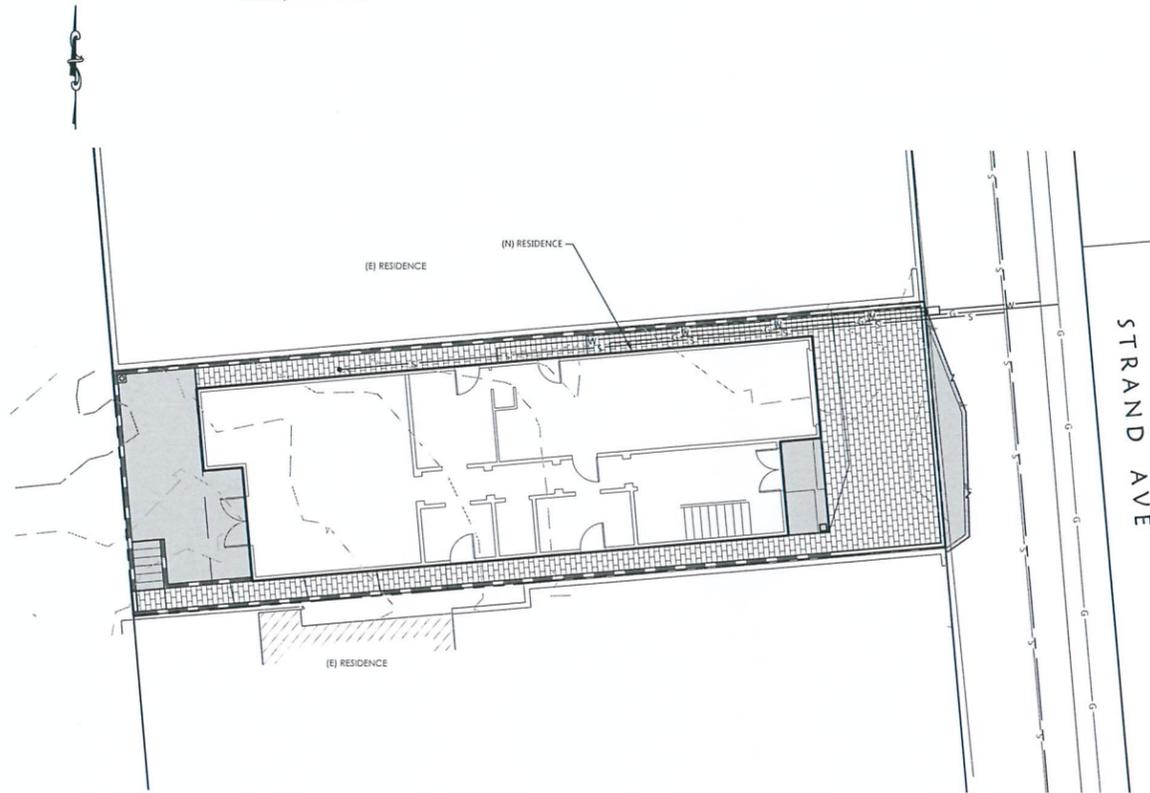


Nye - 1850 Strand Ave - Grading, Drainage & Erosion Control Plan

PROJECT DESCRIPTION: Single family residence.

SITE MAP

SCALE: 1" = 10'



LEGAL DESCRIPTION

LOT 18 OCEANO BEACH SUBDIVISION NO. 2 PER A/MB/150  
APN 061-072-020

BENCHMARK

NGS bench mark "X 532" PID FV0421, at the Oceano Airport, elevation 13.50 (NAVD85 datum)

OWNER

Peggy and Paul Nye  
2828 Doty Drive  
Arroyo Grande, CA 93420

SURVEYOR

Michael B. Stanton, PLS 5702  
3543 Sueldo St. Unit Q  
San Luis Obispo, CA 93401  
(805) 594-1960

APPLICABLE CODES

- 2013 Building Standards Codes
  - California Building Code, Vols 1 & 2 (2012 IBC)
  - California Residential Code (New) (2012 IRC)
  - California Plumbing Code (2012 UPC)
  - California Mechanical Code (2012 UMC)
  - California Electrical Code (2011 NEC)
  - California Energy Code (v.2008 until 7/1/2014)
  - California Green Building Code
  - California Fire Code (2012 IFC)
  - California Reference Standards Code
- County Building and Construction Ordinance - Title 19
- County Coastal Zone Land Use Ordinance - Title 23
- County Fire Code Ordinance - Title 16
- County Land Use Ordinance - Title 22

PROJECT STATISTICS

Cut 80 CY±, Fill 40 CY±, Total 120 CY±  
Max. cut = 2.5 ft, Max. fill = 2.5 ft  
Non-expansive fill import = 220 CY±

Average slope < 10 %  
Parcel Area = 2998sf±  
Pre-Project (sf ±)  
Impervious Area = 0, Total Project Area = 2998  
Post-Project (sf ±)  
Total Impervious Area = 2082 Pervious Area = 916  
New Imp. Area = 2082 Removed Imp. Area = 0  
Replaced Imp. Surface = 0  
Total Site Disturbance = 2998

ABBREVIATIONS

- AC Asphalt Concrete Paving
- AP Angle Point
- CO Clean-out
- CL Centerline
- CONC Concrete
- CONST Construction
- DIA & Ø Diameter
- ELEV Elevation
- [E] & [I] Existing
- FF Finished Floor
- FS Finished Surface
- FH Fire Hydrant
- FL Flow Line
- G Gas
- GB Grade Break
- GR Finished Grade
- HDPE Hi-density Polyethylene
- HP High Point
- INV Invert Elevation
- LI Left
- LF Linear Feet
- LP Low Point
- MH Manhole
- PC Power
- PL Point Of Curvature
- PLR Property Line
- PRC Point Of Reverse Curvature
- PT Point Of Tangency
- PUE Public Utility Easement
- PVC Polyvinyl Chloride
- R Radius
- RT Right
- RP Radius Point
- RW Right-of-way
- S Slope
- SD Sanitary Sewer
- SS Station
- STA Top Of Wall
- TW Typical
- W Water

LEGEND

- Property Line
- Centerline
- Existing Ground Contour
- Finish Grade Contour
- Concrete
- Edge of Pavement
- Water Line
- Water Valve
- Fire Hydrant
- Sanitary Sewer Main
- Electrical Line
- Overhead Line
- Utility Pole
- Guy Anchor
- Manhole
- Elec. Vault / Pedestal / Pull Box
- Telephone Line
- Tele. Vault / Pedestal / Pull Box
- Fence
- Gas Main
- Flowline
- Proposed Grade & Direction
- Construction Note Reference
- Spot Elevation
- Proposed Slope
- Retaining Wall
- Silt Fence

GENERAL NOTES

- No construction shall be started without plans approved by the County Building Department. The Building Department shall be notified of at least 24 hours prior to starting of construction and of the time location of the preconstruction conference. Any construction performed without approved plans or prior notification to the Building Department will be rejected and will be at the contractor's and/or owner's risk.
- For any construction performed that is not in compliance with plans or permits approved for the project the Building Department may revoke all active permits and recommend that County Code Enforcement provide a written notice or stop work order in accordance with Section 22.52.140 [23.10] of the Land Use Ordinance.
- All construction work and installations shall conform to the most current County of San Luis Obispo Public Improvement Standards and all work shall be subject to the approval of the Building Department.
- The project owner and contractor shall be responsible for providing and/or maintaining all weather access at all times to existing properties located in the vicinity of work. Additionally, they shall be responsible for maintaining all existing services, including utility, garbage collection, mail distribution, etc., to all existing properties located in the vicinity of work.
- On-site hazards to public safety shall be shielded by construction fencing. Fencing shall be maintained by the project owner and contractor until such time that the project is completed and occupied, potential hazards have been mitigated, or alternative protective measures have been installed.
- Soils tests shall be done in accordance with the County Public Improvement Standards, Section 3.2.3. All tests must be made within 15 days prior to the placing material. The test results shall clearly indicate the location and source of the material.
- Roadway compaction tests shall be made on subgrade material, aggregate base material, and material as specified by the Soils Engineer. Said tests shall be made prior to the placement of the next material lift.
- Subgrade material shall be compacted to a relative compaction of 95% in the zone between finished subgrade elevation and a minimum of 1-foot below. All material in fill sections below the zone mentioned above shall be compacted to 90% relative compaction.
- A registered civil engineer shall certify that the improvements when completed are in accordance with the plans prior to the request for a final inspection. Record Drawings shall be prepared after construction is completed. The civil engineer certifying the improvements and preparing as-built plans may be present when the final inspection is made by the County.
- An Engineer of Work Agreement and an Engineer Checking and Inspection Agreement are required prior to the start of construction. The Building Department shall be notified in writing of any changes to the Engineer of Work Agreement. Construction shall not proceed without an Engineer of Work.
- All utility companies shall be notified prior to the start of construction.
- A County Encroachment Permit is required for all work done within the County right-of-way. The Encroachment Permit may establish additional construction, utility and traffic control requirements.
- The County Inspector acting on behalf of the County Building Department may require revisions in the plans to solve unforeseen problems that may arise in the field. All revisions shall be subject to the approval of the Developer's Engineer of Work.
- The structural section shall be based on soils tests taken at the time of construction and using a Traffic Index of for (road name). The structural section shall be approved by the Building Department prior to road construction.
- Hydro-seeding or other permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces (other than paved or gravel surfaces) prior to the final inspection.
- For any public improvements to be maintained by the County, if environmental permits from the U.S. Army Corps of Engineers, the California Regional Water Quality Control Board/State Water Resources Control Board, or the California Department of Fish & Game are required, the Developer shall: a. submit a copy of all such completed permits to the County Building Department OR, b. document that the regulatory agencies determined that said permit is not required; prior to acceptance of the completed improvements for County maintenance and release of improvement security. Any mitigation monitoring required by said permits will remain the responsibility of the Developer.

17. When the project site earthwork is not intended to balance then a separate grading permit for the sending or receiving property may be required. A copy of the permit/s or evidence that no permits are required shall be submitted to the Department prior to commencing project earthwork.

GRADING NOTES

- All grading construction shall conform to the applicable codes as noted under "Applicable Codes" heading.
- The developer shall be responsible for scheduling a pre-construction meeting with the County and other affected agencies. The contractor shall notify the County Building Department at least 24 hours prior to any work being performed, and arrange for inspection.
- Grading shall comply with the recommendations of the preliminary soils report by GSI Soils Inc., date October 21, 2016 filed with the County of San Luis Obispo.
- Estimated earth quantities:  
Cut: 80 CY± Fill: 40 CY±  
Note: exact shrinkage, consolidation, and subsidence factors and losses due to clearing operations are not included. Estimated earthwork quantities are based upon the difference between existing ground surface and proposed finish grades, or sub grades as shown on the plan, and should vary according to these factors. The contractor shall be responsible for site inspection and quantity take off, and shall bid accordingly.
- Soils engineer to determine the soil is suitable to support the intended structure. Such report including progress and/or compaction reports shall be submitted to the field inspector prior to final inspection when a soils report is obtained. The County policy regarding pad certification shall be followed. When applicable the engineer shall observe the grading operation(s) and provide the field inspector with required compaction reports and a report stating that the grading performed has been observed and is in conformance with the UBC and County ordinances.
- No cut or fill slopes will be constructed steeper than two horizontal to one vertical (2:1).
- Dust control is to be maintained at all times during construction.
- Areas of fill shall be scarified, benched and recompacted prior to replacing fill and observed by a soil or civil engineer.
- Fill material will be recompacted to 90% of maximum density.
- Remove any deleterious material encountered before placing fill.
- All disturbed areas shall be hydro seeded or planted with approved erosion control vegetation as soon as practical after construction is complete.
- Minimum setback to creeks and bluffs shall be maintained. Minimum setback of two feet from all property lines will be maintained for all grading.
- Minimum slope away from buildings shall be 5% for the first ten feet around perimeter.
- The contractor shall be responsible for the protection of all existing survey markers during construction. All such monuments or markers disturbed shall be reset at the contractor's expense.
- All contractors and subcontractors working within the right of way shall have an appropriate contractor's license, a local business license, and shall obtain an encroachment permit.
- Engineering reports for cut or fill slope steeper than 2:1 shall be submitted to the field inspector.

UNDERGROUND UTILITY NOTES

- An effort has been made to define the location of underground facilities within the job site. However, all existing utility and other underground structures may not be shown on this plan and their location where shown is approximate. The construction contractor agrees that he shall assume sole and complete responsibility for locating or having located all underground utilities and other facilities and for protecting them during construction.
- All utility companies must be notified prior to the start of construction. The construction contractor shall contact underground service alert (USA) at 811 two to ten days prior to the start of excavation and shall verify the location of any known utilities and whether or not a representative of each company will be present during excavation.



TABLE 3-7: PRI MANDATORY SITE DESIGN MEASURES \*

MANDATORY SITE DESIGN MEASURES (SELECT AT LEAST ONE)	SELECTED	REASON, IF NOT SELECTING	HANDBOOK SECTION
a. Roof runoff directed into cisterns or rain barrels for reuse?	optional	At owner's discretion	5.2.1
b. Roof runoff directed into vegetated areas (safely away from building foundations and footings)?	yes		5.2.2
c. Runoff from sidewalks, walkways, and/or patios directed onto vegetated areas (safely away from the building foundations and footings)?	yes		5.2.3
d. Runoff from driveways and/or uncovered parking lots onto vegetated areas (safely away from the building foundations and footings)?	yes		5.2.4
e. Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces?	N/A		5.2.5

Roberts Engineering, Inc.  
Nye - 1850 Strand Ave

Title Sheet

Design/Drawn TR / JTM	County Plan Checker	Approved for County Requirements
Job # 16100	County W.O. No.	Development Services Engineer Date 10/27/2016
California Coordinates (CCS83, Zone 5)	County Road #	1
N 2233290 E 5775200		of 3

Roberts Engineering  
Timothy P. Roberts  
Civil Engineer - RCE 35366

2015 Vista de la Vina  
Templeton, CA 93465  
Phone (805) 239-0664  
Fax (805) 238-6148  
Email tim@robertsenginc.com  
Website robertsenginc.com

Record Drawings

Timothy P. Roberts, RCE 35366 exp 09/30/17	Date
Revisions to this sheet:	
1	
2	
3	
4	
5	
6	

**EROSION CONTROL NOTES**

- Erosion control measures for wind, water, material stockpiles, and tracking shall be implemented on all projects of all times and shall include source control, including protection of stockpiles, protection of slopes, protection of all disturbed areas, protection of access, and perimeter containment measures. Erosion control shall be placed prior to the commencement of grading and site disturbance activities unless the Building Department determines temporary measures to be unnecessary based upon location, site characteristics or time of year. The intent of erosion control measures shall be to keep all generated sediments from entering a swale, drainage way, watercourse, atmosphere, or migrate onto adjacent properties or onto the public right-of-way.
  - Site inspections and appropriate maintenance of all erosion control measures/devices shall be conducted and documented at all times during construction and especially prior to, during, and after rain events.
  - The Developer shall be responsible for the placement and maintenance of all erosion control measures/devices as specified by the approved plan until such time that the project is accepted as complete by the Building Department or until released from the Conditions of Approval of their General Permit. Erosion control measures/devices may be relocated, deleted or additional measures/devices may be required depending on the actual conditions encountered during construction. Additional erosion control measures/devices shall be placed at the discretion of the Engineer of Work, County Inspector, SWPPP Monitor, or RWQCB Inspector. Guidelines for determining appropriate erosion control devices shall be included in the plans with additional measures/devices noted from the appendix of the Public Improvement Standards.
  - Wet weather erosion control measures/devices shall be available, installed, and/or applied between October 15 and April 15 or anytime when the rain probability exceeds 30%.
  - The Contractor, Developer, and Engineer of Work shall be responsible to review the project site prior to October 15 (rainy season) and to coordinate an implementation plan for wet weather erosion control devices. A locally based standby crew for emergency work shall be available at all times during the rainy season (October 15 through April 15). Necessary materials shall be available and stock piled at convenient locations to facilitate rapid construction or maintenance of temporary devices when rain is imminent.
  - In the event of a failure, the Developer and/or his representative shall be responsible for cleanup and all associated costs or damage. In the event that damage occurs within the right-of-way and the County is required to perform cleanup, the owner shall be responsible for County reimbursement of all associated costs or damage.
  - In the event of failure and/or lack of performance by the owner and/or contractor to correct erosion control related problems the Building Department may revoke all active permits and recommend that County Code Enforcement provide a written notice or stop work order in accordance with Section 22.52.140 [23.10] of the Land Use Ordinance.
  - Permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces other than paved or gravel surfaces, prior to final inspection. Permanent erosion control shall be fully established prior to final acceptance. Temporary erosion control measures shall remain in place until permanent measures are established.
  - The County Air Pollution Control District (APCD) may have additional project specific erosion control requirements. The Contractor, Developer, and Engineer of Work shall be responsible for maintaining self-regulation of these requirements.
  - All projects involving site disturbance of one acre or greater shall comply with the requirements of the National Pollutant Discharge Elimination System (NPDES). The Developer shall submit a Notice of Intent (NOI) to comply with the General Permit for Construction Activity with the Regional Water Quality Control Board (RWQCB). The Developer shall provide the County with the Waste Discharge Identification Number (WDID #) or with verification that an exemption has been granted by RWQCB.
- WDID No.: n/a less than one acre site disturbance
- Person to contact 24 hours a day in the event there is an erosion control/sedimentation problem (Storm Water Compliance Officer):  
Name: Peggy and Paul Nye  
Local Phone: (805) 481-2323

**SPECIAL INSPECTIONS**

- All construction & inspections shall conform to 2013 California Building Code (CBC) Chapter 17.
- Special inspection requirement are required for this project, the owner or registered design professional in responsible charge acting as the owner's agent shall employ one or more special inspectors to provide inspections during construction on all tasks identified below.
- Special inspectors shall be a qualified person who shall demonstrate competence, to the satisfaction of the County Building Department. Names and qualifications of special inspector(s) shall be submitted to the County Building Department for approval.
- Each contractor responsible for the construction of components listed in the special inspections shall submit a written statement of responsibility to the County Building Department and the owner prior to the commencement of work. The statement shall contain the items listed in CBC 1706.1.

5. A final report prepared by a soil or civil engineer shall be submitted to the field inspector stating the work performed is in substantial conformance with the approved plans, applicable codes, and is found to be suitable to support the intended structure. Such report shall include any field progress reports, compaction data etc.

**Section 1705. Statement of Special Inspections:**

- 1705.1 General. Where special inspection or testing is required by Section 1704, 1707 or 1708, the registered design professional in responsible charge shall prepare a statement of special inspections in accordance with Section 1705 for submittal by the permit application (see Section 1704.1.1).
- 1705.2 Content of statement of special inspections. The statement of special inspections shall identify the following:
  - the materials, systems, components and work required to have special inspection or testing by the building official or by the registered design professional responsible for each portion of the work.
  - the type and extent of each special inspection.
  - the type and extent of each test.
  - Additional requirements for special inspection or testing for seismic or wind resistance as specified in Section 1705.3, 1705.4, 1707 or 1708.
  - For each type of special inspection, identification as to whether it will be continuous special inspection or periodic special inspection.

**Section (table) 1704.7. Required Verification and Inspection of Soils.**

- Verify materials below footings are adequate to achieve the design bearing capacity shall be performed periodically during task.
- Verify excavations are extended to proper depth and have reached proper material, shall be performed periodically during task.
- Perform classification and testing of controlled fill materials, shall be performed periodically during task.
- Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill, shall be performed continuously during task.
- Prior to placement of controlled fill, observe subgrade and verify that site had been prepared properly, shall be performed periodically during task.

**Observation & Testing Program.**

The project soils engineer shall perform the inspection & testing for the following tasks:

- Final plans
- Shipping and clearing of vegetation
- Recompaction of scarification soils
- Fill placement and compaction
- Over excavating
- Verification of soils type & depth
- Final report

The soil engineer of work shall be GSI Soils Inc., 524 East Chapel Street, Santa Maria, CA 93454, Phone (805) 349-0140.  
Soils report # 16-7597

The project engineer of work shall perform the inspection for the following tasks:

- Rough grading & site preparation
- Final grading inspection prior to final County inspection

The project engineer of work shall be Tim Roberts of Roberts Engineering, Inc., RCE 35366, 2015 Vista de la Vina, Tempton, CA 93465, phone (805) 239-0664

The Engineer of work shall state in writing the work is in substantial conformance with the approved plans.

The person responsible for BMP inspection is Peggy and Paul Nye, phone (805) 481-2323.

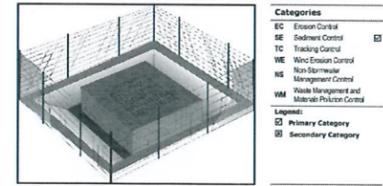
**TREE PROTECTION NOTES**

- No oak tree shall be removed without prior County approval.
- Trees within 20 feet of grading or trenching shall be protected by placement of protective fencing as indicated.
- Protective fencing shall be four feet high chain link or safety fence, and shall be placed at the dripline unless otherwise indicated.
- Trenching and excavation within tree driplines shall be hand dug or bored to minimize root disturbance. Any root encountered 1" diameter or greater, shall be hand cut and appropriately treated.
- Pruning of lower limbs in the construction area shall occur prior to construction activities to minimize damage.

**EROSION CONTROL & INSPECTIONS**

Erosion and Sediment Control Best Management Practices must be in place and functional PRIOR to the first inspection. No inspections can be performed if they are not in place or have failed to provide erosion control. Failure to maintain erosion control will cause inspections to be delayed until erosion control measures are functional.

**Storm Drain Inlet Protection SE-10**



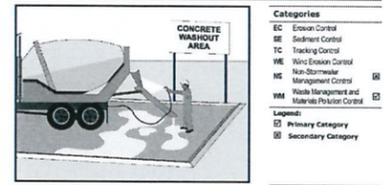
**Description and Purpose**  
Storm drain inlet protection consists of a sediment filter or an impeding area in, around or upstream of a storm drain, drop inlet, or curb inlet. Storm drain inlet protection measures temporarily pond runoff before it enters the storm drain, allowing sediment to settle. Some filter configurations also remove sediment by filtering, but usually the ponding action results in the greatest sediment reduction. Temporary grottole storm drain inlets attach underneath storm drain grates to capture and filter storm water.

**Suitable Applications**  
Every storm drain inlet receiving runoff from unestablished or otherwise active work areas should be protected. Inlet protection should be used in conjunction with other erosion and sediment controls to prevent sediment-laden stormwater and non-stormwater discharges from entering the storm drain system.

- Limitations**
- Drainage area should not exceed 1 acre.
  - In general straw bales should not be used as inlet protection.
  - Requires an adequate area for water to pond without encroaching into portions of the roadway subject to traffic.
  - Sediment removal may be inadequate to prevent sediment discharges in high flow conditions or if runoff is heavily sediment laden. If high flow conditions are expected, use



**Concrete Waste Management WM-8**

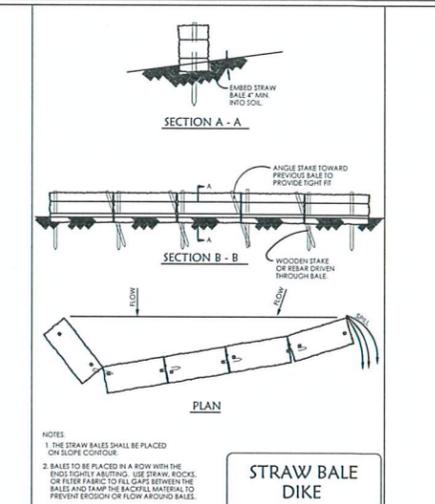


**Description and Purpose**  
Prevent the discharge of pollutants to stormwater from concrete washout by conducting washout onsite or offsite in a designated area, and by employe and subcontractor training.

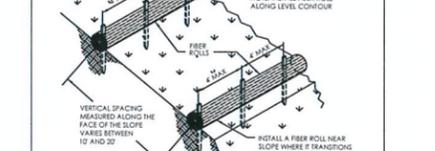
Many types of construction materials, including mortar, concrete, stucco, cement and block and their associated wastes have basic chemical properties that can raise pH levels outside of the permitted range. Additional care should be taken when managing these materials to prevent them from coming into contact with stormwater flows and raising pH to levels outside the accepted range.

**Suitable Applications**  
Concrete waste management procedures and practices are implemented on construction projects where:

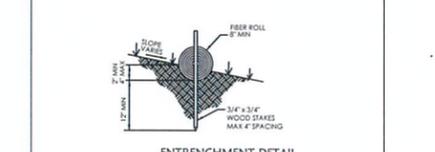
- Concrete is used as a construction material or where concrete dust and debris result from demolition activities.
- Structures containing portland cement concrete (PCC) are generated, such as from saw cutting, coring, grinding, grooving, and hydro-concrete demolition.
- Concrete trucks and other concrete-coupled equipment are washed onsite.



**NOTES**  
1. THE STRAW BALES SHALL BE PLACED ON SLOPE CORNER.  
2. BALES TO BE PLACED IN A ROW WITH THE FIRST SLOPE ABUTTING. USE STRAW, WOOD OR FILTER FABRIC TO FILL GAPS BETWEEN THE BALES AND TRAP THE FACILE MATERIAL TO PREVENT EROSION OR FLOW AROUND BALES.



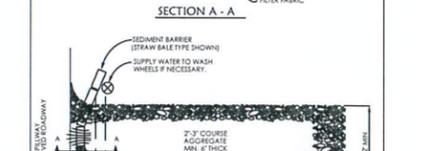
**NOTES**  
1. INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.  
2. FIBER ROLL ENDS SHALL BE QUOTED TO AN AREA THAT WILL NOT CONDUCE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.  
3. FIBER ROLLS SHALL BE PLACED ALONG LEVEL SLOPE CONTOURS TO MAXIMIZE FLOODING EFFICIENCY.



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**NOTES**  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR TRAIL RIGHTS-OF-WAY.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUISED TILES THAT DRAIN INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



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**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

10/27/2016 10:08 AM

**Roberts Engineering**  
Timothy P. Roberts  
Civil Engineer - RCE 35366  
2015 Vista de la Vina  
Tempton, CA 93465  
Phone (805) 239-0664  
Fax (805) 238-6148  
Email tim@robtsenginc.com  
Website robtsenginc.com

**Record Drawings**

Timothy P. Roberts, RCE 35366 exp 09/30/17 Date \_\_\_\_\_

Revisions This Sheet:

1	
2	
3	
4	
5	
6	

**Roberts Engineering, Inc.**  
Nye - 1850 Strand Ave  
Notes & Details

Design/Drawn: TR / JTM

Job #: 16100

County Plan Checker: \_\_\_\_\_

County W.O. No.: \_\_\_\_\_

California Coordinates (CCS83, Zone 5): \_\_\_\_\_

County Road #: \_\_\_\_\_

N 2233290 E 5775200

Approved for County Requirements: \_\_\_\_\_

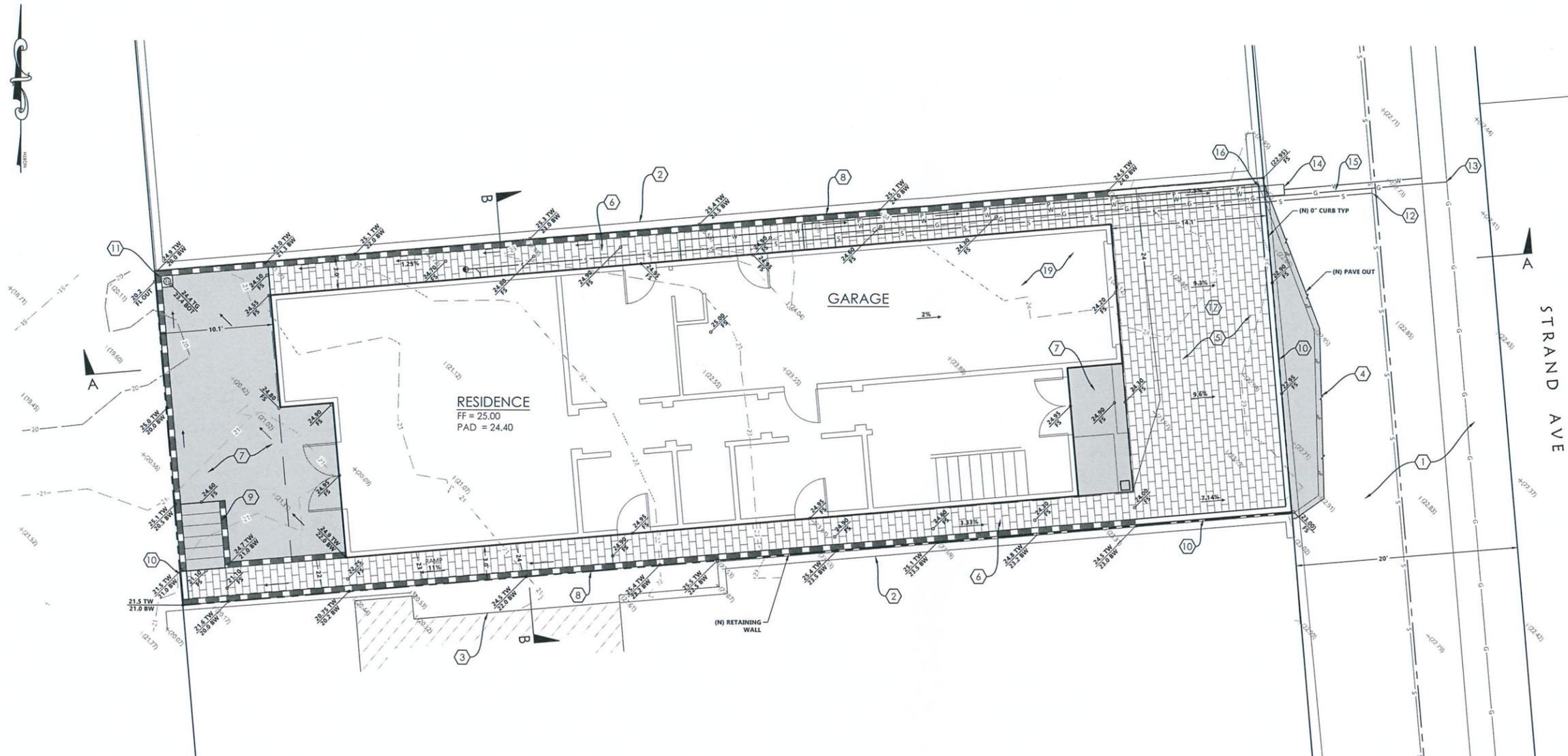
Development Services Engineer: \_\_\_\_\_

Date: 10/27/2016

County Road #: \_\_\_\_\_

2

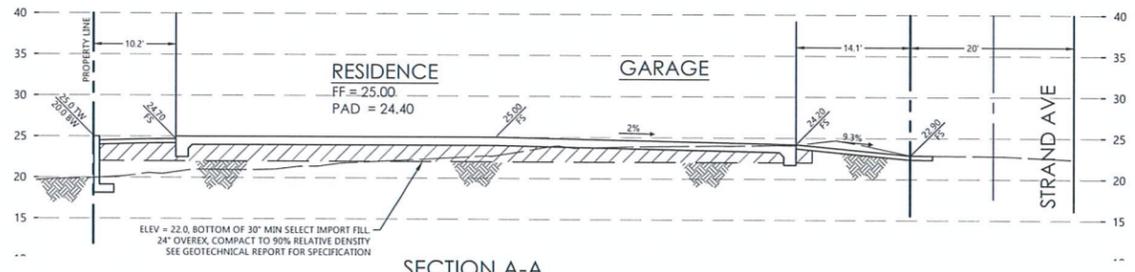
of 3



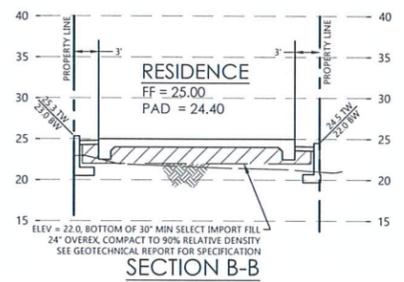
**CONSTRUCTION NOTES**

The footprint of the residence shown hereon is based upon a graphic exhibit provided by the owner. While assumed accurate for purposes of this plan, it is not intended for precise building layout.

- 1 Existing paved road.
- 2 Existing masonry courtyard wall.
- 3 Existing residence.
- 4 Saw cut, demo and remove asphalt pavement. Fill in with 2" asphalt pavement over 6" min Class II aggregate base.
- 5 Install permeable paver driveway approach.
- 6 Install permeable paver walkway.
- 7 Install 4" PCC concrete flatwork, S=2% typical. See architect's plans for details.
- 8 Construct concrete retaining wall, see architect's plans for detail.
- 9 Install 4" PCC concrete stairs. See architect's plans for details.
- 10 Construct 0" concrete curb.
- 11 Install 12" drainage inlet box with 6" PVC outlet pipe. See Drain Section for detail.
- 12 Install 4" sanitary sewer lateral per County Std S-3. Tie into existing sanitary sewer main.
- 13 Install gas service per utility company specifications.
- 14 Install water service per County Std W-4.
- 15 Trench repair per County Std R-3.
- 16 Approximate location of PG&E and telephone. Extend to serve new residence in joint utility trench.
- 17 Construct temporary construction entrance per CASQA detail sheet 2.
- 18 Construct concrete washout structure per CASQA detail sheet 2.
- 19 Construct temporary material storage area per CASQA detail sheet 2.

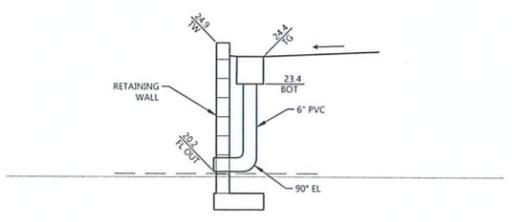


SECTION A-A



SECTION B-B

HORZ SCALE: 1" = 10'  
VERT SCALE: 1" = 10'



DRAIN SECTION  
NOT TO SCALE

Roberts Engineering, Inc.  
Nye - 1850 Strand Ave

**Grading, Drainage & Erosion Control Plan**

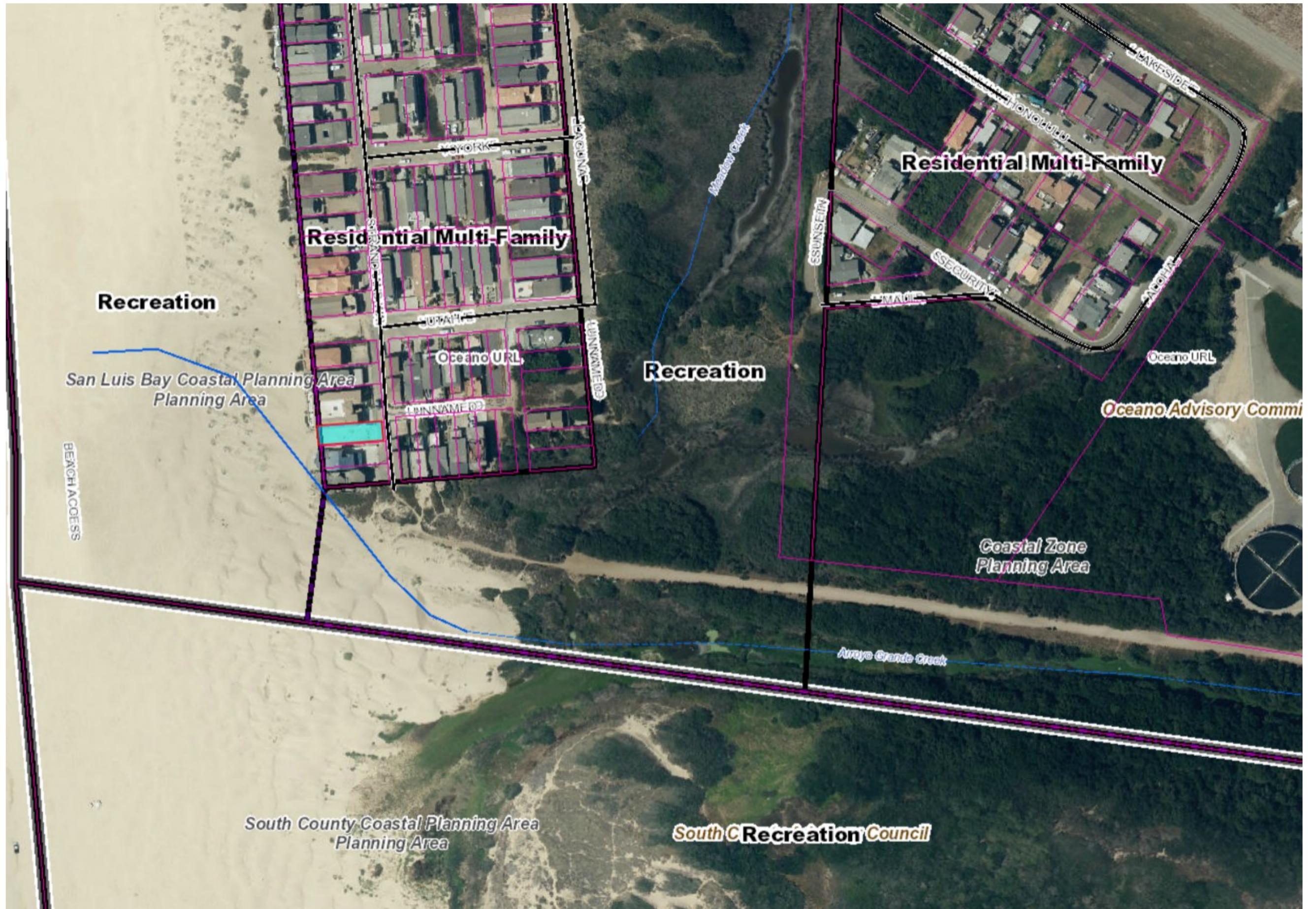
Design/Drawn TR / JTM	County Plan Checker	Approved for County Requirements
Job # 16100	County W.O. No.	Development Services Engineer <i>Timothy P. Roberts</i> Date 10/27/2016
California Coordinates (CCS83, Zone 5)	County Road #	3
N 2233290 E 5775200		of 3



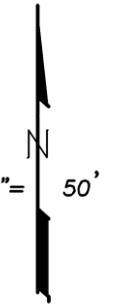
**Roberts Engineering**  
Timothy P. Roberts  
Civil Engineer - RCE 35366  
2015 Vista de la Vina  
Templeton, CA 93465  
Phone (805) 239-0664  
Fax (805) 238-6148  
Email tim@robertenginc.com  
Website robertenginc.com

**Record Drawings**

Timothy P. Roberts, RCE 35366 exp 09/30/17	Date
Revisions This Sheet:	
1	
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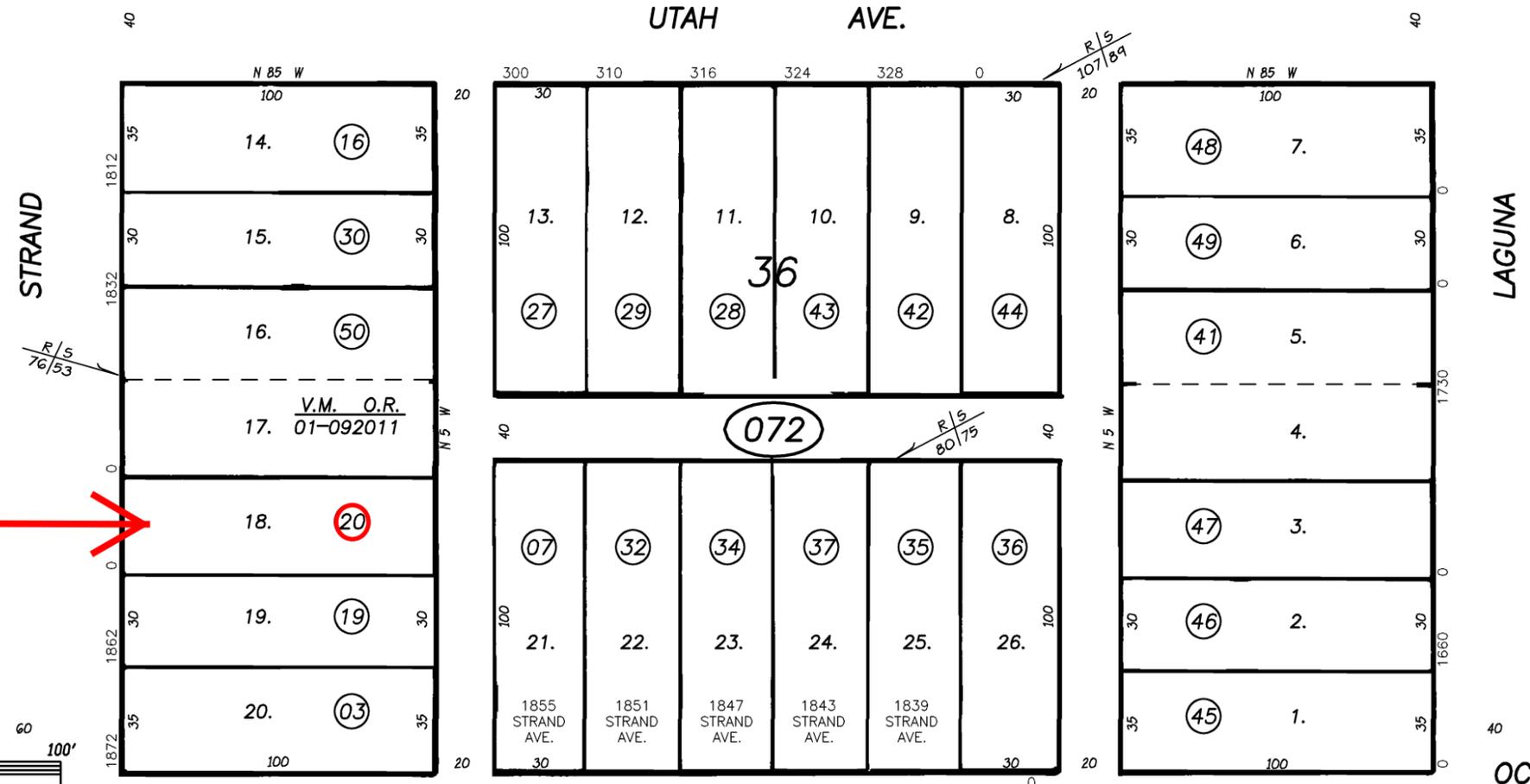
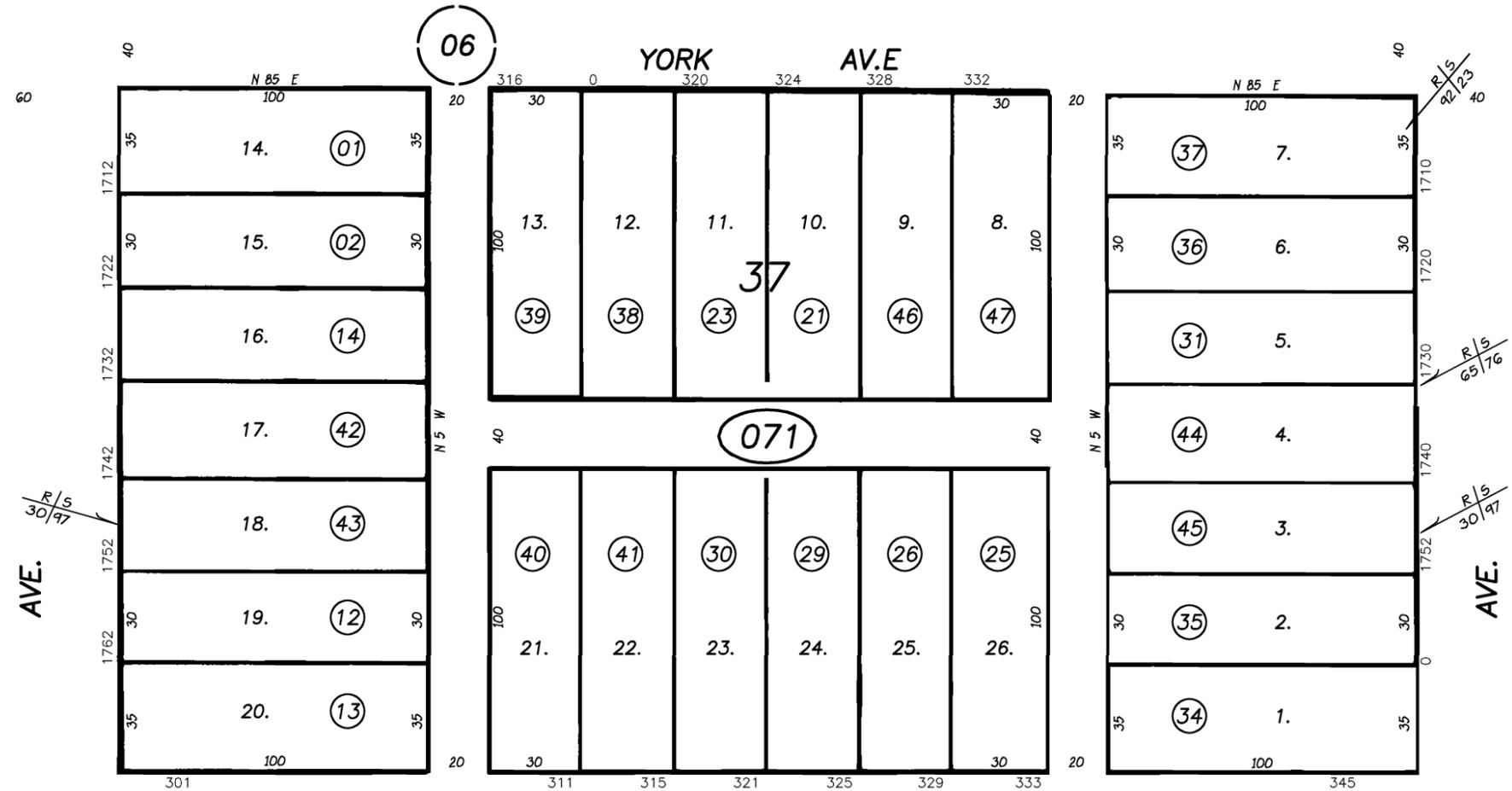




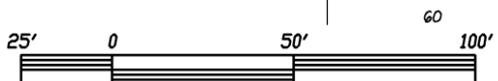
PRIOR

09

09



REVISIONS	
TECH	DATE
JAW	09-12-00
DW	10-22-01
GB	12-19-01



JAW 09-12-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



# Parcel Summary Report For Parcel # 061-072-020

11/10/2016  
3:01:17PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

**Role**      **Name and Address**

OWN    NYE TIMOTHY P  
          2828 DOTY DR ARROYO GRANDE CA 93420-5334

OWN    NYE FAMILY TRUST

OWN    NYE MARGARET J

### Address Information

**Status**              **Address**  
 P                        01850 STRAND WY OCNO

### Lot Information:

<u>Tract / Twtnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
061072	020	0001	Oceano	South County C	AS	SSN	CAZ	N		
061072	020	0002	Oceano	South County C	FH			N		
OCNOBCH2	0036	0018	Oceano	South County C	RMF	AR	LCP	Y	ZL	

### Parcel Information

**Status**      **Description**  
 Active      OCEANO BCH SB 2      BL 36 LT 18

### Notes

10/21/14 OK TO BRING IN GRAVEL (LESS THAN 50 CUBIC YARDS), PUT UP A SAND FENCE BETWEEN EXISTING POSTS, AND MOVE SAND WITH SHOVELS. IF SAND IS TO BE MOVED MECHANICALLY A COASTAL DEVELOPMENT PERMIT IS REQUIRED. PURPOSE IS TO PARK CAR FOR SUNSETS. NO STORAGE ALLOWED ON VACANT LOT. SWC/MATTJ.APN IS ONE LEGAL PARCEL PER DEED 967 OR 319 AND IS NOT SUBJECT TO LOT CONSOLIDATION. LOT 18 HAS BEEN OWNED SEPARATELY FROM LOTS 17 AND LOT 19 PRIOR TO 1962. JSM 7/22/13 PER CALL FROM NEW OWNER (MARGARET NYE @ 481-2323), CHANGED ADDRESS FROM 1862 TO 1850 STRAND WY, SENT VERIFICATION LETTER AND NOTICED. APPARENTLY ADDRESS 1862 STRAND WY IS ASSOCIATED TO THE ADJACENT RESIDENCE (APN 061-072-019). 9/11/13-PCS LUCIA MAR



# Parcel Summary Report For Parcel # 061-072-020

11/10/2016  
3:01:18PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SAN LUIS OBISPO JT(27,40)  
ARROYO GRANDE  
COASTAL SAN LUIS  
COUNTY-ZONE NO. 03  
SAN LUIS  
NO. 04  
SOUTH SAN LUIS OBISPO COUNTY  
OCEANO  
AREA NO. 21

### Case Information

**Case Number:**

**Case Status:**

DRC2016-00039      REC      Primary Parcel

**Description:**

NEW 2597 SQUARE FT SFR W/2 CAR GARAGE

A4547      FNL      Related Parcel

**Description:**

GRADING FOR SAND REMOVAL PHASE 1 & 2

A6634      FNL      Related Parcel

**Description:**

GRADING FOR SAND REMOVAL - PHASE 1 ONLY

D010027P      APP      Related Parcel

**Description:**

MOVING SAND THREATENING STRUCTURES

P000729E      APP      Related Parcel

**Description:**

MOVE SAND THREATENING HOMES ON BEACH

PMT2002-29021      REC      Related Parcel

**Description:**

GRADING FOR SAND REMOVAL PHASE 1 & 2

PMT2007-00869      FNL      Related Parcel

**Description:**

MINOR GRADING - MECHANICALLY GRADE SAND ALONG A 60' NON-MAINTAINED PUBLIC ROAD FOR SURF TO THE SOUTHERN END OF 1892 STRAND WAY - MUP0960166P