



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 4/14/2016

TO: _____

FROM: Airlin Singewald (805-781-5198 or asingewald@co.slo.ca.us)
Coastal Team / Development Review

PROJECT DESCRIPTION: DRC2015-00112 PAPENDORF – Proposed minor use permit for the construction of a single family residence. Project location is 351 Norfolk Street, Cambria.
APN: 022-171-020

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00112

PAPENDORF JEF

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
 Conditional Use Permit/Development Plan Plot Plan
 Curb, Gutter & Sidewalk Waiver Other Site Plan
 Surface Mining/Reclamation Plan Zoning Clearance
 Amendment to approved land use permit Variance

MINOR USE PERMIT

BUILD SINGLE FAMILY RESIDENCE

NOCST/ CAMB

AS GS LCP RSF TH

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Jeff Papendorf Daytime Phone 559,392-2481
Mailing Address 7778 North Montana, Clovis, CA Zip Code 93611
Email Address: _____

Applicant Name Jeff Papendorf Daytime Phone _____
Mailing Address Same as above Zip Code _____
Email Address: _____

Agent Name Margaret Heely Holstines Daytime Phone 805-550-3552
Mailing Address 1278 Spanish Camp Rd Paso Robles Zip Code 93446
Email Address: MARGARET.HEELY@gmail.com

PROPERTY INFORMATION

Total Size of Site: 3,500 S.F. Assessor Parcel Number(s): 022-171-020
Legal Description: _____
Address of the project (if known): 351 Norfolk St. Cambria
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: _____

Describe current uses, existing structures, and other improvements and vegetation on the property:
VACANT LAND - LOT

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Build SFR

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature _____ Date _____

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: _____

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: R-314 SFR South: R-314 SFR
East: R-314 SFR West: R-314 SFR

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 1,362 sq. feet 38 % Landscaping: _____ sq. feet _____ %
Paving: 90 sq. feet _____ % off Street Other (specify) _____
Total area of all paving and structures: _____ sq. feet acres
Total area of grading or removal of ground cover: _____ sq. feet acres
Number of parking spaces proposed: _____ Height of tallest structure: _____
Number of trees to be removed: _____ Type: _____
Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: Cambria

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: Cambria

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cambria Fire

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres
Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 1 Number of bedrooms per unit: _____
Total floor area of all structures including upper stories, but not garages and carports: _____
Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer ALL of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: _____ acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: SFR - Farms

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: Cambria
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: _____
2. Location of nearest police station: _____
3. Location of nearest fire station: _____
4. Location of nearest public transit stop: _____
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
VACANT Land
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: _____ Hours of Operation: _____
2. How many people will this project employ? _____
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: _____
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees? Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No
If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY DEPARTMENT OF PLANNING AND BUILDING. THE COUNTY SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION AND OF THE TIME LOCATION OF THE PRE CONSTRUCTION CONFERENCE. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE COUNTY WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK AND EXPENSE.
 - ALL CONSTRUCTION WORK SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY.
 - SOILS TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE COUNTY STANDARDS AND SPECIFICATIONS SECTION 11-351.1403 AND 11-351.1404. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
 - COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL AND MATERIAL AS SPECIFIED BY THE ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACING OF THE NEXT MATERIAL.
 - SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND ONE FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
 - AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
 - ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-642-2444 2 TO 10 DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.
 - A REGISTERED CIVIL ENGINEER MUST CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. AS-BUILT PLANS ARE TO BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS WILL BE PRESENT WHEN THE FINAL INSPECTION IS MADE.
 - AN INSPECTION AGREEMENT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
 - A COUNTY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY.
 - THE COUNTY INSPECTOR ACTING ON BEHALF OF THE COUNTY DEPARTMENT OF PLANNING AND BUILDING MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER.
 - THE CONTRACTOR SHALL CONFIRM THE STRUCTURAL SECTION WHICH SHALL BE BASED ON SOILS TESTS MADE AT THE TIME OF CONSTRUCTION AND ON A TRAFFIC INDEX OF 4.5 FOR ALL ROADS.
 - HYDROSEEDING SHALL BE PLACED ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES, PRIOR TO FINAL INSPECTION.
 - FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE COUNTY, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL:
 - SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY DEPARTMENT OF PLANNING AND BUILDING
 - OR DOCUMENT THAT THE REGULATORY AGENCIES DETERMINED THAT SAID PERMIT IS NOT REQUIRED.
- PRIOR TO ACCEPTANCE OF THE COMPLETED IMPROVEMENTS FOR COUNTY MAINTENANCE AND RELEASE OF IMPROVEMENT SECURITY. ANY MITIGATION MONITORING REQUIRED BY SAID PERMITS WILL REMAIN THE RESPONSIBILITY OF THE DEVELOPER.

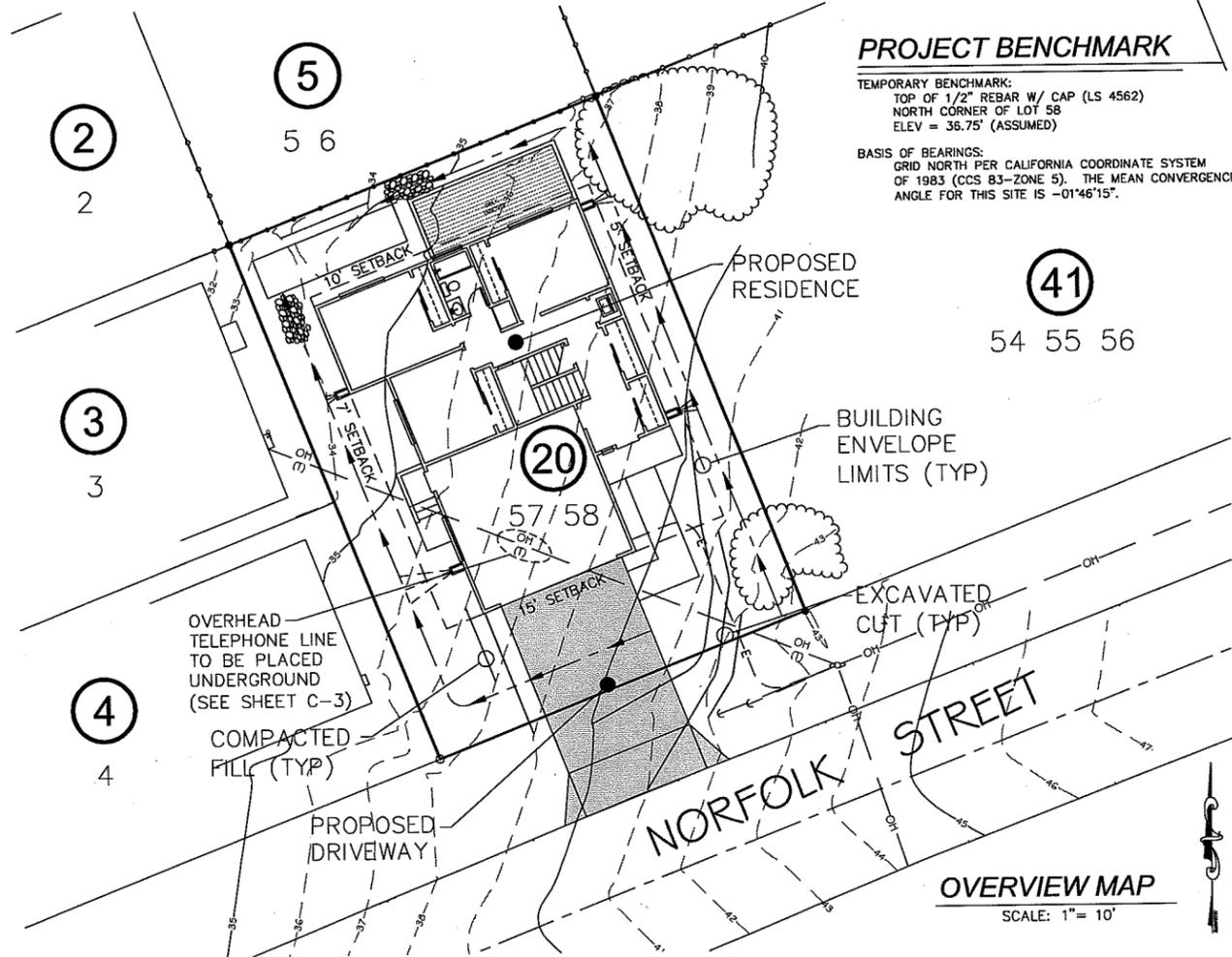
PROJECT AIR QUALITY

DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES, THE CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS SHALL BE PROVIDED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE MEASURES FOR DUST CONTROL ARE AS FOLLOWS, BUT NOT LIMITED TO:

- REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE
- USE OF WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY WILL BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED (NON-POTABLE) WATER SHALL BE USED WHENEVER POSSIBLE.
- ALL DIRT STOCK PILE AREAS SHALL BE SPRAYED DAILY AS NEEDED.
- PERMANENT DUST CONTROL MEASURES IDENTIFIED IN THE APPROVED PROJECT REVEGETATION AND LANDSCAPE PLANS SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.
- EXPOSED GROUND AREAS THAT ARE PLANNED TO BE REWORKED AT DATES GREATER THAN ONE MONTH AFTER INITIAL GRADING SHOULD BE SOWN WITH A FAST GERMINATING NATIVE GRASS SEED AND WATERED UNTIL VEGETATION IS ESTABLISHED.
- ALL DISTURBED SOIL AREAS NOT SUBJECT TO REVEGETATION MUST BE STABILIZED USING APPROVED CHEMICAL SOIL BINDERS, JUTE NETTING, OR OTHER METHODS APPROVED IN ADVANCE BY APCD.
- ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC. TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE. IN ADDITION, BUILDING PADS SHOULD BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- VEHICLES SPEED FOR ALL CONSTRUCTION VEHICLES SHALL NOT EXCEED 15 MPH ON ANY UNPAVED SURFACE AT THE CONSTRUCTION SITE.
- ALL TRUCKS HAULING DIRT, SAND, SOIL, OR OTHER LOOSE MATERIALS ARE TO BE COVERED OR SHALL MAINTAIN AT LEAST TWO FEET OF FREEBOARD (MINIMUM VERTICAL DISTANCE BETWEEN TOP OF LOAD AND TOP OF TRAILER) IN ACCORDANCE WITH CALIFORNIA VEHICLE CODE SECTION 23114.
- INSTALL WHEEL WASHERS WHERE VEHICLES ENTER AND EXIT UNPAVED ROADS ONTO STREETS, OR WASH OFF TRUCKS AND EQUIPMENT LEAVING THE SITE.
- SWEEP STREETS AT THE END OF EACH DAY IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PAVED ROADS. WATER SWEEPERS WITH RECLAIMED WATER SHALL BE USED WHERE FEASIBLE.

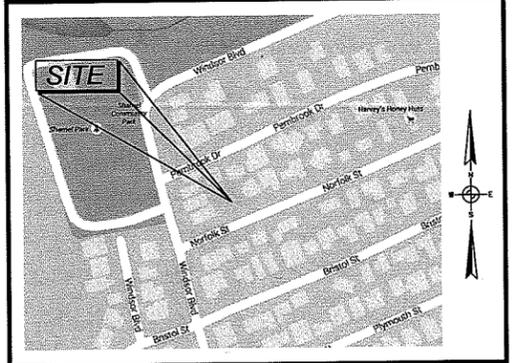
PAPENDORF SITE PLAN



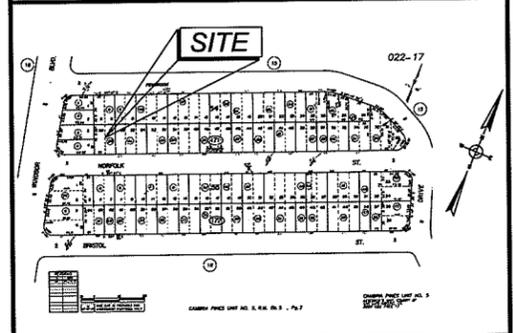
PROJECT BENCHMARK

TEMPORARY BENCHMARK:
TOP OF 1/2" REBAR W/ CAP (LS 4562)
NORTH CORNER OF LOT 58
ELEV = 36.75' (ASSUMED)

BASIS OF BEARINGS:
GRID NORTH PER CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS 83-ZONE 5). THE MEAN CONVERGENCE ANGLE FOR THIS SITE IS -01°46'15".



VICINITY MAP - CAMBRIA



NORFOLK STREET - CAMBRIA

PROJECT INFORMATION

OWNER: JEFF PAPENDORF CONSTRUCTION
7778 NORTH MONTANA
CLOVIS, CA 93611
(559) 392-2481

PROJECT: NORFOLK STREET
LOTS 57, 58 OF CAMBRIA PINES UNIT NO. 5,
R.M. BK. 5, PG. 2
IN CAMBRIA COMMUNITY
IN THE COUNTY OF SAN LUIS OBISPO
IN THE STATE OF CALIFORNIA

APN NO: 022-171-020

PROJECT DATA

SCOPE: SINGLE FAMILY RESIDENCE

OCCUPANCY GROUP: R-3/U

CONSTRUCTION TYPE: V-N

DESCRIPTION: SFR

LOT SIZE: 3,500 S.F.

FIRE SPRINKLERS: YES

STORIES: TWO STORY

HEIGHT: 25' - 1"

TOTAL LIVING AREA: 1878.0

MAIN FLOOR: 878.0

UPPER FLOOR: 1000.0

GARAGE AREA: 418.0

NORTH DECK: 156.0

SOUTH DECK: 50.0

CONCRETE PADS:

ENTRY PORCH: 40.0

GARAGE DOOR: 12.0

COUNTY ADOPTED CODE ORDINANCE

THESE PLANS HAVE BEEN DESIGNED AND ENGINEERED TO MEET THE CONDITIONS OF THE COUNTY ADOPTED ORDINANCES LISTED:

- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA BUILDINGS CODE (VOLS 1 & 2)
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA REFERENCE STANDARDS CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- TITLE 19 COUNTY BUILDING AND CONSTRUCTION ORDINANCE
- TITLE 23 COUNTY COASTAL ZONE LAND USE ORDINANCE
- TITLE 16 COUNTY FIRE CODE ORDINANCE
- TITLE 22 COUNTY LAND USE ORDINANCE
- 2013 INTERNATIONAL BUILDING CODE APPENDIX J GRADING

SCOPE OF WORK STATEMENT

THIS SET OF PLANS IS FOR THE CONSTRUCTION OF A TWO STORY RESIDENCE ON AN EXISTING LOT ON NORFOLK AVENUE, CAMBRIA. THIS RESIDENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANNING AREA STANDARDS OF THE COUNTY'S NORTH COAST AREA PLAN. THE AVERAGE NATURAL GRADE IS 37.84' AND THE BUILDING HEIGHT LIMIT IS 65.84, 28' ABOVE AVERAGE NATURAL GRADE.

ALL UTILITIES ARE EXISTING AND AVAILABLE FOR SERVICE. SEWER MAIN WILL BE ACCESSED WITH A SEWER LATERAL INSTALLED IN ACCORDANCE TO SLOCC DWG S-3. WATER METER SHALL BE INSTALLED IN ACCORDANCE TO SLOCC DWG U-2 AND CAMBRIA COMMUNITY SERVICE DISTRICT REQUIREMENTS.

THIS PROJECT SHALL COMMENCE CONSTRUCTION UPON RECEIPT OF A BUILDING PERMIT. THE ESTIMATED START OF CONSTRUCTION IS SPRING 2016 AND COMPLETION OF CONSTRUCTION IS WINTER, 2016.

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RESIDENTIAL PLANS

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| GC | GREEN CODE REQUIREMENTS |

WATKINS DESIGN

FRED D. WATKINS
DESIGNER

P.O. BOX 935
TEMPLETON CA 93465
(805) 462-9093
fredwat@charter.net

Fred Watkins, draftsman/ designer, assumes no liability for information provided by the owner/contractor in the preparation of these construction drawings. The owner/contractor has approved this set of plans and has agreed this structure is buildable on said lot.

These drawings are the exclusive property of Fred Watkins, draftsman/ designer, and shall be used solely for the purpose of this project on this site. Any use other than the project upon which it is intended without the written consent of Fred Watkins is prohibited.

The draftsman/designer does not represent these plans or specifications in connection therewith are suitable, whether or not modified for any other site than the one for which they were specifically prepared. The contractor shall verify and be responsible for all dimensions and conditions on the job, and the draftsman must be notified in writing of any variations from the dimensions and conditions shown on these drawings. This drawing is not final or to be used for construction until signed by the draftsman/designer.

TITLE SHEET
JEFF PAPENDORF CONSTRUCTION
NORFOLK STREET
CAMBRIA, CA
APN: 022-171-020

SCALE: 1" = 10'

DATE: 3/20/16

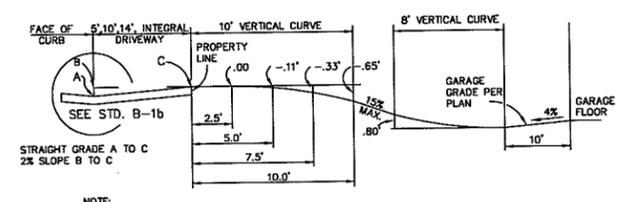
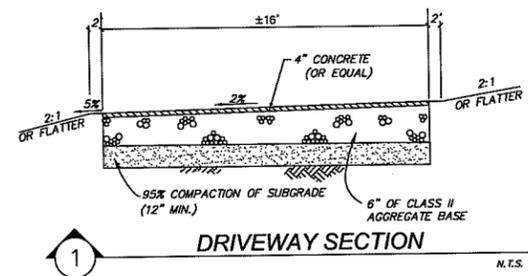
JOB NO: PAPENDORF

SHEET

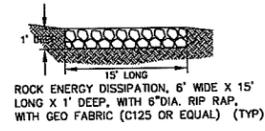
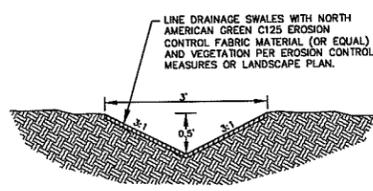
C-1

PAPENDORF RESIDENCE
TITLE SHEET

| | | |
|------------------------|-----------------|---|
| Design/Drawn | Only Plan Check | DESIGNED BY: |
| FDW | |  |
| Job No. | Only B.D. No. | DATE |
| PAPENDORF | | 3/20/16 |
| California Coordinates | | County Sheet Number |
| N 766 E 1077 | | M5126 |
| NORFOLK STREET | | |



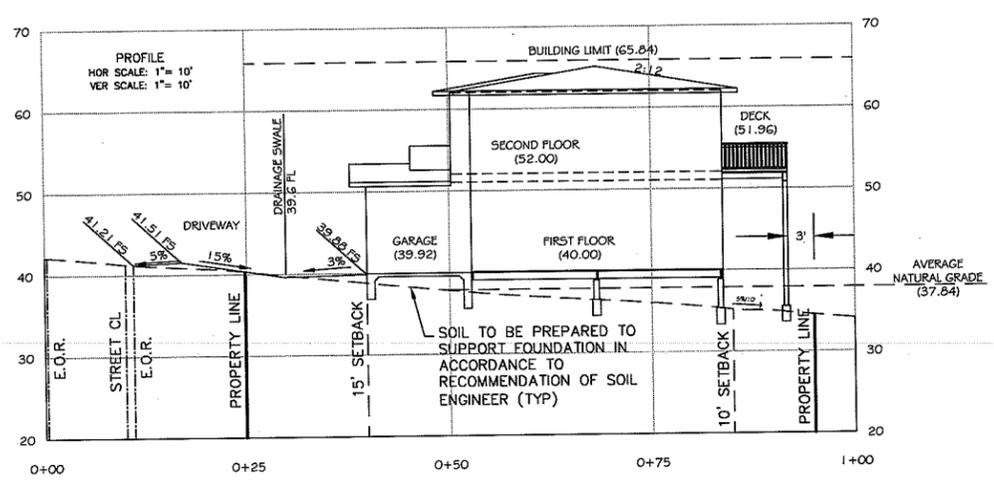
NOTE:
1. MAXIMUM RISE, AND THE RUN, SHALL BE MEASURED FOR THE WORST CONDITION BETWEEN THE BACK OF THE SIDEWALK AND THE FINISHED FLOOR AT THE GARAGE OR CARPORT ENTRANCE.
2. NON-INTEGRAL DRIVEWAY RAMPS MUST BE POURED AS SOON AS PRACTICABLE AFTER CONSTRUCTION OF CURB AND GUTTER.
3. WHENEVER POSSIBLE BUILDING DESIGNERS AND ENGINEERS SHOULD ATTEMPT TO MAXIMIZE A PARKING AREA ADJACENT TO GARAGE WHEN LAYING OUT DWELLINGS AND THEIR DRIVE ACCESS TO THE PUBLIC STREET.



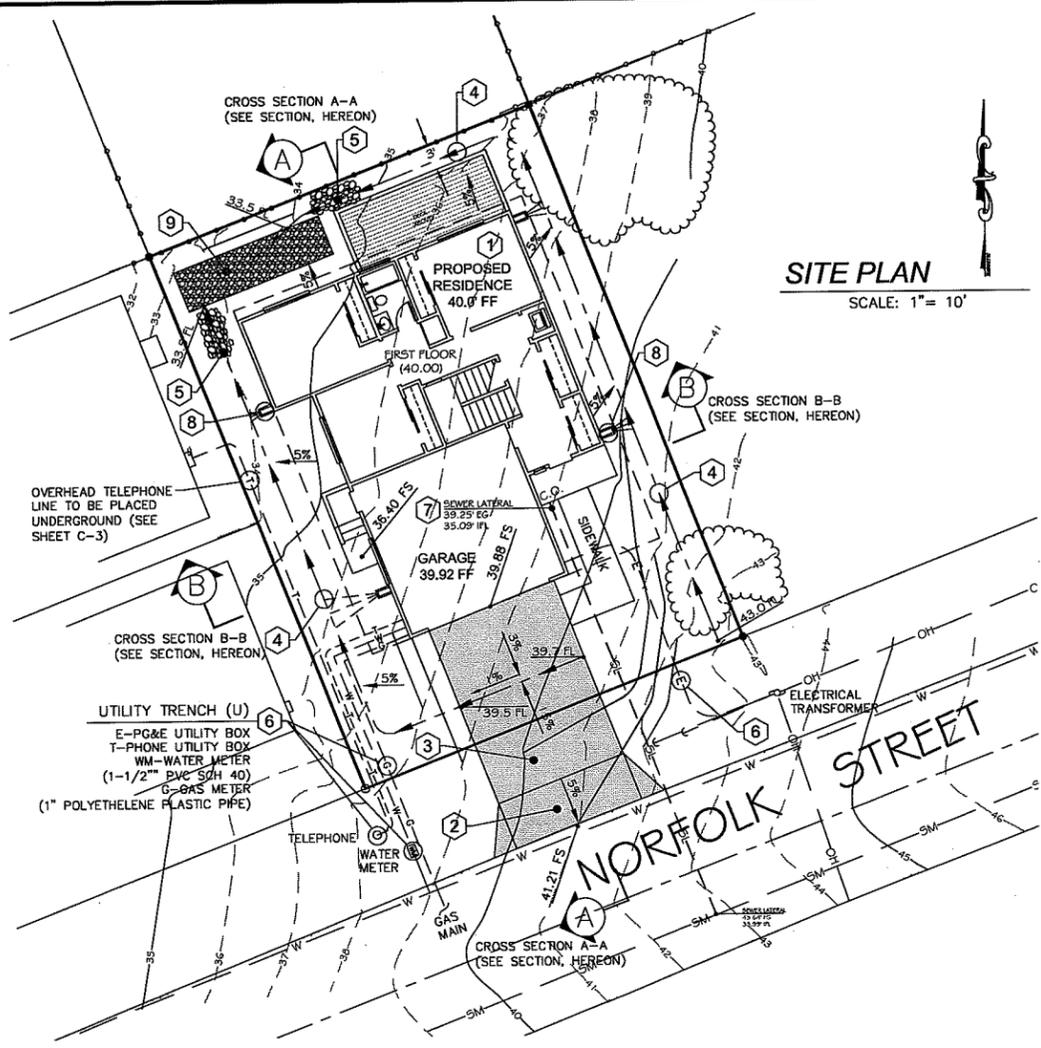
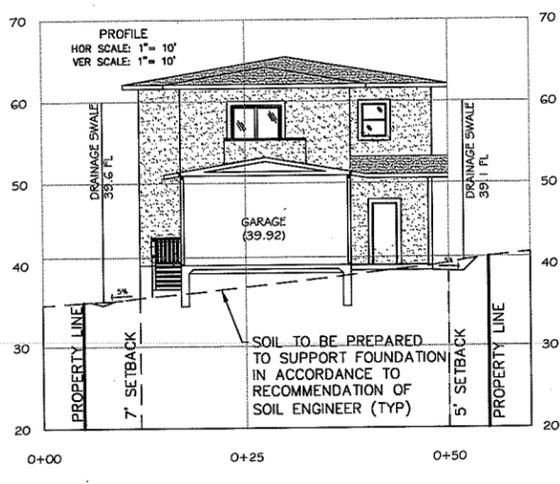
LOW IMPACT DEVELOPMENT (LID) MEASURES

THIS PROJECT IS A TIER ONE PROJECT AND IS REQUIRED TO UTILIZE ONE UTILITY APPROVED STORM-WATER RUNOFF REDUCTION MEASURES. THE LOW IMPACT DEVELOPMENT (LID) MEASURE IS ALL DRAINAGE SWALES SHALL BE VEGETATED.

A-A CROSS SECTION



B-B CROSS SECTION

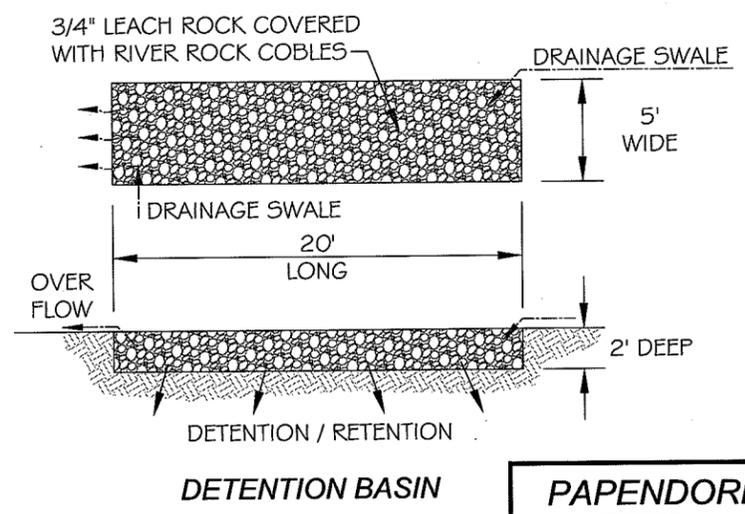


CONSTRUCTION NOTES:

- PAD AVERAGE NATURAL GRADE, PER FIELD SURVEY BY TWIN CITIES SURVEY IS 37.84', FOUNDATION PREPARATION OF SOIL PER GEOTECHNICAL SOILS REPORT RECOMMENDATIONS BY HALLIN GEOTECHNICAL (TYP).
- CONSTRUCT URBAN DRIVEWAY APPROACH PER CO STD DWG B-2a. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL WORK PERFORMED IN THE COUNTY RIGHT OF WAY, (TYP).
- CONSTRUCT 16'± 4' CONCRETE DRIVEWAY PER DETAILS 1 AND 2, SHEET C.3. (TYP).
- CONSTRUCT 3' WIDE DRAINAGE SWALE PER DETAIL 3, SHEET C.3, (TYP).
- INSTALL ROCK SLOPE PROTECTION PER SLO CO DRAWING DETAIL H-5, SEE DETAIL 4, SHEET C.3, AND INSTALL GEOTECH FABRIC UNDER RIPRAP. (TYP)
- INSTALL UTILITIES TO RESIDENCE PER UTILITY SERVICES DETAIL, SHEET C.2, (TYP).
- INSTALL SEWER LATERAL PER SLO CO DRAWING DETAIL S-3, WITH CLEAN OUT (C.O.), (TYP).
- INSTALL DRAIN DOWN SPOUT WITH CONCRETE SPLASH BLOCKS, AND DIRECT DRAINAGE TO DRAINAGE SWALES, (TYP).
- CONSTRUCT DETENTION BASIN PER DETAIL, SHEET C.3 (TYP)

SURFACE DRAINAGE NOTE

SURFACE DRAINAGE SHALL BE GRADED TO A DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL. THE GRADE SHALL FALL A MINIMUM OF 6" WITH THE FIRST 10'. EXCEPTION: WHERE LOT LINES, WALL, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM STRUCTURE. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING (CRC R401.3 DRAINAGE, EXCEPTIONS)



WATKINS DESIGN
FRED D. WATKINS DESIGNER

P.O. BOX 735
TEMPLETON CA 93465
(805) 462-9093
fredwat@charter.net

Fred Watkins, draftsman/ designer, assumes no liability for information provided by the owner/contractor in the preparation of these construction drawings. The owner/contractor has approved this set of plans and has agreed this structure is buildable on said lot.

These drawings are the exclusive property of Fred Watkins, draftsman /designer, and shall be used solely for the purpose of this project on the project upon which it is intended for without the written consent of Fred Watkins is prohibited.

The draftsman/designer does not represent these plans or specifications in connection therewith are suitable, weather or not modified for any other site than the one for which they were specifically prepared. The contractor shall verify and be responsible for all dimensions and conditions on the job, and the draftsman must be notified in writing of any variations from the dimensions and conditions shown on these drawings. This drawing is not final or to be used for construction until signed by the draftsman/designer.

SITE PLAN
JEFF PAPPENDORF CONSTRUCTION
NORFOLK STREET
CAMBRIA, CA
APN: 022-171-020

SCALE: 1" = 10'

DATE: 3/20/16

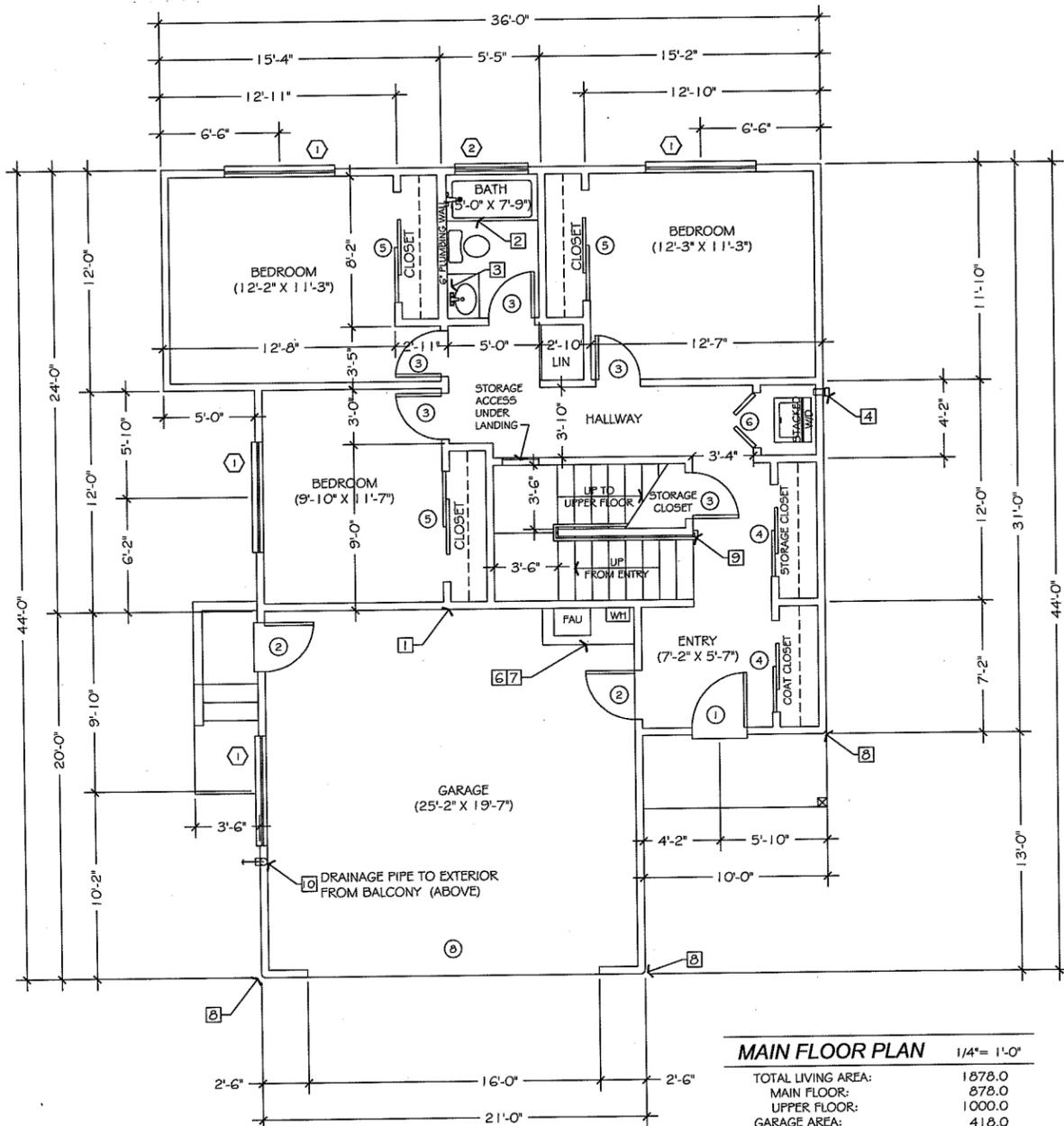
JOB NO: PAPPENDORF

SHEET
C-3

PAPPENDORF RESIDENCE

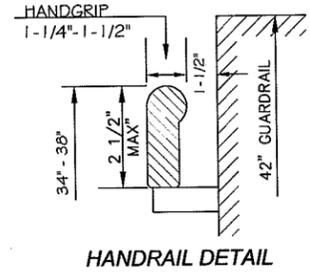
SITE PLAN

| | | |
|--|-----------------|--|
| Design/Drawn FDW | City Plan Check | DESIGNED BY: |
| Job No. PAPPENDORF | City No. No. | DATE 3/20/16 |
| California Coordinates N 766 E 1077 | | County Sheet Number M5126 NORFOLK STREET |



MAIN FLOOR PLAN 1/4" = 1'-0"

| | |
|--------------------|--------|
| TOTAL LIVING AREA: | 1878.0 |
| MAIN FLOOR: | 878.0 |
| UPPER FLOOR: | 1000.0 |
| GARAGE AREA: | 418.0 |
| | |
| NORTH DECK: | 156.0 |
| SOUTH DECK: | 50.0 |
| | |
| CONCRETE PADS: | 40.0 |
| ENTRY PORCH: | 12.0 |
| GARAGE DOOR: | 12.0 |
| GARAGE APRON: | 100.0 |



DOOR SCHEDULE

| NO. | DESCRIPTION | QTY |
|-----|--------------------------------|-----|
| 1 | ENTRY 3'0" X 6'8" S.C. | 1 |
| 2 | GARAGE 2'8" X 6'8" S.C. | 2 |
| 3 | PRIVACY 2'8" X 6'8" H.C. | 10 |
| 4 | BI-PASS 5'0" X 6'8" H.C. | 2 |
| 5 | BI-PASS 6'0" X 6'8" H.C. | 4 |
| 6 | BI-FOLD 3'0" X 6'8" H.C. | 2 |
| 7 | GARAGE DOOR 16'0" X 8'0" PANEL | 1 |

WINDOW SCHEDULE

| NO. | DESCRIPTION | QTY |
|-----|---|-----|
| 1 | BEDROOM WINDOW 6'0" X 6'0" XO | 4 |
| 2 | BATHROOM 4'0" X 2'0" XO | 2 |
| 3 | LIVING ROOM 4'0" X 6'0" S.H. | 2 |
| 4 | DINING/MASTER 6'0" X 8'0" SLDR DOOR (T) | 2 |
| 5 | LIVING 8'0" X 6'0" XO | 1 |
| 6 | KITCHEN 8'0" X 3'0" XO | 1 |
| 7 | MASTER BEDROOM 2'0" X 6'0" S.H. | 2 |
| 8 | MASTER BATHROOM 3'0" X 4'0" S.H. | 1 |

TEMPERED (T) GLAZING IN HAZARD LOCATIONS:
SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE IBC CHAPTER, IN THE FOLLOWING AREAS:
GLAZING WITHIN 24" OF DOORS
GLAZING WITHIN 18" OF FLOOR
GLAZING WITHIN TUB-SHOWER ENCLOSURES

WINDOW / DOOR LEGEND

| | |
|------|-----------------------|
| SC | SOLID CORE DOOR |
| HC | HOLLOW CORE DOOR |
| FR | FRENCH DOOR |
| SLDR | SLIDING GLASS DOOR |
| BP | BI-PASSING DOOR |
| XO | SLIDING WINDOW |
| SH | SING HUNG WINDOW |
| DH | DOUBLE HUNG WINDOW |
| CS | CASEMENT WINDOW |
| FX | FIXED GLASS WINDOW |
| (T) | TEMPERED GLASS WINDOW |

- FLOOR PLAN CALLOUTS**
- 5/8" TYPE X GYPSUM BOARD ON GARAGE SIDE OF COMMON WALL AND CEILING OF GARAGE AND HOUSE. DRWALL GARAGE COMPLETE (CBC 406.1.4)
A. WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED, THE WALLS AND/OR BEAMS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH THE EQUIVALENT FIRE RESISTIVE CONSTRUCTION (CBC 714)
 - TEMPERED GLASS TUBSHOWER ENCLOSURES OR CURTAIN WITH ROD (CBC 1210.3, CPC 414.5)
 - 36" HIGH MIRROR OVER ENTIRE LENGTH OF LAVATORY SET.
 - VENT DRYER TO EXTERIOR, VENT SHALL TERMINATE MIN. 3' FROM OPENING
 - 22" X 30" ATTIC ACCESS (TYP)
 - TANKLESS WATER HEATERS SHALL BE INSTALLED IN THE GARAGE. IT SHALL BE A NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING.
 - HEATER SHALL BE INSTALLED IN THE GARAGE ON AN 18" HIGH PLATFORM. DUCTING SHALL RUN THROUGH RAISED FLOOR TO SERVICE FLOOR AND CEILING REGISTERS.
 - FRONT CORNERS OF GARAGE AND ENTRY WALL SHALL BE RADIUSED WITH A 4" CORNER.
 - INSTALL HANDRAIL PER DETAIL, SHEET A.1, (TYP)
 - INSTALL WATER PROOF LIGHT WEIGHT CONCRETE SURFACE FOR BALCONY WITH DRAINAGE.

- GENERAL NOTES**
- GARAGE DOOR WHICH OPENS INTO A LIVING AREA SHALL BE PROTECTED BY A 1-3/8" TIGHT FITTING, SELF-CLOSING, SOLID CORE DOOR, OR A TIGHT FITTING, SELF-CLOSING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
 - CONCRETE PAD SUPPORTING COMPRESSOR, CONDENSER, AND/OR WATER HEATER SHALL BE MINIMUM OF 3" ABOVE GRADE.
 - EXHAUST FANS IN THE BATHROOMS SHALL PROVIDE A MINIMUM OF FIVE (5) AIR CHANGES PER HOUR.
 - PROVIDE A PERMANENTLY ACCESSIBLE 12" SQUARE BATH TUB TRAP ACCESS OR NOT ON PLAN THAT A NON-SLIP-JOINT TRAP SHALL BE USED.
 - PROVIDE A LANDING EQUAL TO THE WIDTH OF THE DOOR OR STAIR AND A LENGTH IN THE DIRECTION OF TRAVEL EQUAL TO 36" AT ENTRY AND SLIDING DOOR.
 - DOOR MAY OPEN AT GARAGE LANDING (PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING) THIS IS NOT MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL.
 - PROVIDE 2X6 STUDS IN PLUMBING WALLS TO PREVENT EXCESSIVE NOTCHING OR BORING OF STUDS.
 - THE MINIMUM SIZE FOR SERVICE RISERS FOR STRUCTURES SHALL BE 1" DIAMETER. MATERIALS SHALL BE SCHEDULE 80, FVC OR TYPE 'L' COOPER PIPE, MINIMUM.
 - SHOWERS AND SHOWER/TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
 - HOSE BIBS SHALL BE FITTED WITH NON-REMOVABLE BACK FLOW DEVICES.
 - SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 72" ABOVE THE DRAIN INLET.
 - PROVIDE A MINIMUM OF 36" X 36" LANDING AT STAIR LANDING.

- DOOR THRESHOLD NOTE**
- LANDINGS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD.
 - WHERE DOORS DO NOT SWING OVER THE LANDING, THERE MAY BE A DIFFERENCE IN ELEVATION OF UP TO 7-3/4".
 - LANDING AT DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.

- DOOR EGRESS NOTE**
- EGRESS DOORS SHALL BE OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (CRC R311.2)

- SAFETY GLAZING NOTE**
- SAFETY GLAZING IS REQUIRED, BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR, WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION, AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE (CBC 2406.3).
 - SAFETY GLAZING IS REQUIRED WITHIN 18" OF FLOORS, WITHIN TUBSHOWER ENCLOSURES, WITHIN HOT TUB, WHIRLPOOL, SAUNA AND STEAM ROOMS AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
 - SAFETY GLAZING IS REQUIRED IN STAIR LANDINGS AND/OR WITHIN 5'-0" OF THE BOTTOM AND TOP OF STAIRWAY AND GLAZING WITHIN 5'-0" OF POOL EDGES.

- WALL COVERING NOTE**
- WALL COVERING MATERIAL AT SHOWERS AND TUBSHOWER COMBINATIONS SHALL BE CEMENT PLASTER, TILE OR APPROVED WALL COVERING. THE WALL COVERING SHALL EXTEND 72" ABOVE THE DRAIN INLET.

- HOUSE ADDRESS NOTE**
- THE HOUSE ADDRESS SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 1/2" MINIMUM STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. WHERE ADDRESS CANNOT BE VIEWED FROM PUBLIC WAY, A MONUMENT POLE SHALL BE USED. (CRC R319)

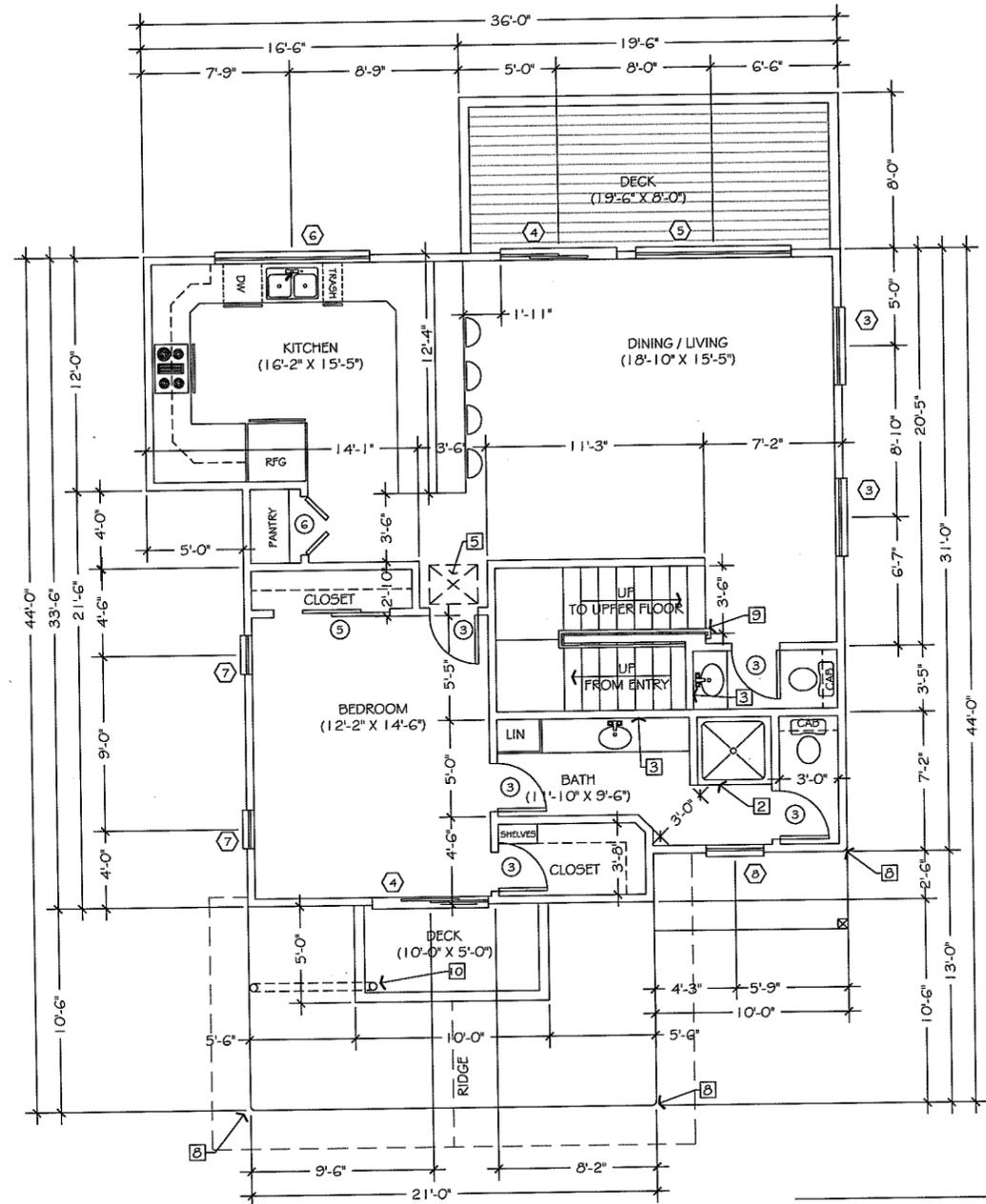
WATKINS DESIGN
3/20/16
FRED D. WATKINS, DESIGNER
P.O. BOX 735 TEMPLETON CA 93465 (805) 462-9093

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MAIN FLOOR PLAN
JEFF PAPENDORF
NORFOLK STREET
CAMBRIA, CA
(559) 392-2481

SCALE: 1" = 4'
DATE: 3/20/16
JOB NO: PAPENDORF

SHEET
A.1



| DOOR SCHEDULE | | QTY |
|---------------|--------------------------------|-----|
| ① | ENTRY 30" X 68" S.C. | 1 |
| 2 | GARAGE 28" X 68" S.C. | 2 |
| 3 | PRIVACY 26" X 68" H.C. | 10 |
| 4 | BI-PASS 5'0" X 68" H.C. | 2 |
| 5 | BI-PASS 6'0" X 68" H.C. | 4 |
| 6 | BI-FOLD 3'0" X 68" H.C. | 2 |
| 7 | GARAGE DOOR 16'0" X 8'0" PANEL | 1 |

| WINDOW SCHEDULE | | QTY |
|-----------------|---|-----|
| ① | BEDROOM WINDOW 6'0" X 6'0" XO | 4 |
| 2 | BATHROOM 4'0" X 2'0" XO | 2 |
| 3 | LIVING ROOM 4'0" X 6'0" S.H. | 2 |
| 4 | DINING/MASTER 6'0" X 8'0" SLDR DOOR (T) | 2 |
| 5 | LIVING 8'0" X 6'0" XO | 1 |
| 6 | KITCHEN 8'0" X 3'0" XO | 1 |
| 7 | MASTER BEDROOM 2'0" X 6'0" S.H. | 2 |
| 8 | MASTER BATHROOM 3'0" X 4'0" S.H. | 1 |

TEMPERED (T) GLAZING IN HAZARD LOCATIONS:
SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE UBC CHAPTER, IN THE FOLLOWING AREAS:
GLAZING WITHIN 24" OF DOORS
GLAZING WITHIN 18" OF FLOOR
GLAZING WITHIN TUB-SHOWER ENCLOSURES

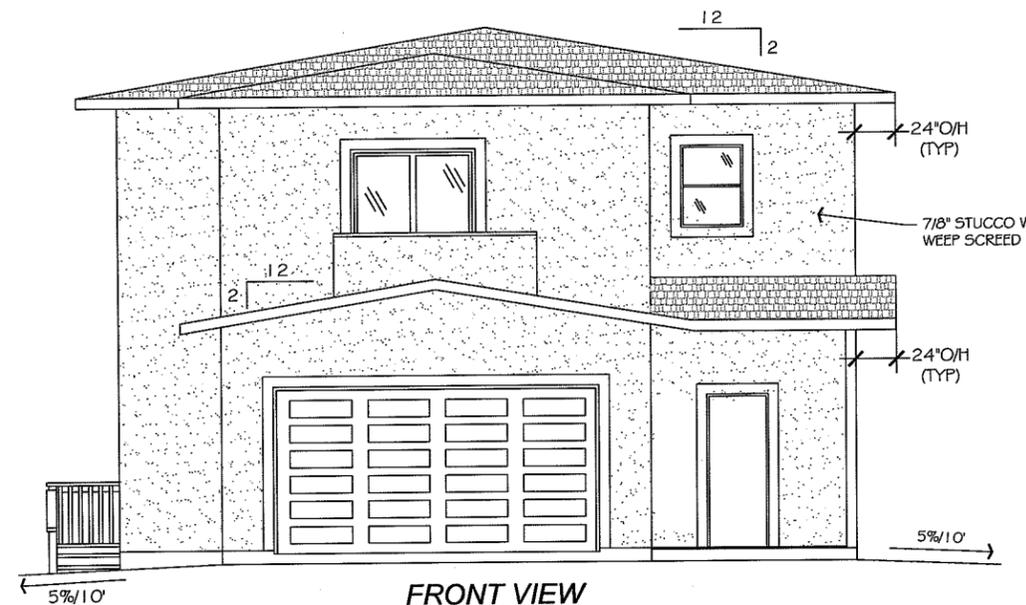
| WINDOW / DOOR LEGEND | |
|----------------------|-----------------------|
| SC | SOLID CORE DOOR |
| HC | HOLLOW CORE DOOR |
| FR | FRENCH DOOR |
| SLDR | SLIDING GLASS DOOR |
| BP | BI-PASSING DOOR |
| XO | SLIDING WINDOW |
| SH | SING HUNG WINDOW |
| DH | DOUBLE HUNG WINDOW |
| CS | CASEMENT WINDOW |
| FX | FIXED GLASS WINDOW |
| (T) | TEMPERED GLASS WINDOW |

FLOOR PLAN CALLOUTS

- 5/8" TYPE 'X' GYPSUM BOARD ON GARAGE SIDE OF COMMON WALL AND CEILING OF GARAGE AND HOUSE. DRWALL GARAGE COMPLETE (CBC 406, 1-4)
A. WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED, THE WALLS AND/OR BEAMS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH THE EQUIVALENT FIRE RESISTIVE CONSTRUCTION (CBC 714)
- TEMPERED GLASS TUB/SHOWER ENCLOSURES OR CURTAIN WITH ROD (CBC 1210.3, CPC 414.3)
- 36" HIGH MIRROR OVER ENTIRE LENGTH OF LAVATORY SET.
- VENT DRYER TO EXTERIOR, VENT SHALL TERMINATE MIN. 3' FROM OPENING
- 22" X 30" ATTIC ACCESS (TYP)
- TANKLESS WATER HEATERS SHALL BE INSTALLED IN THE GARAGE. IT SHALL BE A NATIONALLY LISTED AND BE INSTALLED IN ACCORDANCE WITH THE INSTALLATION INSTRUCTIONS THAT WERE APPROVED AS PART OF THEIR LISTING.
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- FRONT CORNERS OF GARAGE AND ENTRY WALL SHALL BE RADIUSED WITH A 4" CORNER.
- INSTALL WATER PROOF LIGHT WEIGHT CONCRETE SURFACE FOR BALCONY WITH DRAINAGE.

MAIN FLOOR PLAN 1/4" = 1'-0"

| | |
|--------------------|--------|
| TOTAL LIVING AREA: | 1878.0 |
| MAIN FLOOR: | 878.0 |
| UPPER FLOOR: | 1000.0 |
| GARAGE AREA: | 418.0 |
| NORTH DECK: | 117.0 |
| SOUTH DECK: | 50.0 |
| CONCRETE PADS: | |
| ENTRY PORCH: | 40.0 |
| GARAGE DOOR: | 12.0 |
| GARAGE APRON: | 100.0 |



WATKINS DESIGN
3/20/16
FRED D. WATKINS, DESIGNER
P.O. BOX 735 TEMPLETON CA 93465 (805) 462-9093

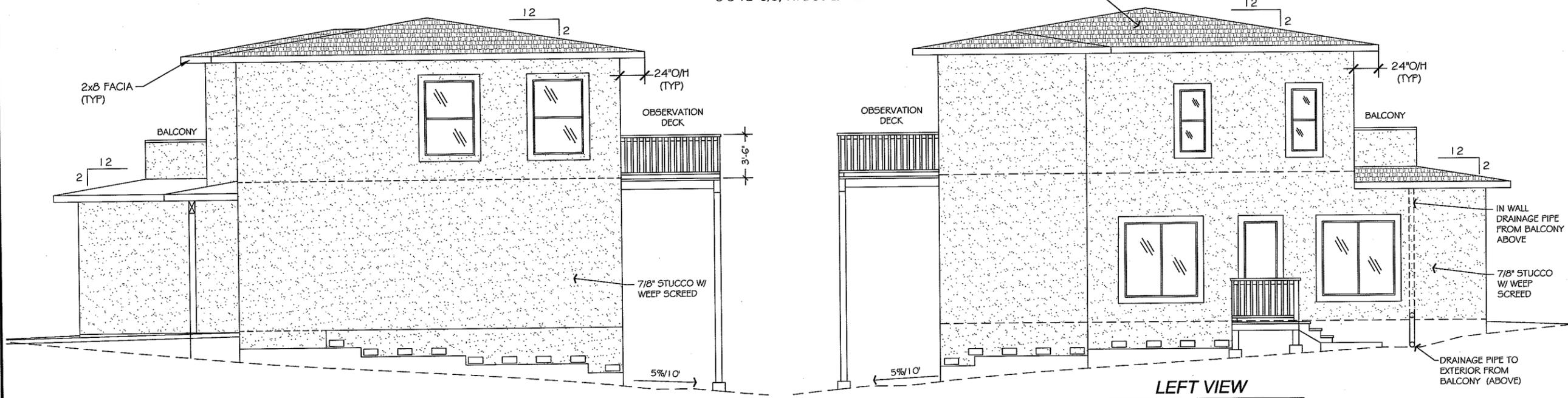
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UPPER FLOOR PLAN
ELEVATION PLAN
JEFF PAPERDORF
NORFOLK STREET
CAMBRIA, CA
(559) 392-2481

SCALE: 1" = 4'
DATE: 3/20/16
JOB NO: PAPERDORF

SHEET
A.2

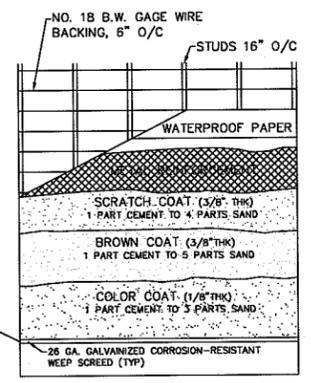
CLASS 'A' ROOF CONSTRUCTION: 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL ENGINEERED TRUSSES @ 24" O/C, 5/8" ROOF SHEATHING (INDEX NO. 32/16), CASE 1 LAYOUT W/ 8d @ 6-6-12" O/C, TYPE 30 LB FELT WITH CONC SHINGLES (OR EQUAL)



RIGHT VIEW
(EAST FACING)

LEFT VIEW
(WEST FACING)

ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (CRC R327.5.4)

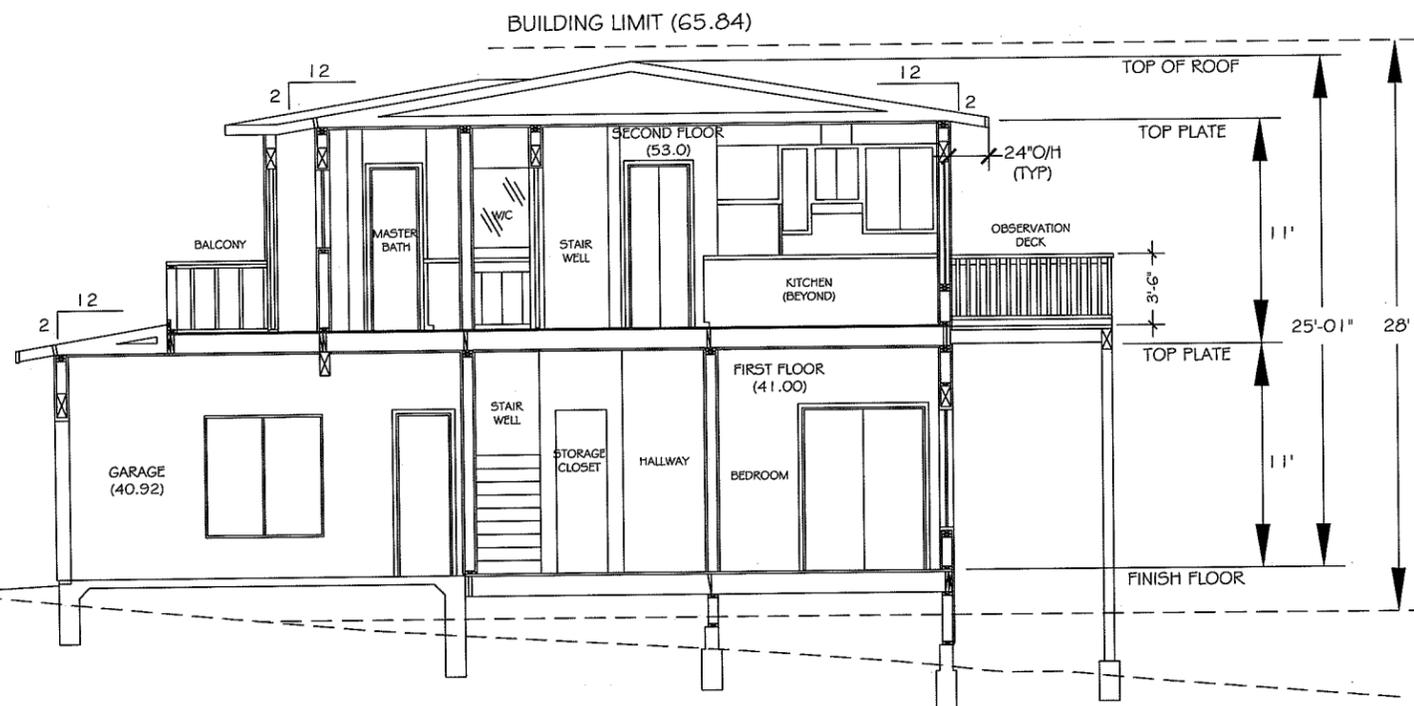


- EXTERIOR PLASTER DETAIL
1. WEATHER RESISTIVE BARRIERS SHALL INCLUDE 2 LAYERS OF GRADE D OVER WOOD BASE SHEATHING.
 2. A MINIMUM 26 GAUGE GALVANIZED CORROSION RESISTANT WEEP SCREED.
 3. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3.5 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
 4. WEEP SCREED SHALL BE PLACED A MINIMUM 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA PER CBC SEC. 2506.5.
 5. PLASTERING WITH CEMENT PLASTER SHALL NOT BE LESS THAN 3 COATS WHEN APPLIED OVER METAL LATH OR WIRE FABRIC LATH PER CBC SEC. 2508.



WEEP SCREED DETAIL

AVERAGE NATURAL GRADE
(37.84)



SECTION VIEW

ATTIC VENTILATION REQUIREMENTS
 TOTAL AREA: 1222 SQ.FT / 300 = 4.07 SQ.FT.
 50% HIGH VENTILATION (2.04 SQ.FT.)
 (6) BRANDGUARD DORMER VENTS DV2041 (12"x24" - 72 SI NFVA) = 3.00 SF
 50% LOW VENTILATION (2.04 SQ.FT.)
 (14) BRANDGUARD EAVE VENTS UE2011 (3.5"x22.5" - 22 SI NFVA) = 2.14 SF
 TOTAL DESIGN VENTILATION = 5.14 SF > 4.07 SF **OK**

FOUNDATION VENTILATION REQUIREMENTS
 TOTAL AREA: 792 SQ.FT / 150 = 5.28 SQ.FT.
 FOUNDATION VENTILATION (5.28 SQ.FT.)
 (33) BRANDGUARD FOUNDATION VENTS FV2011-PG (6"x14" - 23.4 SI NFVA) = 5.36 SF
 TOTAL DESIGN VENTILATION = 5.36 SF > 5.28 SF **OK**

WATKINS DESIGN
 3/20/16
 FRED D. WATKINS, DESIGNER
 P.O. BOX 735 TEMPLETON CA 93465 (805) 462-9093

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ELEVATION AND SECTION PLAN

JEFF PAPENDORF
 NORFOLK STREET
 CAMBRIA, CA
 (659) 392-2481

SCALE: 1" = 4'
 DATE: 3/20/16
 JOB NO: PAPENDORF

SHEET
A.3



Recreation

Open Space

Public Facilities

North Coast Planning Area
Planning Area

Coastal Zone
Planning Area

Residential Single-Family

PETERBOK DR

NEW OAK ST

COMMERCIAL

BIRCH ST

PLYMOUTH ST

WILSON DR

WILSON DR



Coastal Zone
Planning Area

C Cambria UPL

Residential Single-Family

NORFOLK ST

WINDSOR BLVD

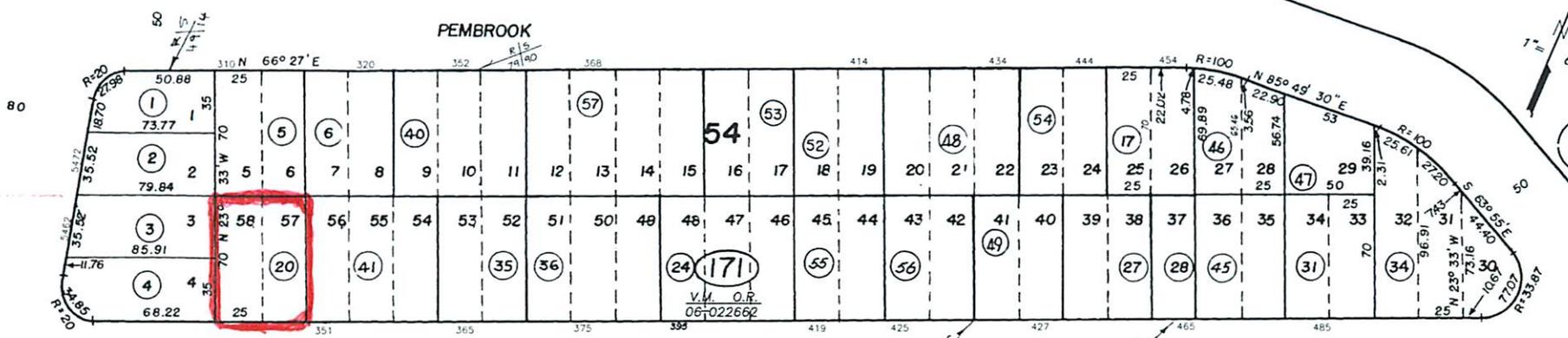
ARLSON

16

15

022-17

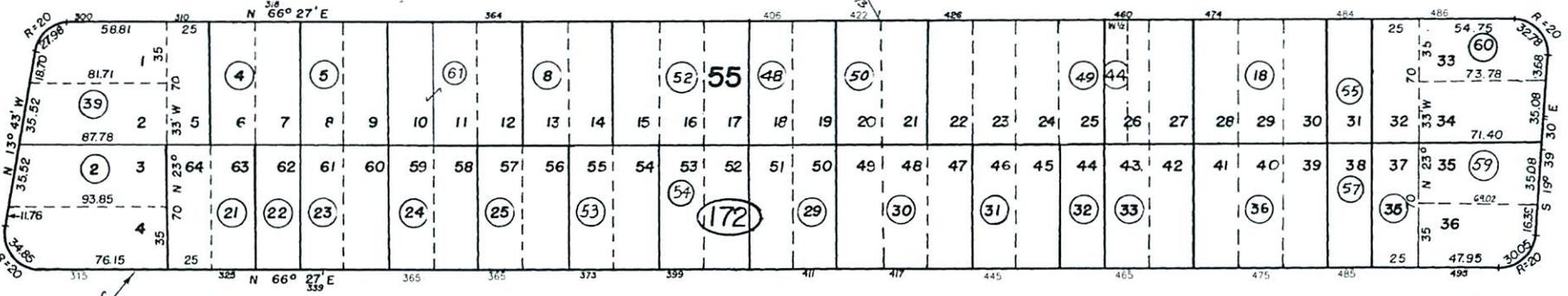
BLVD.



15

NORFOLK

ST.



BRISTOL

ST.

DRIVE

18

| REVISIONS | |
|-----------|----------|
| I.S. | DATE |
| NA | 07-17-06 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |



1:2 07-09-97 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Parcel Summary Report For Parcel # 022-171-020

4/14/2016
9:21:21AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PAPENDORF JEFF B
7778 N MONTANA AVE CLOVIS CA 93619-9048

Address Information

Status Address
00000 NORFOLK ST CAMB

Lot Information:

| <u>Tract / Twnshp</u> | <u>Block / Range</u> | <u>Section</u> | <u>Community:</u> | <u>Plan/Area:</u> | <u>Lue 1:</u> | <u>Lue 2:</u> | <u>Lue 3:</u> | <u>Lot:</u> | <u>Flags:</u> | <u>Misc</u> |
|---------------------------|--------------------------|----------------|-------------------|-------------------|---------------|---------------|---------------|-------------|---------------|-------------|
| CPUNIT5 | 0054 | 0057 | Cambria | North Coast P | RSF | LCP | AS | Y | L2 | |
| CPUNIT5 | 0054 | 0058 | Cambria | North Coast P | GS | | | Y | L2 | |

Parcel Information

Status Description
Active CAM PINES U 5 BL 54 LTS 57 & 58

Notes

Tax Districts

COAST (SB1537)
SAN LUIS OBISPO JT(27,40)
CAMBRIA PUBLIC
COAST UNIFIED SCHOOL - IMP. NO. 1
CAMBRIA (SB1537 BLO)
CAMBRIA COMMUNITY
NO. 02
CAMBRIA
AREA NO. 21



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Case Information

Case Number:

Case Status:

DRC2015-00112

REC

Primary Parcel

Description:

BUILD SINGLE FAMILY RESIDENCE

SUB2015-00065

APV

Primary Parcel

Description:

PROP 2 TO 1 VOL MERGER