



SAN LUIS OBISPO COUNTY

DEPARTMENT OF PLANNING AND BUILDING

VICTOR HOLANDA, AICP
DIRECTOR

THIS IS A NEW PROJECT REFERRAL

DATE: 10/7/09

TO: _____

FROM: Jeff Oliveira, Environmental Resource Specialist/ Mine Mitigation

PROJECT DESCRIPTION: DRC2009-00025 OSTER LIVING TRUST- Mining/ reclamation plan to operate aggregate quarry, asphalt and concrete recycling/ manufacturing. 60 acre site, of 260 acres total located off California Canyon Hwy. in Santa Margarita. APNs: 070-141-070 and 071.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. By 10/22/09 please.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2009-00025

OSTER LIVING TR

MINING/RECLAMATION PLAN

PROPOSAL TO OPERATE AGGREGATE QUARRY, ASPHALT AND CONCRETE

LPIL/ RLPIL

JRO

EX1 RL

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Danny Edward Oster & Oster Living Trust Daytime Phone _____
 Address 6660 Calf Canyon Hwy, Santa Margarita Zip Code 93453
 Email Address: _____

Applicant Name Las Pilitas Resources LLC Daytime Phone 805-610-7186
 Mailing Address PO Box 875, Santa Margarita, CA Zip Code 93453
 Email Address: _____

Agent Name Ken Johnston Daytime Phone 805-610-7186
 Mailing Address PO Box 875, Santa Margarita, CA Zip Code 93453
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site, 260 Acres 60 Acres to be disturbed Assessor Parcel Number(s), 070-141-070 & 071

Legal Description. Parcel 1 APN: 070-141-070 The East half of the Southwest quarter of Section 10, in township 29 South, Range 13 East, Mount Diablo Base and Meridian, in the County San Luis Obispo, State of California, according to the Official Plat thereof.

Parcel 2 APN: 070-141-071, The West half of the Southeast quarter, the Northeast quarter of the Southeast quarter and the Southeast quarter of the Northeast quarter of Section 10, Township 29 South, Range 13 East, Mount Diablo Base and Meridian, in the County San Luis Obispo, State of California, according to the Official Plat thereof.

Address of the project (if known): 6660 Calf Canyon Hwy, Santa Margarita, CA 93453

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Calf Canyon HWY east of Salinas River Bridge

Describe current uses, existing structures, and other improvements and vegetation on the property:
Property has Two single family dwellings and several out buildings, the land is used as a ranch.

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings):

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Driveway access to State Hwy 58 as per Caltrans Highway Design Manual see attached drawings__

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? 240 Acres

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Hansen Margarita Rock Quarry

South: Rural Land with Residents

East: Rural Land with Residents

West: Hansen Margarita Rock Quarry

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 400 sq. feet <1 % Landscaping: 37,361 sq. feet 2.09 %

Paving: 32,822 sq. feet 1.8 % Other (specify) Truck Scale 700sq ft

Total area of all paving and structures: 33,292 sq. feet acres

Total area of grading or removal of ground cover: APX 41 sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: _____

Number of trees to be removed: See Attached Report By LFR Type :

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 60 sq. feet acres

Total floor area of all structures including upper stories: 400 sq. feet

For residential projects, answer the following: Number of residential units: _____

Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 8.9 acres
Moderate slopes of 10-30%: 19.2 acres
Steep slopes over 30%: 110.9 acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: Moreno Creek
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: The Salinas River adjacent to the property more than 100 vertical feet below project elevation
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Small area graded 1 acre
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list Hwy 58 Calf Canyon Road

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain Office personnel use _____
 Industrial – Explain Dust suppression, watering haul roads _____
3. What is the expected daily water demand associated with the project? **20,000 GALLONS** _____
4. How many service connections will be required? None
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: Three wells exist on site, one in operation currently, also three stock ponds exist on site with pump locations.
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 800 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

If yes, please explain: Noise level increases have yet to be determined, background noise from the adjacent rock quarry will need to be studied to determine if an increase in the ambient noise will be created.

(If loud equipment is proposed, please submit manufacturers estimate on noise output.)

6. What type of industrial waste materials will result from the project? Explain in detail: Used oil, used batteries, and oily rags, generated from equipment maintenance.
-
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: Petroleum based oils and fuels will be used and stored on site as well as Liquid Asphalt.
-
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.
9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 28 Between 4:00 to 6:00 p.m. 23
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: We have identified an area of concern at the intersection of Estrada Ave (HWY 58) and H Street. A crosswalk is located there and a crossing guard is present before and after school hours (when school is in session) to assist pedestrians in crossing the street. The quarry traffic before and after school will need to be addressed, we plan on working with the school board, the county and the public to come up with a solution. Please see attached traffic study for pedestrian and vehicle trip counts as well as Peak Hour Signal Warrants.

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: The site consists of both poor soil and steep slopes.
-

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: Please see attached phasing diagrams.

3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
-
4. Are there any proposed or existing deed restrictions? Yes No
 If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
 Please see attached Report from LFR Inc. _____
-
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
 If yes, please list: _____ Please see attached Report from LFR Inc
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
 If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Reclamation permit, Streambed alteration agreement, Air Pollution Control Authority to construct, Encroachment permit State Water Resources, Encroachment permit Caltrans, More to be added.

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

Project Summary.

Proposal to operate Aggregate Quarry, Asphalt and Concrete Recycling, and Asphalt Concrete Manufacturing, this project will be implemented in stages. Stage One will consist of installing a truck scale, portable office, site preparation including entrance road construction, landscaping, Aggregate production will start with removing and stockpiling overburden for future use in reclamation, excavating and stockpiling for sale Decomposed Granite (DG), mining and excavating granite rock for sale and further processing. Processing of granite will be completed by portable crushing and screening equipment, brought in on an as needed bases. Processing and shipping volumes are dependent on market conditions we estimate during this phase the volume will range up to 500,000 tons annually and last approximately 5 years.

Stage Two, Volume will remain at a maximum of 500,000 tons of material shipped annually however this will include DG, Granite rock, Recycled Concrete and Asphalt, and Asphalt Concrete. Rock and recycled material will be processed by portable and or fixed plant equipment, with appropriate permits. Asphalt will be manufactured by either portable or fixed plant equipment. Reclamation will begin in phase two as the upper benches are mined and established. Total volume of rock to be removed 13 million tons over a period of approximately 30 years.

Mining and Processing.

Mining will commence with clearing the vegetation and overburden from the area to be mined and storing it for later use in reclamation or moving to the current area to be reclaimed. The DG will then be removed by wheel loader, hydraulic excavator and or bulldozer the material will be sorted by size and stockpiled for sale. The underlying Granite rock will excavated by wheel loader, hydraulic excavator and or bulldozer.

When the rock becomes to consolidated to be ripped by the bulldozer it will be first loosened by blasting. A rock drilling machine will be used to drill a pattern of holes in the rock and explosives will be loaded in the holes and detonated. Blasting will be performed by a California Licensed Blaster. Blasted rock will then be pushed by the bulldozer from the working bench down to the wheel loader or excavator for sizing and stockpiling or to be fed into the portable rock crushing plant. The rock destined for the size reduction will first be placed into a feeder to control the amount of material going to the primary crusher, after the initial crushing the reduced material will travel through a screen to separate the material into different sizes. Rock that is still too large for sale as a finished product, will then be reduced by the secondary crusher and again screened into saleable sizes.

A portion of high quality aggregate will be washed and sorted for use in the manufacturing of Portland Concrete Cement and Hot Mix Asphalt Concrete as well as being sold to customers for specialty applications.

Reclamation and Revegetation.

Reclamation of the site will consist of slope preparation and revegetation, we will reclaim areas as mining is completed and we move on to the next bench down or to another area. Finished slopes will be no greater than 1.5:1 (1.5 feet horizontal for every 1 foot vertical drop) with a 25 foot wide bench every 50 vertical feet. The bench will be sloped back into the hill with a ditch at the bottom of the slope to control any storm water runoff, the bench will also collect any rocks or debris that may roll down the slope. The slope of 1.5:1 was chosen because it has been used in this same rock formation at another quarry with success. The plan is to place soil and woody debris that has been removed from other areas that are due to be mined onto the slope to be reclaimed. Planting of trees, shrubs, grasses and other vegetation will be performed in the fall before the rainy season to prevent storm water runoff, the specific species of vegetation is detailed in the Revegetation plan.

Truck Loading.

The stockpiled material will be loaded in trucks for delivery to customers, by front end loader scooping up smaller material and filling trucks, large rocks will be loaded with a hydraulic excavator. Trucks will proceed to a scale for weighing and ticketing before leaving the site.

Recycling Concrete & Asphalt.

Construction projects that have a demolition component to them whether it is to remove asphalt road material or remove old concrete building foundations are required to recycle more and more of this material, furthermore landfills are becoming less and less inviting of a place to dispose of old concrete and asphalt. Recycling of asphalt and concrete has proven to be effective in the construction materials markets and will also preserve the natural resources that they are made from. Clean Asphalt and Concrete will be brought to the site by customers coming to pick up other material for their projects, material will be inspected and scaled then dumped in appropriate stockpiles for processing later. Clean Asphalt and Concrete is defined as used asphalt and concrete that is being removed from a site, this material will be free of oil, plastics, steel pipe, wood or any other unwanted construction waste. Recycled Concrete and Asphalt will be processed by the same portable crushing and screening equipment that is used in processing the Granite Rock. Some asphalt material will be processed separately for recycling in Hot Mix Asphalt, the remainder will be mixed with the concrete and crushed to size for use as needed.

Hot Mix Asphalt.

Stockpiled aggregate will be loaded into feeders one for each size of aggregate, by a front end loader the feeders will place a measured amount of each different material size on to a conveyor belt, the material will then be weighted and placed into feed end of a drier drum. The drier drum will heat the coarse and fine aggregate material to a temperature high enough to convert the majority of moisture in the rock and sand to steam, the steam and dust particles are removed from the drier drum by a large fan they then travel suspended in the air flow to a filter bag house. The bag house removes dust particles from the air and steam before releasing the air and steam out the stack.

The heated aggregate travels down the drum to be combined with liquid asphalt, recycled asphalt concrete and dust returning from the bag house. The combined mixture is then transported up a drag slat conveyor to be stored in insulated silos to wait to be loaded, asphalt concrete is then loaded directly into trucks for transport to job sites.

LEGAL DECLARATION

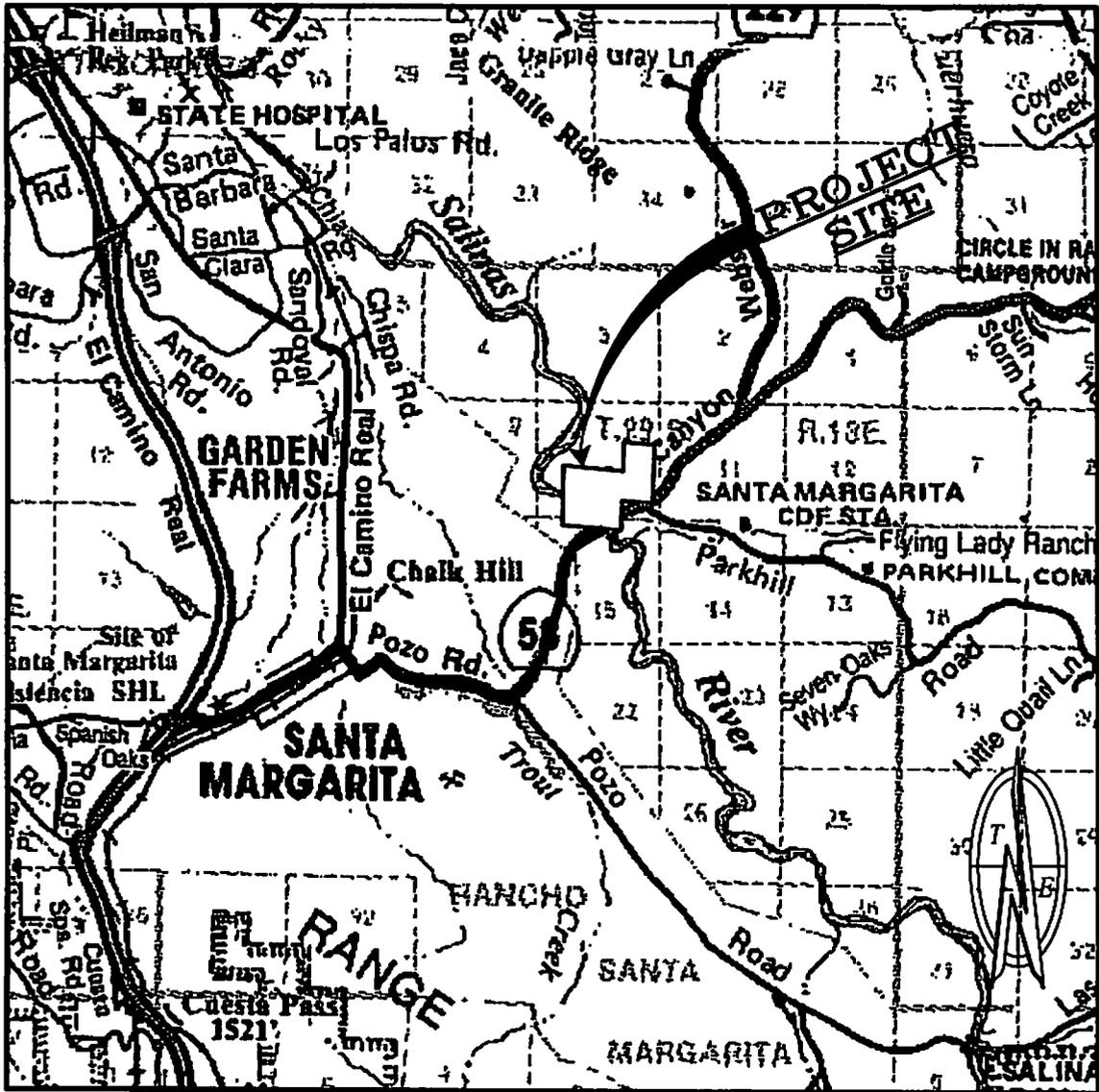
I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

AUTHORIZED AGENT
Property owner signature 

Date 10-1-09

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

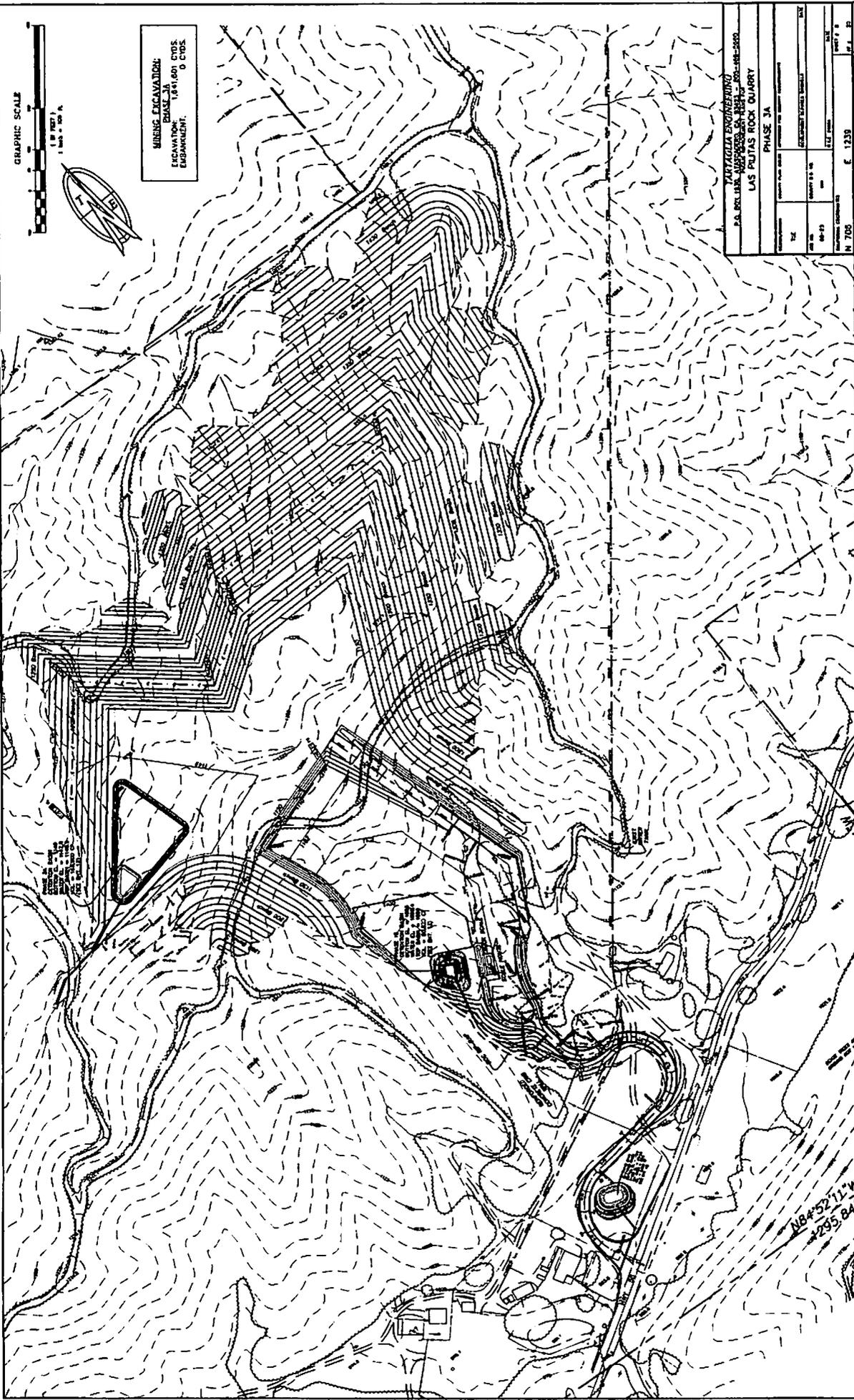


VICINITY MAP

N.T.S.



MINING EXCAVATION:
 PHASE 3A
 EXCAVATION: 180,000 CYDS
 EMBANKMENT: 0 CYDS

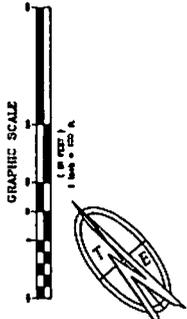


PROJECT: LAS PILITAS ROCK QUARRY
 PHASE 3A
 SHEET # 1
 DATE: 08-15-18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN
 PROJECT NO.: 18-001
 CLIENT: LAS PILITAS RESOURCES LLC
 PROJECT LOCATION: LAS PILITAS ROCK QUARRY
 COUNTY: [County]
 STATE: [State]

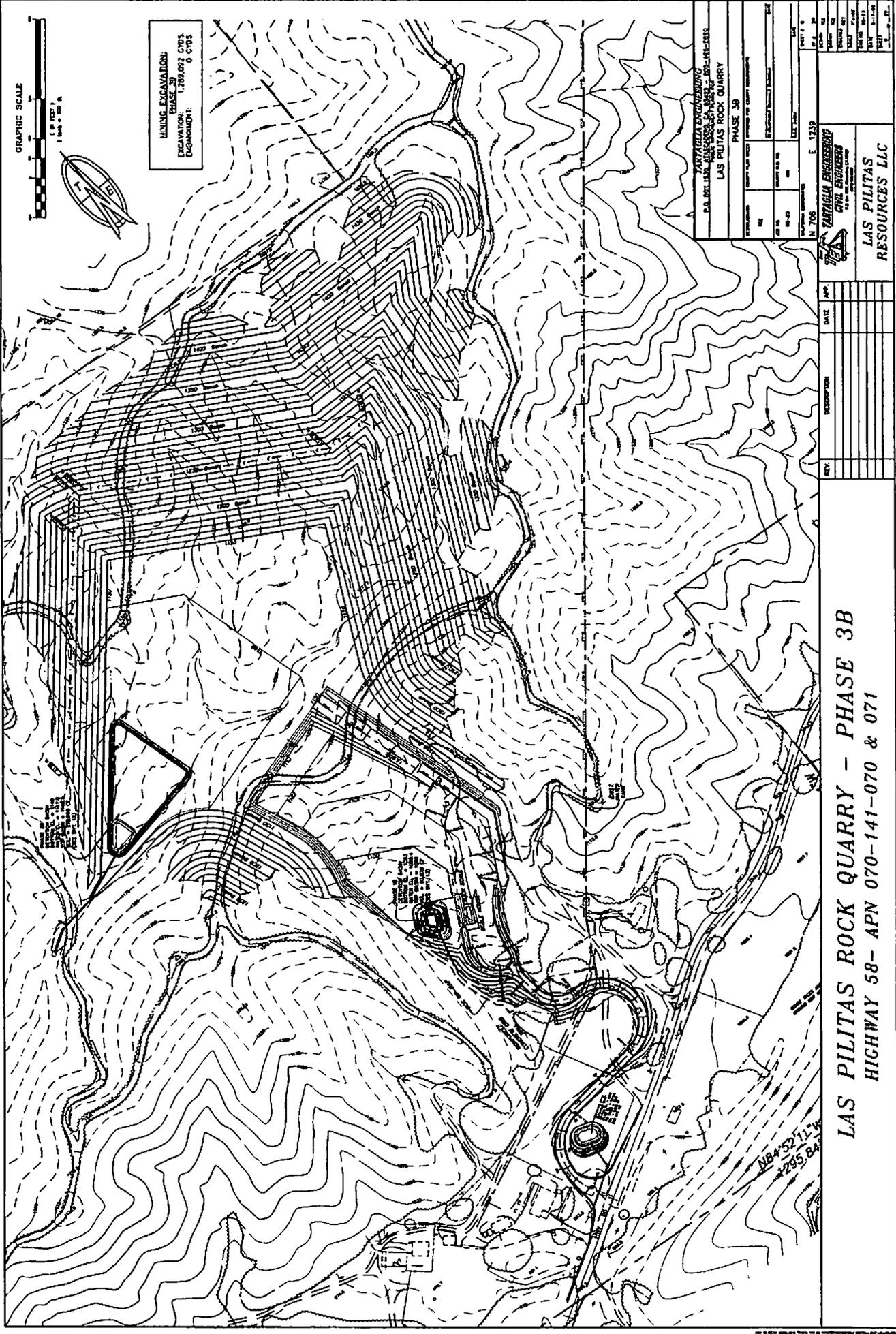
REV	DESCRIPTION	DATE	APP

LAS PILITAS ROCK QUARRY - PHASE 3A
 HIGHWAY 58 - APN 070-141-070 & 071

N 84° 52' 11" W
 295.84'



MINE EXCAVATION:
 PHASE 3B
 ELEVATION: 1,789.072 CVD3
 EMBANKMENT: 0 CVD3

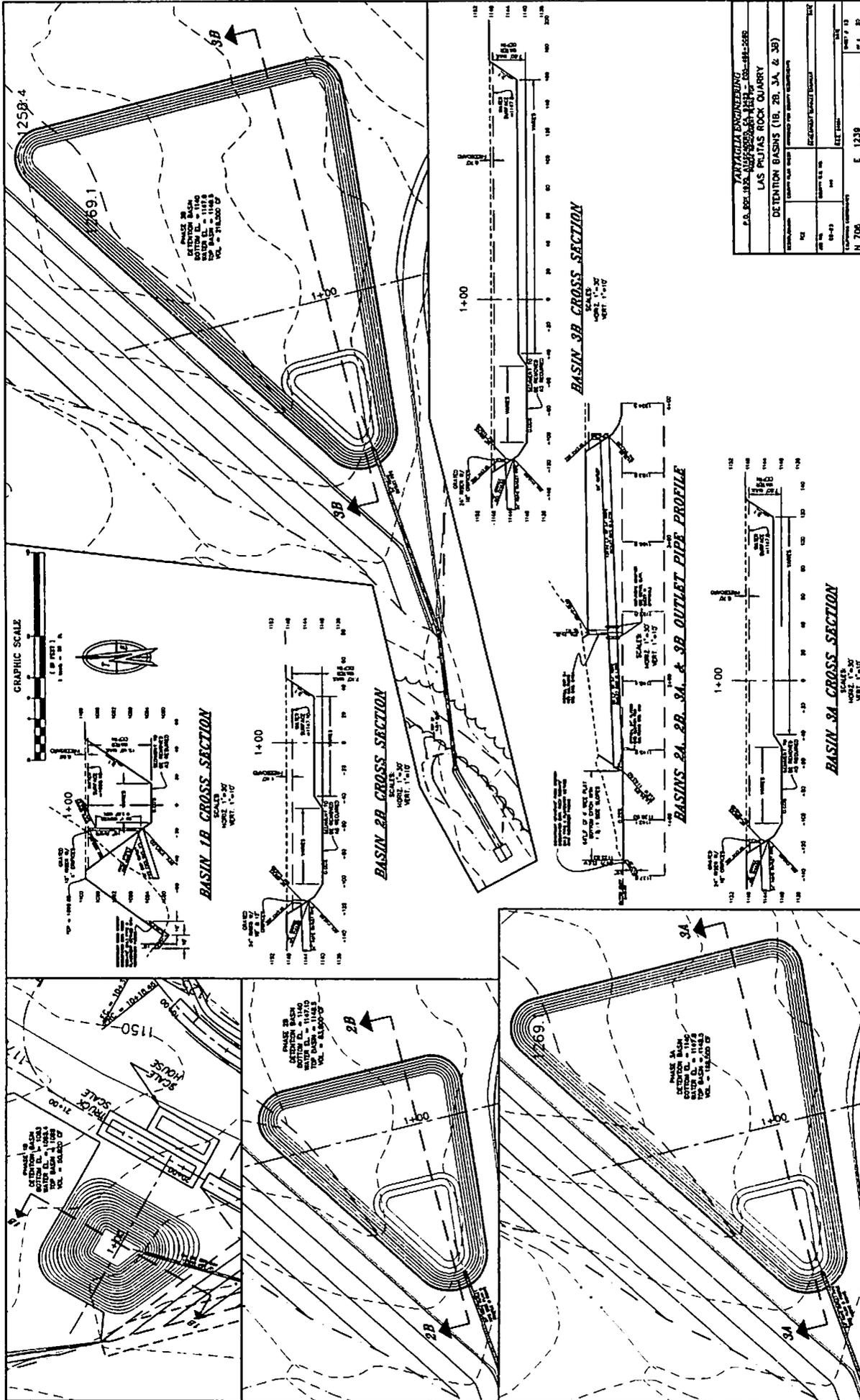


PHASE 3B LAS PILITAS ROCK QUARRY	
PROJECT NO. 1708	SHEET NO. E 1239
DRAWN BY DATE	CHECKED BY DATE
DESIGNED BY DATE	APPROVED BY DATE
PANTAGLIA ENGINEERING CIVIL ENGINEERS 1000 S. 10th Street Las Vegas, NV 89102	
LAS PILITAS RESOURCES LLC	

LAS PILITAS ROCK QUARRY - PHASE 3B
HIGHWAY 58- APN 070-141-070 & 071

REV.	DESCRIPTION	DATE	APP.

NB 452
 295



VENTURA ENGINEERING P.O. BOX 1324, ALHAMBRA, CA 91803 - 103-884-5282 LAS PILITAS ROCK QUARRY	
DETENTION BASINS (1B, 2B, 3A, & 3B)	
DATE	10/13/10
BY	W. J. B. / J. S.
CHECKED BY	W. J. B. / J. S.
SCALE	AS SHOWN
PROJECT NO.	070-070
DATE PLOTTED	10/13/10
DATE PRINTED	10/13/10


VENTURA ENGINEERING
 CIVIL ENGINEERS
 1000 W. BROADWAY, SUITE 100
 ALHAMBRA, CA 91803

LAS PILITAS
RESOURCES LLC

REV.	DESCRIPTION	DATE	APP.

DETENTION BASINS (1B, 2B, 3A, & 3B)
HIGHWAY 58- APN 070-141-070 & 071

S.O. COUNTY GENERAL NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

GENERAL NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

GENERAL CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

GENERAL CONSTRUCTION NOTES (CONTINUED)

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

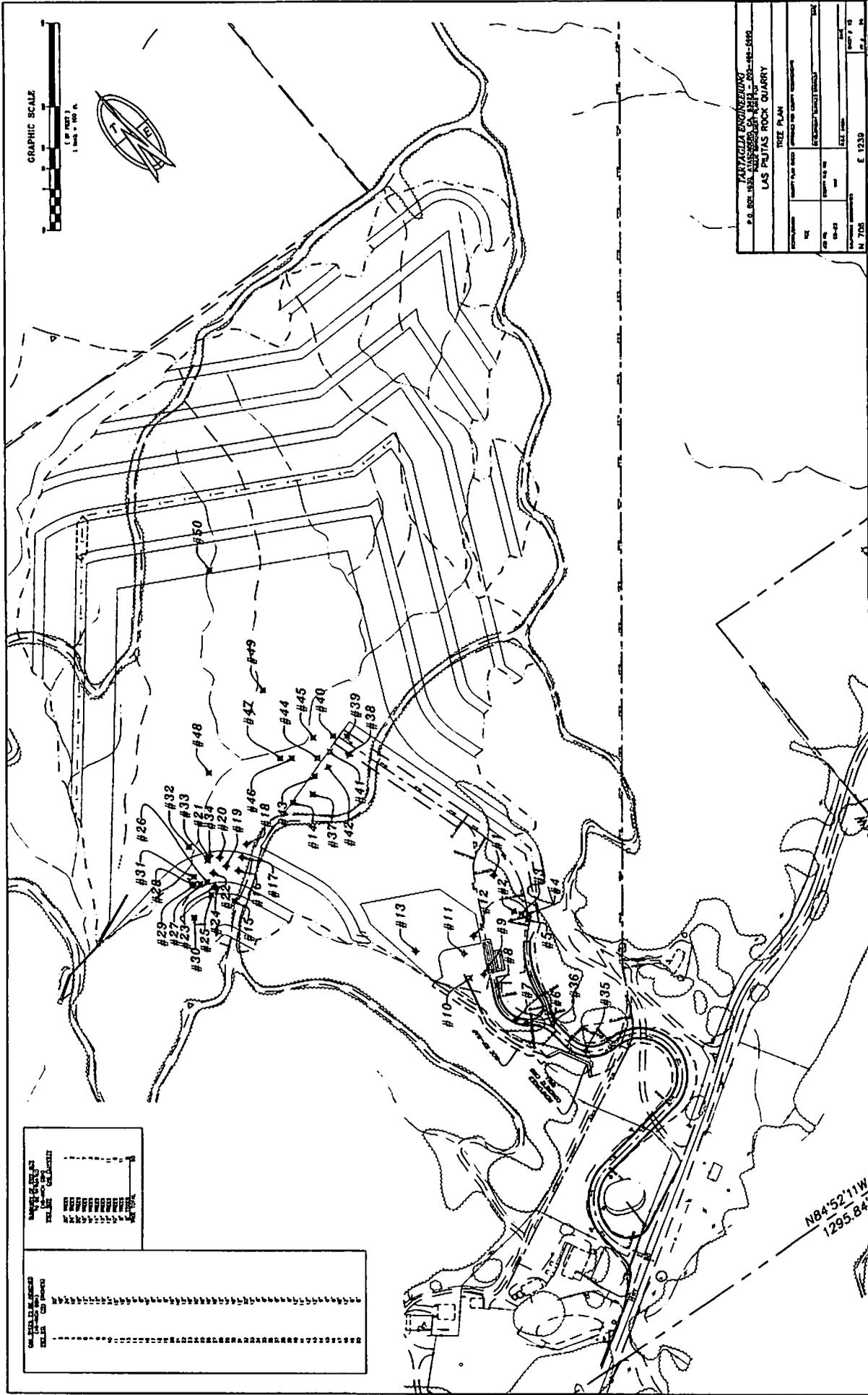
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND AGENCIES OF THE STATE OF TEXAS.

Project information box containing: LAS PILITAS ROCK QUARRY, NOTES, and project details.

LAS PILITAS ROCK QUARRY - NOTES
HIGHWAY 58- APN 070-141-070 & 071

Table with columns: DATE, DESCRIPTION, and other project tracking fields.

GRAPHIC SCALE
 1" = 100' H.



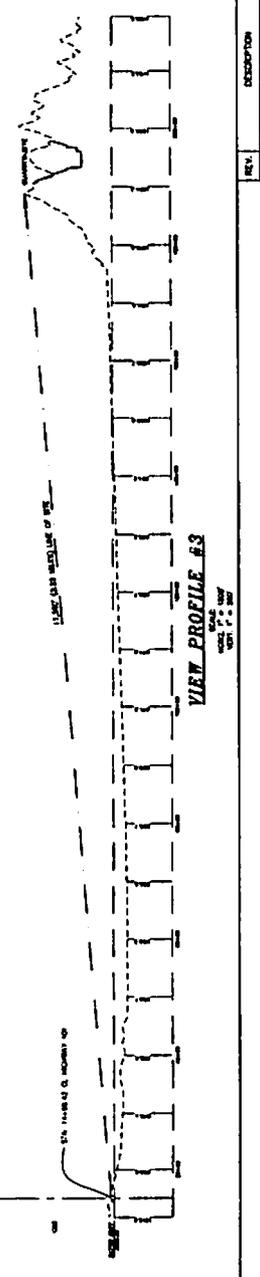
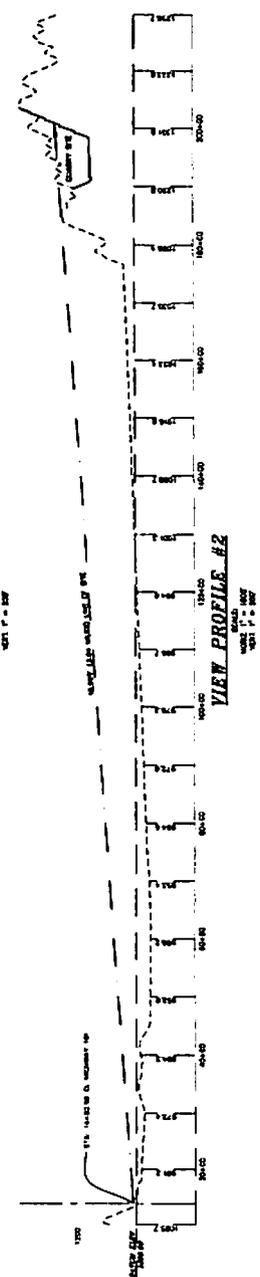
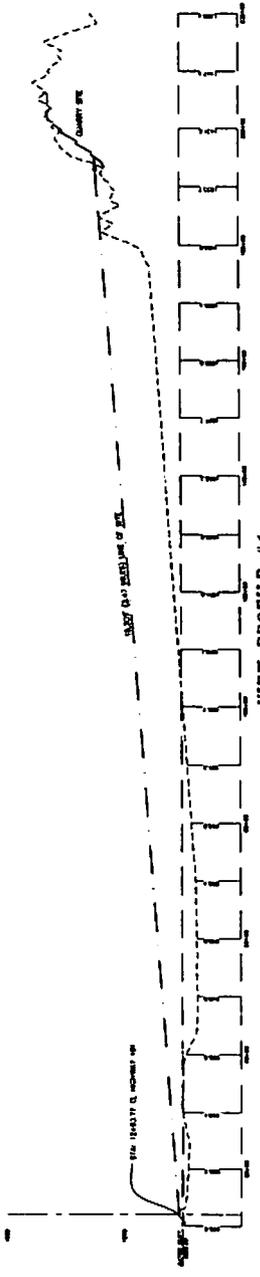
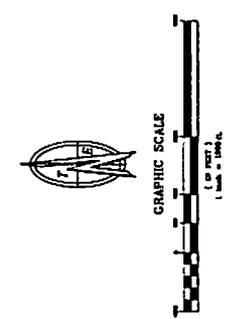
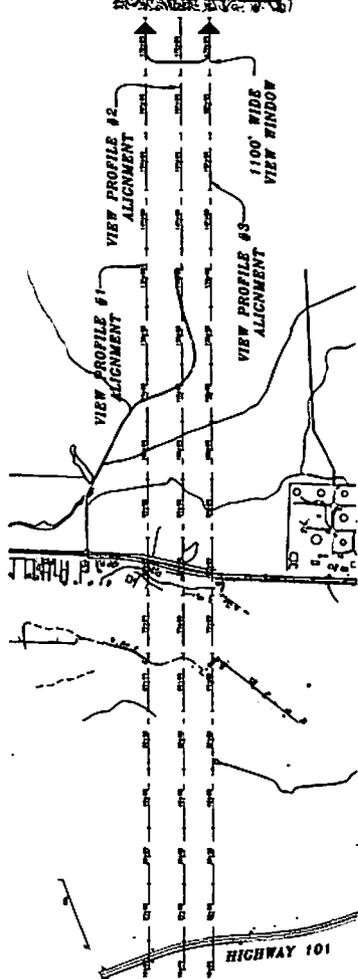
SYMBOL	DESCRIPTION
(Symbol)	BOUNDARY
(Symbol)	EXISTING CONTOUR
(Symbol)	PROPOSED CONTOUR
(Symbol)	EXISTING ROAD
(Symbol)	PROPOSED ROAD
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING STRUCTURE
(Symbol)	PROPOSED STRUCTURE
(Symbol)	EXISTING TREE
(Symbol)	PROPOSED TREE
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE

SYMBOL	DESCRIPTION
(Symbol)	BOUNDARY
(Symbol)	EXISTING CONTOUR
(Symbol)	PROPOSED CONTOUR
(Symbol)	EXISTING ROAD
(Symbol)	PROPOSED ROAD
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING STRUCTURE
(Symbol)	PROPOSED STRUCTURE
(Symbol)	EXISTING TREE
(Symbol)	PROPOSED TREE
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE

PANTAJALA ENGINEERING P.O. BOX 1834 LAS PULIDAS ROCK QUARRY		E 1230 M. 705	
TREE PLAN (SCALE: 1" = 100' H.)		DATE: 04-27 SHEET NO.: 001	
LAS PULIDAS ROCK QUARRY (SCALE: 1" = 100' H.)		DATE: 04-27 SHEET NO.: 001	
LAS PULIDAS ROCK QUARRY (SCALE: 1" = 100' H.)		DATE: 04-27 SHEET NO.: 001	
LAS PULIDAS ROCK QUARRY (SCALE: 1" = 100' H.)		DATE: 04-27 SHEET NO.: 001	

LAS PULIDAS ROCK QUARRY - TREE PLAN
 HIGHWAY 58- APN 070-141-070 & 071

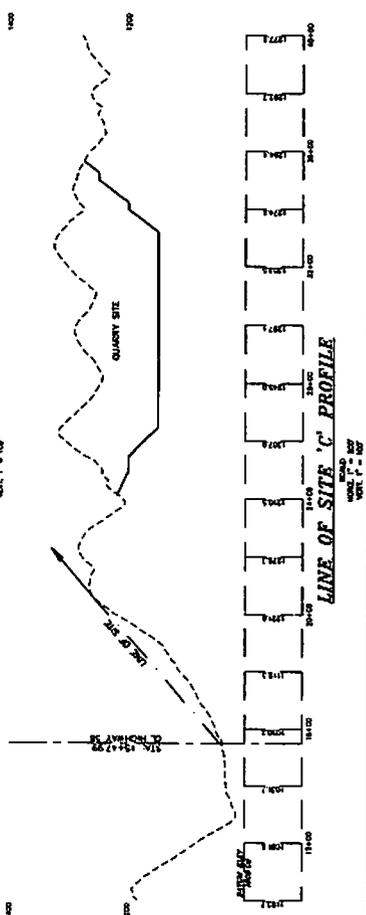
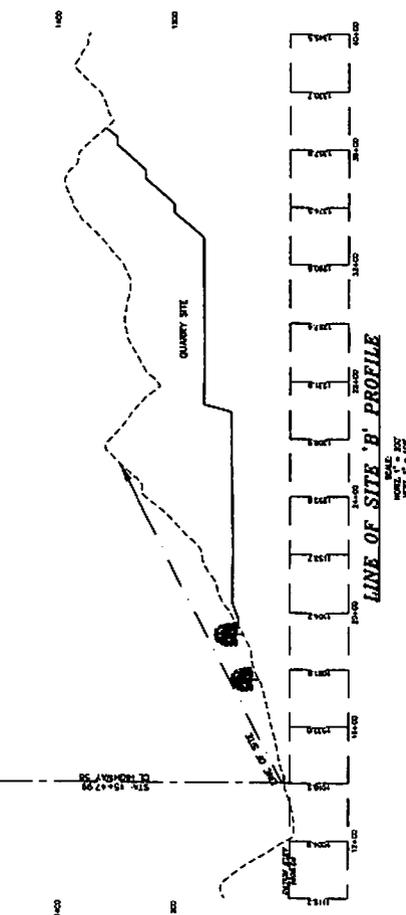
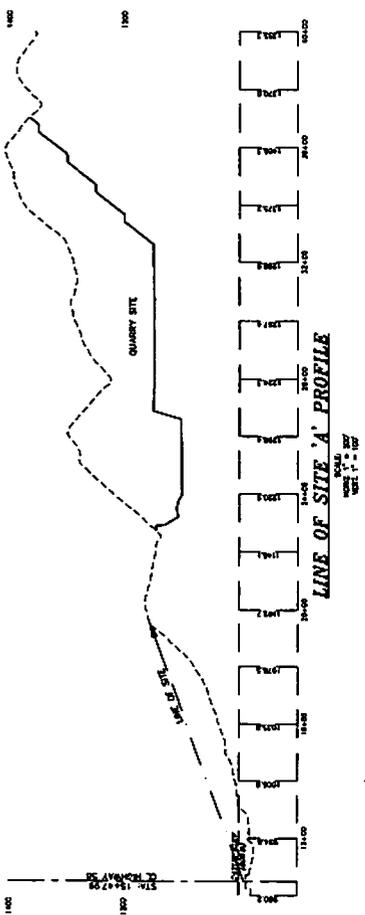
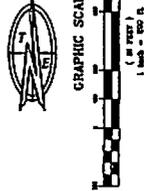
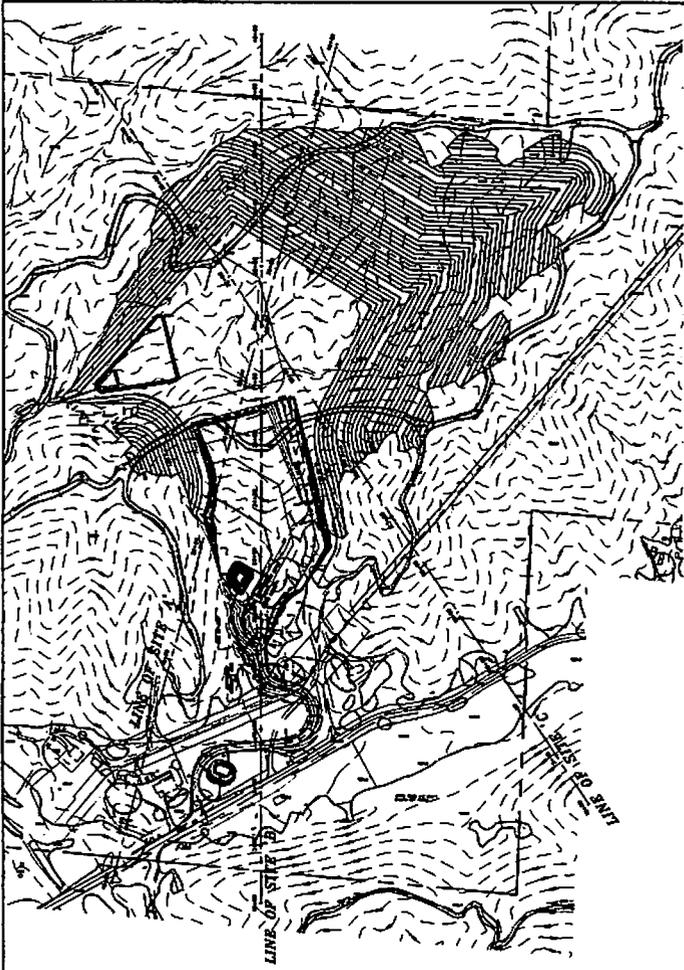
N84°52'11"W
 1295.84'



LAS PILITAS ROCK QUARRY HIGHWAY 101 LINE OF SIGHT PLAN		SHEET NO. 11 OF 11
PROJECT NO. 070-070-070	DATE 07/11/07	DRAWN BY J. J. JONES
CHECKED BY J. J. JONES	SCALE AS SHOWN	PROJECT LOCATION LAS PILITAS ROCK QUARRY
CLIENT LAS PILITAS ROCK QUARRY	PROJECT NO. 070-070-070	SHEET NO. 11 OF 11
DESIGNER LAS PILITAS ROCK QUARRY	PROJECT NO. 070-070-070	SHEET NO. 11 OF 11
CHECKED BY J. J. JONES	DATE 07/11/07	PROJECT LOCATION LAS PILITAS ROCK QUARRY
PROJECT NO. 070-070-070	DATE 07/11/07	PROJECT LOCATION LAS PILITAS ROCK QUARRY
PROJECT NO. 070-070-070	DATE 07/11/07	PROJECT LOCATION LAS PILITAS ROCK QUARRY

LAS PILITAS ROCK QUARRY - HIGHWAY 101 LINE OF SIGHT PLAN
 HIGHWAY 58- APN 070-141-070 & 071

LAS PILITAS
 RESOURCES LLC

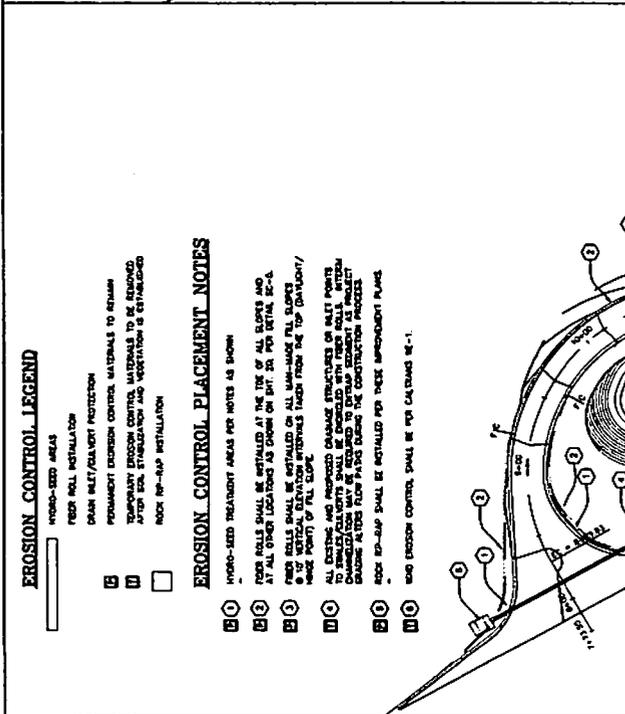
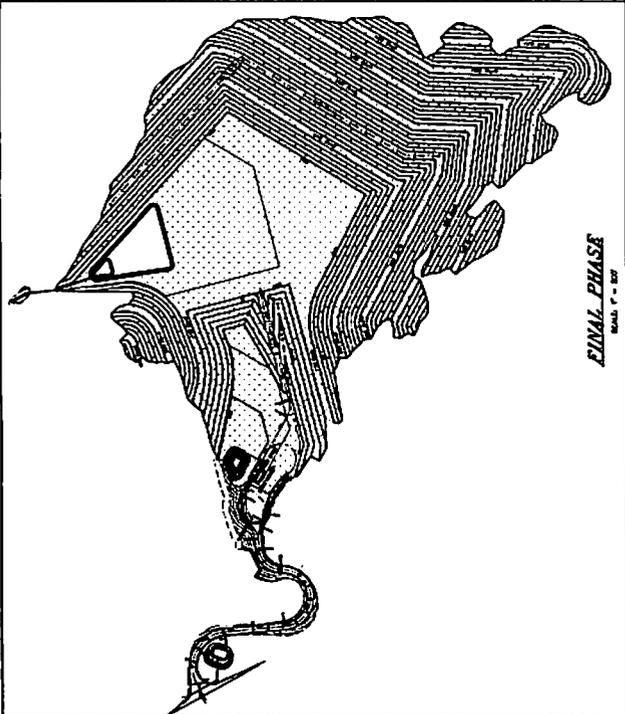
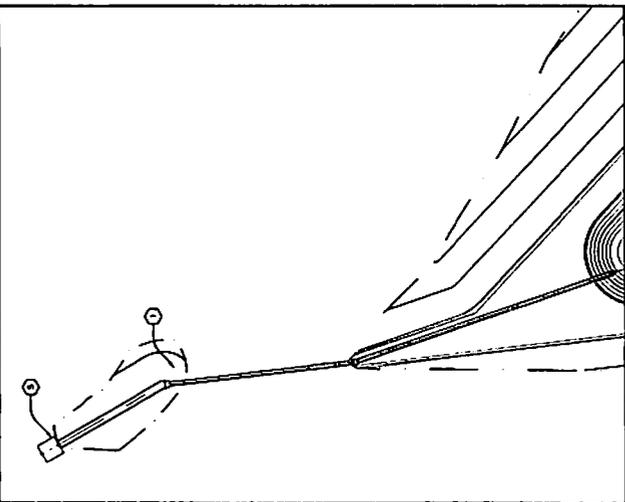


LAS PILITAS ROCK QUARRY P.O. BOX 1000, ALAMOGOSA, CA 92002-1000 LAS PILITAS ROCK QUARRY		PROJECT NO. 070-141-070 SHEET NO. 070-141-070-01	
HIGHWAY 58 LINE OF SIGHT PLAN QUARRY SITE (SEE PLAN FOR QUARRY LOCATION)		DATE: 08-13-07 DRAWN BY: J. L. BROWN CHECKED BY: J. L. BROWN	
CONTRACT NO. 070-141-070 CONTRACT VALUE: \$1,000,000		SCALE: AS SHOWN SHEET NO. 070-141-070-01	
CONTRACTOR: LAS PILITAS ROCK QUARRY PROJECT NO. 070-141-070		DRAWN BY: J. L. BROWN CHECKED BY: J. L. BROWN	

NO.	DESCRIPTION	DATE	APP.

LAS PILITAS ROCK QUARRY - HIGHWAY 58 LINE OF SIGHT PLAN
HIGHWAY 58- APN 070-141-070 & 071

LAS PILITAS
RESOURCES LLC



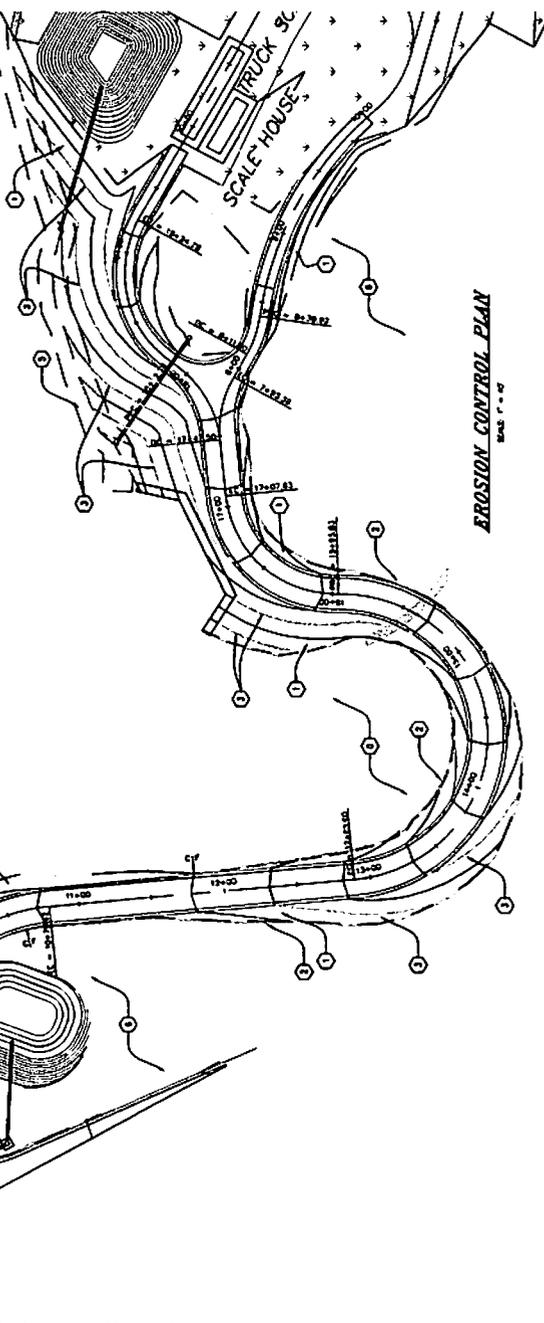
EROSION CONTROL LEGEND

- ▭ HYDRO-SEED AREAS
- ▭ FIBER ROLL INSTALLATION
- ▭ DRAIN SILENT/ADJACENT PROTECTION
- ▭ PERMANENT EROSION CONTROL MATERIALS TO REMAIN
- ▭ TEMPORARY EROSION CONTROL MATERIALS TO BE REMOVED
- ▭ AFTER SOIL STABILIZATION AND VEGETATION IS ESTABLISHED
- ▭ ROCK RIP-RAP INSTALLATION

EROSION CONTROL PLACEMENT NOTES

- 1. HYDRO-SEED TREATMENT AREAS PER NOTES AS SHOWN
- 2. FIBER ROLLS SHALL BE INSTALLED AT THE TOE OF ALL SLOPES AND AT ALL OTHER LOCATIONS AS SHOWN ON DET. 201 PER DETAIL 20-A
- 3. FIBER ROLLS SHALL BE INSTALLED ON ALL MAN-MADE FILL SLOPES
- 4. 10' VERTICAL ELEVATION INTERVALS TAKEN FROM THE TOP (VALLEY)/HIGHEST POINT OF FILL SLOPE
- 5. ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES OR SILENT POINTS OF DISCHARGE SHALL BE RELOCATED TO DRAINAGE POINTS AS PRESENT LOCATIONS MAY BE REQUIRED TO DISRUPT DRAINAGE AS PRESENT LOCATIONS AT THE FLOW PATHS DURING THE CONSTRUCTION PERIOD
- 6. ROCK RIP-RAP SHALL BE INSTALLED PER THESE IMPROVEMENT PLANS
- 7. SILENT EROSION CONTROL SHALL BE PER CALL OUTS 16-1.

FINAL PHASE
SCALE 1" = 20'



EROSION CONTROL PLAN
SCALE 1" = 20'

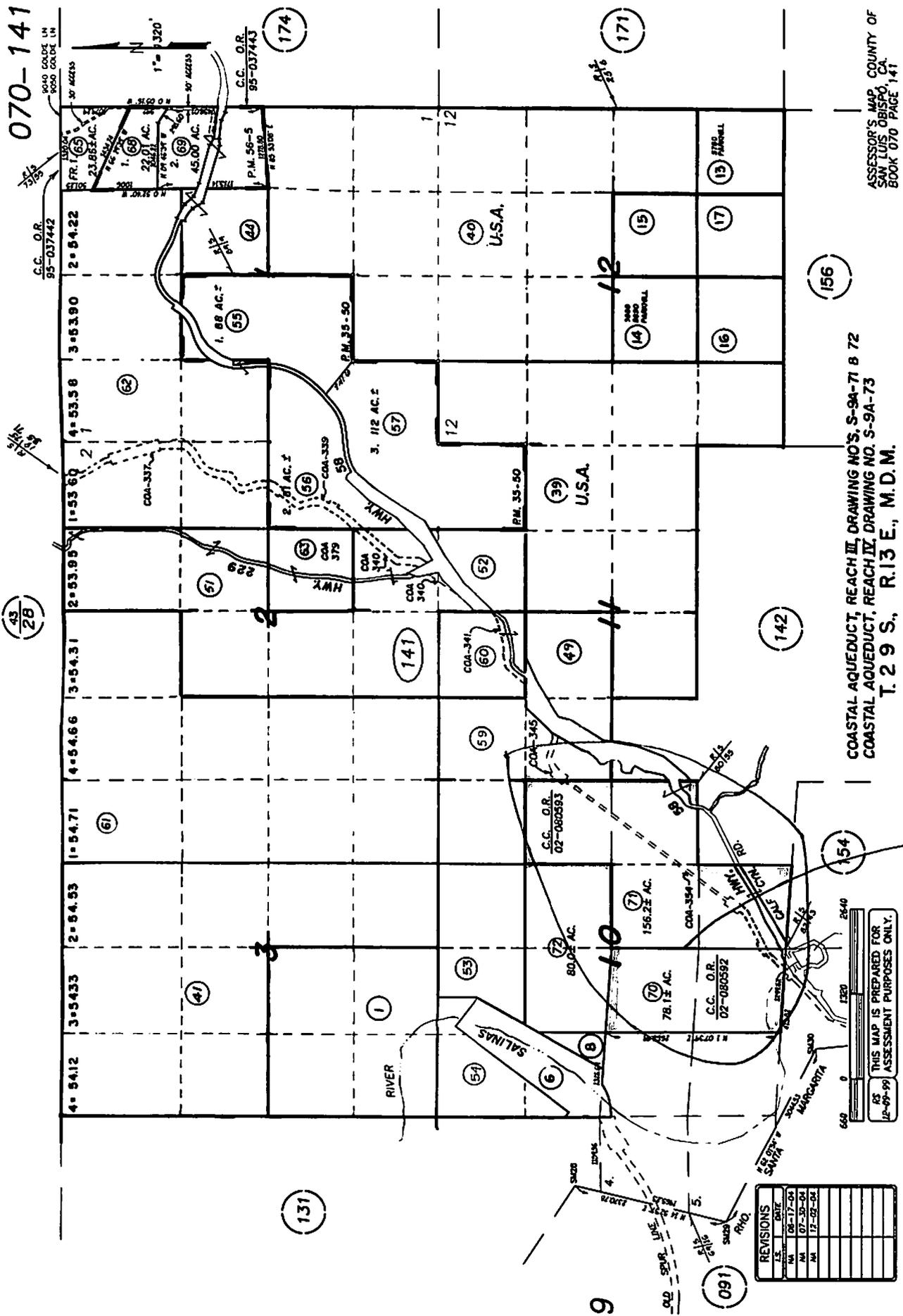


PARAYAGLA ASSOCIATES P.O. BOX 1000, ALBUQUERQUE, NM 87103-1000 LAS PILITAS ROCK QUARRY WATER POLLUTION CONTROL DRAWING		SHEET NO. 001 OF 001
DATE: 04-23-08 DRAWN BY: J. L. BROWN CHECKED BY: J. L. BROWN	SCALE: AS SHOWN PROJECT NO.: 070-141-070 & 071	SHEET NO. 001 OF 001
N. 706 E. 1239 LAS PILITAS ROCK QUARRY		SHEET NO. 001 OF 001

REV.	DESCRIPTION	DATE	APP.

WATER POLLUTION CONTROL DRAWING
HIGHWAY 58- APN 070-141-070 & 071

43
28



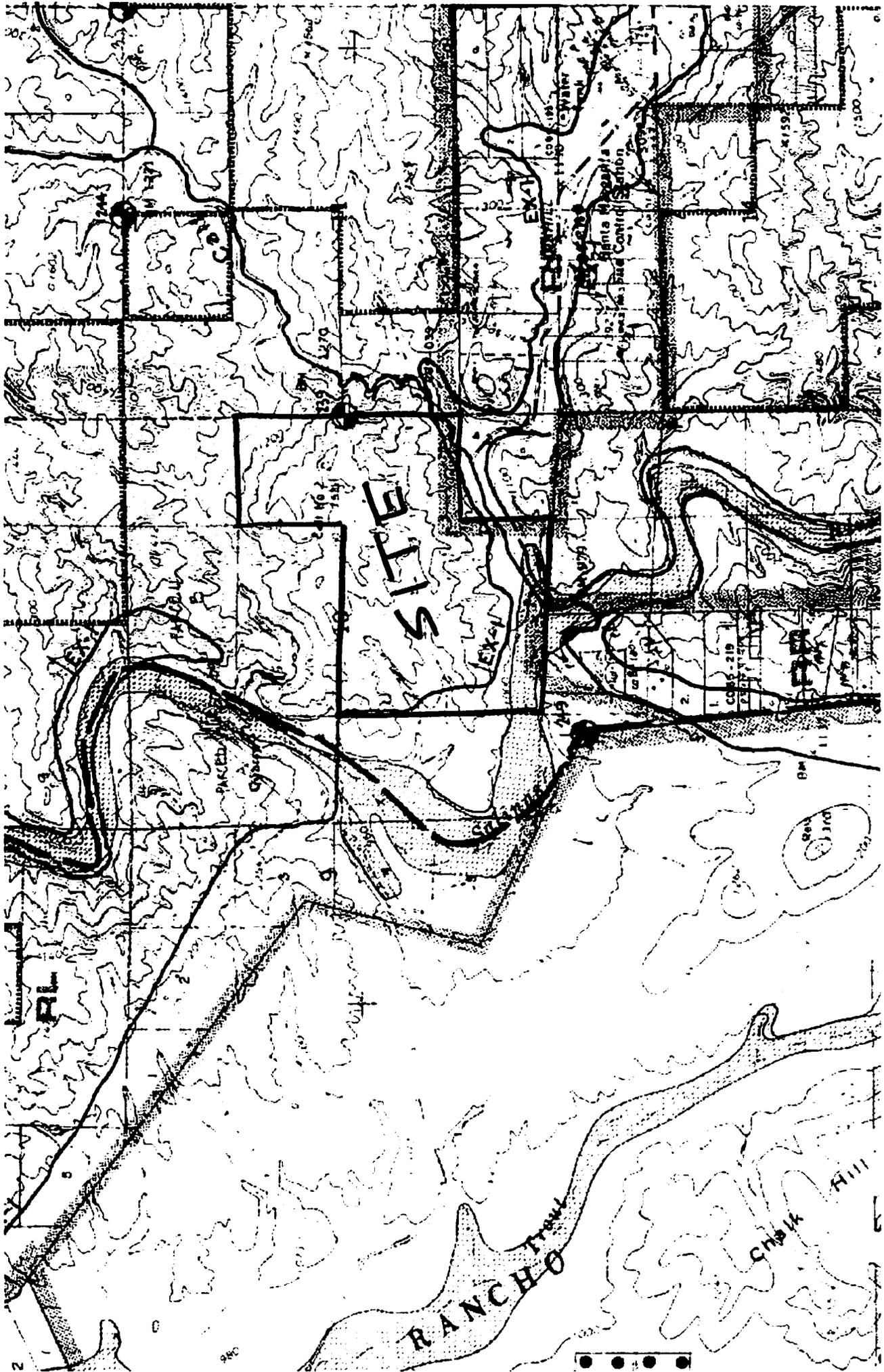
COASTAL AQUEDUCT, REACH III, DRAWING NO. S-9A-71 B 72
 COASTAL AQUEDUCT, REACH IV, DRAWING NO. S-9A-73
 T. 2 9 S., R. 13 E., M. D. M.

ASSESSOR'S MAP COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 070 PAGE 141

REVISIONS	
LS	DATE

THIS MAP IS PREPARED FOR
 ASSESSMENT PURPOSES ONLY.

SITE





Parcel Summary Report For Parcel # 070-141-070

10/7/2009
11:09:26AM

San Luis Obispo County Department of Planning and Building

County Government Center San Luis Obispo, California 93408 Telephone: (805) 781-5600

Address Information

Status P
Address 06660 CALF CANYON HY RLPIL

Lot Information:

Community: RLPIL
Planning Area: LPIL

<u>Lot Type</u>	<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Lot</u>	<u>Land Use Elements</u>	<u>Lot Flags</u>	<u>Misc</u>
T	M02-	291	0001	Y	RL / EX1		

People Information

<u>Role</u>	<u>Name and Address</u>	<u>Phone Numbers and Contact info</u>	<u>Notes</u>
OWN	OSTER ARLENE J 3745 ARDILLA RD ATASCADERO CA 93422-2406		
OWN	OSTER DANNY E		
OWN	OSTER FRANK J		
OWN	OSTER LIVING TRUST DISCLAIMER TRUST		

Parcel Information

<u>Status</u>	<u>Description</u>	<u>Notes</u>
Active	T29S R13E PTN SEC 10	