



SAN LUIS OBISPO COUNTY

DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 10/26/2011

TO: _____

FROM: Holly Phipps, North County Team

PROJECT DESCRIPTION: DRC2011-00037 CANTINAS RANCH FOUNDATION (CAMP)-
Conditional use permit for an organizational camp with approximately 90,250 sf of structures. 560+
acre site located off Lynch Canyon Road in Paso Robles. APNs: 080-011-011, 080-062-023, 024,
038, 039, 080-023-024, 038, 039, 012-211- 057, 058, 059.

Return this letter with your comments attached no later than: 14 days from receipt of this referral.
CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
 NO (Call me ASAP to discuss what else you need. We have only 10 days in which
we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF
REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to
reduce the impacts to less-than-significant levels, and attach to this letter)
 NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's
approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION

San Luis Obispo County Department of Planning

DRC2011-00037
CANTINAS RANCH
CONDITIONAL USE PERMIT/
ORGANIZATIONAL CAMP

NACI/ RNACI
FH RL

HAP

APPLICATION TYPE CHECK ALL THAT APPLY

- Emergency Permit
- Site Plan
- Variance
- Curb, Gutter & Sidewalk Waiver
- Tree Permit
- Minor Use Permit
- Surface Mining/Reclamation Plan
- Plot Plan
- Conditional Use Permit/Development Plan
- Other

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Cantinas Ranch Foundation Daytime Phone (310) 774-5310
 Mailing Address 22917 PCH, Malibu, Suite 300, CA Zip 90265
 Email Address: _____

Applicant Name Same as above Daytime Phone _____
 Mailing Address _____ Zip _____
 Email Address: _____

Agent Name Kirk Consulting - Rachel Kovesci Daytime Phone (805) 461-5765
 Mailing Address 8830 Morro Road, Atascadero, CA Zip 93422
 Email Address: _____

PROPERTY INFORMATION

080-011-011, 080-062-023, 024, 038, 039, 080-062-023,

Total Size of Site: +/- 560 Acres Assessor Parcel Number(s): 080-023,024,038,039, 012-211-057,058,059

Legal Description: Please see attached title report

Address of the project (if known): Lynch Canyon Road

Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Lake Nacimiento Drive to Interlake Road to Lynch Canyon Road

Property is bisected by Lynch Canyon Drive

Describe current uses, existing structures, and other improvements and vegetation on the property:
Vacant Land

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): _____

Organizational Camp with approx. 90,250 square feet of structures, Please See Attached Project Description

LEGAL DECLARATION

I, the owner of record of this property have completed this form accurately and declare that all statement here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

→ Property owner signature [Signature] Date 10/12/11

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

CONSENT OF LANDOWNER

San Luis Obispo County Department of Planning and Building File No _____

I (we) the undersigned owner of record of the fee interest in the parcel of land located at (print address): Lynch Canyon Road identified as Assessor Parcel Number 080-023,024,038,039,012-211-057,058,059 for which a construction permit, land use permit, land division, general plan or ordinance amendment, or LAFCo application referral is being filed with the county requesting an approval for: a Conditional Use Permit specify type of project, for example: addition to a single family residence; or general plan amendment), do hereby certify that:

1. Such application may be filed and processed with my (our) full consent, and that I (we) have authorized the agent named below to act as my (our) agent in all contacts with the county and to sign for all necessary permits in connection with this matter.

2. I (we) hereby grant consent to the County of San Luis Obispo, its officers, agents, employees, independent contractors, consultants, sub-consultants and their officers, agents, and employees to enter the property identified above to conduct any and all surveys and inspections that are considered appropriate by the inspecting person or entity to process this application. This consent also extends to governmental entities other than the county, their officers, agencies, employees, independent contractors, consultants, sub-consultants, and their officers agents or employees if the other governmental entities are providing review, inspections and surveys to assist the county in processing this application. This consent will expire upon completion of the project.

3. If prior notice is required for an entry to survey or inspect the property. Please contact:

Print Name: Kirk Consulting - Rachel Kovesdi
Daytime Telephone Number: (805) 461-5765

4. I (we) hereby give notice of the following concealed or unconcealed dangerous conditions on the property _____

Person or entity granting consent:

Print Name: Cantinas Ranch Foundation
Print Address: 22917 PCH, Malibu, Suite 300, CA
Daytime Telephone Number: (310) 774-5310

Signature of landowner: [Signature] Date: 10/12/11

Authorized agent:

Print Name: Kirk Consulting - Rachel Kovesdi
Print Address: 8830 Morro Road, Atascadero, CA
Daytime Telephone Number: (805) 461-5765

Signature of authorized agent: [Signature] Date: 10/12/11

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building File No _____

Type of project: Commercial Industrial Residential
 Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): Adjustment to Property Line Setback Requirement for Organizational Camps
additional site disturbance

Describe existing and future access to the proposed project site: Existing and proposed access to the site is from Lynch Canyon Road.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site?: +/- 520 Acres

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Agriculture South: Lake Nacimiento
East: RSF (Oak Shores) West: Rural Lands

For all projects answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 90,237 sq. feet 0.003 % Landscaping: 345,080 sq. feet 0.015 %
Paving: _____ sq. feet _____ % Other (specify) 90000 sq. ft. permeable pavers

Total area of all paving and structures: 8.1 acs of 560 (permanent) sq. feet acres

Total area of grading or removal of ground cover: 14.4 (temporary) sq. feet acres

Number of parking spaces proposed: 50 Height of tallest structure: 45'

Number of trees to be removed: 18 Type: _____

Setbacks: Front 136 Right 874 Left 281 Back 374

Proposed water source: On-site well Shared well Other State Small Water System
 Community System - List the agency or company responsible for provision: _____
Do you have a valid will-serve letter? Yes If yes, please submit copy No

Proposed sewage disposal: Individual on-site system Other _____
 Community System -List the agency or company responsible for sewage disposal: _____
Do you have a valid will-serve letter? Yes If yes, please submit copy No

Fire Agency: - List the agency responsible for fire protection: SLO County Fire/CalFire

For commercial/industrial projects answer the following:

Total outdoor use area: 8 sq. feet acres

Total floor area of all structures including upper stories: 90,237 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

Answer **ALL** of the questions as accurately and completely as possible.

Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.

If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.

Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 150 acres
Moderate slopes of 10-30%: 210 acres
Steep slopes over 30%: 200 acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: The site borders Lake Nacimiento
3. Are there any flooding problems on the site or in the surrounding area Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Lynch Canyon Road

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural: explain _____
 Commercial/Office: explain Organizational Camp - Please see project description
 Industrial: explain _____
3. What is the expected daily water demand associated with the project? 35,000 gpd (peak)
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes please attach _____
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No Chemical? Yes No
Physical? Yes No Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test 4 Hours 150 GPM
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

Please see attached Wastewater System Design document by Fall Creek Engineering.

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? +/-1000 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed? Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No

(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line?
 Yes No Distance to nearest sewer line: _____
Location of connection: _____
2. What is the amount of proposed flow? _____ g.p.d.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

San Luis Obispo County Identified Hazardous Waste Sites - April 1998

IMPACT CITY: ARROYO GRANDE

Site: Union Oil Co - Santa Maria refinery
Location: Willow Rd. north of Guadalupe
City: Arroyo Grande Zip: 93420
Source: DHS1

IMPACT CITY: CAMBRIA

Site: Hampton Hotel
Location: 2601 Main Street
City: Cambria Zip: 93428
Source: WRCB Problem: Tank Leak

Site: Cambria General Store
Location: 850 Main Street
City: Cambria Zip: 93428
Source: WRCB Problem: Tank Leak

Site: Chevron
Location: 2194 Main Street
City: Cambria Zip: 93428
Source: WRCB Problem: Tank Leak

IMPACT CITY: CAYUCOS

Site: Chevron
Location: 12 N Ocean Blvd
City: Cayucos Zip: 93430
Source: WRCB Problem: Tank Leak

Site: Bob's Corner Store
Location: 198 N Ocean Blvd
City: Cayucos Zip: 93430
Source: WRCB Problem: Tank Leak

IMPACT CITY: CHOLAME

Site: Hearst Corp
Location: Highway 46
City: Cholame Zip: 93431
Source: WRCB Problem: Tank Leak

IMPACT CITY: LOS OSOS

Site: Los Osos Valley Garage
Location: 1099 Los Osos Valley Road
City: Los Osos Zip: 93402
Source: WRCB Problem: Tank Leak

Site: Los Osos Landfill
Location: Turri Road
City: Los Osos Zip: 93402
Source: CIWMB Problem: Gmdwt Cont

IMPACT CITY: LOS PADRES

Site: Ozena Station
Location: Highway 33
Zip: 93023
Source: WRCB Problem: Tank Leak

IMPACT CITY: NIPOMO

Site: Hemerick
Location: 600 Hill St
City: Nipomo Zip: 93444
Source: WRCB Problem: Tank Leak

IMPACT CITY: OCEANO

Site: Bell Craig (form serv station)
Location: 1899 Cienega
City: Oceano Zip: 93445
Source: WRCB Problem: Tank Leak

IMPACT CITY: PASO ROBLES

Site: Camp Roberts Site 936
Location: Highway 101
City: San Miguel Zip: 93451
Source: WRCB Problem: Tank Leak

Site: San Paso Truck & Auto

Location: Wellsona Road
City: Paso Robles Zip: 93446
Source: WRCB Problem: Tank Leak

IMPACT CITY: SAN LUIS OBISPO

Site: Unocal Tank Farm Facility
Location: 276 Tank Farm Rd
City: SLO Zip: 93401
Source: WRCB Problem: Tank Leak

Site: Hearn Trucking

Location: 4902 Edna Rd
City: SLO Zip: 93401
Source: WRCB Problem: Tank Leak

Site: Camp San Luis Obispo
Location: Hwy. 1 west of Hwy. 101

City: San Luis Obispo Zip: 93401
Source: WRCB Problem: Tank Leak

Site: SLO Golf & Country Club
Location: 255 Country Club
City: San Luis Obispo Zip: 93401
Source: WRCB Problem: Tank Leak

IMPACT CITY: SAN SIMEON

Site: Chevron
Location: 9540 Castillo Drive
City: San Simeon Zip: 93452
Source: WRCB Problem: Tank Leak

IMPACT CITY: SANTA MARGARITA

Site: Kaiser Sand & Gravel
Location: El Camino Real
City: Santa Margarita Zip: 93453
Source: WRCB Problem: Tank Leak

Site: Pacific Beverage
Location: 22255 El Camino Real
City: Santa Margarita Zip: 93453
Source: WRCB Problem: Tank Leak

IMPACT CITY: TEMPLETON

Site: Templeton Mobile
Location: 701 Las Tablas
City: Templeton Zip: 93465
Source: WRCB Problem: Tank Leak

LANDFILL OPERATIONS DISCLOSURE EL POMAR/ESTRELLA PLANNING AREA

If your site is located within 1/2 mile of either the Paso Robles Municipal or the Chicago Grade Landfills (see maps on file with the Department of Planning and Building), this acts to notify you of your proximity to a landfill operation and all of the associated inconveniences and discomforts resulting from the continuing and future operation of such landfill, including possible expansions. Persons living near landfills may contact the California Integrated Waste Management Board (916) 341-6413 to seek available remedies concerning any improper or unlawful activities at the landfill.



**Cantinas Ranch Celebration of the Arts Camp
Lynch Canyon Road
Lake Nacimiento, Paso Robles**

Camp Cantinas is a faith-based camp planned for development at Lake Nacimiento. The camp will develop performing arts abilities in high school youth and young adults, relying on the site's natural beauty working in tandem with on-site arts support facilities to inspire and educate attendees. Camp facilities will occupy only 1.5 percent of the property's 560-acre footprint (with total permanent disturbance of 8.1 acres), and the development has been planned to reflect green building principles and environmental sensitivity in all aspects of construction and operations. The project described in the pages that follow is one designed to maximize the experience of the outdoors with minimal impact to surrounding neighbors.

Project Description

Environmental Setting

The proposed site for this organizational camp is an approximately 560 acre property located on Lynch Canyon Road in rural Paso Robles. The property is bisected by Lynch Canyon Road and the southern and eastern property lines border Lake Nacimiento. The community of Christmas Cove is situated to the west of the Camp property. Elevations on the site range from 800 feet to nearly 1400 feet above sea level. The property consists of oak woodlands, chaparral, and grassland habitats on gentle to mountainous slopes with numerous drainage features, including Cantinas Creek and Kavanaugh Creek, which converge at the eastern boundary of the property.

Land Use Setting

The property is located within the Rural Lands land use designation in the Nacimiento Planning Area. The site borders the Oak Shores Village Reserve Line to the east (RSF / REC / COMM), Rural Lands to the west, Lake Nacimiento to the south (which has no specific land use designation) and Rural Lands to the north.

Water / Sewer

The site is within the CSA-7 sewer service boundary. However, due to the distance to available services, as well as significant deficiencies in that system and the County's ongoing difficulties finding a suitable disposal area for their proposed system upgrade project, the Cantinas Camp project proposes an on-site water and wastewater system. LAFCO has indicated preliminary support for de-annexation.

A Lake Nacimiento User's Agreement has been approved by the County and recorded for the project groundwater supply. Wells on the property produce in excess of one hundred gallons per minute. The project site plan includes water tanks sufficient for both domestic and fire suppression storage.

Proposed Use

This project is a request for a phased Conditional Use Permit (CUP) to establish an Organizational Camp focused on the performing arts. At full build out, the camp will contain 16 camper units and 16 staff units, housing up to 200 campers and 100 faculty and staff members, respectively. In addition to the camping units, support structures for a variety of activities are proposed. See Project Component List for details.

Camp usage will vary seasonally, with highest uses expected during summer months. Each summer camp session will last one to two weeks, with the majority of campers arriving by bus. Most staff will reside at the camp for the duration of the camp session, thus minimizing commute traffic. During winter months, weekend retreats will be scheduled at the camp as requested by congregations and ministries. It is expected that the majority of staff needed to support winter weekend retreats will reside at the camp during retreats, with remaining staff commuting as needed. Please see Transportation Plan for details.

Access to the site will be from Lynch Canyon Road, a County maintained road. Campers will gather at off-site locations (churches, schools and the like), throughout California, where Camp buses will meet them at pre-arranged times. Camp counselors will escort campers on their journey from their home region to Lake Nacimiento. Once at the site, campers will be deposited by bus at the Mission entrance, after which buses will exit the Camp using Lynch Canyon Road. Parking will be available for limited staff and special needs guests only. Internal roads will be improved to CDF standards, with internal circulation available for service vehicle use only. Impacts will be minimized by paving roads only where required due to slope, with remaining portions improved using a low dust producing all-weather base.

Phasing Plan

Full build out will require an estimated nine years to complete. However, project applicants propose a phased approach to development in order to have core uses operational as soon as feasible. A phased approach will allow the Camp Foundation to bring additional facilities online as need indicates and financing can accommodate additional improvements.

Phase 1: 1-5 years

Site development associated with Phase 1 includes the Mission, Chapel, security building, 16 camper housing units and 15 staff housing units that will support up to 200 campers, along with approximately 100 faculty and staff.

Phase 2: 3 – 9 Years

Phase 2 includes the Performing Arts campus, the Mill Barn recreation building and associated improvements (i.e swimming pool, Lake snack-shack and sand volleyball court), 15 staff housing units and the equestrian/maintenance buildings.

Project Components Anticipated in Each Construction Phase:

Phase 1:

Main Entrance Security Building

- 2-story, 1,276 sf

Chapel

- 1-Story with Choir Mezzanine, 4,288 sf

Mission Complex

- Art Studios, Library, Dining Hall & Café, Camp Director's Rectory Apartment, Founders & Faculty Suites, Medical Facility, Administration
- 2-Story with basement, 31,318 sf

Camper Lodging

- 16 units total, 2-Story: Type A (8 units) – 1,276 sf, Type B (8 units) – 1,412 sf

Staff Lodging

- 15 modular units: 1-Story, 336 sf and 1 modular laundry unit: 1-Story, 180 sf

Phase 2:

Celebration of the Performing Arts Campus

- Ensemble Music Center: 1-Story, 1,482 sf
- Dance Studio/Café: 2-Story, 4,252 sf
- Theater/Black Box: 2-Story, 5,596 sf
- TV Studio with Roof Stage: 1-Story, 1,728 sf

Mill Barn Recreation Complex

- Mill Barn: 1-Story, 8,064 sf
- Lake Snack-shack: 1-Story, 1,000 sf
- Pool Baths/Storage: 1-Story, 720 sf

Equestrian Center

- Horse Barn (stalls, tack room, washrooms): 1-Story, 3,053 sf
- Maintenance Barn: 1-Story, 1,540 sf

About the Camp

The Camp Cantinas applicants recognize that the proposed non-profit camp is a significant departure from typical land uses applications received in SLO County. Prior to delineating further details of the proposal specifics, we offer a “camper’s eye view” tour of the project to provide context for review. The tour begins as the urban area residents arrive at the camp’s entrance gate.

Most campers will journey via bus from homes in urban areas, with a good portion having never before experienced the open ruggedness of the Lake Nacimiento area. Camp planners, architects and civil engineers have designed a facility that showcases the natural setting and creates an awe inspiring first impression of the area. The scenic, open character of the Camp, its natural features protected and enhanced, will also welcome campers already familiar with the area into a new appreciation of the beauty and majesty of San Luis Obispo County. For both first time and returning campers, the focus is on the land.

Security Building

Campers will enter the property via bus, travelling southwest from Lynch Canyon Road and proceed through the Camp’s single entry point. At the gated entrance, they will find a two-story security building that consists of a small first-floor office and an upstairs staff apartment. This structure will resemble a modest, old-world Spanish style single family residence.

Chapel

Proceeding from the security building, campers will wind through the site on the country road (which meets Cal Fire standards) past a small stone chapel located on the near hill. The Chapel’s construction will appear to be hundreds of years old, while meeting (any in many respects exceeding) all requirements of twenty-first century building codes and standards. The chapel is oriented toward Tierra Redonda, offering campers inside the structure inspiring vistas of the nearby mountain face.

Mission Complex

Continuing along the interior Camp road, the bus will arrive at Mission Cantinas, which contains check-in and arrival information, dining hall, art studios, medical facilities, administrative offices and housing for administrative staff. Campers will exit the shuttle at the Mission, a building whose weathered plaster walls, aged tile roof and rustic stonework are reminiscent of the original California Missions. The courtyard garden offers an ideal gathering spot for campers and staff. Between the Mission and the Chapel, rows of terraced garden will be used to sustainably grow and harvest much of the food used on site. During Phase I of the

Cantinas Celebration of the Arts Camp
Project Description
October 11, 2011

project, all art, music, dance and theater instruction will take place in the Mission's quaint studios.

Camper Lodging

Following introductions at the Mission, campers will be escorted down a scenic path to Camper Lodging facilities. These clustered units resemble a small Mediterranean village, complete with small plazas with seating for quiet contemplation. The sixteen two-story buildings contain thirty-two Camper housing units with two to three bedrooms each. These units will house up to a maximum of two hundred campers.

Celebration of the Performing Art Campus

Phase II Campers will learn and perform at the Celebration of the Performing Arts music and theater academy. The structures here are patterned on the hill town villages found in southern Europe and known for their inspiring views, organic growth, and quaint charm. The performing arts academy village seeks to duplicate the experience of an historic hill town both in character and experience. The four-structure cluster will house practice and performance spaces for dance, music and theater productions.

Mill Barn, Pool, Sand Volleyball Court and Lake Shack

After a long day of artistic endeavor, campers will be invited to relax at the Phase II recreation facility: the Mill Barn. This open structure, designed in an agrarian style, is the perfect place to enjoy some basketball, rainy-day games or an evening square dance. A dip in the outdoor pool cools tired campers. And the sand volleyball court invites campers to engage in some good-spirited competition. The two-barn equestrian center will offer the mostly urban campers an opportunity to explore the beautiful countryside on horseback. Finally, the Lake Shack offers snacks and drinks to complement the fun.

Staff Lodging

A Phase I component secluded from camper activities will be the staff housing. These rustic modular cabins will appear as "tree houses", floating above the terrain. Each of these 16 units will be constructed on pier foundations in order to avoid slab grading.

The Tour Ends

At every turn and with tremendous attention to detail, Cantinas Camp will celebrate both the land and the arts – at a facility designed to respect both. Camp organizers have spent years developing a plan for a facility and a program that reflects the best of San Luis Obispo County.

Architectural Style

The architecture of the Cantinas Ranch Camp is based upon a historic interpretation of early California vernacular, ranging from the Spanish colonial period through the gold rush settlement. The Camp buildings follow a fictional narrative based on these historic periods and are woven together with the Camp's mission and vision for a development that is appropriate for the site.

Cantinas Celebration of the Arts Camp
Project Description
October 11, 2011

The buildings and outdoor spaces are arranged and oriented to take advantage of the sun and wind patterns as well as views to and from the building clusters. Careful consideration was taken to site roads, building footprints and built landscape in areas that would minimize grading impact on the natural drainages and existing vegetation.

The majority of the buildings follow an architectural character that could be described as early Spanish colonial and Mission Revival design. Design features of these buildings include simple massing and roof lines with solid and massive walls, piers and buttresses, broad, unadorned plaster wall surfaces with low-pitched clay tile roof tiles, small punched door and window openings juxtaposed with larger rhythmic arcades and details including terracotta ornaments and decorative ironwork.

The remaining buildings reflect architecture from the early American settlement of California during the gold rush and ranching periods. These buildings have an agrarian / ranch style with wood siding and metal roofing, barn doors, broad covered porches and simulated silo features. The staff housing structures are intended to blend into their unique setting using similar materials with a modified barn style.

Landscape Character

The landscape design concept for Cantinas Camp is rooted in two principles: fire safety and an ecological sensitivity. The fire safe concept includes the creation of a defensible space zone around structures with a 30 foot minimum irrigated, low fuel zone and an additional 70 foot fuel modification zone. Proposed trees and shrubs within this zone are placed away from the structures and shrub masses, with 12 to 18 feet between them. Fuel ladders have been avoided and plant selections emphasize low fuel plants.

Ecologically sensitive features include no use of plants considered invasive, use of low water demand plants and the predominant use of native species. The landscape character will appear very naturalistic and blend in a fire-safe transition to the surrounding grassland and oak woodland areas. Areas proposed to be planted with native grassland transitional landscape will include replacement of sensitive native plants displaced by the project.

LEED Certification and Sustainable Design Features

The project will be designed, built, and operated with a focus on sustainability and connection to the natural environment. The project team is working toward LEED certification for the larger buildings (Mission, Chapel and housing). The site and all buildings will be developed with consideration for the following principles of green building:

Sustainable Sites

- **Transportation:** Individual vehicle trips are significantly reduced through a program emphasis on group buses for campers and limited parking on site. Alternative fuel vehicles and staff carpooling will also be considered.
- **Open Space:** The buildings are meticulously sited to reduce land impacts. Development footprints will be kept tight to the building pads, site amenities and roadways where feasible. Landscaping will emphasize restoration, native and adapted species, and support for wildlife.
- **Stormwater:** Collected stormwater is reduced through minimizing impervious surfaces and using permeable surfaces where possible. Low-impact development strategies, including bio-swales and small, distributed retention ponds will manage stormwater throughout the site.
- **Cool Site:** Roads, pathways and parking will principally be light-colored and permeable, with asphalt paving only where required by Cal Fire for access.
- **Dark Skies:** Night lighting will be kept to minimal levels, celebrating the dark sky of the site.

Water Efficiency

- **Minimal Irrigation:** Limited landscaping around the buildings will reflect native and adapted species with minimal need for irrigation. The project does not include expanses of turf grass for recreation but relies on the natural amenities of the site. Laundry-to-landscape system will be considered for on-site laundry facilities, and treated wastewater from the Camp will be used for irrigation and fire protection storage.
- **Water Use Reduction:** Low-flow plumbing fixtures and metered showers will be used to reduce potable water use, as well as high-efficiency appliances and washing systems for kitchen and laundry facilities.

Energy and Atmosphere

- **Energy Efficiency – Passive Systems:** Energy efficiency will begin with passive strategies including:
 - High levels of insulation, through thick wall construction
 - High performance windows, strategically sized and located for passive thermal design
 - Overhangs, arcades and trellises on west elevations
 - Excellent, controlled daylight
 - High thermal mass, on floors and/or walls
 - Night venting
- **Energy Efficiency – Active Systems:** Once the buildings are optimized for passive energy efficiency, active systems will be added as needed.
 - High-efficiency heating and ventilation systems
 - Minimal air-conditioning
 - High-efficiency lighting and controls

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Project Description
October 11, 2011

- Systems to meter and track energy use, to fine-tune systems and educate visitors
The target for the overall performance is exceeding the Title 24 Energy Code by 15%.
- **Renewable Energy:** On-site photovoltaic and solar hot water systems will be considered where feasible.

Materials and Resources

- **Waste Reduction:** In addition to diverting construction waste, the operations will develop policies and programs for reducing waste overall, including use of durable goods, elimination of single-serving drink and water containers, composting food scraps, easily-accessible recycling, and other strategies.
- **Environmentally-Preferable Products:** Products will preferentially be selected for recycled, salvaged, regionally-produced and sustainably-forested content as feasible.

Indoor Environmental Quality

- **Indoor Air Quality:** For the youth occupying Camp facilities, indoor air quality will be maintained to the CHPS standards, just as our schools are. Where programmatically feasible, ventilation will be through operable windows and fans, with air quality monitored and mechanically ventilated as needed.
- **Low-Emitting Materials:** All interior materials will be selected for non-toxicity and low-emission.
- **Daylight and Views:** The building forms and window locations have been carefully designed for views and natural light. Light tubes and strategic window sizing may be adjusted once daylight modeling is completed.
- **Sustainable Maintenance:** Operations will include 'green cleaning' and non-toxic site maintenance strategies.

Site Conservation Measures

Cantinas Camp plans to utilize extensive site conservation measures to reduce site disturbance and associated impacts to the environment. The site design groups buildings and uses to lower the amount of site disturbance, a technique which originated centuries ago in the hill-town villages of Europe.

Vegetated swales will be utilized where possible to convey storm water and enhance water quality and ground recharge. -Detention areas will be designed so that they blend into the natural environment as much as possible.

In order to reduce impervious surfaces and help reduce suspended solids and other pollutants, hard surface plazas and limited parking area will utilize permeable pavers, decomposed granite and vegetative filters (bio-retention) to reduce the amount of impervious surface and improve water quality. Rainwater will be collected from rooftop gutters to be used for irrigation and recharge purposes.

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Cantinas Camp's goal is to craft a project that protects the natural beauty of the site for its users while minimizing site disturbance wherever possible. In order for developed areas of the site to blend into the natural environment, native vegetation and grasses will be utilized wherever practical to restore areas damaged by construction activities and to enhance landscapes around the proposed structures.

Grading and Drainage Plans:

Preliminary grading and drainage plans are included with this submittal package. Development areas have been minimized through clustering proposed project elements into portions of the site most accommodating to the vision of the project and the natural landforms of the site. By designing and building the proposed structures to the natural terrain, ground disturbance and mass earthwork activities are also decreased. In areas where transitional grading is required adjacent to the proposed project elements, a natural approach to grading has been taken.

Landforms will be modified using contour grading rather than abrupt and uniform cut and fill slopes. In areas adjacent to natural vegetation to be preserved (i.e. oak trees), the same approach has been employed unless it results in greater impact to the tree root zones. To limit impacts in these areas, retaining walls have been proposed.

A preliminary drainage design has been prepared by studying the various watershed areas of the project site. Stormwater flows from impervious areas will be directed to natural, vegetated swales and meadows to promote groundwater recharge. Attention to natural drainages provides locations for stormwater discharge along historical drainage courses. Appropriate best management practices will be selected in final design to prevent erosion.

Wastewater Treatment and Beneficial Reuse Program

In consideration of limited water resources and with the goal of obtaining a Leadership in Environment and Energy Design (LEED) certification from the U.S. Green Building Council, the main wastewater system has been designed to produce reclaimed wastewater to allow the reuse of treated effluent for a variety of uses at the camp. Site features include the use of a constructed wetland to meet water quality goals, enhance wildlife habitat on the site, and obtain additional points under the LEED program.

The new onsite wastewater system is planned to serve the majority of the facilities for the Camp, including the Security Main Entry Gate, Mission, Camper Village/Lodging, Chapel, Celebration of the Arts Campus, Staff Housing, Recreation Buildings, and Staff Lodging. The equestrian facility will be served by a standard septic system due to its remote location and low water use. During the summer, the camp is expected to house and provide facilities for 200 people including staff and guests. To allow for future camp growth over the next 20 years, wastewater flow estimates have been calculated for a maximum occupancy of 300 staff and guests.

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- *Collection System*
The collection system will be a Septic Tank Effluent Gravity (STEG) system. The STEG system will be composed of several septic tanks located at the various developed sites on the property. The septic tanks will collect wastewater, settle solids, and discharge effluent by gravity to a duplex booster pump system near the meadow. From there the effluent will be pumped to the treatment system for secondary and tertiary treatment.
- *Wastewater Treatment System*
A Two-Stage Trickling Filter and constructed wetland treatment system has been selected for the site. The treatment system is designed to achieve tertiary level treatment to allow for the direct reuse of water at the camp for a variety of beneficial uses, including landscape irrigation, fire water, toilet flushing, dust control, and for water features. The system is also designed to conform to standards set forth by the Central Coast Regional Water Quality Control Board and the County of San Luis Obispo, including Title 22, Inland Land Use Ordinance, the Central Coast Region Basin Plan, and LEED.
- *Reuse and Disposal System*
The majority of treated water will be pumped to the proposed fire/irrigation water tank for reuse. When the tank is full or during emergencies, the treated water will be diverted to a series of leachfields in order to achieve groundwater recharge.

Transportation Management Plan

Associated Transportation Engineers (ATE) staff has reviewed the project information and analyzed Lynch Canyon Road from Oak Shores Drive to the proposed Camp Entrance.

Cantinas Celebration of the Arts Camp operation envisions an Organizational Camp with facilities and weekly and bi-weekly programs for up to 200 campers. The weekly programs will begin on Sunday and end on the following Saturday. This will require a counseling, administrative, maintenance and support staff of up to 100. The program is directed towards Christian church congregations and youth ministries.

The Cantinas operational plan is to have various churches throughout central and southern California assemble groups of 40 to 50 persons to attend a one to two week program at the Arts Camp. The groups will be picked up by bus at their locations on Sunday morning and transported to the Cantinas property. Each bus will have Camp staff on board to facilitate the travel experience. In general, the travel time from the pickup point to the camp will be in the 4 to 5 hour range. Thus, the buses will arrive at the Arts Camp late morning and early Sunday afternoon. On Saturday, buses will depart the site between 10 AM and 2 PM.

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The Camp will draw campers from the following geographic areas:

- Los Angeles Area
- Riverside/San Bernardino Area
- Fresno/Bakersfield Area
- Sacramento/Stockton Area
- Monterey Bay Area
- San Francisco/Oakland Area

It is anticipated that 52-55 seat tour buses will be utilized. Assuming each bus carries 50 campers and 2 or 3 accompanying staff members, the total number of busses required each week for arrivals would be 4. This would result in 4 buses in late morning and early afternoon on Sunday and 4 empty busses departing after passengers and gear are unloaded.

The departing campers will leave the site on Saturday, with permanent Camp staff remaining on-site until the campers depart. Although most program staff will remaining on site throughout the summer operating season, in order to provide a conservative analysis of roadway use we have assumed that each week there may be up to 90 non-permanent staff members to be transported to the site, requiring two buses. Staffing will be scheduled to provide for departing staff to use the buses that brought the week's staff to the site. Therefore there would be 2 inbound and 2 outbound bus trips on Saturday for staff and 8 bus trips (4 in and 4 out) for the departing campers.

Emergency egress will be provided via a new clear-span bridge over Kavanaugh Creek east of the Camp property. The bridge connects the Camp property to the Oak Shores community through the existing RV park and onto Oak Shores Drive. This secondary access will be used only in emergencies and has been conceptually approved by both Cal Fire and Monterey County Water Resources Agency for location and specifications. Please see civil drawings for location and alignment.

General Plan and Land Use Ordinance Analysis

General Plan Reference

Area Plan Standards: The project site is located within the Nacimiento Planning Area and is zoned as Rural Lands (RL). This development is subject to the following Land Use Ordinance Standards found under Section 22.30.250, Rural Recreation and Camping.

The following provides a detailed evaluation of how this project is consistent with the LUO requirements. A discussion regarding justification for exception to the setback requirements provided in LUO Section 22.30.250.A.5 is also include below.

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22.30.250.A.5 - Camping: *Permanent organizational group camps sponsored by a church, youth group, corporation or other organization, or camping that is seasonal and incidental to an agricultural use, are subject to the following provisions. (Commercial campgrounds as principal uses are subject to Section 22.30.300 (RV Parks); temporary camps are subject to Chapter 8.64 of the County Code (Temporary Camps)).*

The proposed project fits within this definition, since it seeks to develop an organizational camp. The use complies with the Nacimiento Area Plan which states that Rural Lands should remain low intensity in character, with development proposed such that impacts are minimized. Development of widely dispersed rural residences and non-intensive recreational activities such as dude ranches, camps, seasonal cabins and hunting clubs are appropriate where adequate water supply is available for both domestic use and fire protection.

Land Use Ordinance Consistency

1. Limitation on use. *Organizational camps are allowed only in the Rural Lands, Recreation, and Public Facilities categories. Incidental camping is allowed in the Agriculture category as well as where organizational camps are allowed.*

The land use designation for all Camp parcels is Rural Lands (RL). Thus, the proposed organizational camp is in compliance with this requirement.

2. Permit requirements. *A Health Department permit shall be required in compliance with Chapter 8.62 of the County Code, in addition to the land use permit required by Section 22.06.030.*

This project will be required to obtain a permit through the Health Department in order to be in compliance with Chapter 8.62 of the County Code. In addition, a land use permit as required by Section 22.06.030 will also be obtained.

3. Minimum site area. *As specified in Chapter 22.22 (Subdivision Design).*

Chapter 22.22 states that:

The minimum parcel size for new lots in the Rural Lands category is based upon site features including: remoteness, fire hazard and response time, access and slope. Minimum parcel size is determined by applying tests which assess remoteness, fire hazard and response time, access and slope to the site features. The allowable minimum size is the largest area obtained from any of the tests, except as provided for cluster divisions by Section 22.22.140 (not applicable to this project.)

Based on the use test, minimum parcel size for the site is 40 acres. This site size is consistent and compatible with the all of the tests described in Chapter 22.22.050, Rural Lands category.

4. Density. To be set by the Review Authority where Conditional Use Permit or Minor Use Permit approval is required, to a maximum of one unit per acre, which is also to be the maximum density for incidental camping of less than 10 units.

The project site consists of approximately 560 acres designated as Rural Lands. The maximum allowable density for organizational camp use is 1 unit per acre. This allows for the potential development of a total of 560 camping units.

A total of 31 units are proposed for this organizational camp: 16 Camper Lodging units and 15 Staff Lodging units. The 16 Camper 2-story units contain two or three bedrooms, each of which will be occupied by four to five campers and one counselor.

The 31 units proposed for the 560 acre site is far fewer than the maximum 560 allowable units, based upon total acreage. As proposed, this project is consistent with the density requirements specified in this section, as well as the General Plan, which states that Rural Lands should remain low intensity in character, with development proposed such that impacts are minimized. Non-intensive recreational activities such as organizational camps are appropriate in this setting.

5. Setbacks. All camping facilities and activities shall occur no closer than 1,000 feet from any property line or public road.

The project includes a request for an exception to this standard. A detailed explanation is listed below.

6. Parking. No improved parking is required for incidental camping, provided that sufficient usable area is available to accommodate all user vehicles entirely on-site. The parking requirement for organizational camps shall be determined by the Conditional Use Permit approval.

Since the vast majority of campers will arrive by bus, on-site parking will be limited to a 21,000 square foot lot for limited staff and special needs guests. This area will be surfaced with decomposed granite and will also include two concrete handicap spaces. Internal circulation on the site will be limited to service and delivery vehicles, as well as golf cart type vehicles for transporting non-ambulatory guests; therefore only staging areas are required for internal Camp circulation.

7. Access. All-weather access shall be provided to the site.

Access to this facility is provided by Lynch Canyon Road. This is a County maintained road, which is accessible during a variety of weather conditions.

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8. Allowed facilities. Camps established in compliance with this Section may include the following facilities in addition to tent camping areas, based on the type of camp:

a. Organizational camps. Cabins; meeting hall; swimming pool; permanent restroom facilities; accessory and storage buildings.

The facilities proposed for the project are consistent with those allowed for organizational camps.

The project is requesting the following exception to the Ordinance Standards:

Modification to Section 22.30.520.A5: Request to modify the 1,000-foot setback requirement for development of the Cantinas Ranch Organizational Camp.

Setback Modification:

The project includes a request to reduce the minimum setback requirements set forth in Section 22.30.250.A.5 of the Land Use Ordinance for organizational camps. The property is proposing the development of facilities within 136 to 1,455 ft. of property lines and public roadways. However, the LUO standard requires that all camping facilities and activities be located no closer than 1,000 ft from the property line or public road.

The existing parcel size is approximately 560 acres. The proposed project site is an irregularly shaped parcel, which is bisected by a little used public road. This site also has varied topography with steep slopes which further reduce the buildable area. In addition, the majority of the parcel borders the lake front.

With implementation of the 1,000 foot setback, only 36.3 acres may be occupied with Camp uses under the Ordinance standard. Of that area, 26.8 acres have significant constraints – slopes, trees, and drainage courses. Locating all Camp components within the remaining 9.5 acres of the 560 acre property available for development would result in a very dense, urban-like setting, not at all conducive to the appreciation of the site's natural features envisioned by the applicants. A configuration which maintained the 1000 foot setback would not be consistent with resource protection or the County General Plan goal of restricting intensive use and "urbanization" of Rural Lands. An accompanying exhibit graphically depicts the 1000 foot setback in terms of land available for construction of buildings.

Section 22.30.020.E of the LUO contains a provision that allows modification to the special use standards set forth in Chapter 4. The provision allows a standard to be waived if the standard can be proven to be unnecessary or ineffective.

In this case, the 1000 foot setback requirement is unnecessary because the intent of this requirement is to minimize the potential impacts of development on neighboring property. Since this property owner also owns much of the undeveloped property adjacent to this site, impacts

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from project development would be minimal. Since a significant portion of this parcel borders the lake front, potential conflicts with adjacent parcels and uses would be further minimized.

An additional goal of the 1000 foot setback standard is to ensure the health and safety of campers by maintaining a safe distance from off-site development. In this case, the standard is both unnecessary and ineffective, since land uses surrounding the site (for several miles in every direction) consist of very low density rural residences and open space.

In Summary

The Cantinas Camp project has been in the planning stages with Camp founders for nearly five years. During that time the plan has been modified repeatedly to better address program objectives and land use issues. Transportation concerns have been resolved via off site staging, reliance on group transit and on-site employee housing. Emergency response issues have been addressed through the incorporation of sprinklered buildings, pressurized hydrants and a new emergency access bridge accessing Oak Shores Drive. The project is designed for minimal site disturbance.

The Camp will strive for LEED certification, reflecting the many environmental and sustainability measures required for this high level of commitment to environmental stewardship. The camp's development footprint and camper population size have been significantly reduced in order to maintain the tranquility of both the site and the neighborhood. The Camp Planning Team has invested years and hundreds of thousands of dollars in research, analysis and professional assistance to develop a plan that will be beneficial for San Luis Obispo County, as well as campers. We are pleased to submit this application and look forward to working together toward the realization of this remarkable project.

GANTINAS RANCH CAMP

	ENCLOSED SF	PORCH SF	TOTAL SF
MISSION			
LOWER LEVEL	6,522	408	6,930
MAIN LEVEL	16,367	4,556	20,923
UPPER LEVEL	8,429	606	9,035
Subtotal	31,318	5,570	36,888
CHAPEL			
1ST FLOOR	3,840	496	4,336
MEZZANINE	448	0	448
Subtotal	4,288	496	4,784
CELEBRATION ARTS			
ENSEMBLE	1,482	312	1,794
DANCE	2,556	96	2,652
CAFÉ/STUDIO	1,696	735	2,431
THEATER	2,860	0	2,860
BLK BOX/ST	2,736	1,296	4,032
STAGE	0	1,900	1,900
TV STUDIO	1,728	1,584	3,312
Subtotal	13,058	5,923	18,981
CAMPER LODGING			
TYPE A (1276SF) X 8	10,208	256	10,464
TYPE B (1412 SF) X 8	11,296	256	11,552
Subtotal	21,504	512	22,016
STAFF LODGING			
(276 SF) X 16	4,416	960	5,376
MILL BARN/LAKE CAFÉ			
MILL BARN	8,064	1,440	9,504
LAKE CAFÉ	1,000	400	1,400
POOL BATHS/STOR	720	288	1,008
Subtotal	9,784	2,128	11,912
SECURITY			
	1,276	28	1,304
EQUESTRIAN BARN			
FEED BARN	3,053	0	3,053
TRACTOR BARN	1,540	0	1,540
Subtotal	4,593	0	4,593
TOTALS	90,237	15,617	105,854

SUSTAINABLE DESIGN NARRATIVE

OVERVIEW
 PROJECT WILL BE DESIGNED, BUILT, AND OPERATED WITH A FOCUS ON SUSTAINABILITY AND CONNECTION TO THE NATURAL ENVIRONMENT. THE LARGER BUILDINGS (CHAPEL, BARN AND HALLS) MAY BE LEED CERTIFIED, BUT IN ALL CASES, THE SITE DESIGN AND CONSTRUCTION WILL BE DEVELOPED WITH CONSIDERATION FOR THE FOLLOWING PRINCIPLES OF GREEN BUILDING.

SUSTAINABLE SITES

- TRANSPORTATION: INDIVIDUAL VEHICLE TRIPS ARE REDUCED BY AN EMPHASIS ON GROUP RIDES FOR CAMPERS AND STAFF AND LIMITED PARKING ON SITE.
- ALTERNATIVE FUEL VEHICLES WILL ALSO BE CONSIDERED.
- LANDSCAPE: THE SITE DESIGN AND CONSTRUCTION WILL BE DEVELOPED WITH CONSIDERATION FOR THE FOLLOWING PRINCIPLES OF GREEN BUILDING.
- PAVED, SITE AMENITIES AND ROADWAYS WHERE FEASIBLE. LANDSCAPING WILL EMPHASIZE RESTORATION, NATIVE AND ADAPTED SPECIES, AND SUPPORT FOR BIODIVERSITY.
- WATER: COLLECTED STORMWATER IS REDUCED THROUGH WANGANO HARD SURFACES AND USING PERMEABLE SURFACES WHERE POSSIBLE.
- LOW-IMPACT DEVELOPMENT STRATEGIES, INCLUDING BIORETENTION AND SMALL, RETENTION PONDING STRATEGIES WILL INCREASE SOFT TISSUE WATER THROUGHOUT THE SITE.
- COOL SITES: PATHWAYS AND PARKING WILL PRINCIPALLY BE LIGHT-COLORED AND PERMEABLE, WITH LITTLE OR NO ASPHALT.
- LANDSCAPE: THE SITE DESIGN AND CONSTRUCTION WILL BE DEVELOPED WITH CONSIDERATION FOR THE FOLLOWING PRINCIPLES OF GREEN BUILDING.

ENERGY AND ATMOSPHERE

- ENERGY EFFICIENCY - PASSIVE SYSTEMS: ENERGY EFFICIENCY WILL BEGIN WITH PASSIVE STRATEGIES INCLUDING:
 - NORTH ORIENTED WINDOWS, STRATEGICALLY SIZED AND LOCATED FOR PASSIVE THERMAL DESIGN.
 - OVERHANGS, ARCADES AND TRELISES ON WEST ELEVATIONS.
 - DOOR, THERMAL MASS, CH FLOORS AND/OR WALLS.
 - NIGHT VENTILATION.
- INDOOR ENVIRONMENTAL QUALITY: THROUGHOUT THE BUILDING, THE PROJECT DOES NOT INCLUDE EXPENSES OF TURF AND/OR FRESH AIR. THE PROJECT DOES NOT INCLUDE EXPENSES OF TURF AND/OR FRESH AIR. THE PROJECT DOES NOT INCLUDE EXPENSES OF TURF AND/OR FRESH AIR.
- WATER USE REDUCTIONS: LOW-IMPACT PLUMBING FIXTURES AND METHODS WILL BE USED TO REDUCE WATER CONSUMPTION AS MUCH AS POSSIBLE.
- WATER REUSE: WASHING AND WASHING SYSTEMS FOR KITCHEN AND LAUNDRY.

ENERGY EFFICIENCY - ACTIVE SYSTEMS ONCE THE BUILDINGS ARE OPTIMIZED FOR PASSIVE ENERGY EFFICIENCY, ACTIVE SYSTEMS WILL BE ADDED AS NECESSARY.

- LITTLE OR NO AIR-CONDITIONING AND VENTILATION SYSTEMS.
- SYSTEMS TO HEAT AND TRACK ENERGY USE, TO FINE-TUNE SYSTEMS AND EDUCATE VISITORS.
- THE TARGET FOR THE OVERALL PERFORMANCE IS EXCEEDING THE TITLE 24 ENERGY CODE BY 5%.
- RENEWABLE ENERGY ON-SITE PHOTOVOLTAIC AND SOLAR HOT WATER SYSTEMS WILL BE CONSIDERED WHERE FEASIBLE.

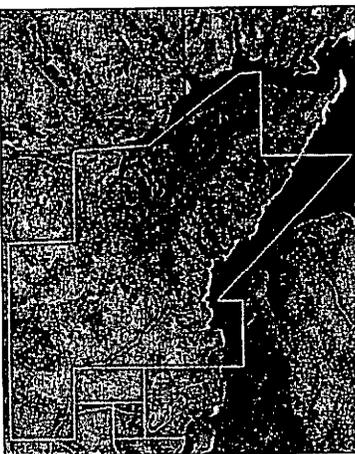
MATERIALS AND RESOURCES

- WASTE REDUCTION: IN ADDITION TO DIVERTING CONSTRUCTION WASTE, THE OPERATIONS WILL DEVELOP WASTE REDUCTION STRATEGIES INCLUDING:
 - WATER SAVING TOILETS AND WATER CONTAINERS, COMPOSTING FOOD SCRAP, EASILY-ACCESSIBLE RECYCLING, AND OTHER STRATEGIES.
 - ENVIRONMENTALLY PREFERRED PRODUCTS: PRODUCTS WILL PREFERENTIALLY BE SELECTED FOR RECYCLED, SALVAGED, REGIONALLY PRODUCED AND SUSTAINABLE/REQUESTED CONTENT AS FEASIBLE.
- INDOOR ENVIRONMENTAL QUALITY:
 - INDOOR AIR QUALITY: FOR THE CHILDREN AND YOUTH OCCUPYING THESE SPACES, INDOOR AIR QUALITY WILL BE MAINTAINED AT OR ABOVE THE LEVELS OF THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN).
 - MECHANICAL VENTILATION WILL BE THROUGH OPERABLE WINDOWS AND FANS, WITH AIR QUALITY MONITORED AND MECHANICALLY VENTILATED AS NEEDED.
 - LOW-EMITTING MATERIALS: ALL INTERIOR MATERIALS WILL BE SELECTED FOR NON-TOXICITY AND LOW-EMITTING.
 - DAYLIGHT AND VIEWS: THE BUILDING FORMS AND WINDOW SECTIONS HAVE BEEN CAREFULLY DEVELOPED TO MAXIMIZE DAYLIGHT AND VIEWS. LIGHT TUNING SUSTAINABLE MAINTENANCE OPERATIONS WILL INCLUDE GREEN CLEANING AND NON-TOXIC SITE MAINTENANCE STRATEGIES.

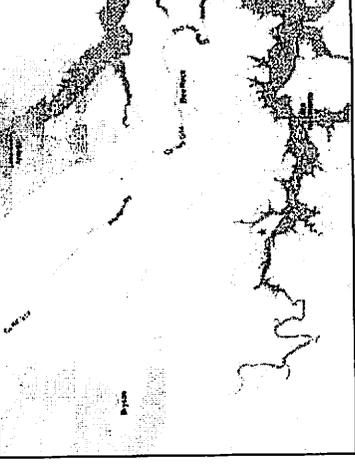
WATER EFFICIENCY

- INDOOR ENVIRONMENTAL QUALITY: THROUGHOUT THE BUILDING, THE PROJECT DOES NOT INCLUDE EXPENSES OF TURF AND/OR FRESH AIR. THE PROJECT DOES NOT INCLUDE EXPENSES OF TURF AND/OR FRESH AIR.
- WATER USE REDUCTIONS: LOW-IMPACT PLUMBING FIXTURES AND METHODS WILL BE USED TO REDUCE WATER CONSUMPTION AS MUCH AS POSSIBLE.
- WATER REUSE: WASHING AND WASHING SYSTEMS FOR KITCHEN AND LAUNDRY.

PROPERTY MAP



VICINITY MAP



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PROJECT DESCRIPTION

THIS PROJECT IS A REQUEST FOR A PHASED CONDITIONAL USE PERMIT (CUP) TO ESTABLISH AN ORDNANCE-LEGAL CAMP OUT. THE CAMP WILL BE AUTHORIZED TO OPERATE FROM 10:00 AM TO 10:00 PM, AND STAFF AND MEMBERS WILL RESIDE AT THE CAMPERS LODGING UNIT. SUPPORT STRUCTURES FOR A VARIETY OF ACTIVITIES ARE PROPOSED. THESE USES INCLUDE A CHAPEL, MISSION COMPLEX, CELEBRATION OF THE ARTS CAMPUS (THEATER, DANCE, RECREATIONAL BARN BUILDING AND FACILITIES), EDUCATION BUILDING, A RECREATIONAL BARN BUILDING AND OUTDOOR POOL.

CAMP USAGE WILL VARY SEASONALLY, WITH HIGHER USE EXPECTED DURING SUMMER MONTHS. EACH SUMMER CAMP SESSION WILL LAST ONE TO TWO WEEKS, WITH THE MAJORITY OF CAMPERS ARRIVING BY BUS. MOST STAFF WILL RESIDE AT THE CAMPERS LODGING UNIT. DURING THE CAMP SESSIONS, WEEKEND MEETINGS WILL BE SCHEDULED AT THE CAMP AS REQUESTED BY CONGREGATIONS AND MINISTERS.

CAMP FACILITIES WILL OCCUPY ONLY 15% PERCENT OF THE PROPERTY'S BARN-FOOTPRINT WITH TOTAL PERMANENTLY IMPROVED GREEN COVERED AREAS. THE DESIGN AND ENVIRONMENTAL SENSITIVITY IN ALL ASPECTS OF CONSTRUCTION AND OPERATIONS. THE PROJECT HAS BEEN DESIGNED TO ENHANCE APPRECIATION OF BOTH THE NATURAL ENVIRONMENT AND THE ARTS.

BUILDING AREAS:

ENCLOSED BY	PERCH OF	TOTAL SF
MISSION	21.21%	34,911
CHAPEL	4.28%	474
CELEBRATION ARTS	11.28%	1,224
CAMPERS LODGING	8.12%	881
STAFF LODGING	4.41%	479
BARN BUILDING	2.78%	299
SECURITY	0.00%	0
POOL	4.84%	524
TOTALS	14.97%	16,334

PROJECT DIRECTORY

OWNER / APPLICANT:
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firma
 LANDSCAPE ARCHITECTS



CANTINAS
 RANCH

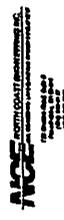
CANTINAS RANCH CAMP
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 SUSTAINABLE DESIGN NARRATIVE

T.1



A2.0

Cantinas Ranch Camp
REFERENCE SITE PLAN



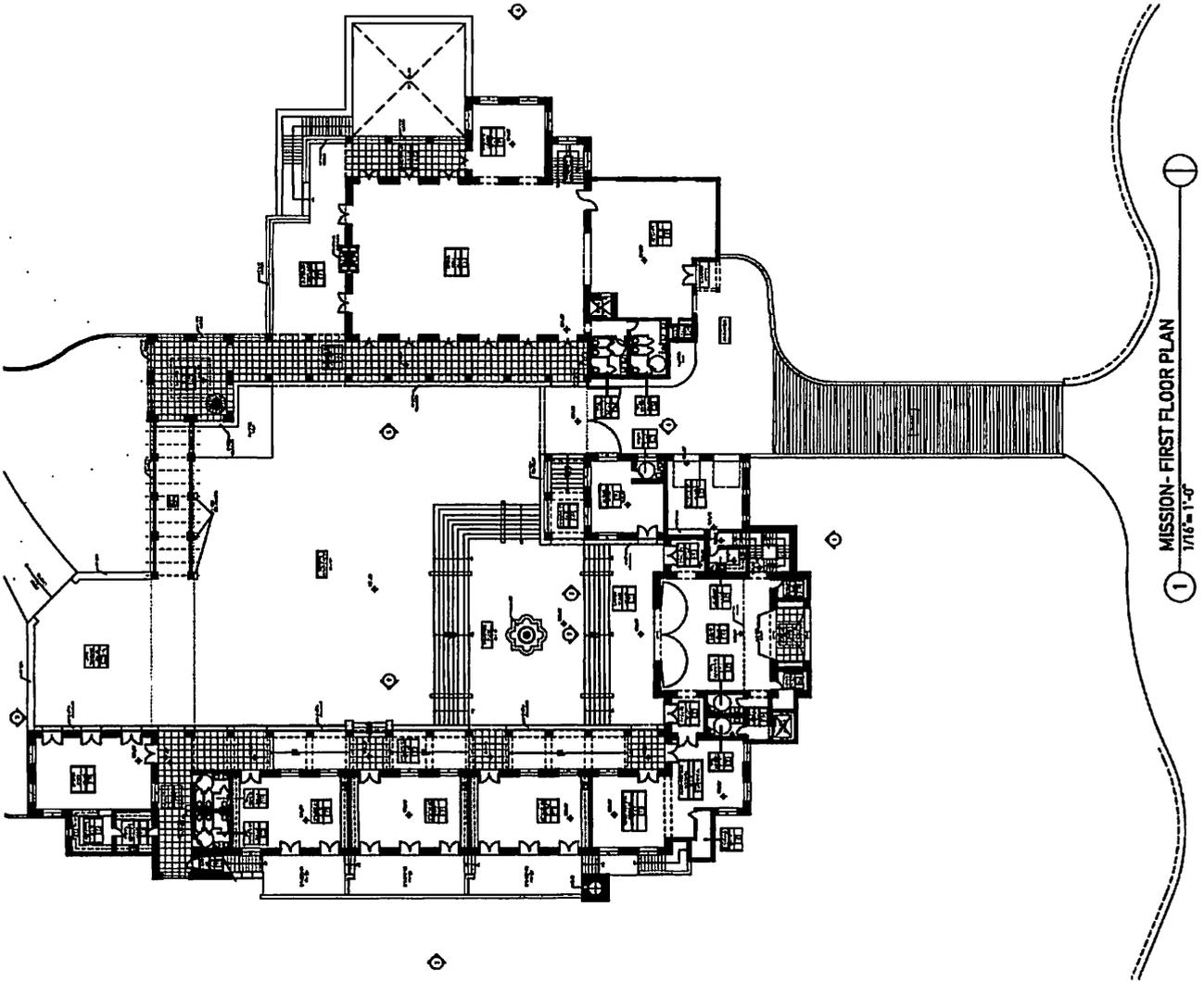
REFERENCE SITE PLAN

LAKE MACHICENTO

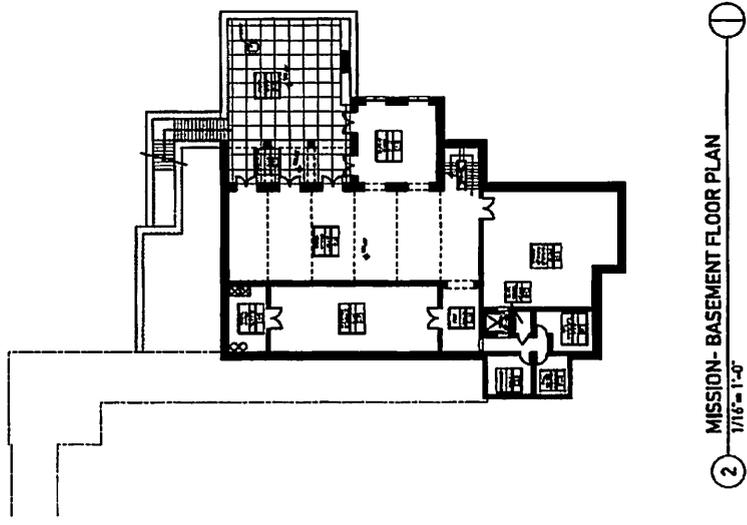


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10000 N. CENTRAL EXPRESSWAY, SUITE 100
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WWW.NCE-ENERGY.COM

LIMODREY ARCHITECTURE
green by design
10000 N. CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TEXAS 75243
TEL: 972.382.1000
WWW.LIMODREY.COM



1 MISSION - FIRST FLOOR PLAN
1/16" = 1'-0"

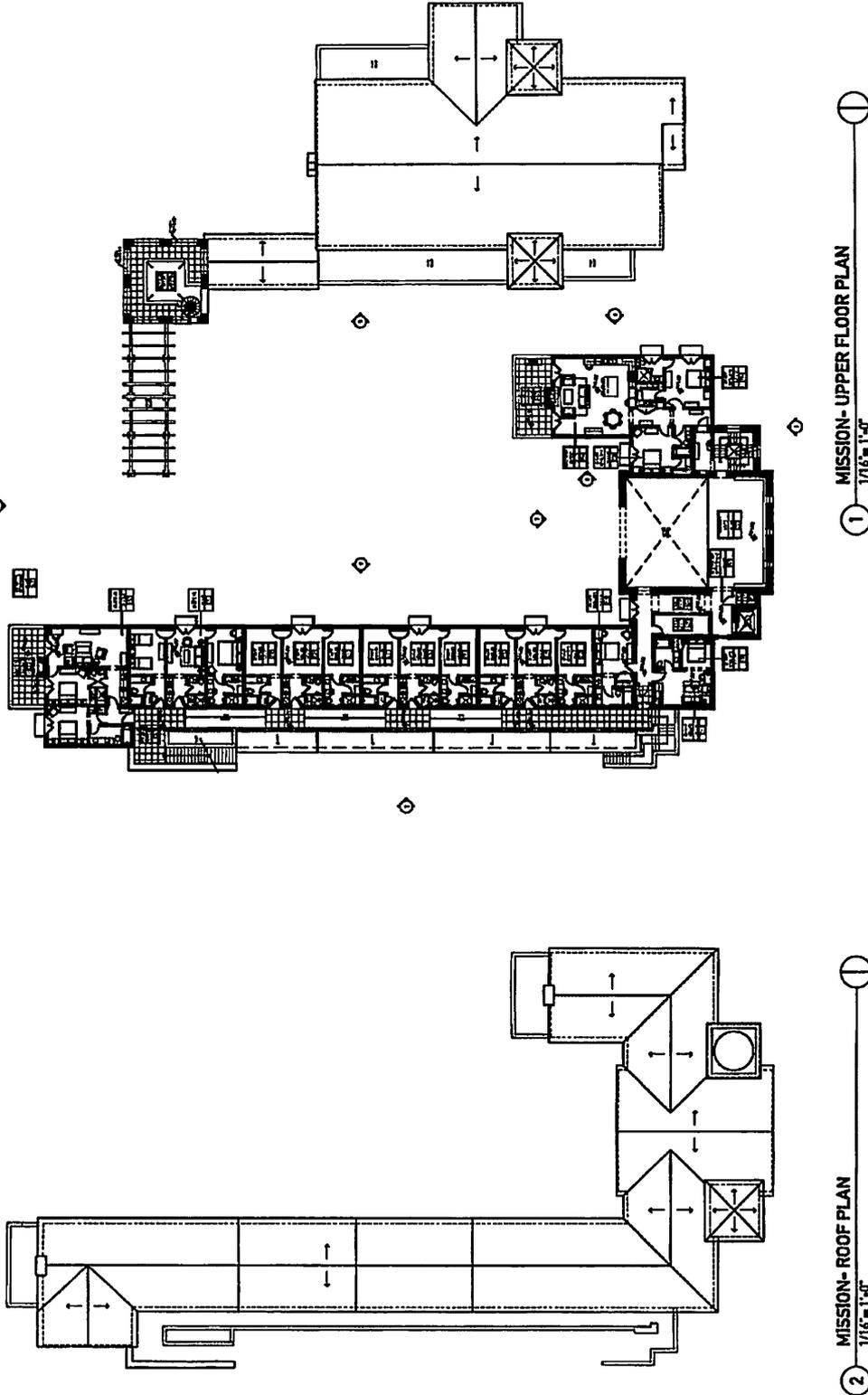


2 MISSION - BASEMENT FLOOR PLAN
1/16" = 1'-0"



NCE NORTH COAST ENGINEERING
10000 15th St, Suite 200
San Diego, CA 92128
Tel: 619.451.1111
Fax: 619.451.1112

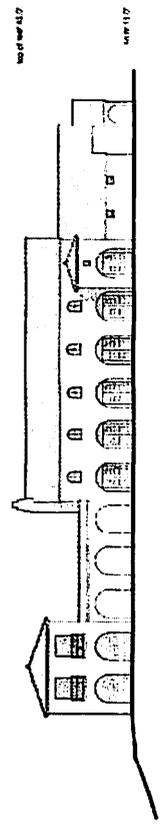
JIM DUNEY ARCHITECTURE
green by design
10000 15th St, Suite 200
San Diego, CA 92128
Tel: 619.451.1111
Fax: 619.451.1112



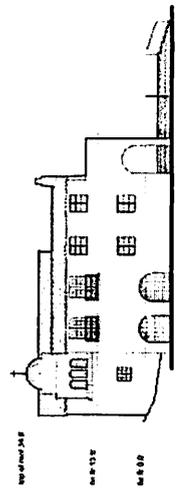


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ARCHITECTS
10000 Highway 101, Suite 100
San Diego, CA 92108
Tel: 619-444-1111
Fax: 619-444-1112
www.nge.com

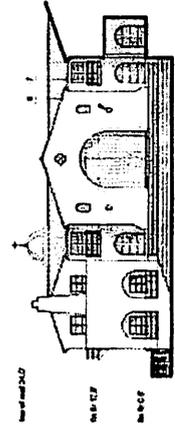
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10000 Highway 101, Suite 100
San Diego, CA 92108
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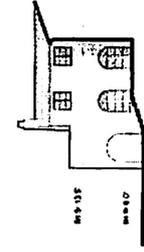
5 WEST ELEVATION AT COURTYARD
1/16" = 1'-0"



6 EAST ELEVATION AT COURTYARD
1/16" = 1'-0"



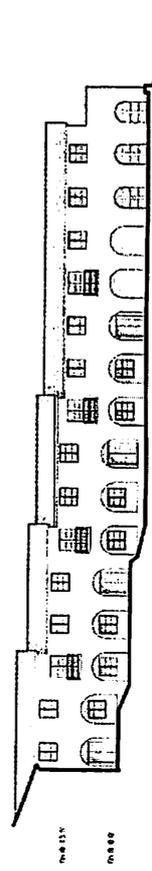
7 NORTH ELEVATION AT COURTYARD
1/16" = 1'-0"



8 WEST ELEVATION AT UPPER COURTYARD
1/16" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

DESCRIPTION	ITEM#
ACRYLIC FINISHES	1
CONCRETE	2
CERAMIC TILE	3
FLUOROCARBON PAINTS	4
GLASS	5
INSULATION	6
IRON	7
MECHANICAL ELECTRICAL PLUMBING	8
METAL	9
METAL PANELS	10
METAL ROOFING	11
METAL TRIM	12
METAL WALLS	13
METAL WINDOWS	14
METAL DOORS	15
METAL FLOORS	16
METAL CEILING	17
METAL ROOFING	18
METAL TRIM	19
METAL WALLS	20
METAL WINDOWS	21
METAL DOORS	22
METAL FLOORS	23
METAL CEILING	24
METAL ROOFING	25
METAL TRIM	26
METAL WALLS	27
METAL WINDOWS	28
METAL DOORS	29
METAL FLOORS	30
METAL CEILING	31
METAL ROOFING	32
METAL TRIM	33
METAL WALLS	34
METAL WINDOWS	35
METAL DOORS	36
METAL FLOORS	37
METAL CEILING	38
METAL ROOFING	39
METAL TRIM	40
METAL WALLS	41
METAL WINDOWS	42
METAL DOORS	43
METAL FLOORS	44
METAL CEILING	45
METAL ROOFING	46
METAL TRIM	47
METAL WALLS	48
METAL WINDOWS	49
METAL DOORS	50
METAL FLOORS	51
METAL CEILING	52
METAL ROOFING	53
METAL TRIM	54
METAL WALLS	55
METAL WINDOWS	56
METAL DOORS	57
METAL FLOORS	58
METAL CEILING	59
METAL ROOFING	60
METAL TRIM	61
METAL WALLS	62
METAL WINDOWS	63
METAL DOORS	64
METAL FLOORS	65
METAL CEILING	66
METAL ROOFING	67
METAL TRIM	68
METAL WALLS	69
METAL WINDOWS	70
METAL DOORS	71
METAL FLOORS	72
METAL CEILING	73
METAL ROOFING	74
METAL TRIM	75
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METAL WINDOWS	77
METAL DOORS	78
METAL FLOORS	79
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METAL FLOORS	86
METAL CEILING	87
METAL ROOFING	88
METAL TRIM	89
METAL WALLS	90
METAL WINDOWS	91
METAL DOORS	92
METAL FLOORS	93
METAL CEILING	94
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METAL TRIM	96
METAL WALLS	97
METAL WINDOWS	98
METAL DOORS	99
METAL FLOORS	100



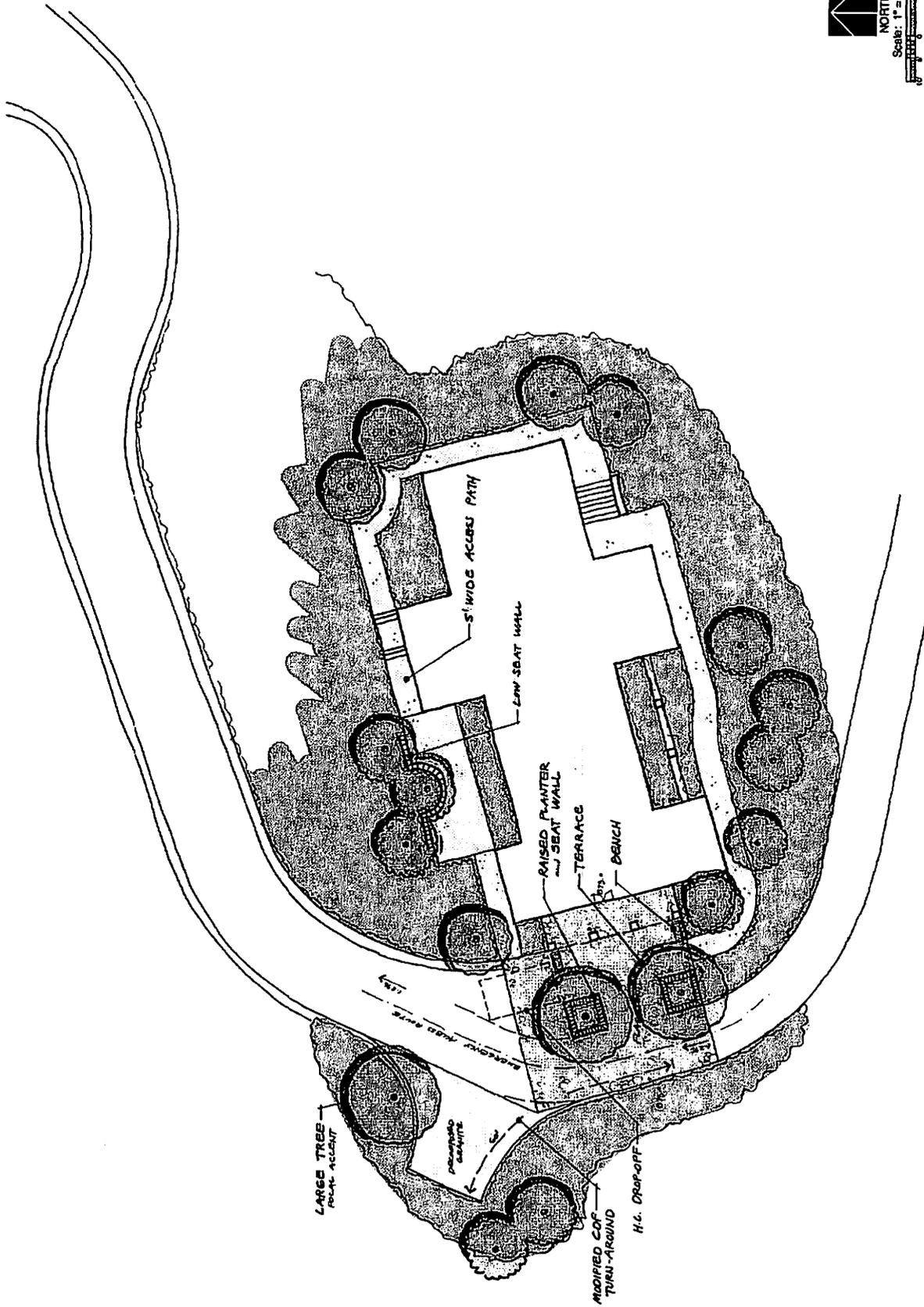
9 EAST ELEVATION AT COURTYARD
1/16" = 1'-0"

DATE: 08/11/17

DATE: 08/11/17

DATE: 08/11/17

DATE: 08/11/17



NORTH
 Scale: 1" = 10'-0"

A3.1

Cantinas Ranch Camp
 CHAPEL CONCEPTUAL SITE PLAN

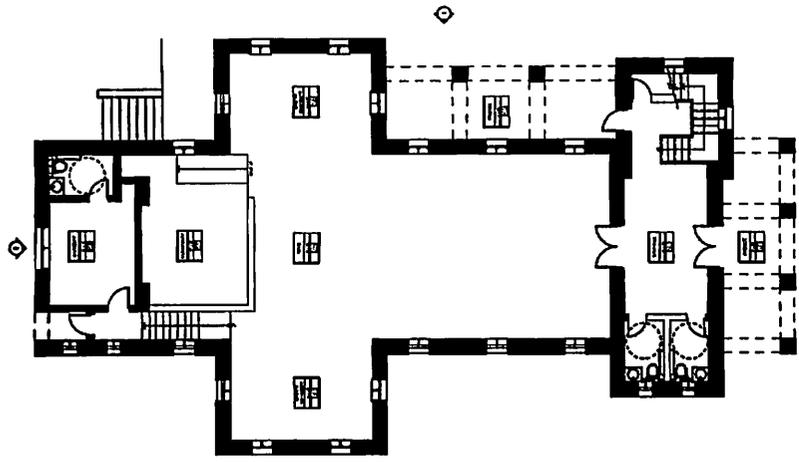


Chapel Conceptual Plan

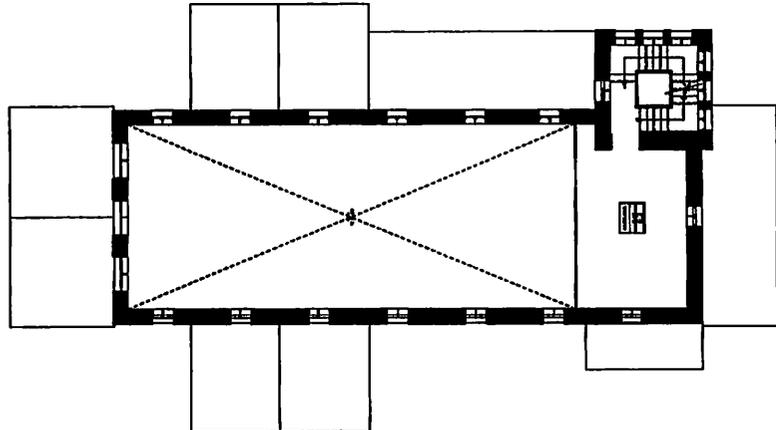


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10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
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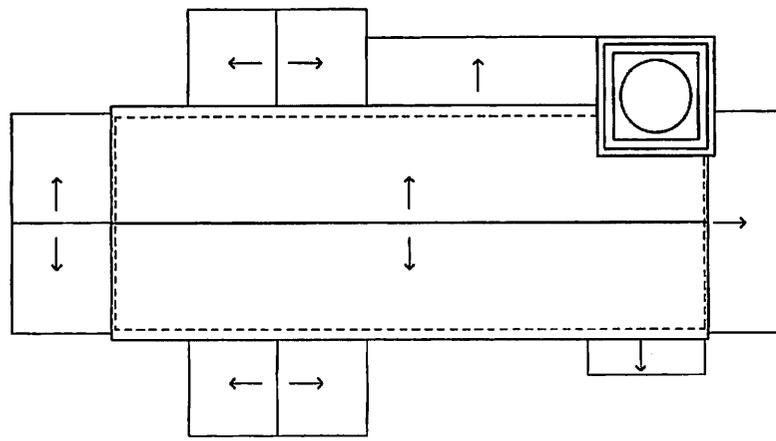
JIM DUFFEY ARCHITECTURE
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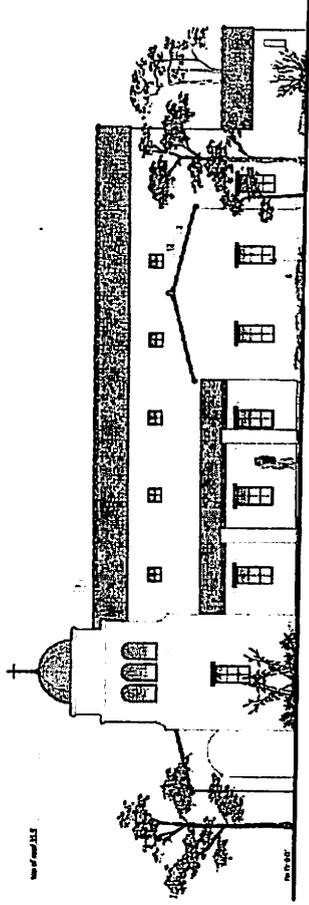
1 CHAPEL - FIRST FLOOR PLAN
1/8" = 1'-0"



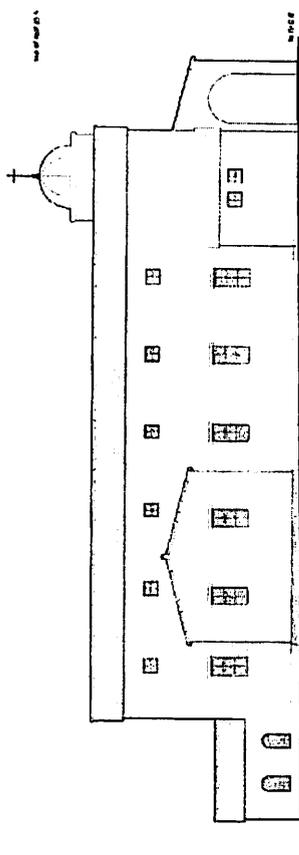
2 CHAPEL - UPPER FLOOR PLAN
1/8" = 1'-0"



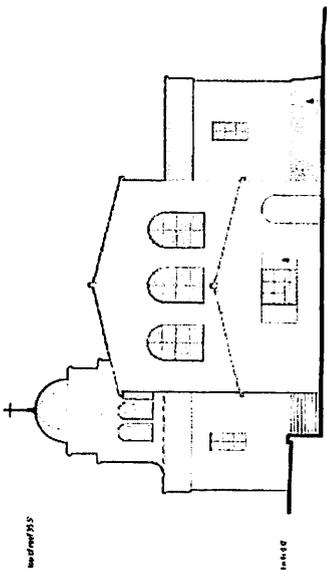
3 CHAPEL - ROOF PLAN
1/8" = 1'-0"



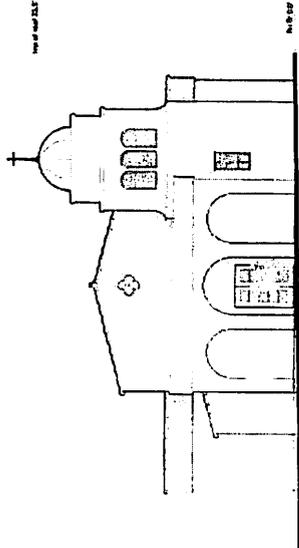
1 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

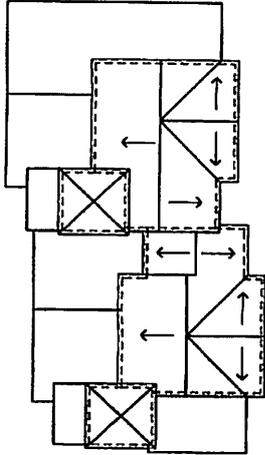


3 EAST ELEVATION
1/8" = 1'-0"

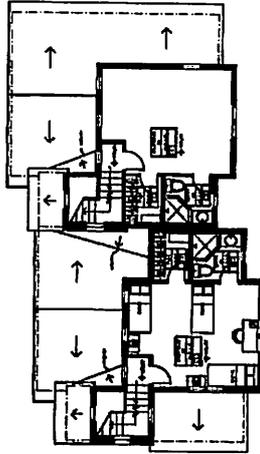


4 WEST ELEVATION
1/8" = 1'-0"

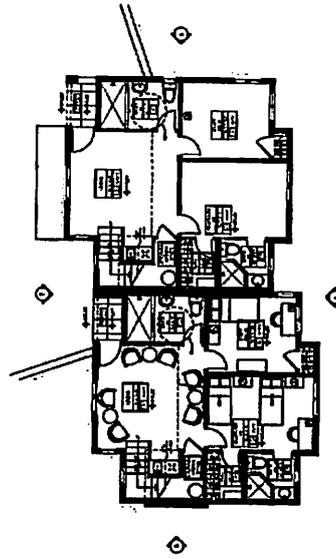
EXTERIOR MATERIALS SCHEDULE	
EXTERIOR WALLS	CMU
EXTERIOR ROOFING	ASPH/FLT
EXTERIOR FLOORING	CONCRETE
EXTERIOR PAINT	EXTERIOR GRADE
EXTERIOR LIGHTING	EXTERIOR GRADE
EXTERIOR SIGNAGE	EXTERIOR GRADE
EXTERIOR FURNITURE	EXTERIOR GRADE
EXTERIOR PLANTING	EXTERIOR GRADE
EXTERIOR LANDSCAPING	EXTERIOR GRADE
EXTERIOR UTILITIES	EXTERIOR GRADE
EXTERIOR SECURITY	EXTERIOR GRADE
EXTERIOR ACCESSORIES	EXTERIOR GRADE



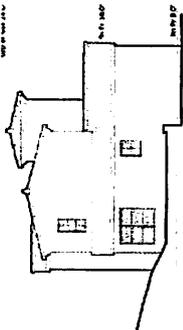
1 TYP. CAMPER 4 UNIT- ROOF PLAN
1/8" = 1'-0"



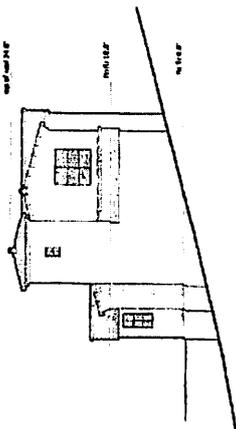
2 TYP. CAMPER 4 UNIT- 2ND LEVEL
1/8" = 1'-0"



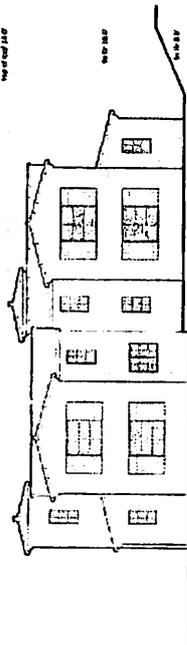
3 TYP. CAMPER 4 UNIT- 1ST LEVEL
1/8" = 1'-0"



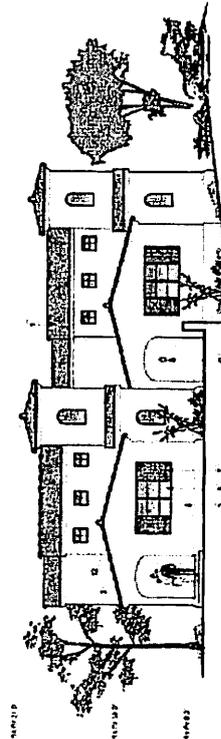
4 TYP. SIDE ELEVATION
1/8" = 1'-0"



5 TYP. SIDE ELEVATION
1/8" = 1'-0"



6 TYP. BACK ELEVATION
1/8" = 1'-0"



7 TYP. FRONT ELEVATION
1/8" = 1'-0"

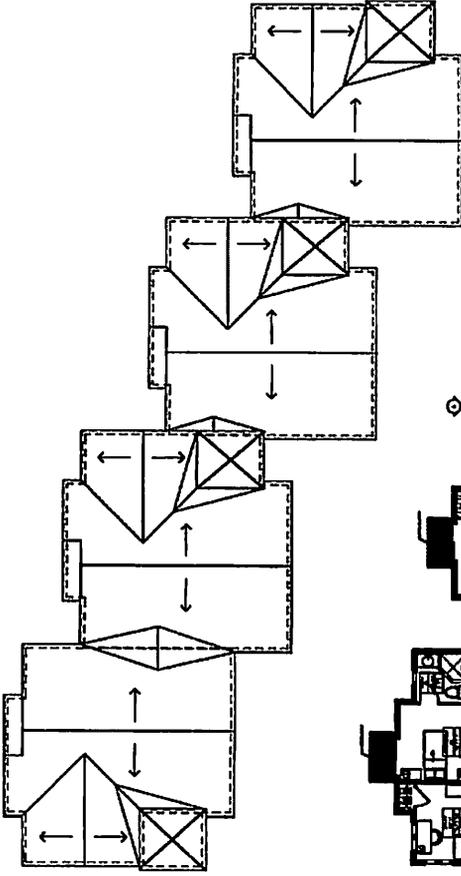
EXTERIOR MATERIALS SCHEDULE	
1	CONCRETE
2	BRICK
3	WOOD SHAKES
4	WOOD SIDING
5	WOOD TRIM
6	WOOD DOORS
7	WOOD WINDOWS
8	WOOD STAIRS
9	WOOD FLOORS
10	WOOD CEILING
11	WOOD ROOFING
12	WOOD TRUSS
13	WOOD JOIST
14	WOOD RAFTER
15	WOOD GIRDERS
16	WOOD BEAMS
17	WOOD PILING
18	WOOD BRACE
19	WOOD POST
20	WOOD COLUMN
21	WOOD TRUSS
22	WOOD JOIST
23	WOOD RAFTER
24	WOOD GIRDERS
25	WOOD BEAMS
26	WOOD PILING
27	WOOD BRACE
28	WOOD POST
29	WOOD COLUMN
30	WOOD TRUSS
31	WOOD JOIST
32	WOOD RAFTER
33	WOOD GIRDERS
34	WOOD BEAMS
35	WOOD PILING
36	WOOD BRACE
37	WOOD POST
38	WOOD COLUMN
39	WOOD TRUSS
40	WOOD JOIST
41	WOOD RAFTER
42	WOOD GIRDERS
43	WOOD BEAMS
44	WOOD PILING
45	WOOD BRACE
46	WOOD POST
47	WOOD COLUMN
48	WOOD TRUSS
49	WOOD JOIST
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52	WOOD BEAMS
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93	WOOD TRUSS
94	WOOD JOIST
95	WOOD RAFTER
96	WOOD GIRDERS
97	WOOD BEAMS
98	WOOD PILING
99	WOOD BRACE
100	WOOD POST



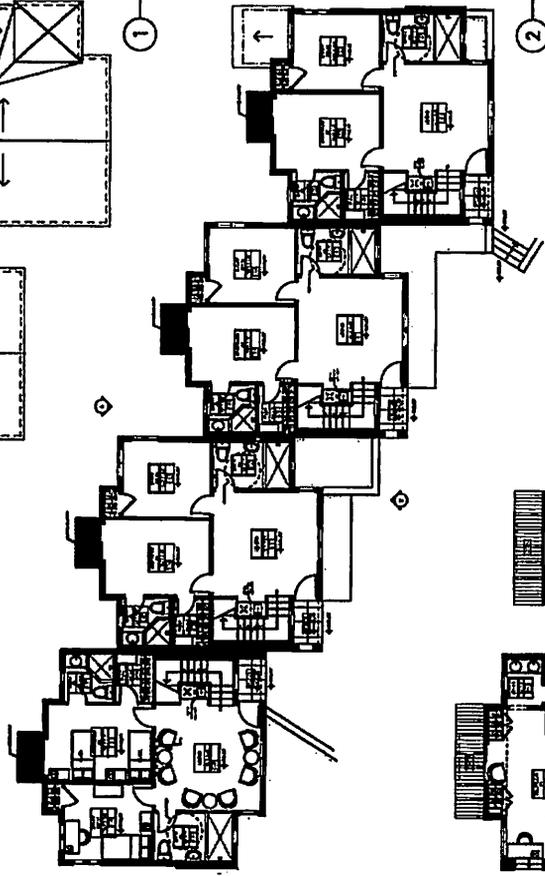
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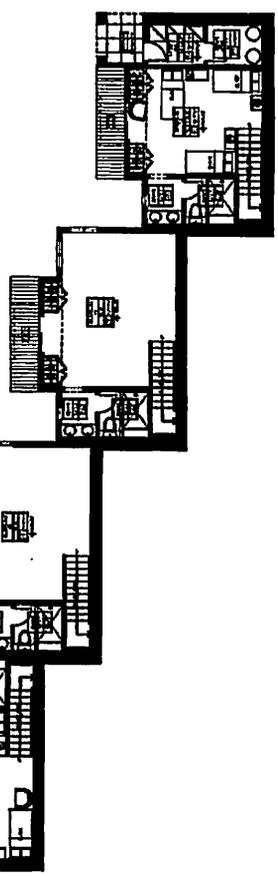
1 TYP. CAMPER 8 UNIT- ROOF PLAN
1/8"=1'-0"



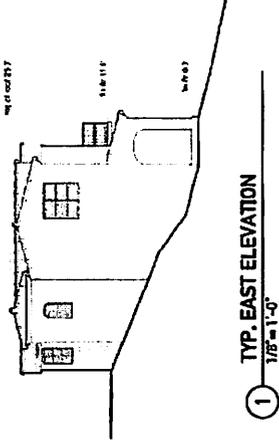
2 TYP. CAMPER 8 UNIT- MAIN LEVEL
1/8"=1'-0"



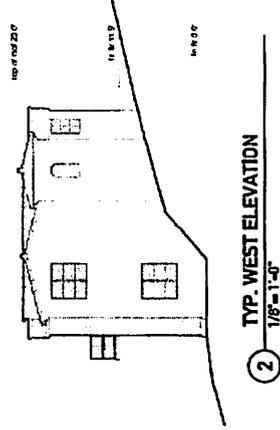
3 TYP. CAMPER 8 UNIT- LOWER LEVEL
1/8"=1'-0"



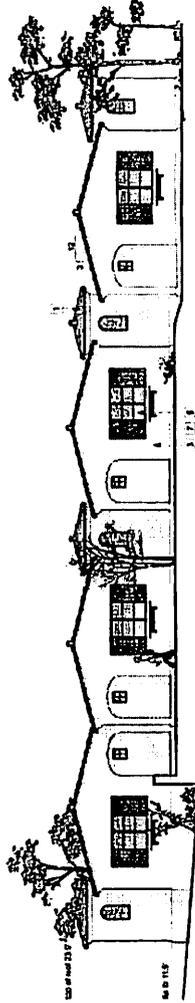
EXTERIOR MATERIALS SCHEDULE	
DESCRIPTION	QTY
1. EXTERIOR WALLS	1
2. EXTERIOR ROOFING	2
3. EXTERIOR FLOORING	3
4. EXTERIOR PAINT	4
5. EXTERIOR LIGHTING	5
6. EXTERIOR VENTILATION	6
7. EXTERIOR SECURITY	7
8. EXTERIOR ACCESSORIES	8
9. EXTERIOR FINISHES	9
10. EXTERIOR UTILITIES	10



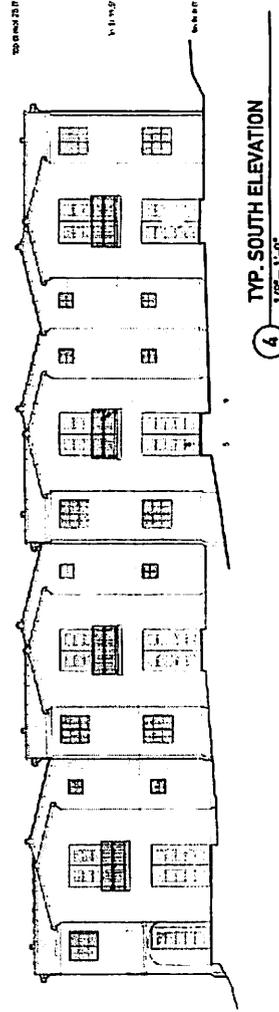
1 TYP. EAST ELEVATION
1/8" = 1'-0"



2 TYP. WEST ELEVATION
1/8" = 1'-0"



3 TYP. NORTH ELEVATION
1/8" = 1'-0"



4 TYP. SOUTH ELEVATION
1/8" = 1'-0"

JIM DUFFY ARCHITECTURE
green by design

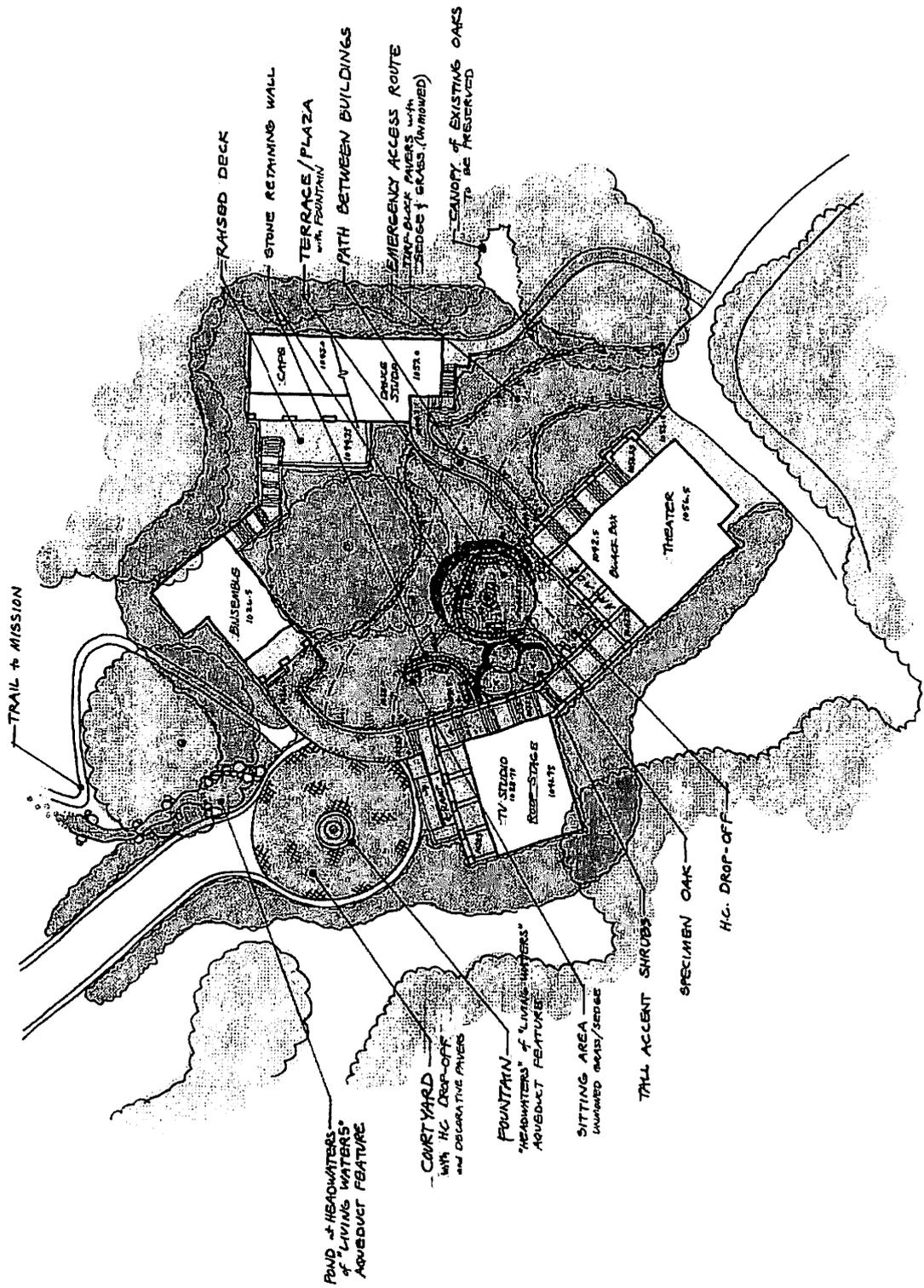
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3000 10th Street, Suite 100
San Diego, CA 92161
619-451-1111

Landscaping
firm



Centinas Ranch Camp
CAMPER & UNIT
ELEVATIONS

A4.4



A5.1

Carlinas Ranch Camp
 CELEBRATION OF THE ARTS
 CONCEPTUAL SITE PLAN

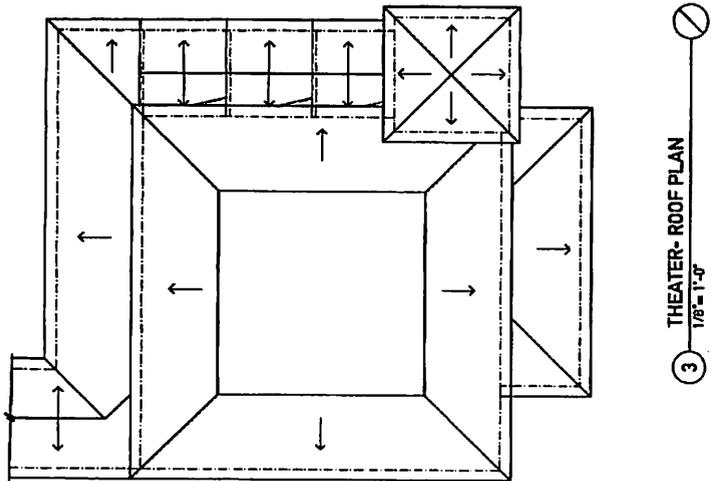
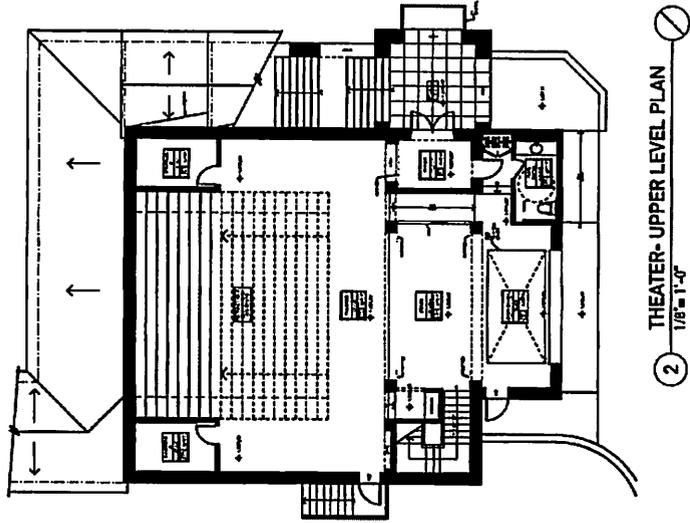
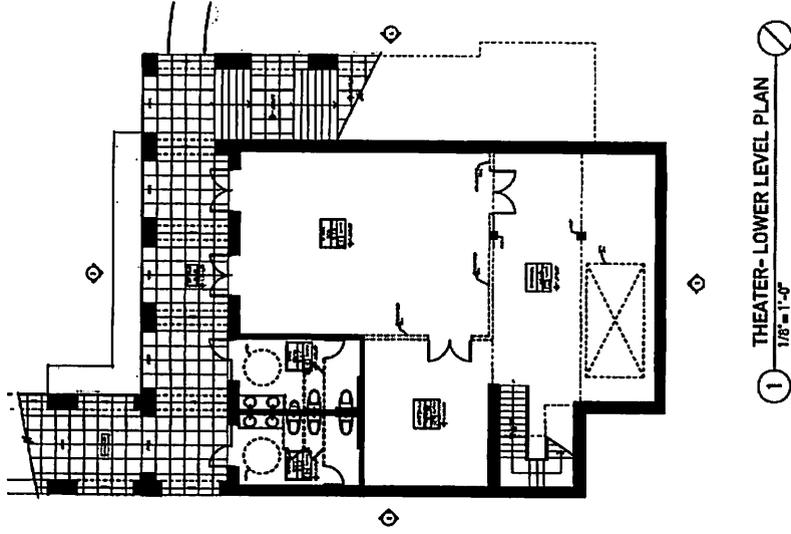


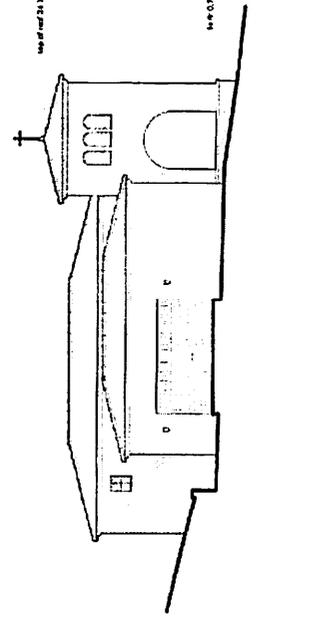
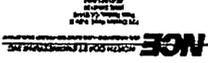
Celebration of the Arts Conceptual Site Plan



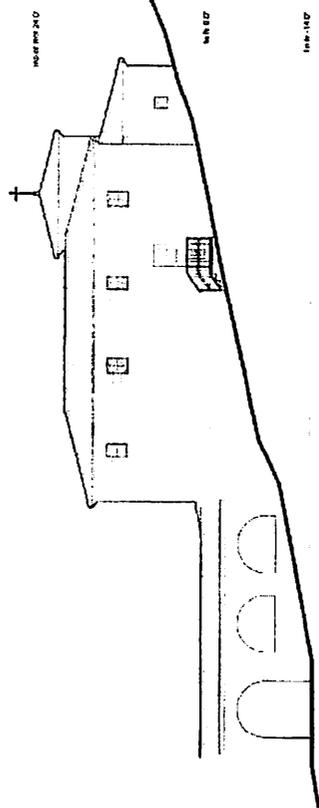
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1000 1st St. Suite 100
San Diego, CA 92101
Tel: 619.594.1111
www.limduffy.com

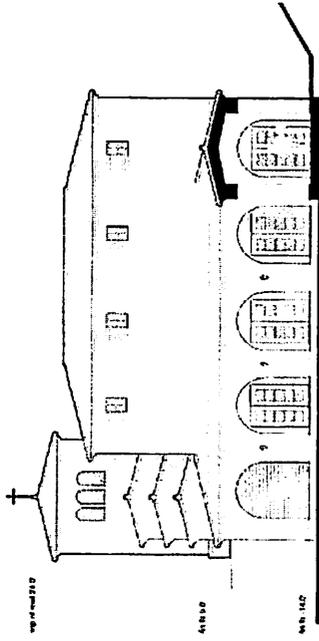




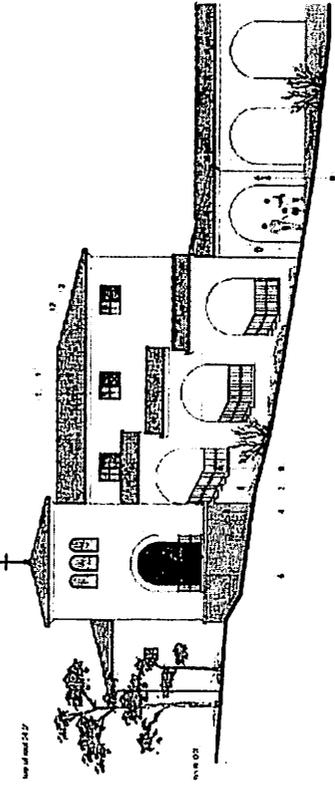
1 THEATER- SOUTHEAST ELEVATION
1/8" = 1'-0"



2 THEATER- SOUTHWEST ELEVATION
1/8" = 1'-0"



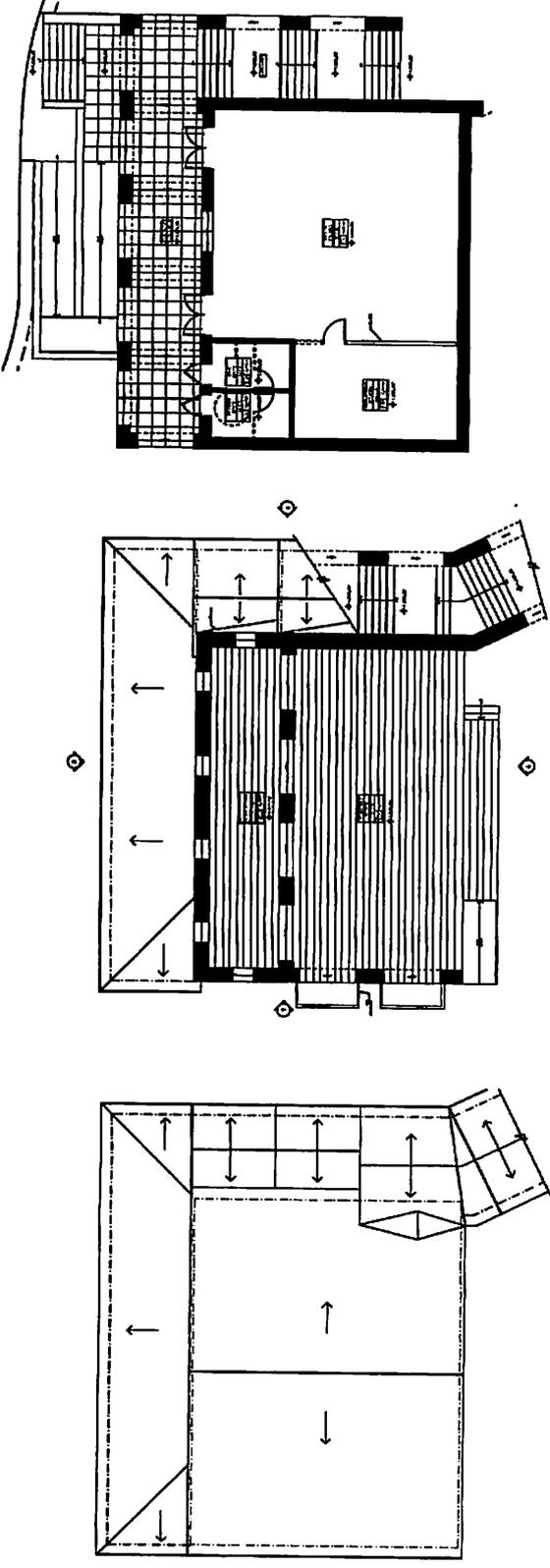
3 THEATER- NORTHWEST ELEVATION
1/8" = 1'-0"



4 THEATER- NORTHEAST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

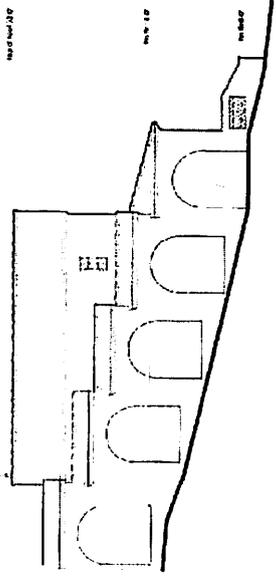
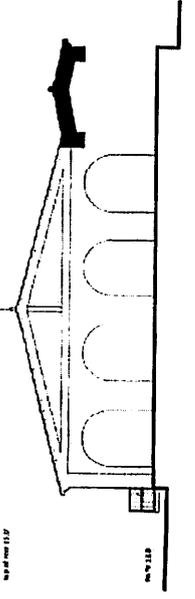
DESCRIPTION	ITEM #
EXTERIOR WALLS	1
EXTERIOR CEILING	2
ROOFING	3
EXTERIOR FLOORING	4
EXTERIOR PAINT	5
EXTERIOR LIGHT FIXTURES	6
EXTERIOR SIGNAGE	7
EXTERIOR FURNITURE	8



1 TV/STAGE- LOWER LEVEL PLAN
 1/8" = 1'-0"

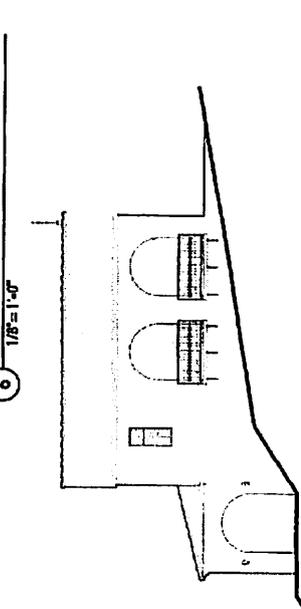
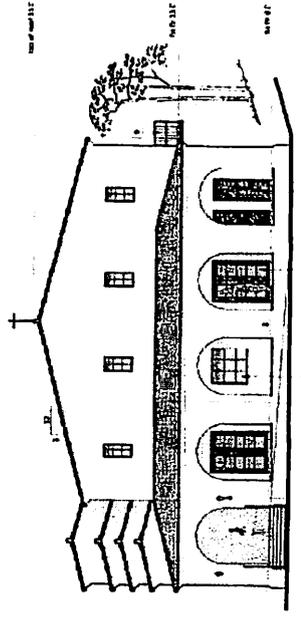
2 TV/STAGE- UPPER LEVEL PLAN
 1/8" = 1'-0"

3 TV/STAGE- ROOF PLAN
 1/8" = 1'-0"



4 TV/STAGE- SOUTH ELEVATION
 1/8" = 1'-0"

6 TV/STAGE- EAST ELEVATION
 1/8" = 1'-0"



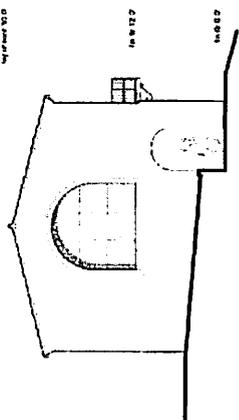
5 TV/STAGE- NORTH ELEVATION
 1/8" = 1'-0"

7 TV/STAGE- WEST ELEVATION
 1/8" = 1'-0"

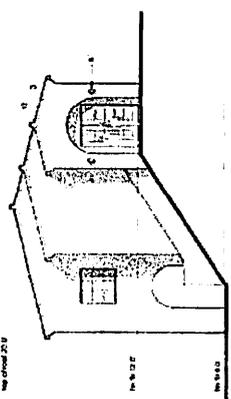
EXTERIOR MATERIALS SCHEDULE

1	EXTERIOR WALLS	CONCRETE
2	EXTERIOR ROOF	ASPH/FLT
3	EXTERIOR FLOORING	CONCRETE
4	EXTERIOR FINISHES	PLASTER
5	EXTERIOR LIGHTING	LED
6	EXTERIOR PAINTS	EXTERIOR GRAFFITI RESISTANT
7	EXTERIOR GLAZING	GLASS
8	EXTERIOR METALS	ALUMINUM
9	EXTERIOR STAIRS	CONCRETE

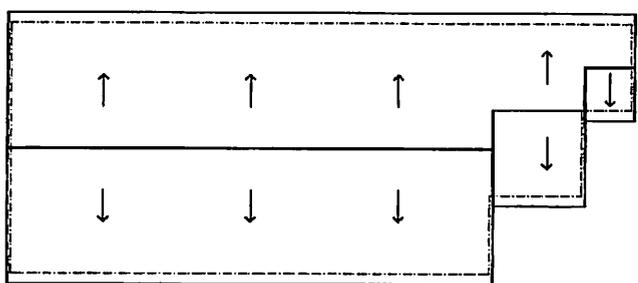
EXTERIOR MATERIALS SCHEDULE	
EXTERIOR FINISH	1. STONE
INTERIOR FINISH	2. PLASTER
CEILING FINISH	3. GYP. BOARD
FLOOR FINISH	4. POLISHED CONCRETE
WALL FINISH	5. PLASTER
ROOF FINISH	6. METAL DECKING
MECHANICAL FINISH	7. GALVANIZED STEEL
PAINT FINISH	8. ENAMEL
GLASS FINISH	9. CLEAR GLASS
WOOD FINISH	10. HARDWOOD
IRON FINISH	11. PAINTED
STEEL FINISH	12. GALVANIZED
ALUMINUM FINISH	13. ANODIZED
COPPER FINISH	14. POLISHED
LEAD FINISH	15. PAINTED
ZINC FINISH	16. PAINTED
BRASS FINISH	17. POLISHED
SILVER FINISH	18. POLISHED
CHROME FINISH	19. POLISHED
NICKEL FINISH	20. POLISHED
STAINLESS FINISH	21. POLISHED
GLASS FINISH	22. CLEAR
GLASS FINISH	23. TINTED
GLASS FINISH	24. LAMINATED
GLASS FINISH	25. WIRESHIELD
GLASS FINISH	26. LOW E
GLASS FINISH	27. HIGH E
GLASS FINISH	28. REFLECTIVE
GLASS FINISH	29. TRANSPARENT
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GLASS FINISH	96. TRANSPARENT
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GLASS FINISH	98. TRANSPARENT
GLASS FINISH	99. TRANSPARENT
GLASS FINISH	100. TRANSPARENT



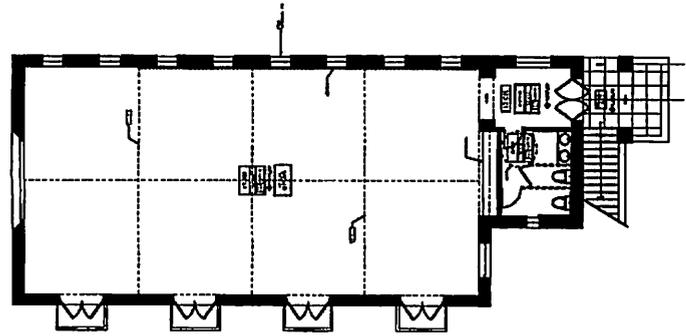
5 DANCE/CAFE- NORTH ELEVATION
1/8" = 1'-0"



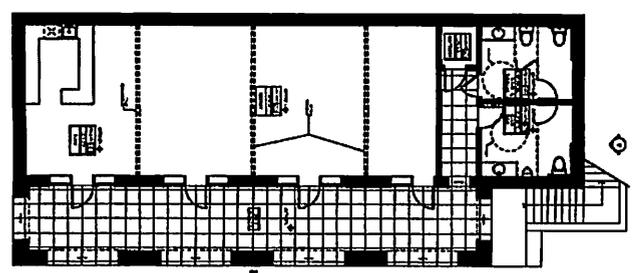
6 DANCE/CAFE- SOUTH ELEVATION
1/8" = 1'-0"



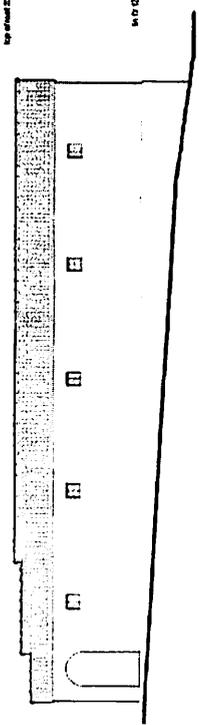
3 DANCE/CAFE- ROOF PLAN
1/8" = 1'-0"



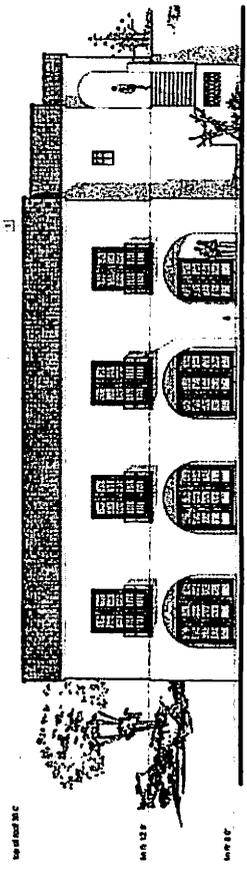
2 DANCE/CAFE- UPPER LEVEL PLAN
1/8" = 1'-0"



1 DANCE/CAFE- LOWER LEVEL PLAN
1/8" = 1'-0"



7 DANCE/CAFE- EAST ELEVATION
1/8" = 1'-0"

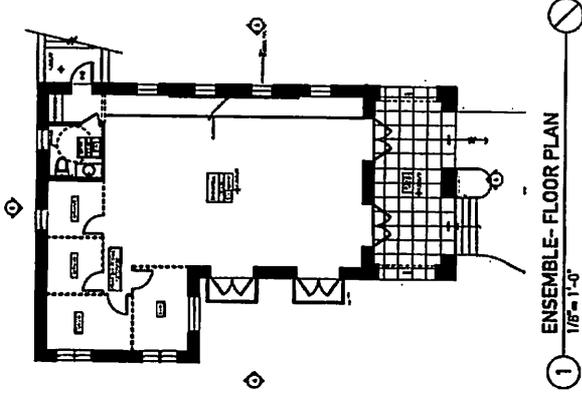


4 DANCE/CAFE- WEST ELEVATION
1/8" = 1'-0"

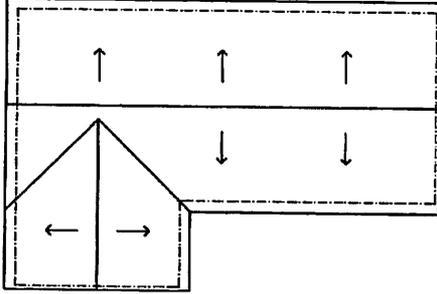


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734.763.1234



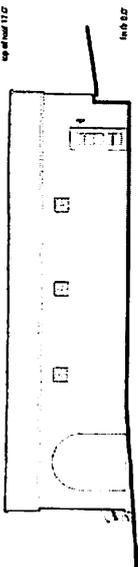
1 ENSEMBLE- FLOOR PLAN
1/8" = 1'-0"



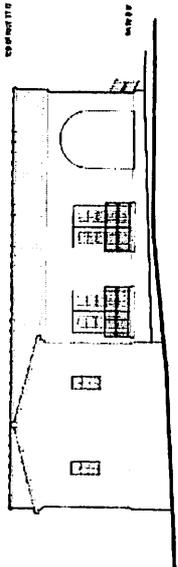
2 ENSEMBLE- ROOF PLAN
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

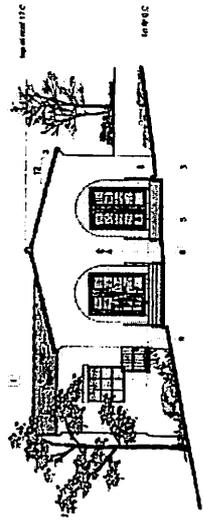
ITEM #	DESCRIPTION	QTY
1	CONCRETE	
2	WOOD	
3	ROOFING	
4	GLASS	
5	PAINTS	
6	INSULATION	
7	MECHANICAL	
8	ELECTRICAL	
9	LANDSCAPE	
10	LANDSCAPE	
11	LANDSCAPE	
12	LANDSCAPE	
13	LANDSCAPE	
14	LANDSCAPE	
15	LANDSCAPE	



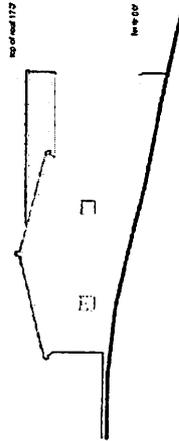
3 ENSEMBLE- SOUTHEAST ELEVATION
1/8" = 1'-0"



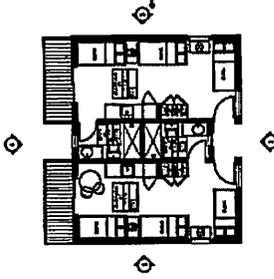
4 ENSEMBLE- NORTHWEST ELEVATION
1/8" = 1'-0"



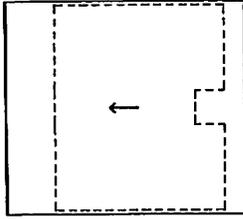
5 ENSEMBLE- SOUTHWEST ELEVATION
1/8" = 1'-0"



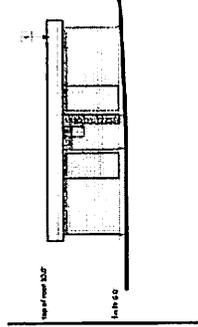
6 ENSEMBLE- NORTHEAST ELEVATION
1/8" = 1'-0"



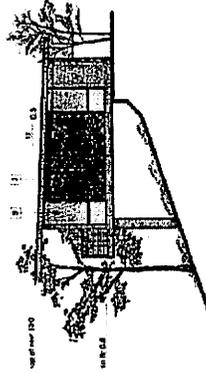
1 STAFF HOUSING- FLOOR PLAN
1/8" = 1'-0"



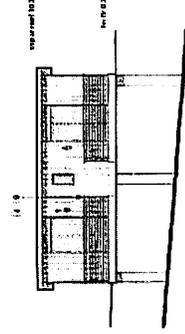
2 STAFF HOUSING- ROOF PLAN
1/8" = 1'-0"



3 STAFF HOUSING- FRONT ELEVATION
1/8" = 1'-0"

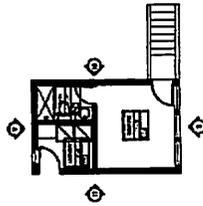


5 STAFF HOUSING- SIDE ELEVATION (TYP.)
1/8" = 1'-0"

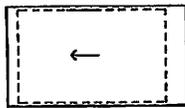


4 STAFF HOUSING- BACK ELEVATION
1/8" = 1'-0"

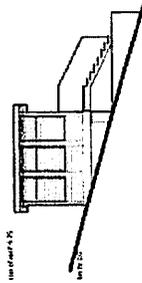
EXTERIOR MATERIALS SCHEDULE	
LETTER	DESCRIPTION
1	CONCRETE BLOCK EXTERIOR
2	SPYER LIGHTWEIGHT CONCRETE
3	PAINTED ALUMINUM
4	NATURAL STONE
5	WOOD, UNPAINTED AND STAINED
6	EXTERIOR WOOD TRIM (SHINGLES)
7	PAVING
8	WOODEN DECK BOARDING
9	WOODEN DECK RAILINGS



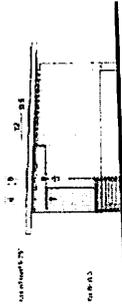
6 LAUNDRY- FLOOR PLAN
1/8" = 1'-0"



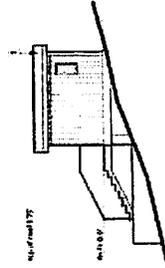
7 LAUNDRY- ROOF PLAN
1/8" = 1'-0"



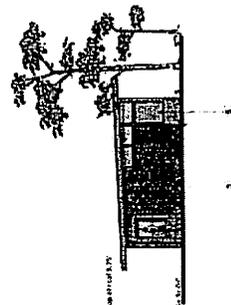
8 LAUNDRY- EAST ELEVATION
1/8" = 1'-0"



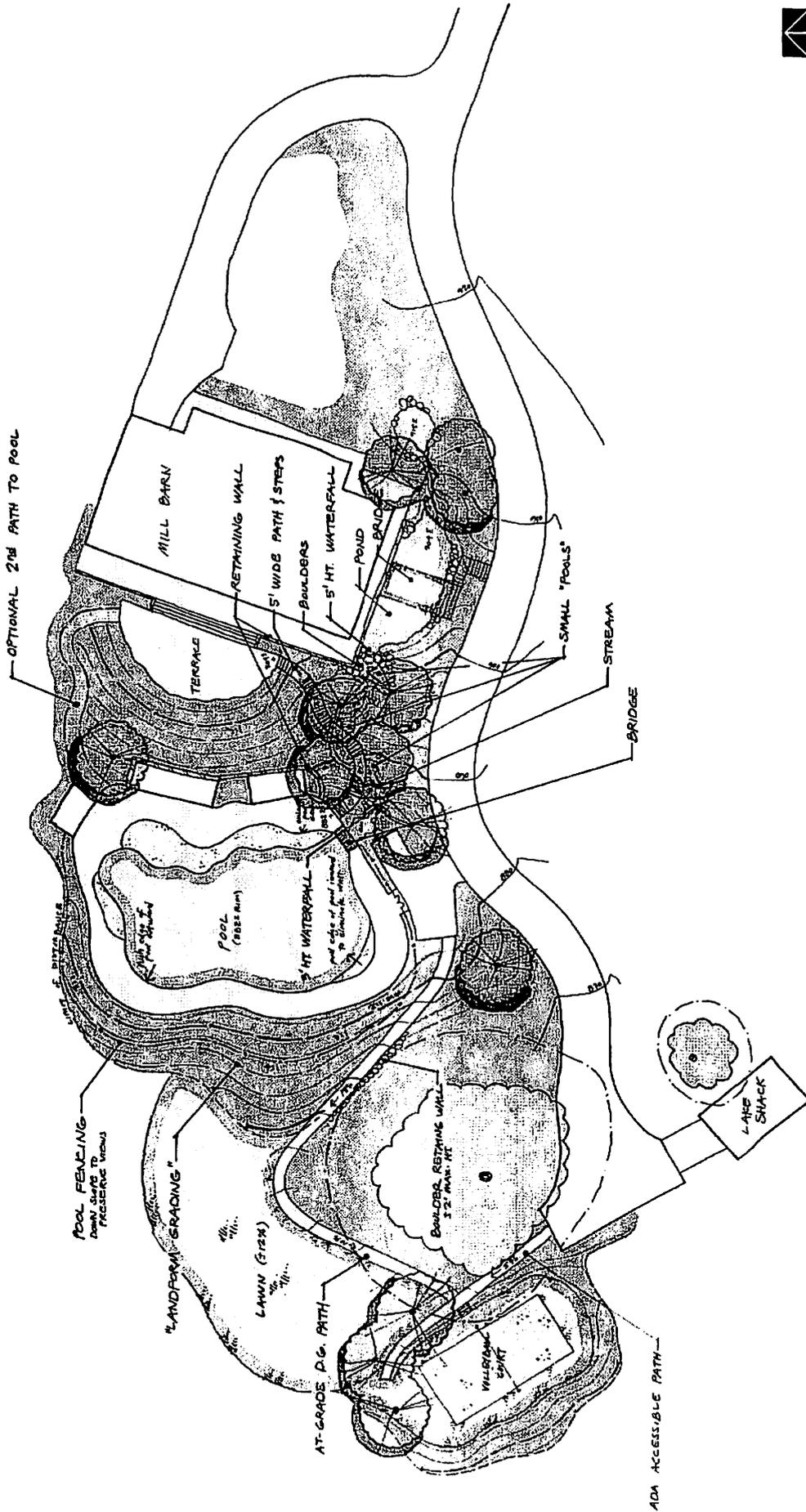
10 LAUNDRY- NORTH ELEVATION
1/8" = 1'-0"



9 LAUNDRY- WEST ELEVATION
1/8" = 1'-0"



11 LAUNDRY- SOUTH ELEVATION
1/8" = 1'-0"



NORTH
Scale: 1" = 20'-0"

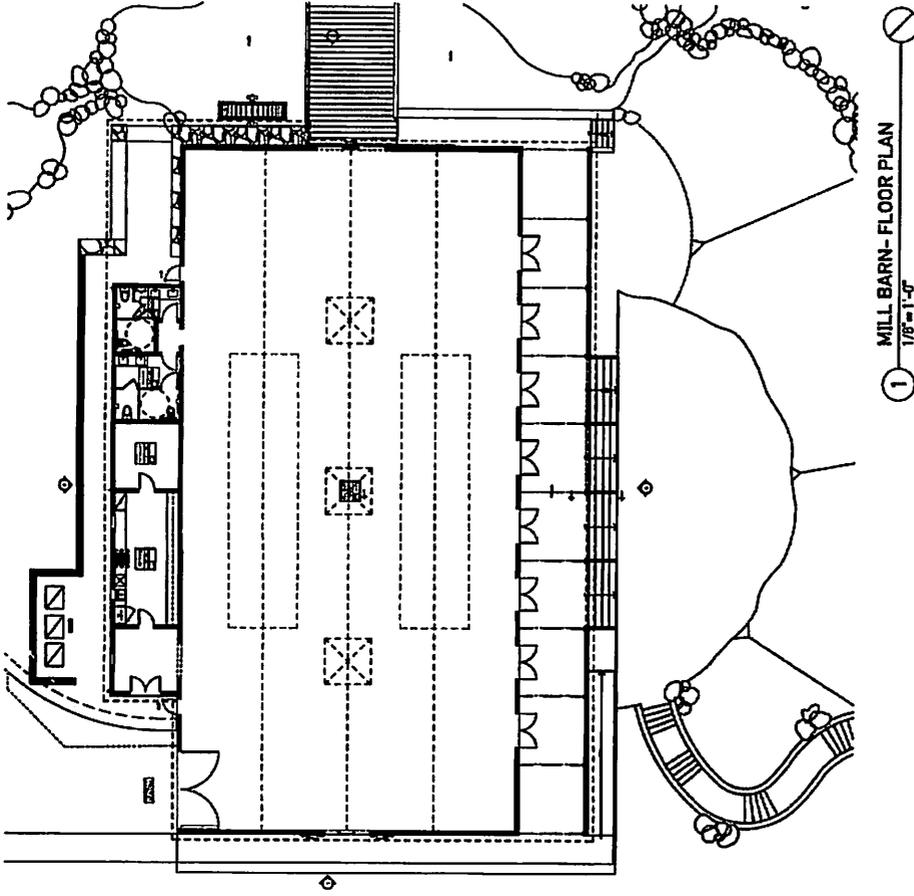


Canlinas Ranch Camp
MILL BARN & RECREATION AREA
CONCEPTUAL SITE PLAN

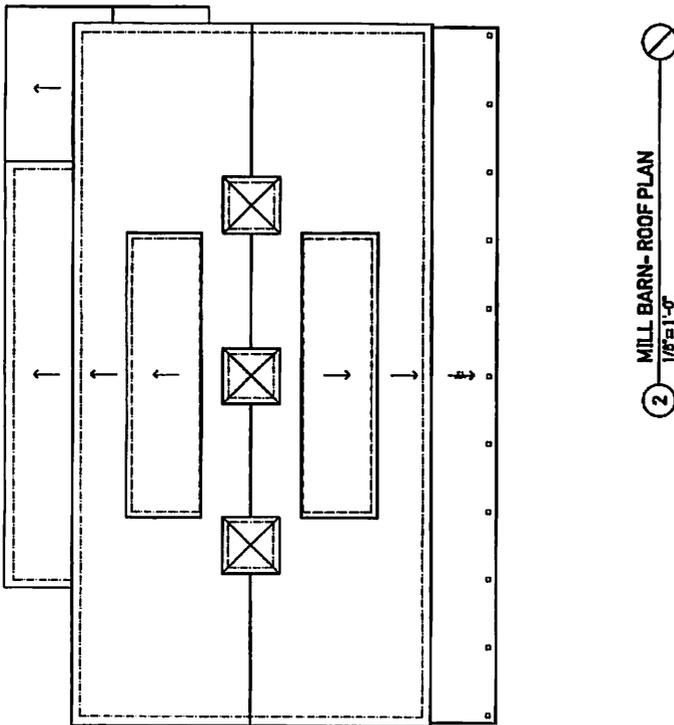


Mill Barn and Recreation Area
Conceptual Site Plan

A7.1

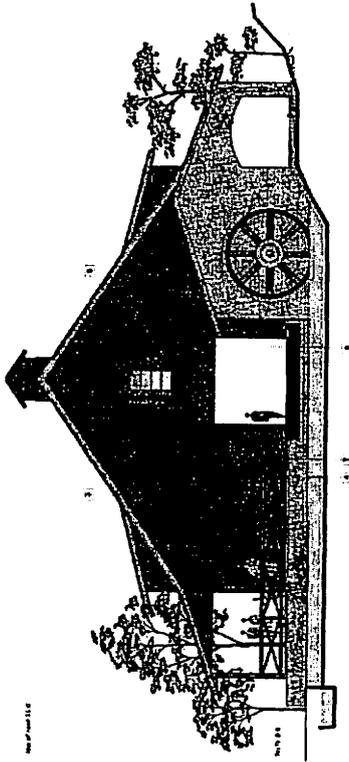


1 MILL BARN- FLOOR PLAN
1/8"=1'-0"

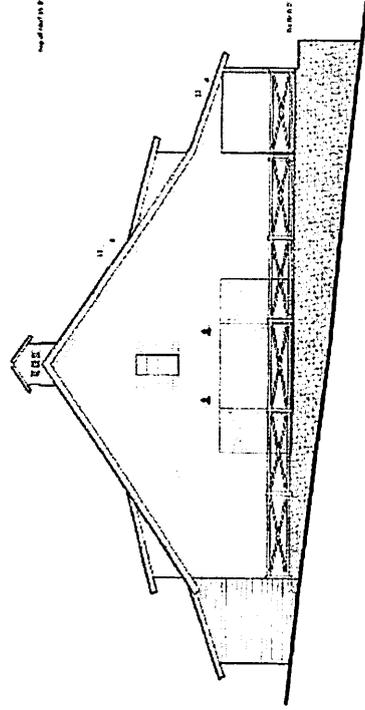


2 MILL BARN- ROOF PLAN
1/8"=1'-0"

1/8" = 1'-0"

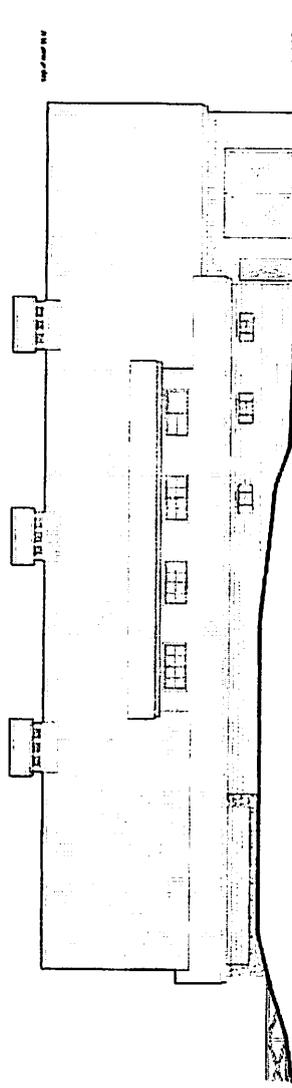


2 MILL BARN- SOUTHEAST ELEVATION
1/8" = 1'-0"

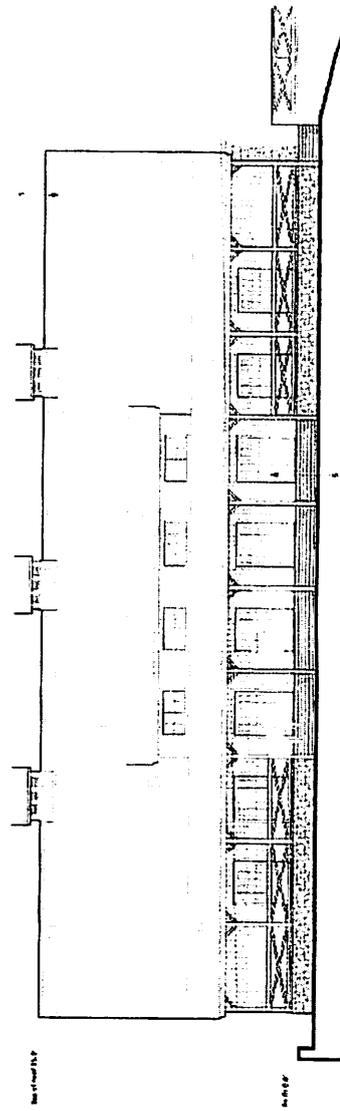


1 MILL BARN- NORTHWEST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
ITEM #	DESCRIPTION
1	METAL UNFINISHED METAL SIDING
2	CERTIFIED CORNED LIME
3	BRICKWORK LIME
4	METAL CHIMNEY
5	METAL LIGHTING AND FIXTURES
6	PAINTED METAL EXTERIOR SIDING
7	PAINT
8	WOODWORK (SEE PLAN SHEET)
9	WOODWORK (SEE PLAN SHEET)



3 MILL BARN- NORTHEAST ELEVATION
1/8" = 1'-0"



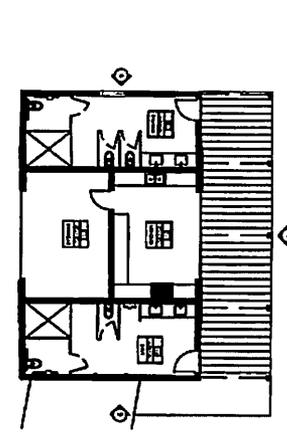
4 MILL BARN- SOUTHWEST ELEVATION
1/8" = 1'-0"

Centarus Ranch Camp
LAKE HOUSE PLANS, ROOF PLAN
AND ELEVATIONS
POOL/CAFE AND TOILETS PLANS
AND ELEVATIONS

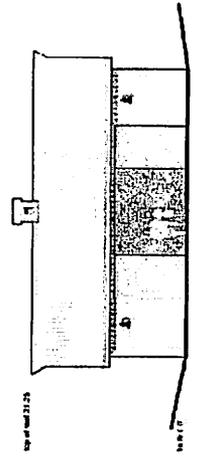


NGE
NORTHWOOD ENGINEERING, INC.
10000 13th Ave NW
Seattle, WA 98149
206.764.1100
www.nge.com

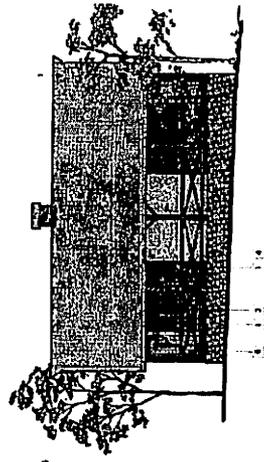
JLM QUARRY ARCHITECTURE
green by design
10000 13th Ave NW
Seattle, WA 98149
206.764.1100
www.jlmquarry.com



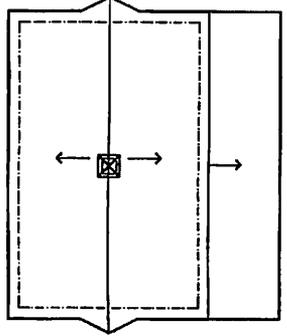
1 LAKE HOUSE- FLOOR PLAN
1/8" = 1'-0"



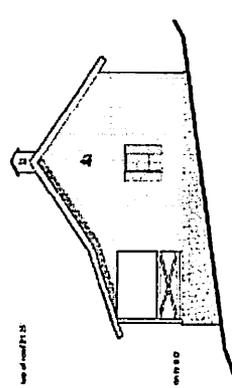
3 LAKE HOUSE- NORTH ELEVATION
1/8" = 1'-0"



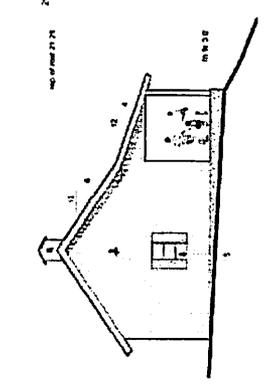
4 LAKE HOUSE- SOUTH ELEVATION
1/8" = 1'-0"



2 LAKE HOUSE- ROOF PLAN
1/8" = 1'-0"



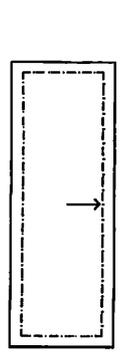
5 LAKE HOUSE EAST ELEVATION
1/8" = 1'-0"



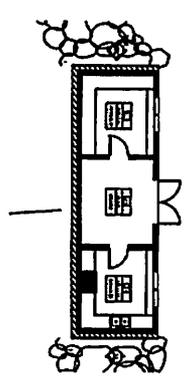
6 LAKE HOUSE WEST ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

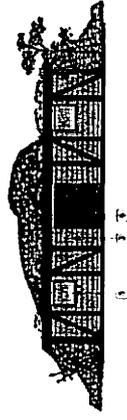
ITEM	DESCRIPTION	QTY
1	BRICK (COMMON)	1
2	CEMENT CONCRETE	2
3	WOOD SHINGLES	3
4	CEILING, STAIN	4
5	CEILING, UNPAINTED	5
6	CEILING, PAINTED	6
7	CEILING, UNPAINTED	7
8	CEILING, PAINTED	8
9	CEILING, UNPAINTED	9
10	CEILING, PAINTED	10
11	CEILING, UNPAINTED	11
12	CEILING, PAINTED	12
13	CEILING, UNPAINTED	13
14	CEILING, PAINTED	14
15	CEILING, UNPAINTED	15
16	CEILING, PAINTED	16
17	CEILING, UNPAINTED	17
18	CEILING, PAINTED	18
19	CEILING, UNPAINTED	19
20	CEILING, PAINTED	20



7 POOL/CAFE- ROOF PLAN
1/8" = 1'-0"



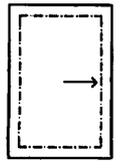
8 POOL/CAFE- FLOOR PLAN
1/8" = 1'-0"



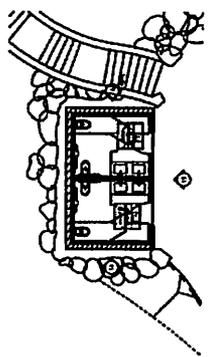
9 POOL/CAFE- SOUTH ELEVATION
1/8" = 1'-0"



10 POOL/CAFE SIDE ELEV. (TYP.)
1/8" = 1'-0"



12 TOILETS- ROOF PLAN
1/8" = 1'-0"



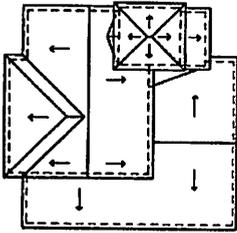
13 TOILETS- FLOOR PLAN
1/8" = 1'-0"



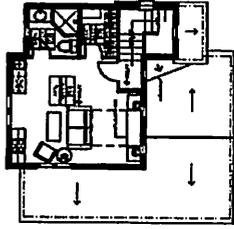
14 TOILETS- SOUTH ELEVATION
1/8" = 1'-0"



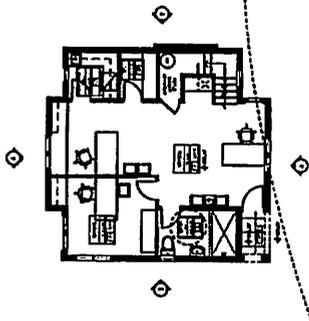
15 TOILETS SIDE ELEV. (TYP.)
1/8" = 1'-0"



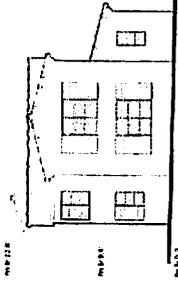
3 SECURITY- ROOF PLAN
1/8" = 1'-0"



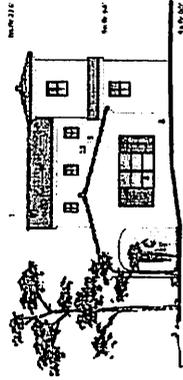
2 SECURITY- UPPER FLOOR PLAN
1/8" = 1'-0"



1 SECURITY- FLOOR PLAN
1/8" = 1'-0"

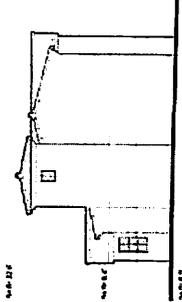


6 SECURITY- NORTH ELEVATION
1/8" = 1'-0"

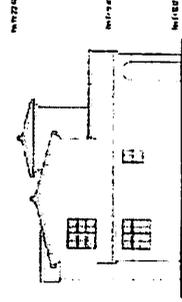


4 SECURITY- SOUTH ELEVATION
1/8" = 1'-0"

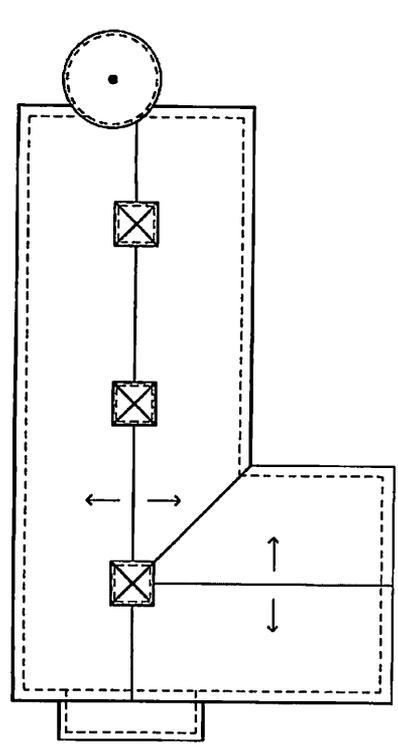
EXTERIOR MATERIALS SCHEDULE	
NO.	DESCRIPTION
1	EXTERIOR PAINT
2	ASBESTOS-RESISTANT GRAFT TILE
3	CORNER CORNER CASE
4	PLASTER
5	NATIONAL LINOLEUM
6	METAL, INFORMATION SIGNAGE
7	STANDARD WOOD TRUCK BENCH
8	CHAIRSEAT
9	WOODEN BENCH (OUTSIDE)



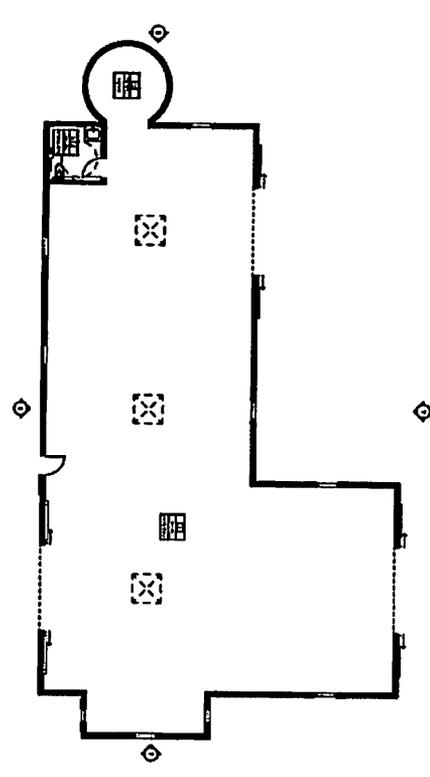
7 SECURITY- EAST ELEVATION
1/8" = 1'-0"



5 SECURITY- WEST ELEVATION
1/8" = 1'-0"



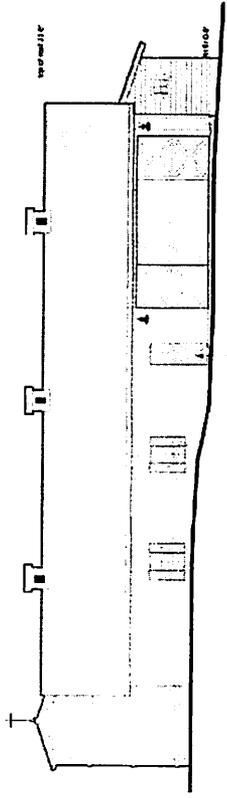
1
1/8" = 1'-0"



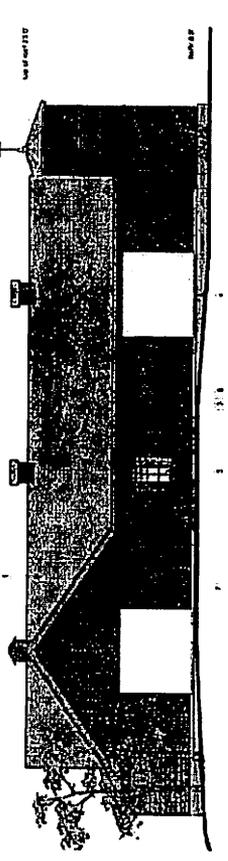
2
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE

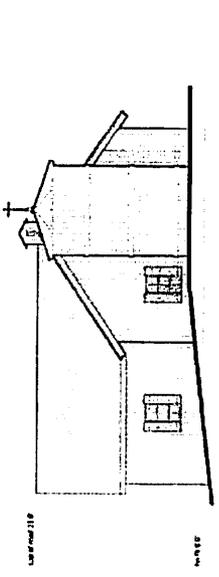
ITEM	DESCRIPTION	QTY
1	ASPH/FLT SHINGLES	1
2	WOOD SHAKES	1
3	WOOD SHAKES	1
4	WOOD SHAKES	1
5	WOOD SHAKES	1
6	WOOD SHAKES	1
7	WOOD SHAKES	1
8	WOOD SHAKES	1
9	WOOD SHAKES	1



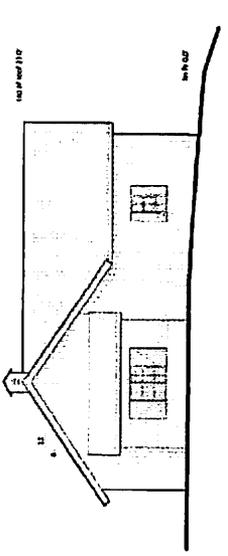
3
1/8" = 1'-0"



4
1/8" = 1'-0"



5
1/8" = 1'-0"

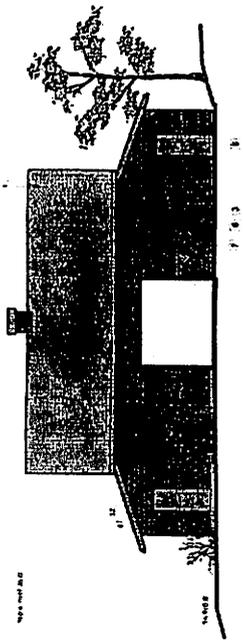


6
1/8" = 1'-0"

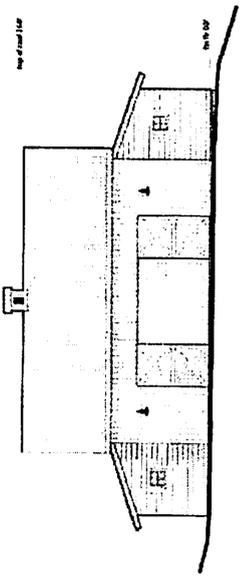


NGE NORTH EAST CONSULTANTS INC.
1000 Highway 101
St. John's, NL A1B 1X6
Tel: (709) 754-1111
Fax: (709) 754-1112

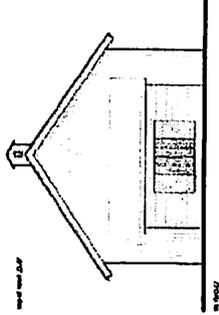
JIM DUFFY ARCHITECTURE
green by design
1000 Highway 101
St. John's, NL A1B 1X6
Tel: (709) 754-1111
Fax: (709) 754-1112



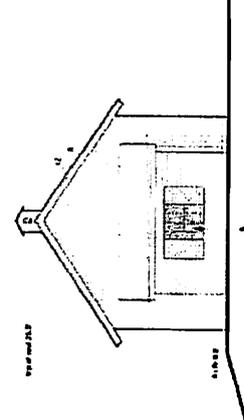
3 TRACTOR BARN- EAST ELEVATION
1/8" = 1'-0"



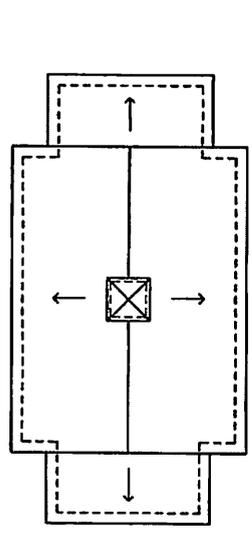
4 TRACTOR BARN- WEST ELEVATION
1/8" = 1'-0"



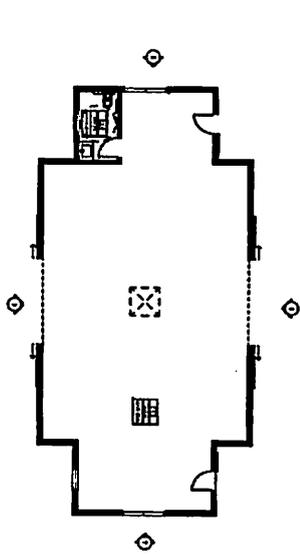
5 TRACTOR BARN- SOUTH ELEVATION
1/8" = 1'-0"



6 TRACTOR BARN- NORTH ELEVATION
1/8" = 1'-0"

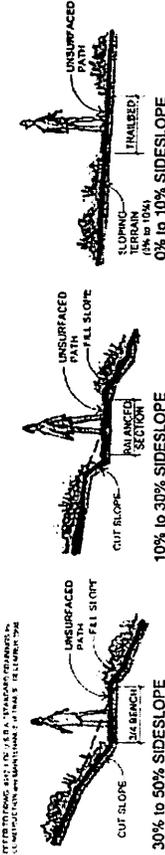
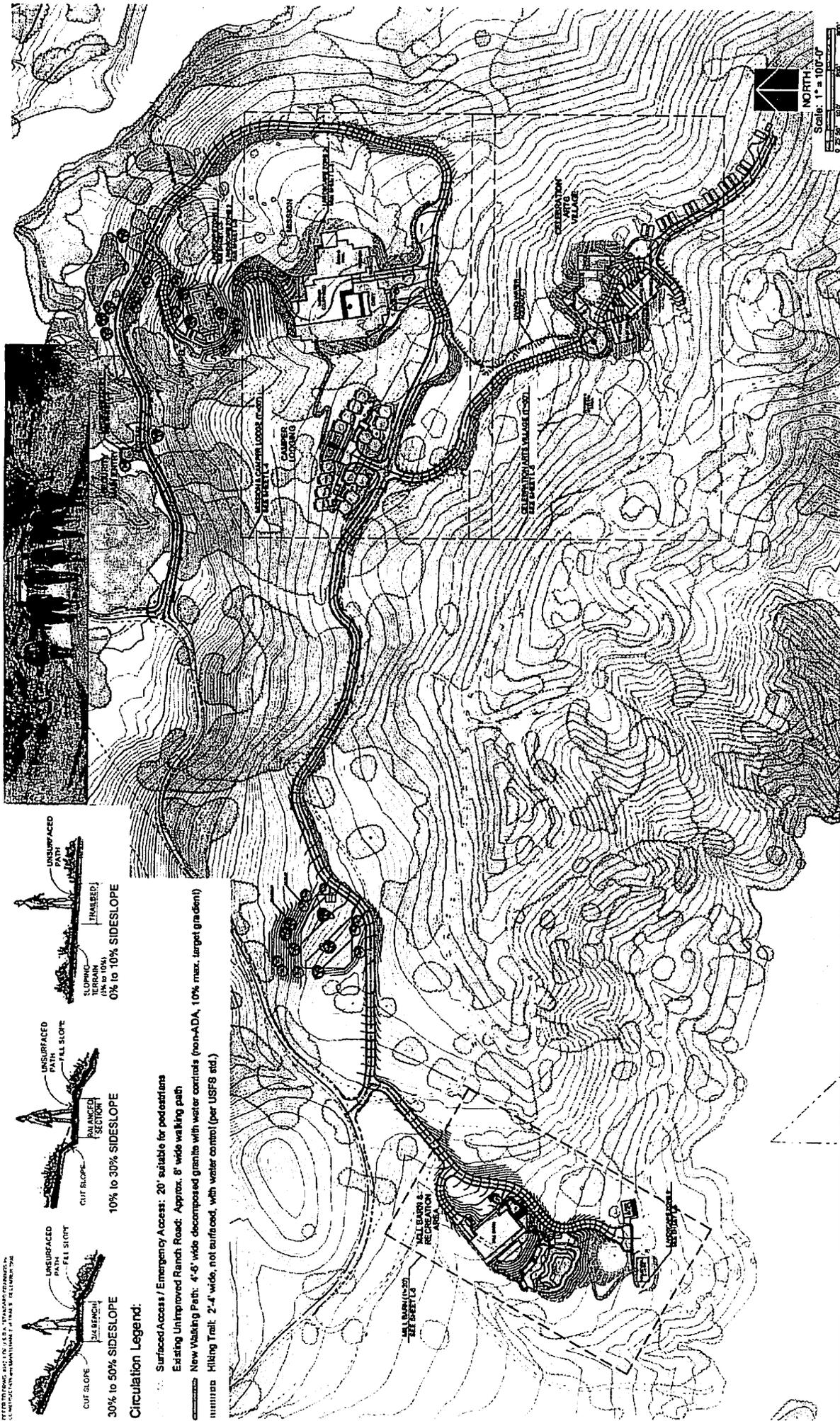


1 TRACTOR BARN- ROOF PLAN
1/8" = 1'-0"



2 TRACTOR BARN- FLOOR PLAN
1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
ITEM #	DESCRIPTION
1	EXTERIOR WALLS
2	ROOFING
3	CEILING
4	FLOORING
5	PAINTS AND FINISHES
6	GLASS
7	DOORS
8	WINDOWS
9	TRUCK DOORS
10	TRUCK DOOR TRACKS
11	TRUCK DOOR ROLLERS
12	TRUCK DOOR CLOSERS
13	TRUCK DOOR LATCHES
14	TRUCK DOOR LOCKS
15	TRUCK DOOR HINGES
16	TRUCK DOOR BOLTS
17	TRUCK DOOR NUTS
18	TRUCK DOOR WASHERS
19	TRUCK DOOR BRUSHES
20	TRUCK DOOR SCREWS
21	TRUCK DOOR PINS
22	TRUCK DOOR RIVETS
23	TRUCK DOOR WELDS
24	TRUCK DOOR CUTS
25	TRUCK DOOR REPAIRS
26	TRUCK DOOR MAINTENANCE
27	TRUCK DOOR INSULATION
28	TRUCK DOOR VENTILATION
29	TRUCK DOOR LIGHTING
30	TRUCK DOOR SECURITY
31	TRUCK DOOR ACCESSORIES
32	TRUCK DOOR PARTS
33	TRUCK DOOR SUPPLIES
34	TRUCK DOOR TOOLS
35	TRUCK DOOR EQUIPMENT
36	TRUCK DOOR MATERIALS
37	TRUCK DOOR SERVICES
38	TRUCK DOOR CONTRACTORS
39	TRUCK DOOR SUBCONTRACTORS
40	TRUCK DOOR VENDORS
41	TRUCK DOOR DISTRIBUTORS
42	TRUCK DOOR WHOLESALE
43	TRUCK DOOR RETAIL
44	TRUCK DOOR DEALERS
45	TRUCK DOOR MANAGERS
46	TRUCK DOOR SUPERVISORS
47	TRUCK DOOR ASSISTANTS
48	TRUCK DOOR TECHNICIANS
49	TRUCK DOOR ENGINEERS
50	TRUCK DOOR ARCHITECTS
51	TRUCK DOOR DESIGNERS
52	TRUCK DOOR PLANNERS
53	TRUCK DOOR CONSULTANTS
54	TRUCK DOOR ADVISORS
55	TRUCK DOOR EXPERTS
56	TRUCK DOOR SPECIALISTS
57	TRUCK DOOR PROFESSIONALS
58	TRUCK DOOR EXPERTS
59	TRUCK DOOR SPECIALISTS
60	TRUCK DOOR PROFESSIONALS



Circulation Legend:

- Surfaced/Access / Emergency Access: 20' suitable for pedestrians
- Existing Unsurfaced Ranch Road: Approx. 8' wide walking path
- New Walking Path: 4'-6" wide decomposed granite with water curbs (non-ADA, 10% max. target grade)
- Hiking Trail: 2'-4' wide, not surfaced, with water control (per USFS std.)

SITE LANDSCAPE CONCEPT & PEDESTRIAN CIRCULATION



firm
 ARCHITECTURE
 INTERIORS
 LANDSCAPE ARCHITECTURE



CANTINAS
 REALTY



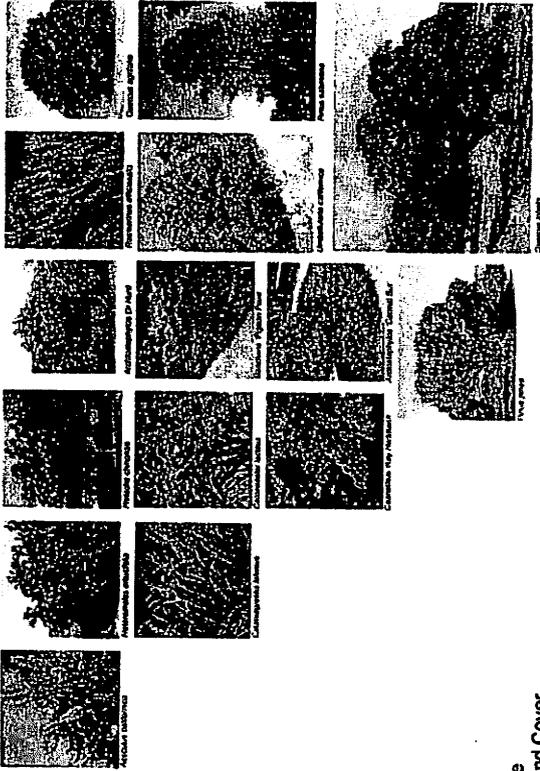
ACE
 ARCHITECTURE
 ENGINEERING
 CONSTRUCTION



MADREY ARCHITECTURE
 ARCHITECTURE
 INTERIORS
 LANDSCAPE ARCHITECTURE

Cantinas Ranch Camp
 SITE LANDSCAPE CONCEPT
 & PEDESTRIAN CIRCULATION

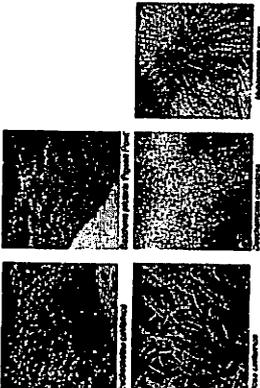
L.1



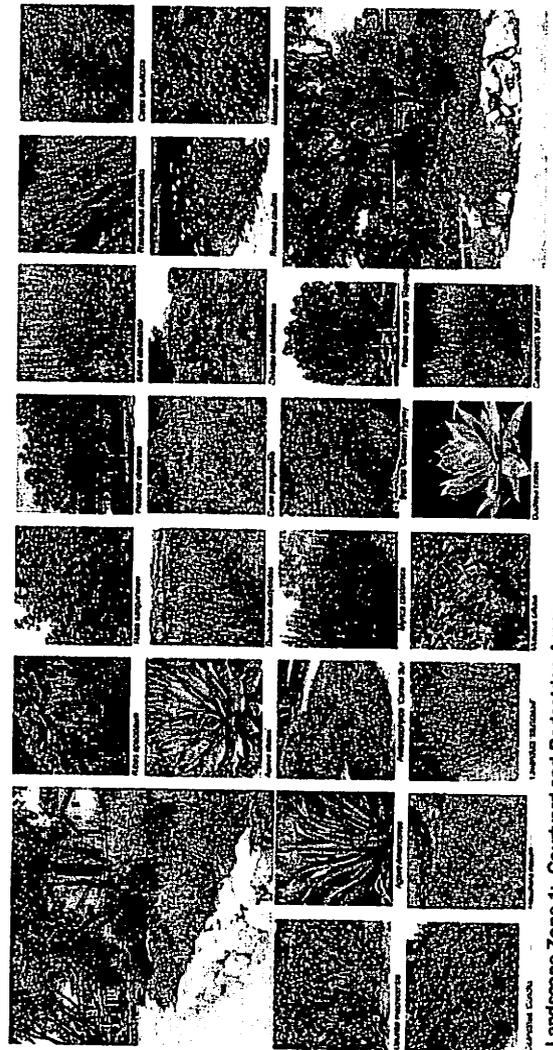
Landscape Character
 The landscape design concept for this project is rooted in two principles: a fire safe landscape and an ecologically sensitive landscape. The fire safe concept includes the creation of a defensible space zone around structures with a 30 foot minimum irrigated low fuel zone and a further 70 foot minimum fuel modification zone. Proposed trees and shrubs within this zone placed away from the structures and shrub masses, where used, are in clumps with 12 to 18 feet between them. Fuel adders have been avoided. Plant selections emphasize low fuel plants.

Ecological sensitivity includes no use of plants considered invasive, use of low water demand plants and the predominant use of native plants. The intended landscape character is to appear very naturalistic and blend in with the surrounding grassland and oak woodland areas. Many areas proposed to be planted with native grassland transitional landscape could include replant content of sensitive native plants displaced by the project.

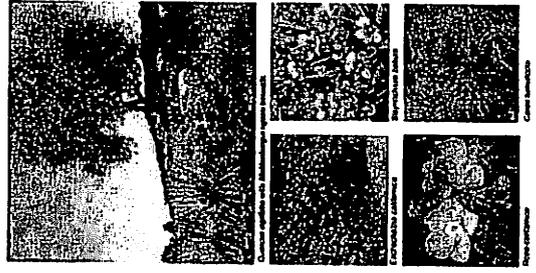
**Landscape Zone 2:
 30 foot Wide Low Fuel Zone:
 Irrigated Ground Cover, Shrubs & Trees**



**Landscape Zone 2a:
 30 foot Wide Low Fuel Zone: Non-Irrigated Slope
 Revegetation & Irrigated Native Grasses & Ground Cover**



Landscape Zone 1: Courtyard and Pedestrian Areas



Landscape Zone 1a: Pond Rim and Waterfalls

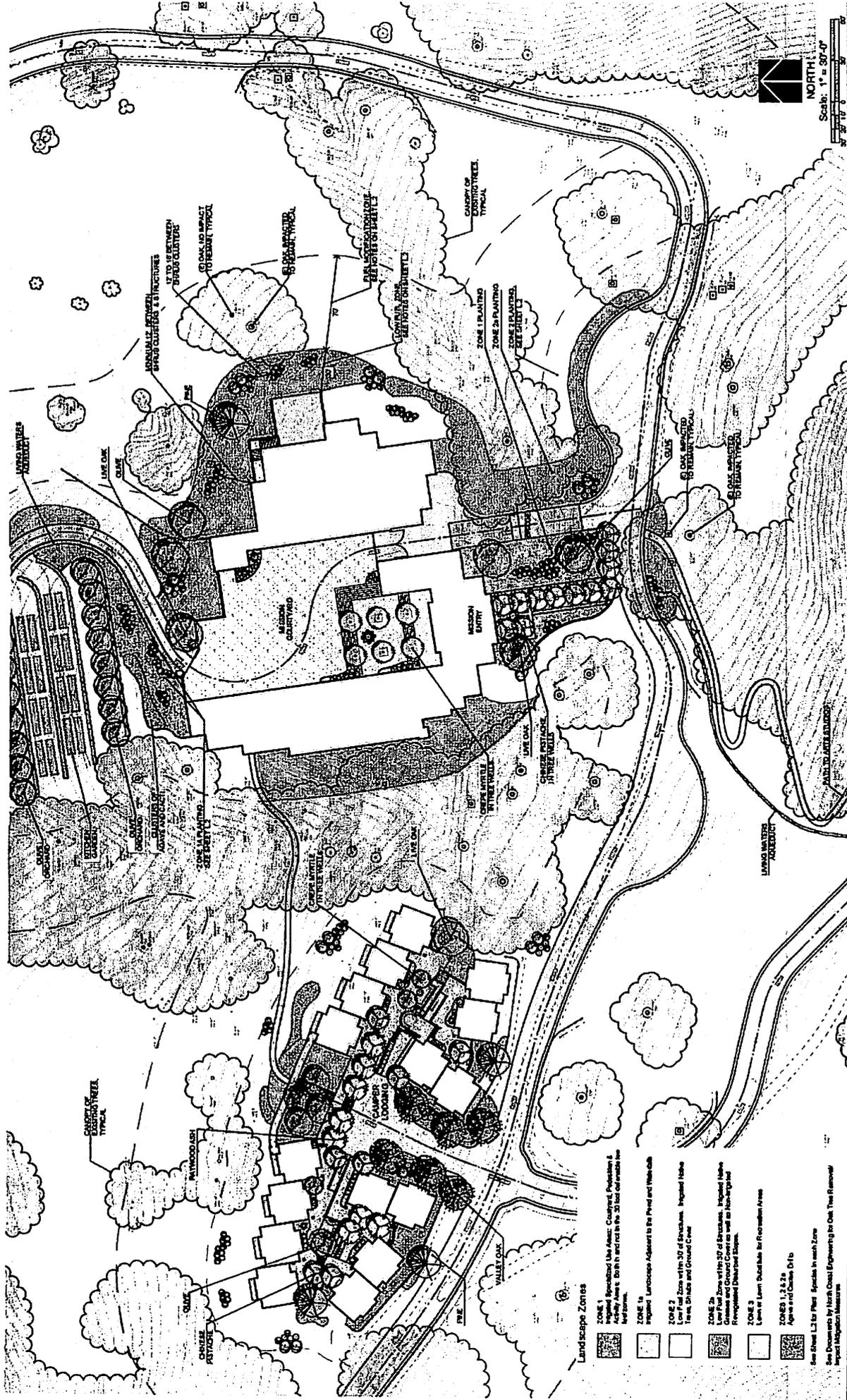
Landscape Character: Plants

FIELD REVEGETATION
 green by design
 LANDSCAPE ARCHITECTURE
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92810
 (714) 933-8888

ACE
 ARCHITECTURAL CONSULTANTS
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92810
 (714) 933-8888



Centinas Ranch Camp
 LANDSCAPE CHARACTER: PLANTS



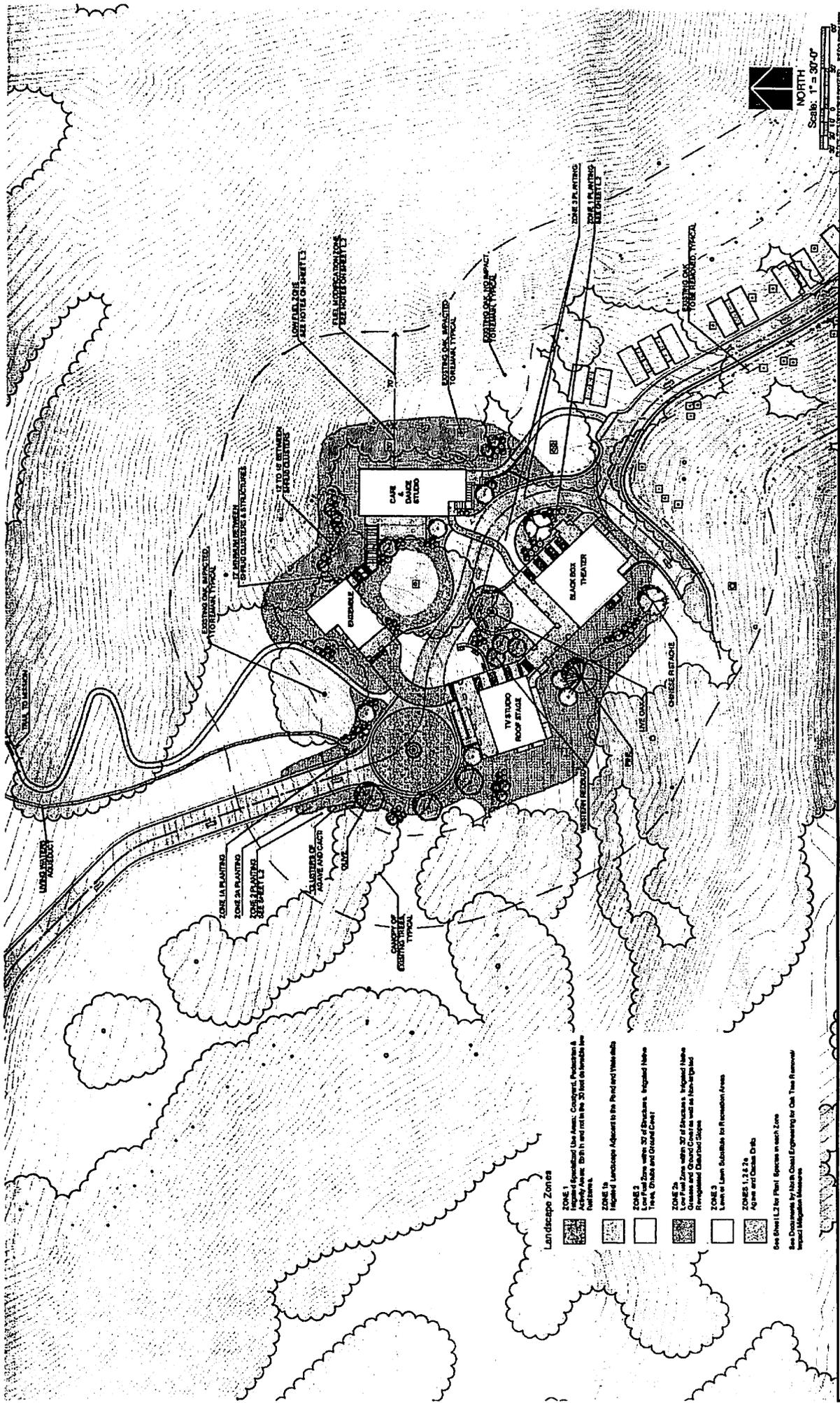
L:4

Cantlinas Ranch Camp
MISSION & CAMPER LODGING
CONCEPTUAL LANDSCAPE PLAN



Mission & Camper Lodging
Conceptual Landscape Plan

- Landscaping Zones**
- ZONE 1**
Impinged, Broadleaved Live Acanth, Ceanothus, Podocarpus & Activity Area 6. Do 10 ft and red in the 30 foot out reaches be laid down.
 - ZONE 2**
Impinged Landscape Adjacent to the Paved and Walkways
 - ZONE 3**
Low Foot Zone within 50' of Structures. Impinged Native Area, Grass and Ground Cover
 - ZONE 4**
Low Foot Zone within 50' of Structures. Impinged Native Grasses and Ground Cover as well as Non-irrigated Reestablished Disturbed Soils.
 - ZONE 5**
Low or Lower Deciduous for Recreation Areas
 - ZONES 1, 2 & 3**
Agave and Cactuses (D16)
- See sheet L:3 for Plant Species in each Zone
See Document by North Coast Engineering for Oak Tree Removal Impact Mitigation Measures



- Landscape Zones**
- ZONE 1**
Assigned Openland Use Areas, Contingent, Reservoirs & Agricultural Use Areas, 20' to 100' wide, 20' to 100' high, 20' to 100' wide, 20' to 100' high
 - ZONE 2**
Impervious Landscape Adjacent to the Pond and Wetlands
 - ZONE 3**
Low Fuel Zone with 30' of Structures, Impervious Pavement, Trees, Shrubs and Ground Cover
 - ZONE 4**
Zone with 30' of Structures, Impervious Pavement, Grasses and Ground Cover as well as Non-irrigated Revegetated Disturbed Slopes
 - ZONE 5**
Low or Lawn Substitute for Recreation Areas
 - ZONES 1, 2 & 3**
Agave and Deciduous Oaks
- See Sheet L.2 for Plant Species in each Zone
See Documents by North Coast Engineering for Oak Tree Removal Impact Mitigation Measures

celebration of the arts
CONCEPTUAL LANDSCAPE PLAN

firma
ARCHITECTURE

ACE
ARCHITECTURE

MAJESTIC ARCHITECTURE
DESIGN BY DESIGN

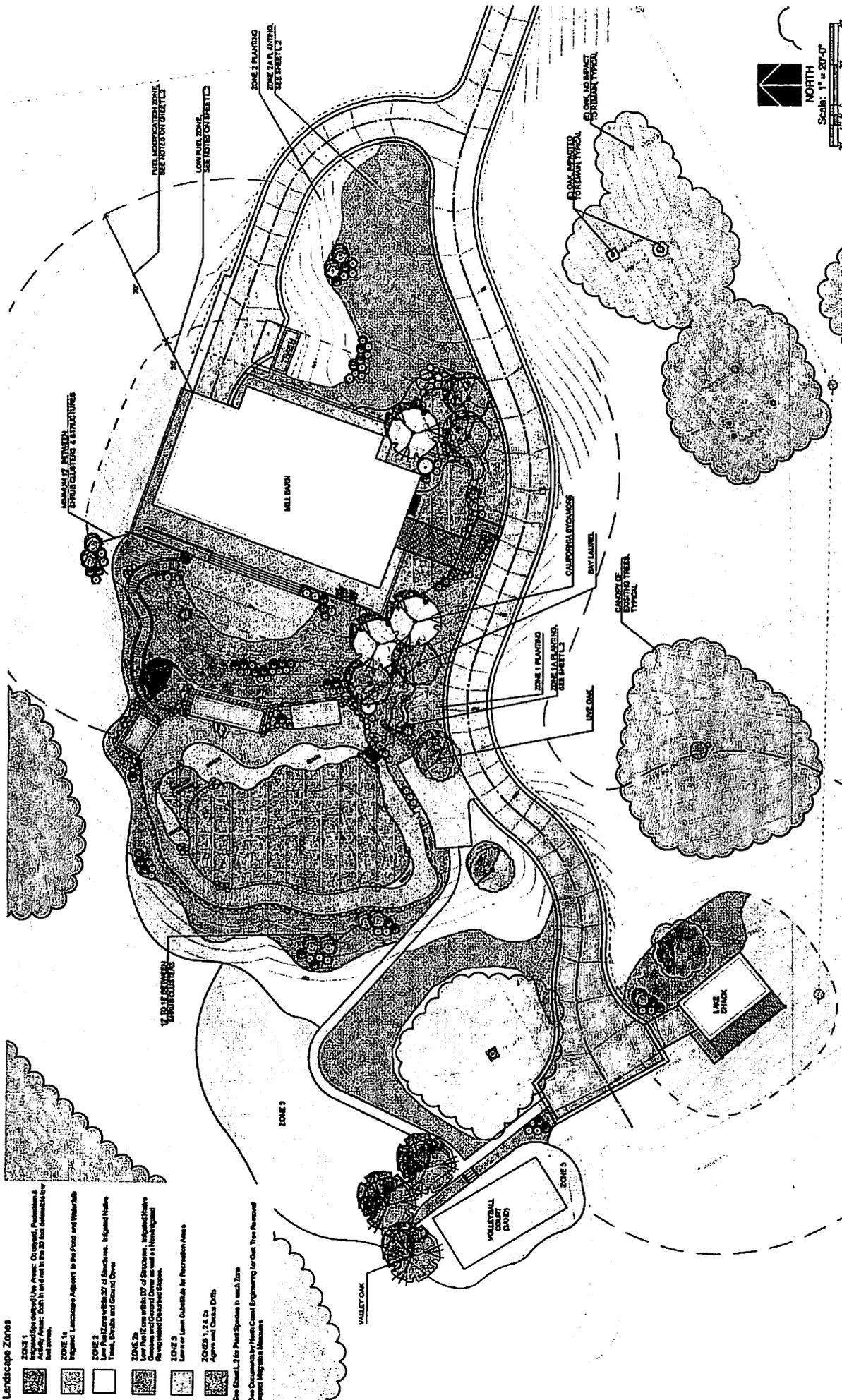
Scale: 1" = 30'-0"

L.5

Landscape Zones

-  **ZONE 1**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 2**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 3**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 4**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 5**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 6**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)
-  **ZONE 7**
Impervious Surface (e.g., Pavement, Concrete, Asphalt, etc.)

See Sheet L-2 for Plant Species in each Zone
See Sheet L-3 for Plant Species in each Zone
See Sheet L-4 for Plant Species in each Zone



Mill Barn & Recreation Area
Conceptual Landscape Plan

firma
ARCHITECTS

ACE
ARCHITECTS

GREEN BY DESIGN
LANDSCAPE ARCHITECTS

Canthas Ranch Camp
MILLBARN
CONCEPTUAL LANDSCAPE PLAN

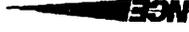
L-6

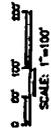
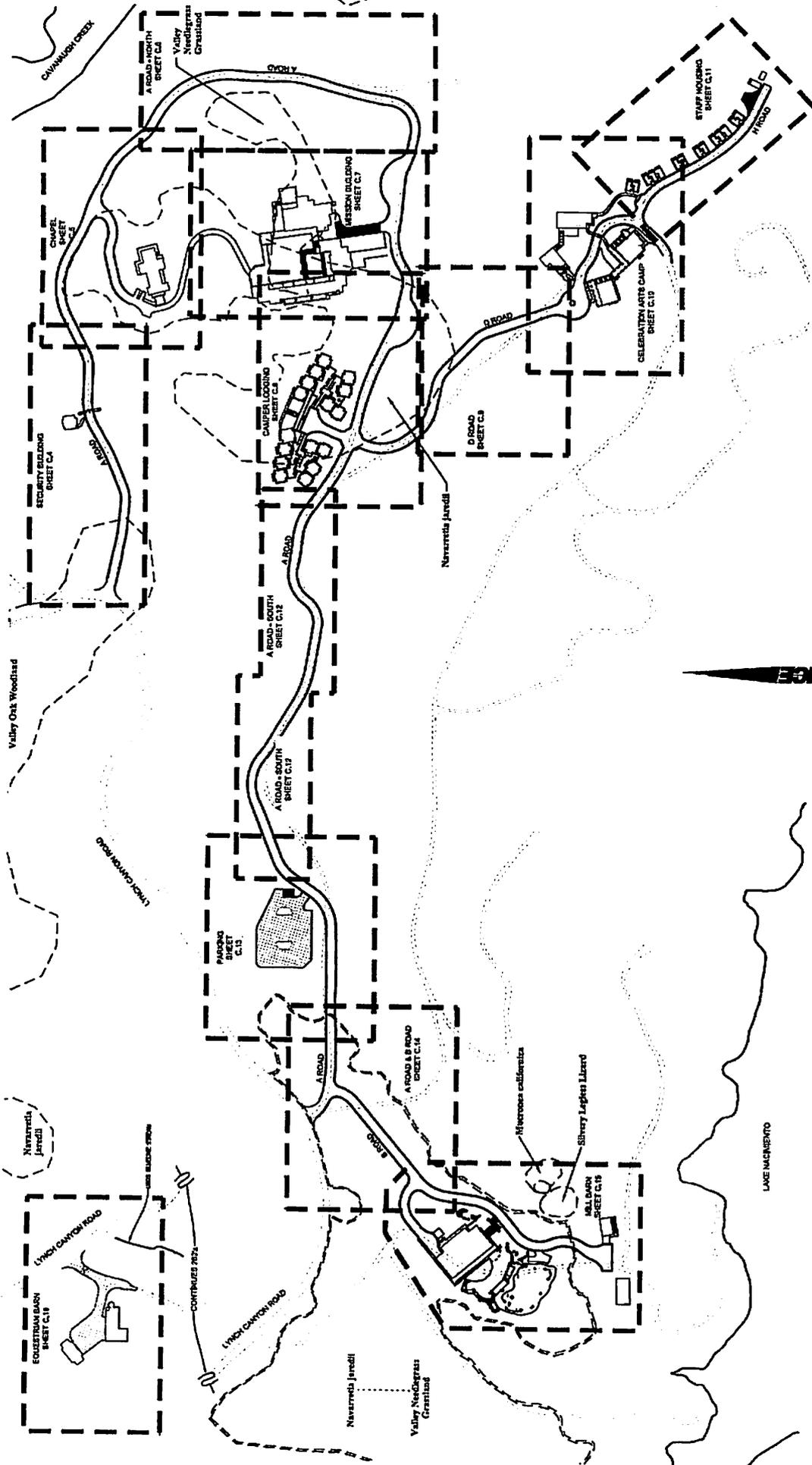


NCE NORTH COAST ENVIRONMENTAL
773 Ocean Blvd., Suite B
P.O. Box 1177
Petaluma, CA 94954
(707) 771-1177

THE DUNN-YARROW HILLS GROUP
Green by design
10000 Greenway Blvd., Suite 100
San Diego, CA 92121
(619) 591-1111

SCALE: 1"=400'
0 100 200 300 400
feet





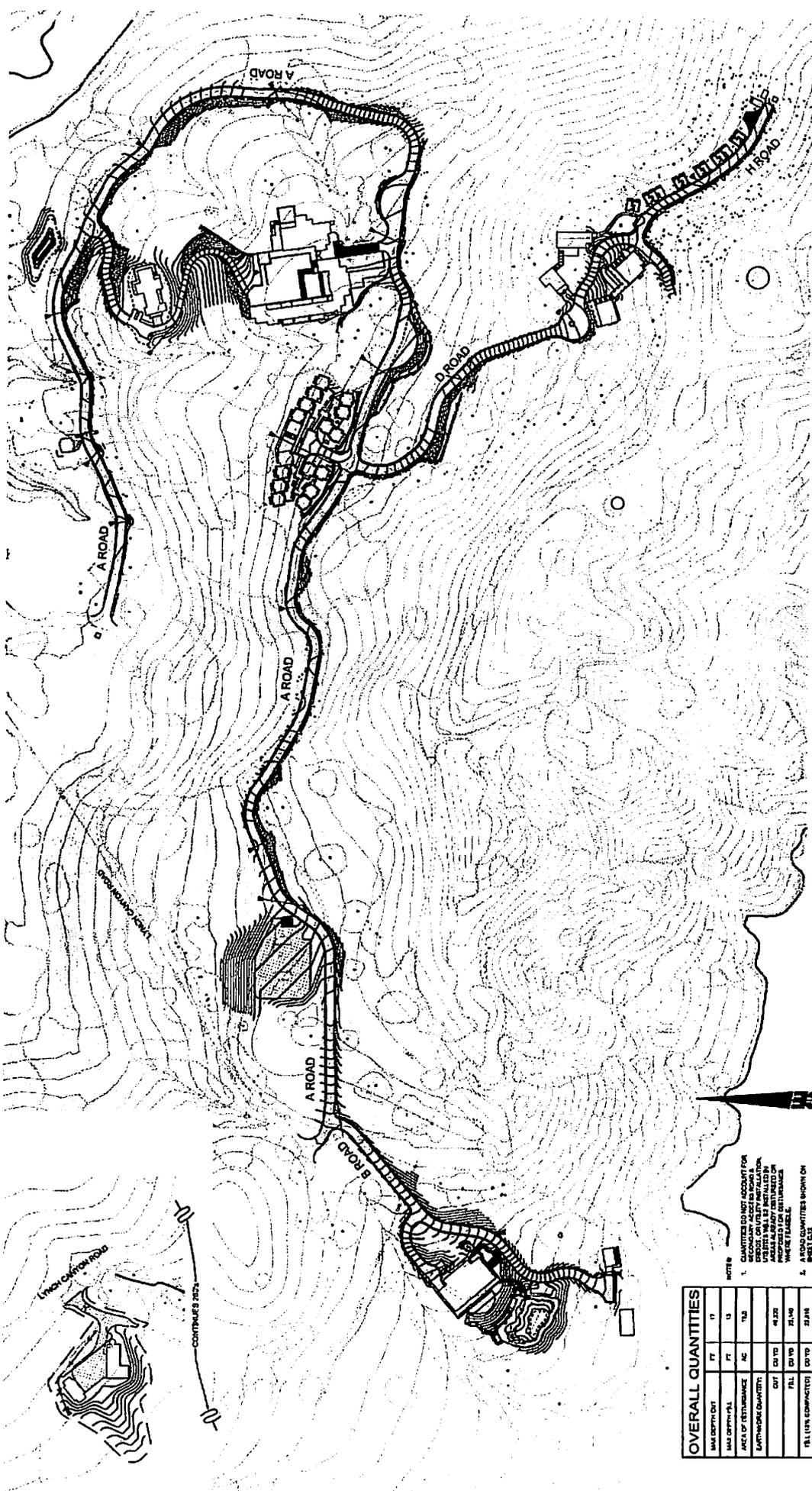
JIM DINEY ARCHITECTURE
 5125 W. 10th Street
 Los Angeles, CA 90024
 (818) 441-1111

AGE ARCHITECTURAL ENGINEERING INC.
 775 Camino Real, Suite 8
 Palo Alto, CA 94304
 (650) 233-3177
 (650) 827-6631



Cantinas Ranch Camp
 INDEX SHEET

C.2



OVERALL QUANTITIES

ITEM	QTY	UNIT
ROADWAY DIRT	17	LS
ROADWAY PAV.	13	LS
AREA OF RETAINMENT	42	SQ. FT.
EXPOSED QUANTITIES	49,232	CY TO
DIRT	13	LS
PAV.	25,448	SQ. FT.
RET. (CON. EXPOSED)	22,316	SQ. FT.
TREE IMPACT*	63	LS
EXPOSED QUANTITIES	63	LS
DIRT	13	LS
PAV.	25,448	SQ. FT.
RET. (CON. EXPOSED)	22,316	SQ. FT.
TOTAL QUANTITIES	63	LS

CONTINUED PREVIOUS - 2*

C.3

Canlinas Ranch Camp
PRELIMINARY GRADING & DRAINAGE
OVERALL

firma
A FIRM OF ARCHITECTS AND INTERIOR DESIGNERS

NCE ARCHITECTURE ENGINEERING INC.
775 Chestnut Road, Suite B
Palo Alto, CA 94340
(650) 259-3127
(650) 927-6571

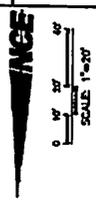
NCE ARCHITECTURE ENGINEERING INC.
775 Chestnut Road, Suite B
Palo Alto, CA 94340
(650) 259-3127
(650) 927-6571

JIM DUFFY ARCHITECTURE
DESIGNED BY JIM DUFFY ARCHITECTURE



NCE NORTH COAST ENGINEERING AND CONSULTANTS
722 Ocean View Blvd
Palo Alto, CA 94301
(650) 239-9177
(650) 827-0651

LANDSCAPE ARCHITECTURE
green by design
10000 E. Bay Area Blvd, Suite 100
San Diego, CA 92126
(619) 451-1111



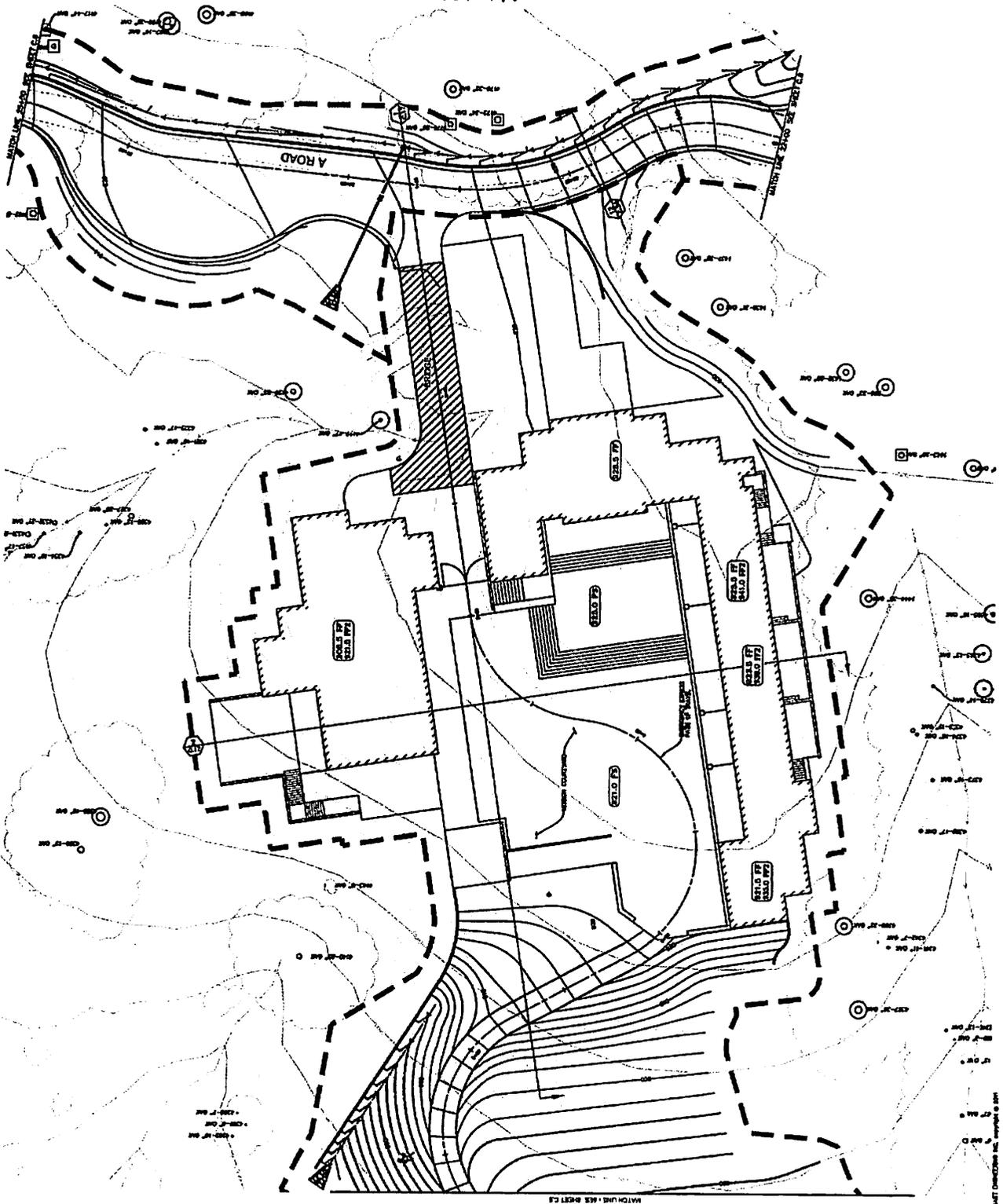
MISSION BUILDING QUANTITIES

ITEM	UNIT	QUANTITY
MAX DEPTH CUT	FT	14
MAX DEPTH FILL	FT	16
AREA OF DISTURBANCE	AC	5.4
BATHHOUSE QUANTITIES		
CUT	CU YD	7.08
FILL	CU YD	6.479
FILL (FINE COMPACTED)	CU YD	6.276
TRUCK TRAILS QUANTITIES		
CUT (FINE COMPACTED)	CU YD	18
FILL (FINE COMPACTED)	CU YD	6
CUT (FINE COMPACTED)	CU YD	1
FILL (FINE COMPACTED)	CU YD	1

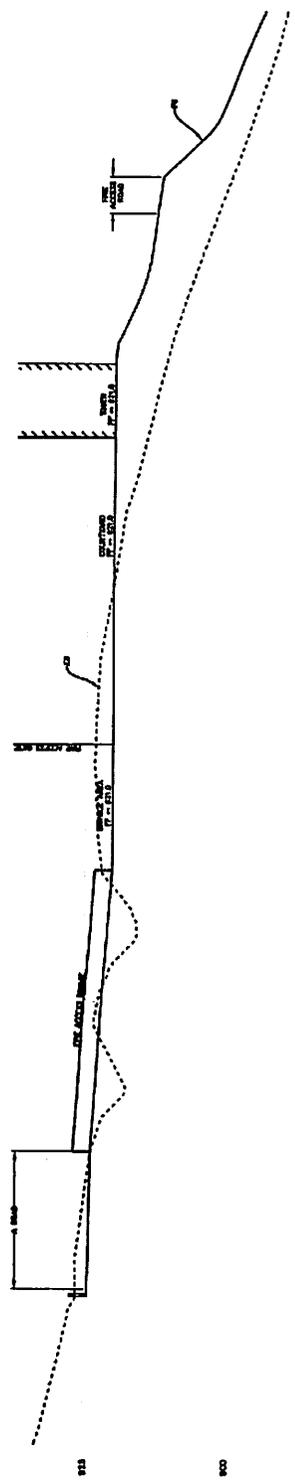
- NOTES**
- QUANTITIES DO NOT ACCOUNT FOR:
1. EXISTING UTILITIES OR
2. EXISTING FOUNDATIONS OR
3. EXISTING STRUCTURES OR
4. EXISTING DRIVEWAYS OR
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- 995% SLOPE
- 1000% SLOPE

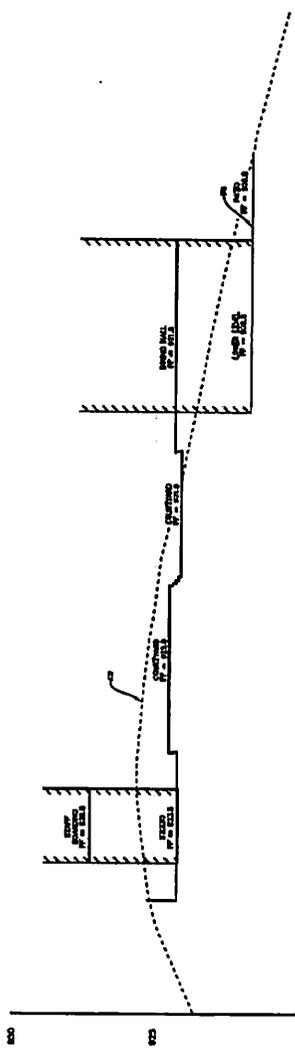


020



MISSION
SITE CROSS SECTION
VERTICAL 1" = 4'
HORIZONTAL 1" = 40'

020



MISSION
SITE CROSS SECTION
VERTICAL 1" = 4'
HORIZONTAL 1" = 40'

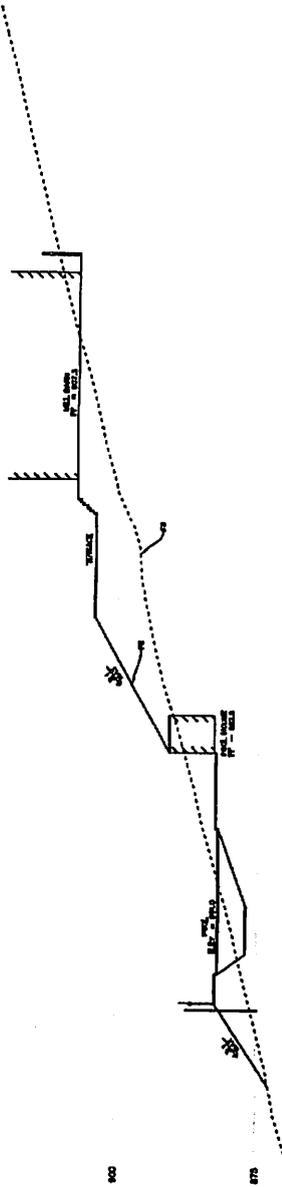
JIM DUFFY ARCHITECTURE
DESIGNED BY JIM DUFFY
11111 11111 11111 11111 11111

ACE ARCHITECTURAL ENGINEERING INC.
725 Camino Road, Suite B
Palo Alto, CA 94304
(650) 235-3127
(650) 627-6811



Canlinas Ranch Camp
SITE CROSS SECTIONS

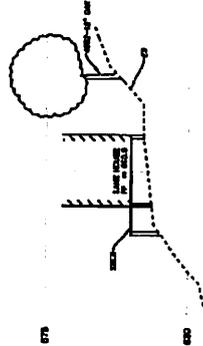
1000



CELEBRATION ARTS CAMP
SITE CROSS SECTION
VERTICAL 1"=4'
HORIZONTAL 1"=40'

7

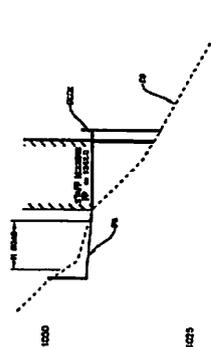
1075



MILL BARN (LAKE HOUSE)
SITE CROSS SECTION
VERTICAL 1"=4'
HORIZONTAL 1"=40'

10

1000



STAFF HOUSING
SITE CROSS SECTION
VERTICAL 1"=4'
HORIZONTAL 1"=40'

8

875

MILL BARN
SITE CROSS SECTION
VERTICAL 1"=4'
HORIZONTAL 1"=40'

9



EQUESTRIAN BARN
SITE CROSS SECTION
VERTICAL 1"=4'
HORIZONTAL 1"=40'

11

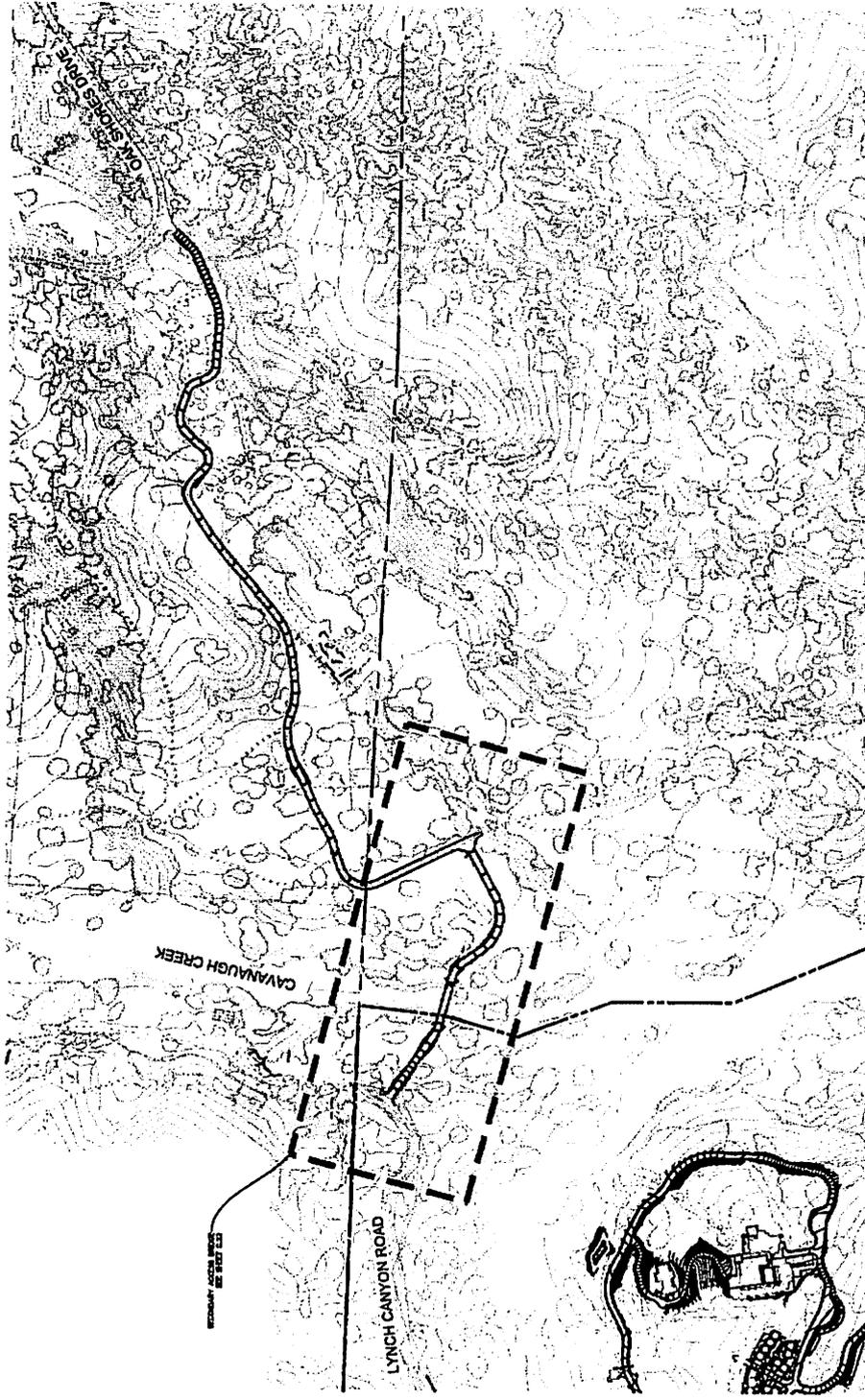
NCE NORTH COAST ENGINEERING, INC.
1441 Highway 101, Suite 100, Eureka, CA 95501
725 Creation Road, Suite B
Paso Robles, CA 93446
(805) 239-4127
(805) 927-0851

JIM DUFFY ARCHITECTURE
green by design
1000 S. Highway 101, Suite 100, Eureka, CA 95501
(805) 239-4127



Cantinas Ranch Camp
SITE CROSS SECTIONS

C.19



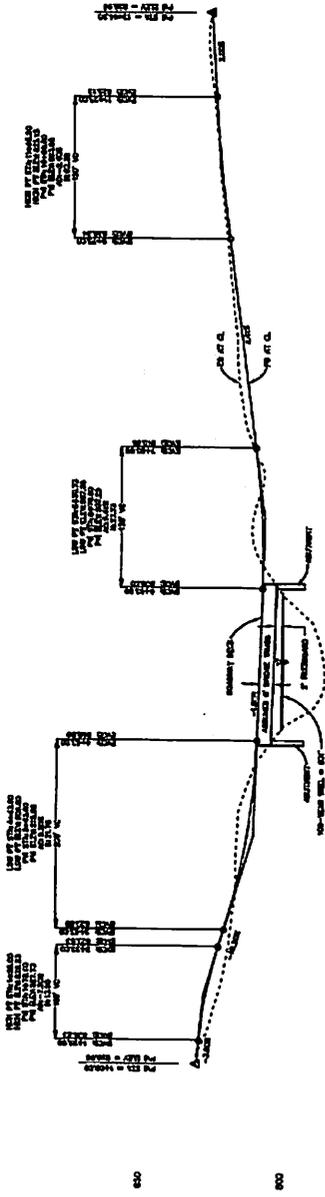
NGE NORTH COAST ENGINEERING INC.
AN AFFILIATE OF THE NG GROUP
725 Cowan Road, Suite D
Palo Alto, CA 94304
(650) 255-3127
(650) 827-8651

JUAN DUFEY ARCHITECTURE
DESIGN BY DESIGN



Cantinas Ranch Camp
SECONDARY ACCESS ROAD

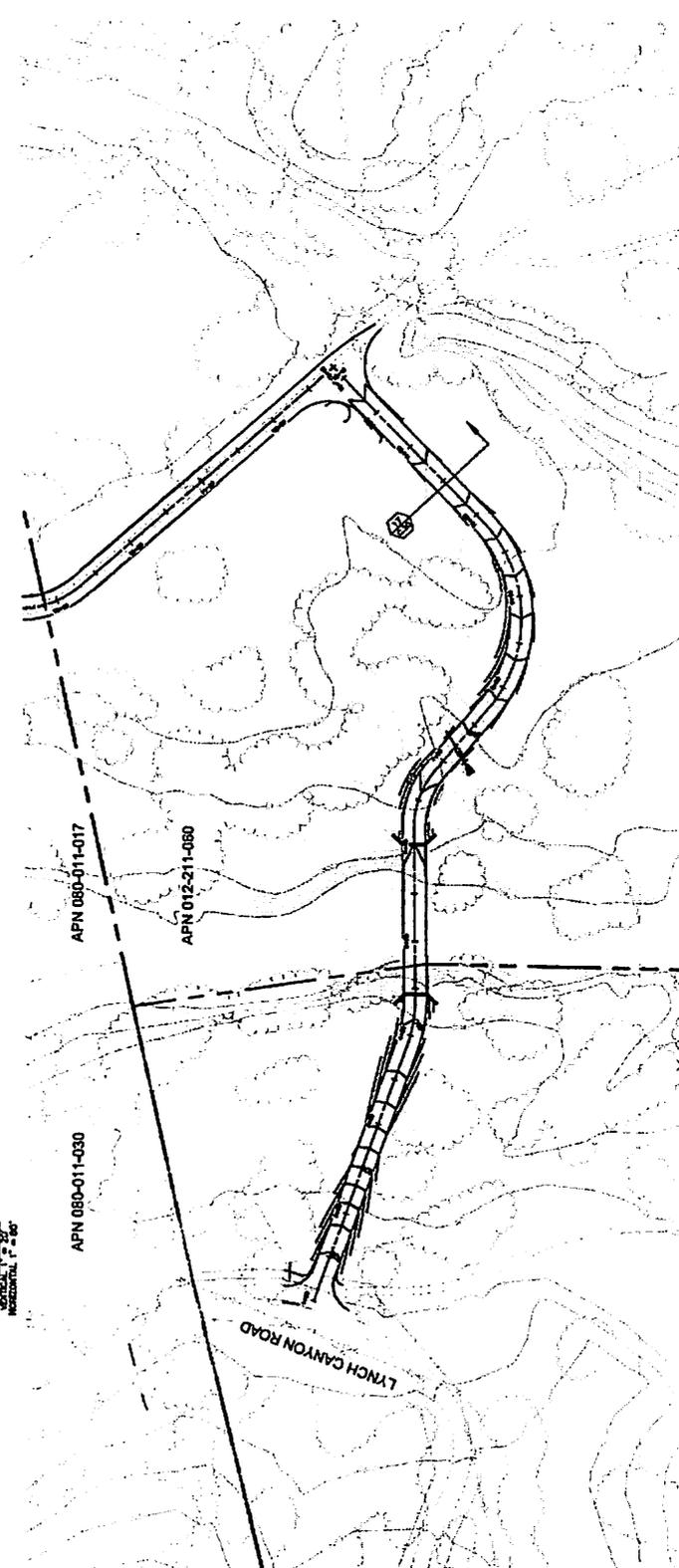
C.21



PROFILE

VERTICAL: 1" = 50'

1000	950	900	850	800	750	700	650	600	550	500	450	400	350	300	250	200	150	100	50	0
------	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	----	---



NGE ARCHITECTURE ENGINEERING INC.
 725 Cowles Road, Suite B
 Paso Robles, CA 92548
 (805) 238-3127
 (805) 827-4851



Cantinas Ranch Camp
 SECONDARY ACCESS BRIDGE

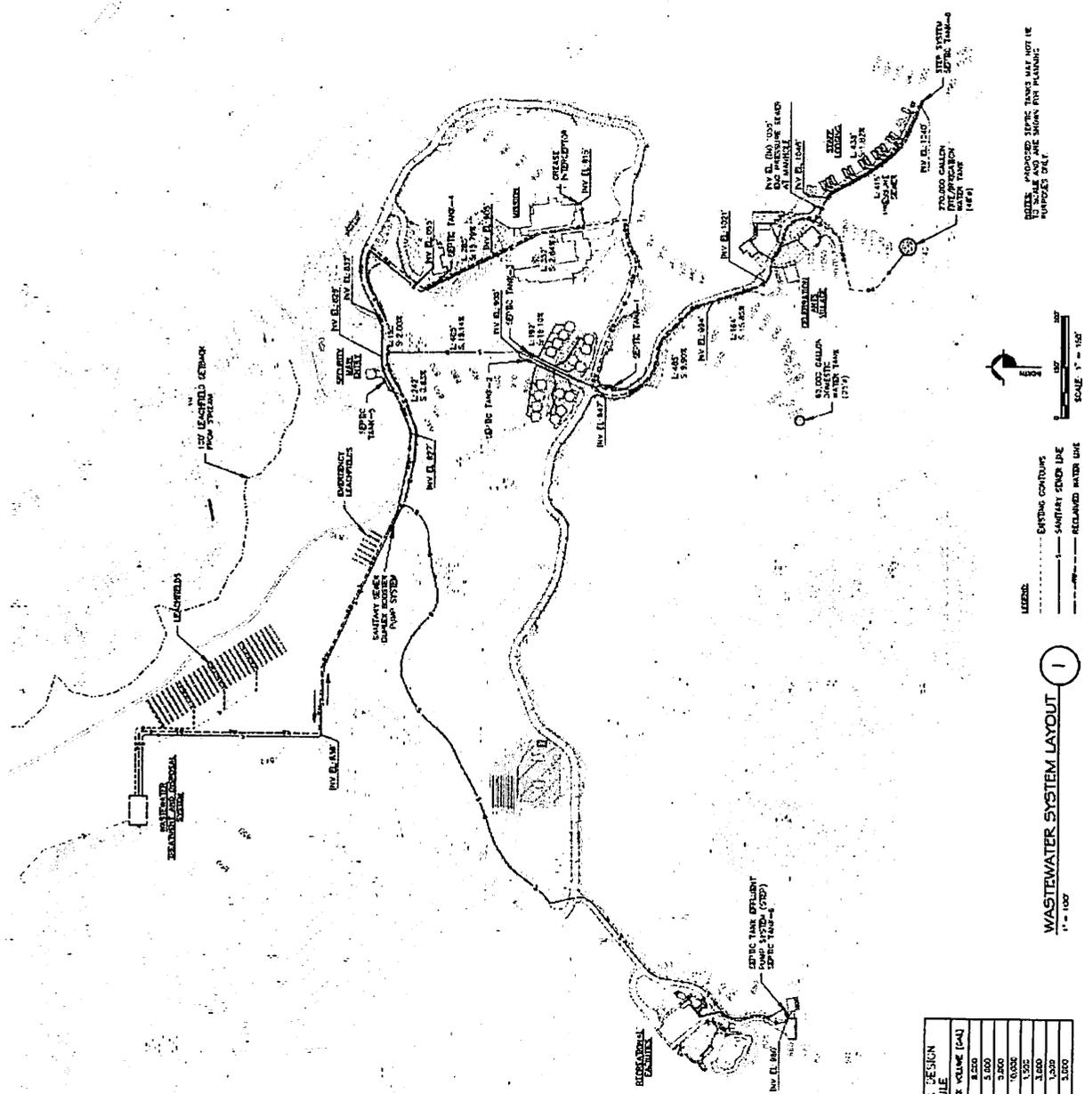
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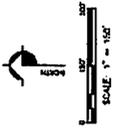
FALL CREEK ENGINEERING, INC.
Landscape Engineers
Civil, Environmental, & Water Resources

NCE NORTH CAROLINA ENGINEERING INC.
7200 W. HICKORY ST.
RTE 101
CARRINGTON, NC 27514

JIM DUFFY ARCHITECTURE
DESIGN BY GOSHE
1000 W. HICKORY ST.
RTE 101
CARRINGTON, NC 27514



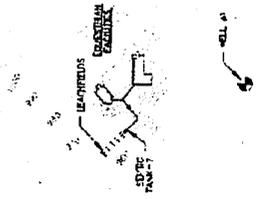
NOTES: PROPOSED SEPTIC TANKS MAY NOT BE
APPROVED BY LOCAL HEALTH DEPARTMENT
AGENCY. SEE LOCAL HEALTH DEPARTMENT
FOR APPROVAL.



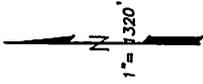
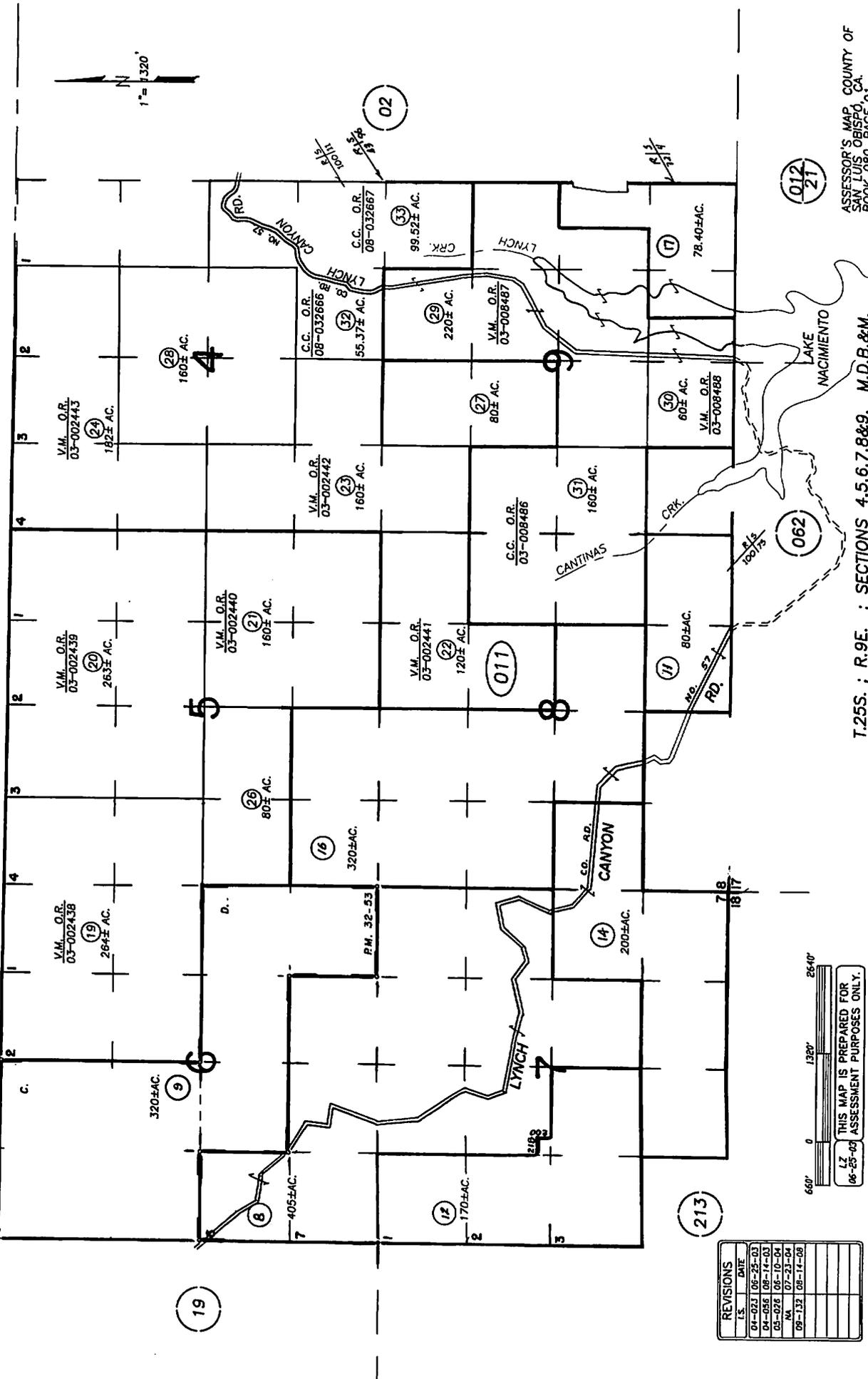
LEGEND:
--- EXISTING CONTOURS
--- SANITARY SEWER LINE
--- PROPOSED SEPTIC TANK

WASTEWATER SYSTEM LAYOUT 1
1" = 100'

TANK #	TANK VOLUME (GAL)
1	3,000
2	3,000
3	3,000
4	10,000
5	1,500
6	3,000
7	1,500
8	3,000



MONTEREY COUNTY

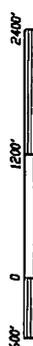
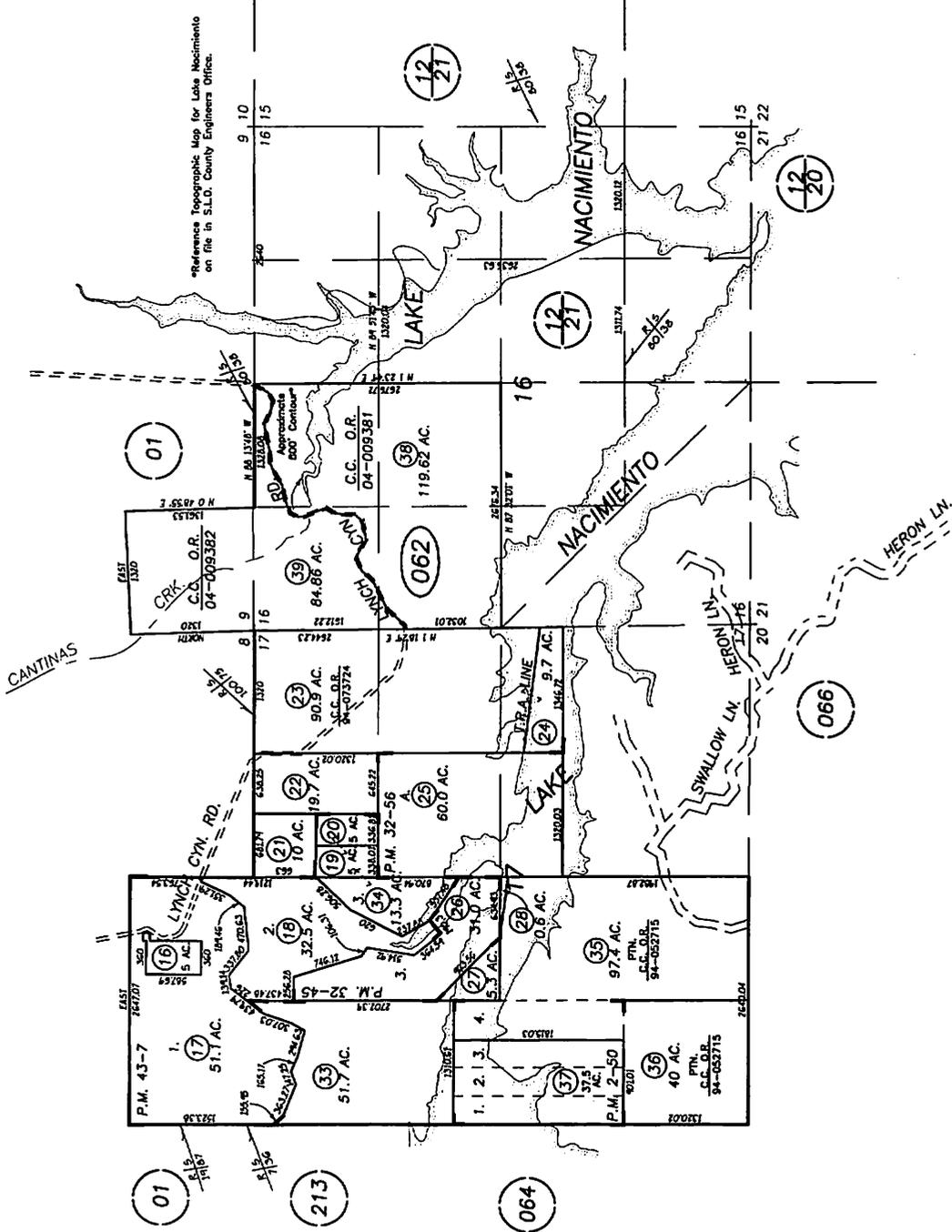
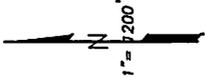


REVISIONS	
U.S.	DATE
04-023	06-25-03
04-056	08-14-03
05-026	06-10-04
NA	07-23-04
09-132	08-14-08

660' 0 1320' 2640'

THIS MAP IS PREPARED FOR
L7
06-25-08
ASSESSMENT PURPOSES ONLY.

T.25S. ; R.9E. ; SECTIONS 4,5,6,7,8&9. M.D.B.&M.
ASSESSOR'S MAP, COUNTY OF
SAN LUIS OBISPO, CA.
BOOK 080 PAGE 01

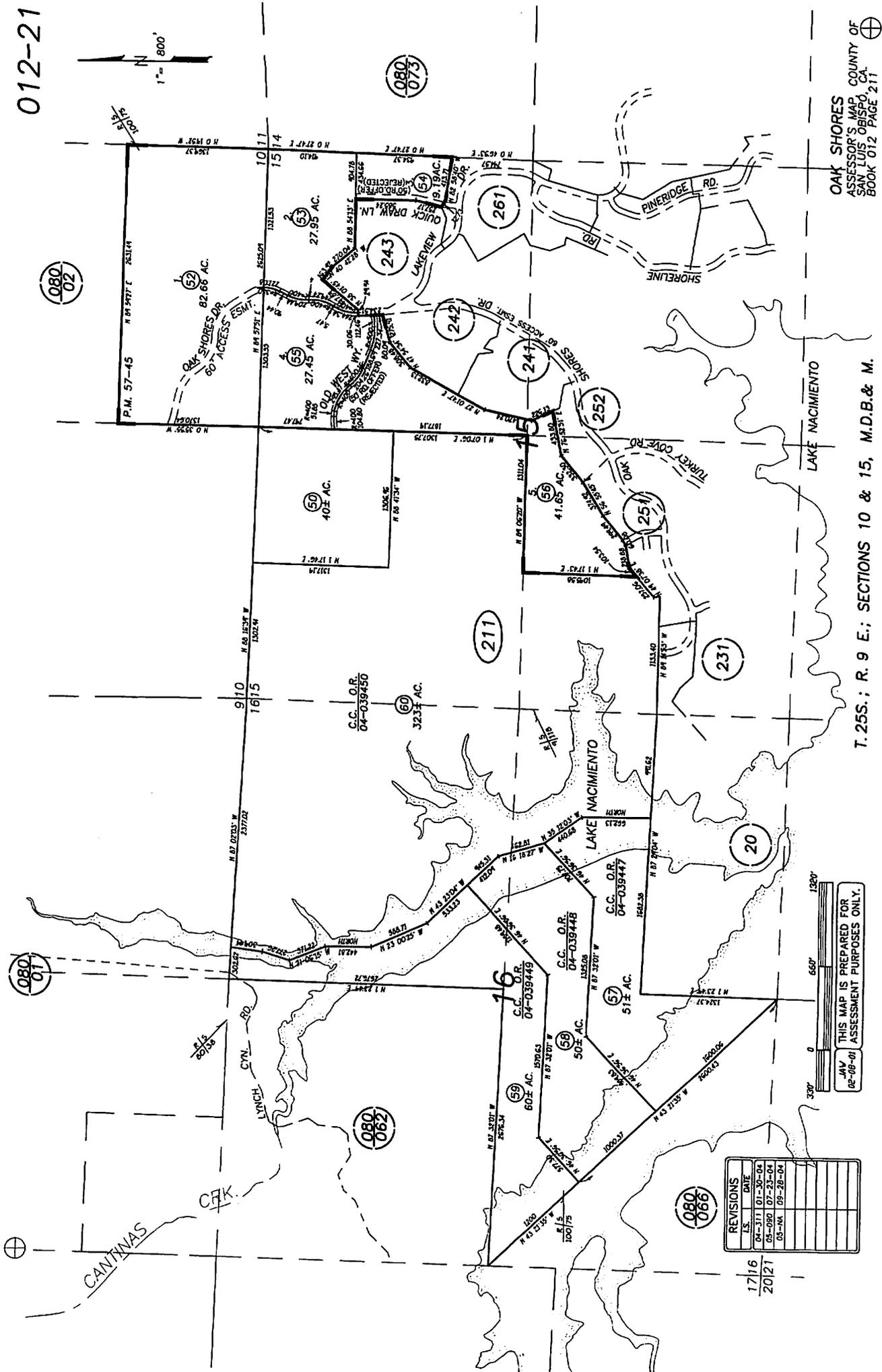
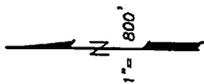


THIS MAP IS PREPARED FOR
 RA 01-29-79
 ASSESSMENT PURPOSES ONLY.

REVISIONS	
LS.	DATE
05-028	08-10-04
05-080	07-23-04

NACIMIENTO LAKE
 ASSESSOR'S MAP COUNTY OF
 SAN LUIS OBISPO, CALIF.
 BOOK 080 PAGE 062

PTN. T.25S.; R.9E.; M.D.B.&M.



OAK SHORES
ASSESSOR'S MAP
SAN LUIS OBISPO, CA.
BOOK 012 PAGE 211

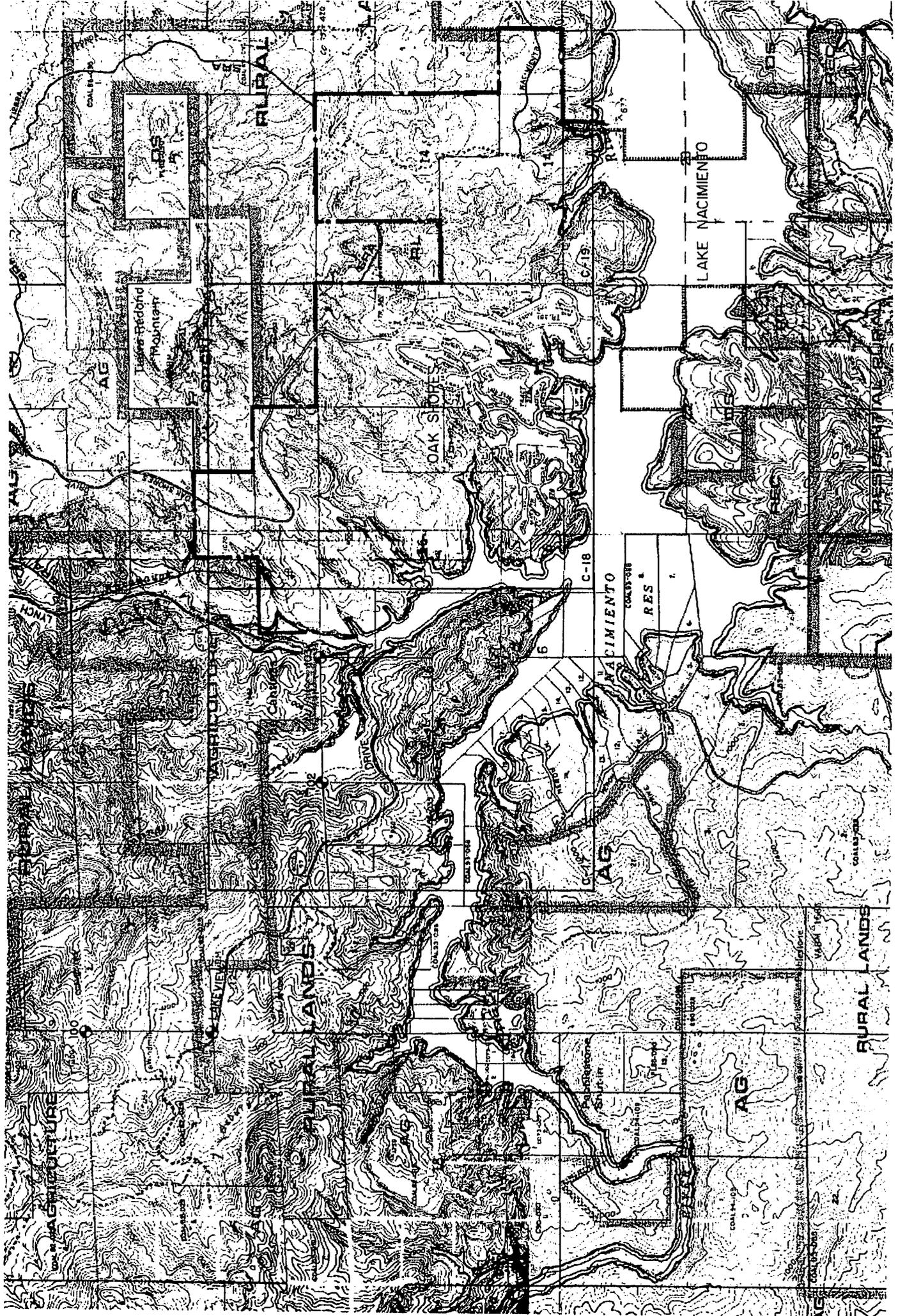
T. 25S.; R. 9 E.; SECTIONS 10 & 15, M.D.B. & M.

REVISIONS	LS.	DATE
	04-3111	01-30-04
	05-0380	07-23-04
	03-NA	09-28-04

1716
2012T

THIS MAP IS PREPARED FOR
02-08-01
ASSESSMENT PURPOSES ONLY.

330' 0 660' 1320'



AGRICULTURE

RURAL LANDS

OAK SHOPE

AG NACIMIENTO

RES

LAKE NACIMIENTO

RURAL LANDS

RURAL

Las Pabanas
Mountain

AG

C-18

6

CONCEPCION

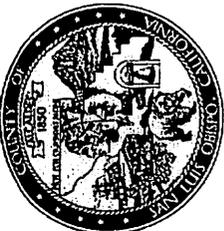
RES

1

AG

LUNCH

AG



Parcel Summary Report For Parcel # 080-011-011

San Luis Obispo County Department of Planning and Building
County Government Center San Luis Obispo, California 93408 Telephone: (805) 781-5600

People Information

<u>Role</u>	<u>Name and Address</u>
OWN	CAMP NACIMIENTO FOUNDATION 22917 PACIFIC COAST HWY #300A MALIBU CA 90265-
OWN	CAMP NACIMIENTO FOUNDATION A CA NON

Address Information

<u>Status</u>	<u>Address</u>
---------------	----------------

Lot Information:

<u>Tract / Township</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lot 1:</u>	<u>Lot 2:</u>	<u>Lot 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T25S	R09E 08P		Rural Nacimiento	Nacimiento	RL			U		

Parcel Information

<u>Status</u>	<u>Description</u>
Active	T25S R9E PTN SEC 8

Notes

Tax Districts
 SAN MIGUEL ELEM: SCHOOL
 PASO ROBLES JT(27,40) (SB1537) UNIFIED SCHOOL
 AREA NO. 07 COUNTY SERVICE
 AREA NO. 07-ZONE B COUNTY SERVICE
 AREA NO. 21 COUNTY SERVICE
 NO. 01 ROAD-CO/SUPVR
 SAN MIGUEL CEMETERY
 SAN LUIS OBISPO JT(27,40) COMM. COLLEGE



Parcel Summary Report For Parcel # 080-011-011

San Luis Obispo County Department of Planning and Building
County Government Center San Luis Obispo, California 93408 Telephone: (805) 781-5600

Case Information

Case Number: **Case Status:**

DRC2011-00037 REC Primary Parcel

Description:

ORGANIZATIONAL CAMP

WIT

Related Parcel

Description:

CUP ORGANIZATIONAL CAMP

WIT

Related Parcel

Description:

NINE LOT PARCEL MAP 380 ACRE SITE TO DIVIDE INTO 40 ACRE PARCELS