



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 2/20/2014

TO: _____

FROM: Michael Conger (805-781-5136 or mconger@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2013-00065 PEOPLE'S SELF HELP HOUSING - Proposed minor use permit for 24 single family residences. Site location is 525 11th St, San Miguel.
APN: 021-241-021.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

_____ Date

_____ Name

_____ Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

SAL/ SMIG

RSF

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name People's Self Help Housing - Sheryl Flores Daytime Phone (805) 781-3088
 Mailing Address 3533 Empleo St., San Luis Obispo, CA Zip Code 93401
 Email Address: sherylf@pshhc.org

Applicant Name same as owner Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Rea & Luker Architects, Inc. - Lauren Luker Daytime Phone (805) 541-6294
 Mailing Address 444 Higuera St. # 201, San Luis Obispo, CA. Zip Code 93401
 Email Address: LLuker@reaLuker.com

PROPERTY INFORMATION

Total Size of Site: 5.28 acres Assessor Parcel Number(s): 021-241-021
 Legal Description: Tract 2710; subdivision of Parcel 1 of Parcel Map CO 02-0371, Book 61, Pages 74-77
 Address of the project (if known): unknown - San Miguel
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Mission Street to 11th Street, cross railroad tracks; site is on the south side of 11th Street - San Miguel
 Describe current uses, existing structures, and other improvements and vegetation on the property:
Vacant lot

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 24 Single Family Residences - single story, 4 plan types on 24 lots; Plan 1 = 1,258 sf, Plan 1X = 1,258 sf; Plan 2 = 1,336 sf, Plan 3 = 1,215 sf
Each plan type occurs 6 times in the tract

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature by: Sheryl Flores *Peoples' Self-Help Housing Corp.* Date 1/30/14



ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 5.20 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: 11th Street

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? 24
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter - Prelim. Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (Individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: in adjacent streets Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: San Miguel Garbage
- 3. Where is the waste disposal storage in relation to buildings? Side yard or back yard
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No adequate space on each lot for recycle bin

Community Service Information

- 1. Name of School District: San Miguel Joint Unified School District
- 2. Location of nearest police station: SCO County Sheriff - Las Tablas Road in Templeton
- 3. Location of nearest fire station: San Miguel Fire Station - 1150 Mission St. - San Miguel
- 4. Location of nearest public transit stop: RTA Bvs at 14th & Mission
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? .4 miles feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Railroad spur, grain tanks, currently vacant
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application. submitted with original tract.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: See attached letter
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: Homes proposed to meet Energy Star 3 requirements

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
 If yes, please list: potential kit fox - mitigation measures included in tract conditions of approval.
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
 If yes, please describe and provide "ED" number(s): Negative Declaration issued Dec. 17, 2009

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Building Permit

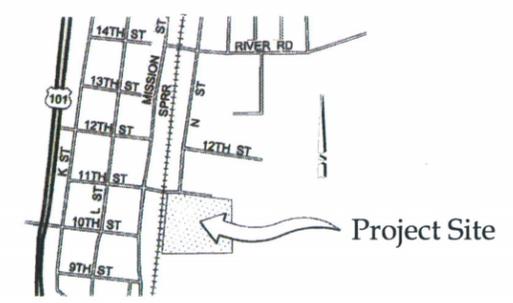
(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



Conceptual Site Plan

Scale: 1" = 40'-0"

Vicinity Map



Project Summary

This project consists of 24 Affordable Single Family residences for People's Self Help Housing on an existing 24 lot tract in San Miguel, CA.

Four different plan types are proposed, one with 4 bedrooms and three with 3 bedrooms. All homes are single story and have a two-car garage.

APN: 021-241-021
 Zone: RSF
 Site Area: 5.28 Acres Total

Sheet Index

- 1 Conceptual Site Plan and Street Scene
- 2 Conceptual Floor Plans and Exterior Elevations - 1 & 1X
- 3 Conceptual Floor Plans and Exterior Elevations - 2 & 3



1 "B" Street Scene

Scale: 1/16" = 1'-0"

SHEET TITLE: Conceptual Site Plan and Street Scene

PROJECT TITLE:

24 LOT - TRACT 2710

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SAN MIGUEL, CALIFORNIA

SHEET
1 OF 3 SHEETS

The drawings within are copyrighted and are subject to copyright protection as an "Architectural Work" under section 102 of the copyright Act 17 U.S.C., as amended December 1990, and known as Architectural Works Copyright Protection Act of 1990.



CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA

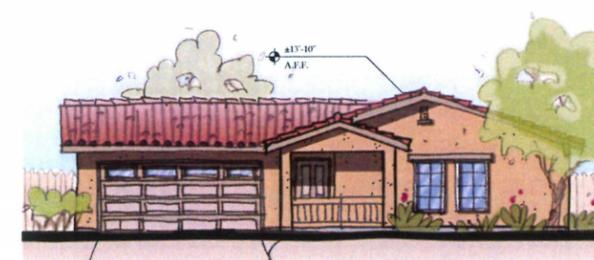
PLOT DATE: 01.22.14
 PURPOSE: DESIGN REVIEW
 PROJECT NO.: R13128

Exterior Materials Summary

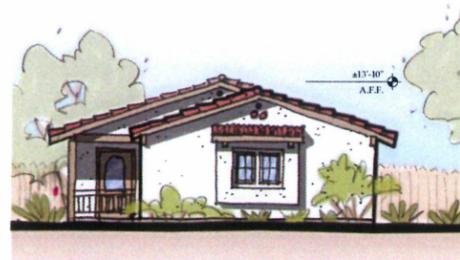
- Roof: Concrete 'S' Tile
- Walls: Cement Plaster - Integral Color
- Fascia / Trim: Cementitious Board
- Porch Railings: Powder Coated Metal



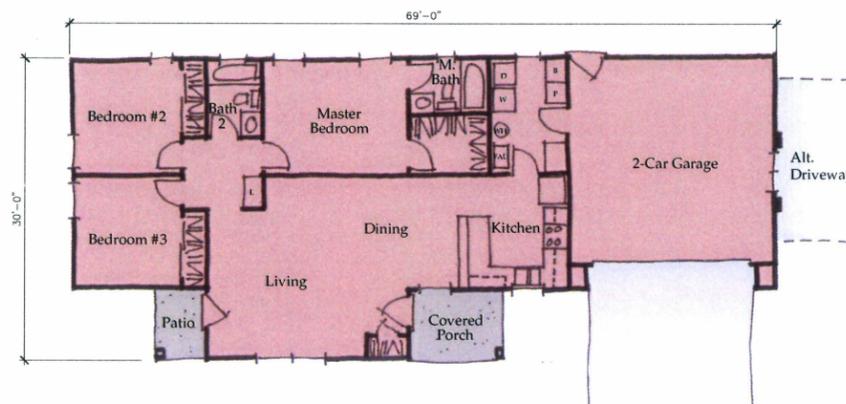
Plan 1 - Front Elevation



Plan 1X - Front Elevation

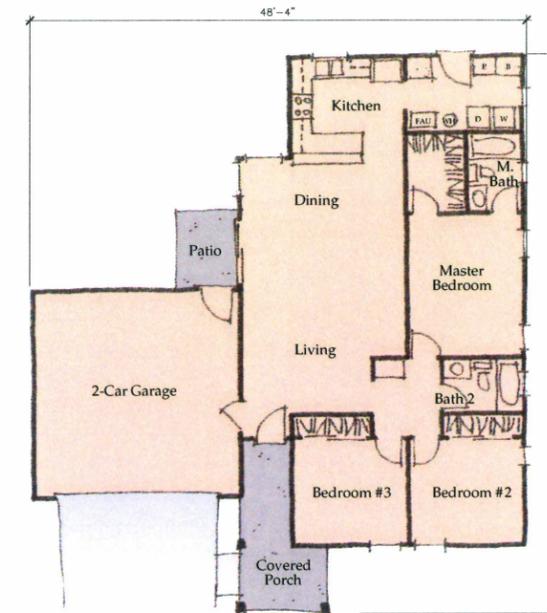


Plan 1 - End Elevation



Plan 1

Conditioned Area: 1,258 sf
 Garage: 421 sf
 Covered Porch: 98 sf



Plan 1X

Conditioned Area: 1,258 sf
 Garage: 421 sf
 Covered Porch: 92 sf

Conceptual Floor Plans and Exterior Elevations - 1 & 1X

Scale: 1/8" = 1'-0"



444 Higuera Street Suite 201
 San Luis Obispo Ca. 93401
 phone: 805.541.6294 fax: 805.541.2739
 www.realarchitectsinc.com

SHEET TITLE: Conceptual Floor Plans and Exterior Elevations - 1 & 1X

CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
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PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SAN MIGUEL, CALIFORNIA

SHEET 2 OF 3 SHEETS

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Exterior Materials Summary

- Roof: Concrete 'S' Tile
- Walls: Cement Plaster - Integral Color
- Fascia / Trim: Cementitious Board
- Porch Railings: Powder Coated Metal



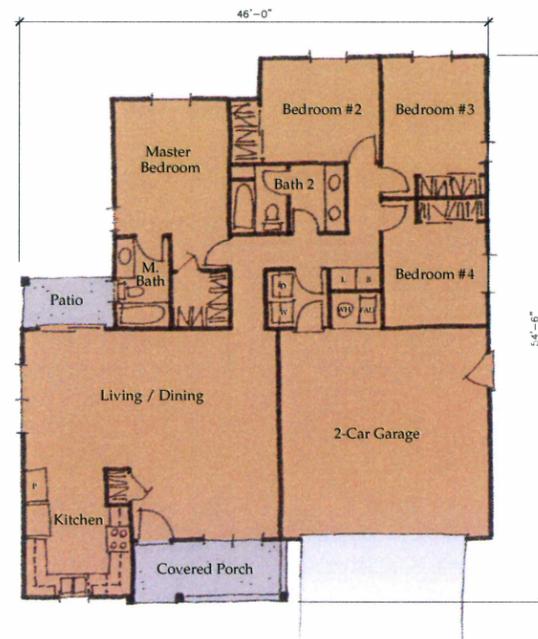
Plan 2 - Front Elevation (Type A)



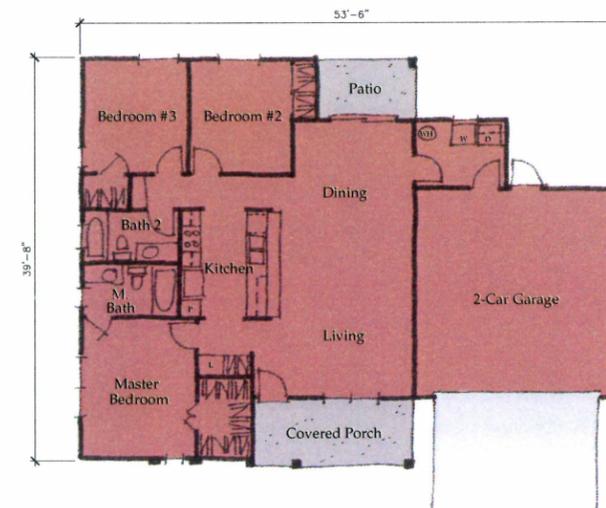
Plan 2 - Front Elevation (Type B)



Plan 3 - Front Elevation



Plan 2
 Conditioned Area: 1,536 sf
 Garage: 429 sf
 Covered Porch: 92 sf



Plan 3
 Conditioned Area: 1,215 sf
 Garage: 431 sf
 Covered Porch: 96 sf

Conceptual Floor Plans and Exterior Elevations - 2 & 3

Scale: 1/8" = 1'-0"



SHEET TITLE: Conceptual Floor Plans and Exterior Elevations - 2 & 3

CLIENT: PEOPLE'S SELF HELP HOUSING
 ADDRESS: 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA
 PLOT DATE: 01.22.14
 PURPOSE: DESIGN REVIEW
 PROJECT NO.: R13128

PROJECT TITLE:

24 LOT - TRACT 2710

PEOPLE'S SELF HELP HOUSING - APARTMENT PROJECT

SAN MIGUEL, CALIFORNIA

SHEET
3 3
 SHEET OF SHEETS
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GRADING GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION AND AMENDMENTS OF THE CALIFORNIA BUILDING CODE. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE APPLICABLE CITY/COUNTY STANDARDS AND CALTRANS STANDARD SPECIFICATIONS, LATEST ADOPTED EDITION AND AMENDMENTS. IN THE EVENT THAT THERE IS A CONFLICT BETWEEN CODES, THE CONTRACTOR WILL NOTIFY THE CIVIL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING:
 - CHAPTER 18, APPENDIX J OF THE 2010 CBC
 - SAN LUIS OBISPO COUNTY TITLES 19, 22, AND 23
 - THE GEOTECHNICAL ENGINEERING REPORT BY BEACON GEOTECHNICAL, INC., REPORT NO. F-100921, DECEMBER 19, 2013.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING AND DISPOSAL OF THE PROPOSED WORK AREA. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIAL LEGALLY AND IS RESPONSIBLE FOR COMPLYING WITH LOCAL RECYCLING ORDINANCES.
- NO FILL SHALL BE PLACED ON THE EXISTING GROUND SURFACE UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, DELETERIOUS MATERIAL AND SCARIFIED AND COMPACTED PER THE GEOTECHNICAL RECOMMENDATIONS.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN TWO FEET HORIZONTAL TO ONE FOOT VERTICAL, 2:1.
- FILLS SHALL BE COMPACTED TO THE MINIMUM PERCENTAGE OF MAXIMUM DRY DENSITY AS SPECIFIED IN THE PROJECT SOILS REPORT AND CERTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ALL EXPOSED SLOPES SHALL BE PLANTED PER THE PROJECT LANDSCAPE PLANS AND IRRIGATED UNTIL GROUND COVER IS ESTABLISHED.
- THE STOCKPILING OF EXCESS MATERIAL IS SUBJECT TO THE APPROVAL OF THE COUNTY.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
- ALL CUT SLOPES SHALL BE INVESTIGATED BY THE GEOTECHNICAL ENGINEER DURING GRADING TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOULD EXCAVATION DISCLOSE ANY GEOTECHNICAL HAZARDS OR POTENTIAL GEOTECHNICAL HAZARDS THE GEOTECHNICAL ENGINEER SHALL RECOMMEND NECESSARY TREATMENT TO THE CONTRACTOR.
- THE FINAL COMPACTION REPORT AND APPROVAL FROM THE GEOTECHNICAL ENGINEER SHALL CONTAIN DETAILS REGARDING THE TYPE OF FIELD TESTING PERFORMED INCLUDING THE METHOD OF OBTAINING THE IN-PLACE DENSITY, WHETHER SAND CONE, NUCLEAR GAUGE, OR DRIVE RING SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- SANITARY FACILITIES SHALL BE MAINTAINED ON SITE THROUGHOUT THE DURATION OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF AND PROTECT ALL EXISTING UTILITIES AND TO ENSURE THAT SERVICE IS NOT DISRUPTED TO EXISTING FACILITIES.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS AND APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTIES DURING THE CONSTRUCTION PROJECT. IN ALL CASES, THE CONTRACTOR AND/OR OWNER SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING EXISTING DRAINAGE PATTERNS.
- ALL PLANTERS ADJACENT TO THE FOUNDATIONS SHALL BE SEALED ALONG THE SIDE OF THE FOUNDATION FOOTING AND EXTENDED UNDER THE PLANTER A MINIMUM OF 12" TO PREVENT MOISTURE FROM REACHING THE FOUNDATION SUB-GRADE SOILS.
- EXPORTED MATERIAL SHALL BE TAKEN TO A LEGAL DUMP SITE OR PERMITTED RECEIVING SITE APPROVED BY THE LOCAL AGENCY HAVING JURISDICTION.
- PERMISSION IS REQUIRED FROM THE ADJACENT PROPERTY OWNER WHENEVER WORK IS PROPOSED OR NECESSARY ACROSS THE PROJECT'S PROPERTY LINES.
- ANY DIRT, ROCK, DEBRIS OR CONSTRUCTION MATERIAL THAT IS TRACKED OR DROPPED WITHIN THE PUBLIC RIGHT OF WAY DURING THE TRANSPORTATION OF THAT MATERIAL OR EQUIPMENT ASSOCIATED WITH THE PROJECT SHALL BE CLEANED OR REMOVED DAILY.
- DIRT ACCESS RAMP OVER CURBS AND GUTTERS TO THE CONSTRUCTION SITE ARE PROHIBITED. WHEN NECESSARY FOR ENTRANCE TO SUCH CONSTRUCTION SITES, TEMPORARY ASPHALT RAMPS WITH A MINIMUM OF A 3" DIAMETER PIPE WILL BE CONSTRUCTED TO CONVEY GUTTER DRAINAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND OBTAINING REQUIRED PERMITS FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (OSHA).
- PROPOSED REVISIONS TO THE GRADING PLAN SHALL BE DRAWN IN RED PENCIL ON BOND COPIES OF THE APPROVED PLANS. THESE COPIES SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR APPROVAL. AFTER APPROVAL IS GIVEN, THE OWNER MAY REQUIRE AS-BUILT PLANS.
- RULE 403 AIR QUALITY CONTROL MUST BE IMPLEMENTED DURING CONSTRUCTION:
 - A PERSON SHALL NOT CAUSE OR ALLOW THE EMISSIONS OF FUGITIVE DUST FROM ANY TRANSPORT, HANDLING, CONSTRUCTION OR STORAGE ACTIVITY SO THAT THE PRESENCE OF SUCH DUST REMAINS VISIBLE IN THE ATMOSPHERE BEYOND THE PROPERTY LINE OF THE EMISSION SOURCE. (DOES NOT APPLY TO EMISSIONS EMANATING FROM UNPAVED ROADWAYS OPEN TO PUBLIC TRAVEL OR FARM ROADS. THIS EXCLUSION SHALL NOT APPLY TO INDUSTRIAL OR COMMERCIAL FACILITIES).
 - A PERSON SHALL TAKE EVERY RESPONSIBLE PRECAUTION TO MINIMIZE FUGITIVE DUST EMISSIONS FROM WRECKING, EXCAVATION, GRADING, CLEARING OF LAND AND SOLID WASTE DISPOSAL OPERATIONS.
 - A PERSON SHALL NOT CAUSE OR ALLOW PARTICULATE MATTER TO EXCEED 100 MICROGRAMS PER CUBIC METER WHEN DETERMINED AS THE DIFFERENCE BETWEEN UPWIND AND DOWNWIND SAMPLES COLLECTED ON HIGH VOLUME SAMPLERS AT THE PROPERTY LINE FOR A MINIMUM OF FIVE HOURS.
 - A PERSON SHALL TAKE EVERY RESPONSIBLE PRECAUTION TO PREVENT PARTICULATE MATTER FROM BEING DEPOSITED UPON PUBLIC ROADWAYS. PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE REMOVAL OF PARTICULATE MATTER FROM EQUIPMENT PRIOR TO THE MOVEMENT ON PAVED STREETS ONTO WHICH SUCH MATERIAL HAS BEEN DEPOSITED.
 - SUBSECTIONS (12.1) AND (12.2) SHALL NOT BE APPLICABLE WHEN THE WIND SPEED INSTANTANEOUSLY EXCEEDS 40 KILOMETERS (25 MILES) PER HOUR, OR WHEN THE AVERAGE WIND SPEED IS GREATER THAN 25 KILOMETERS (15 MILES) PER HOUR. THE AVERAGE WIND SPEED DETERMINATIONS SHALL BE ON A 15 MINUTE AVERAGE AT THE NEAREST OFFICIAL AIR MONITORING STATION OR BY A WIND INSTRUMENT LOCATED AND MONITORED ON SITE.
- CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH FRIDAY AND BETWEEN THE HOURS OF 9:00 AM AND 6:00 PM SATURDAYS, UNLESS OTHERWISE AUTHORIZED BY THE OWNER AND COUNTY.
- CONTRACTOR SHALL USE LOW EMISSION MOBILE CONSTRUCTION EQUIPMENT DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES, WHERE FEASIBLE.
- CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION ENGINES TUNED CONSISTENT WITH MANUFACTURER'S SPECIFICATIONS DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL USE LOW SULFUR FUEL FOR STATIONARY CONSTRUCTION EQUIPMENT AS REQUIRED BY AQMD RULE 431.1 AND 431.2 AND SHALL USE EXISTING POWER SOURCES AND CLEAN FUEL GENERATORS WHEN POSSIBLE AS FEASIBLE DURING ALL SITE PREPARATION, GRADING AND CONSTRUCTION ACTIVITIES.
- CONSTRUCTION PARKING SHALL BE ON-SITE. TRAFFIC CONTROL AND ACCESS SHALL BE IN ACCORDANCE WITH THE AGENCY HAVING JURISDICTION OVER THE PROJECT.
- THE SPEED OF CONSTRUCTION VEHICLES ON SITE SHALL BE LIMITED TO 15 MILES PER HOUR.
- TRUCKS AND LARGE CONSTRUCTION VEHICLES SHALL OBTAIN APPROVED ROUTES FROM THE COUNTY OF SAN LUIS OBISPO PUBLIC WORKS.
- THE CONTRACTOR SHALL CONTROL DUST IN AREAS USED FOR OFF-PAVEMENT PARKING, MATERIAL LAYDOWN AREAS OR THOSE AREAS AWAITING FUTURE CONSTRUCTION. FREQUENTLY ACCESSED AREAS SHALL BE PAVED OR BASED AS EARLY AS POSSIBLE TO MINIMIZE DIRT TRACKOUT TO THE PUBLIC RIGHT OF WAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RECEIPT OF MATERIALS SHALL BE COORDINATED WITH THE APPROPRIATE AGENCIES.
 - WHERE FEASIBLE, ON-ROAD AND OFF-ROAD VEHICLES AND EQUIPMENT SHALL BE TURNED OFF AND SUBSEQUENTLY RESTARTED IF THE ANTICIPATED DURATION OF IDLING IS EXPECTED TO EXCEED FIVE MINUTES.
 - THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING HIGH WIND DUST CONTROL MEASURE WHEN INSTANTANEOUS WIND SPEEDS EXCEED 25 MILES PER HOUR:
 - TERMINATION / MODIFICATION OF SCRAPERS, GRADERS OR DOZERS ON UNPAVED SURFACES UNTIL WINDS SUBSIDE.
 - APPLICATION OF WATER AS NEEDED TO ANY UNPAVED SURFACE WITH VEHICLE OR EQUIPMENT OPERATIONS.
 - APPLICATION OF WATER OR OTHER DUST CONTROL MATERIAL TO ANY PREVIOUSLY GRADED SURFACE IF DUST EMANATION IS VISIBLE FROM SUCH A SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EQUIPMENT TO PREVENT VISIBLE SOOT FROM REDUCING LIGHT TRANSMISSION THROUGH THE EXHAUST STACK BY MORE THAN 20 PERCENT FOR MORE THAN THREE MINUTES PER HOUR AND USE LOW SULFUR FUEL AS REQUIRED BY THE APPROPRIATE AGENCY.
- TRUCKS USED IN HAULING DIRT TO OR FROM THE SITE ON PUBLIC ROADS WILL BE COVERED OR WILL MAINTAIN A SIX INCH DIFFERENTIAL BETWEEN THE MAXIMUM HEIGHT OF ANY MATERIAL HAULED AND THE TOP OF THE TRAILER. HALL TRUCK DRIVERS WILL LOAD PRIOR TO LEAVING THE SITE TO PREVENT SOIL LOSS DURING TRANSPORTATION.
- PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE, EXISTING SURVEY MONUMENTS SHALL BE NOTED AND DOCUMENTED BEFORE CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED DURING CONSTRUCTION THE CONTRACTOR SHALL PAY A LICENSED LAND SURVEYOR OR REGISTERED ENGINEER TO RESET SUCH MONUMENTS.
- PAD CERTIFICATION IS REQUIRED. A SOILS OR CIVIL ENGINEER SHALL DETERMINE THAT THE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR

- ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS "CONSTRUCTION SAFETY ORDERS". THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.
- CONTRACTOR FURTHER AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS AND BEST RECOLLECTION OF FACILITY STAFF. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE TO OR PROTECTION OF THESE LINES.

DEMOLITION GENERAL NOTES

- UTILITIES, THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS AND BEST RECOLLECTION OF FACILITY STAFF. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE TO OR PROTECTION OF THESE LINES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF THE SITE AND SHALL REMOVE AND DISPOSE OF ALL STRUCTURES ABOVE AND OR BELOW GROUND UNLESS OTHERWISE NOTED. ANY HAZARDOUS MATERIALS ENCOUNTERED SHALL BE HANDLED AND REMOVED AS REQUIRED BY LOCAL AND/OR STATE LAWS AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DAMAGE TO EXISTING HARDSCAPE IMPROVEMENTS, UTILITY FACILITIES, AND LANDSCAPING FEATURES THAT ARE NOT AFFECTED BY THESE PLANS.
- ALL JOIN LINES SHALL BE SAW CUT ON A NEAT, STRAIGHT LINE PARALLEL WITH THE JOINT. THE CUT EDGE SHALL BE PROTECTED FROM CRUSHING, AND ALL BROKEN EDGES SHALL BE RECUT PRIOR TO JOINING.
- ALL EXISTING OBJECTIONABLE MATERIALS THAT CONFLICT WITH PROPOSED IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING FOUNDATIONS, UTILITIES AND APPURTENANCES, TREES, SIGNS, AND STRUCTURES, ETC. SHALL BE REMOVED AND DISPOSED BY THE CONTRACTOR AT NO COST TO THE OWNER, UNLESS OTHERWISE INDICATED HEREIN, OR AS DIRECTED BY THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STREETS FROM DAMAGES CAUSED BY HIS OPERATIONS. ANY CURBS DAMAGED DURING HIS OPERATIONS SHALL BE SAWCUT AND REPLACED AT NO COST TO THE OWNER. ANY EXISTING PAVING IDENTIFIED AS POTENTIALLY NEEDING TO BE REPLACED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL PERFORM AND BE RESPONSIBLE FOR ALL CLEARING AND GRUBBING OPERATIONS AS NECESSARY TO COMPLETE THE WORK, INCLUDING TRANSPORTATION AND DISPOSAL OF ALL REMOVED MATERIALS, AND ALL ASSOCIATED COSTS.

AMERICANS WITH DISABILITIES NOTES

- ALL SLOPES IN DIRECTION OF TRAVEL SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUM ALLOWED GRADES BY THE AMERICANS WITH DISABILITIES ACT ACCESS GUIDE (ADAAG), AND THE CALIFORNIA BUILDING CODE (CBC). IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO FAMILIARIZE THEMSELVES WITH THE ADAAG AND CBC AND IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT THAN SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE DESIGN ENGINEER SHALL BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO ADAAG AND CBC ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR A CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY ADAAG AND CBC ARE SUBJECT TO REJECTION BY THE INSPECTOR AND MAY BE REQUIRED TO BE REMOVED AND REPERFORMED.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUB-CONTRACTORS DURING THE GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF ADAAG AND CBC RELATED ITEMS OF THIS PROJECT BY THE INSPECTING AUTHORITY OR OTHER AFFECTED PARTIES.
- COMPLIANCE WITH THE ADAAG AND CBC CONSTRUCTION REQUIREMENTS AND CALIFORNIA TITLE 24 WILL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS.

PROJECT INFORMATION

ZONING:	RSF - RESIDENTIAL SINGLE FAMILY
APN:	021-241-021
ADDRESS:	525 11TH STREET, SAN MIGUEL, CA
SITE AREA:	5.28 AC
AREA DISTURBED:	5.28 AC
WOID NUMBER:	
GRADING INFORMATION*	
CUT QUANTITY:	224 CUBIC YARDS
FILL QUANTITY:	10.135 CUBIC YARDS
NET CUT/FILL:	9,911 CUBIC YARDS
ELECTRICITY:	PACIFIC GAS AND ELECTRIC www.pge.com/myhome/customerservice/startstop/ 1-800-PGE-5000
GAS:	SOUTHERN CALIFORNIA GAS COMPANY http://localgas.com/for-your-business/builders-and-construction/ 1-800-427-2200
WATER & SEWER:	SAN MIGUEL COMMUNITY SERVICE DISTRICT 1510 MISSION STREET SAN MIGUEL, CA 93451 805-467-3388
TELEPHONE/CABLE TV:	CHARTER COMMUNICATIONS 7555 SAN LUIS AVE. TEMPLETON, CA 93422 1-888-438-2427
TRASH SERVICE:	SAN MIGUEL GARBAGE 805-467-9283

TOPOGRAPHIC SURVEY NOTES

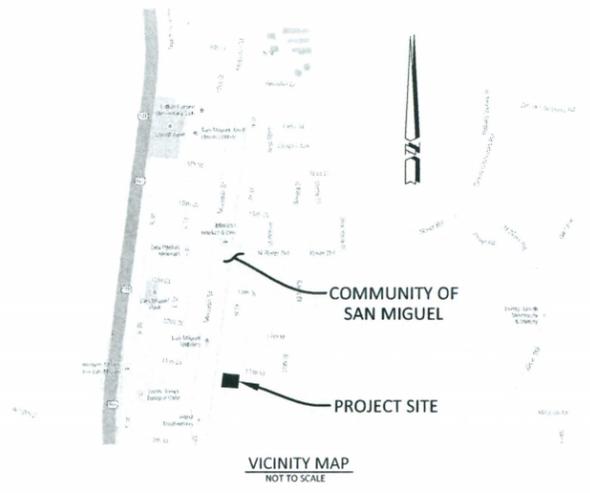
- THE TOPOGRAPHY SHOWN ON THIS PLAN WAS SURVEYED BY VOLBRECHT LAND SURVEYS IN DECEMBER, 2004. A SUPPLEMENTAL SURVEY WAS PERFORMED BY MBS LAND SURVEYS IN SEPTEMBER, 2013.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS:
A LINE BETWEEN THE SOUTHWEST PROPERTY CORNER (MBS POINT #108) AND THE ON-SITE BENCHMARK (MBS POINT #105), THAT BEARING BEING N 36° 21' 25" E.
- THE BENCHMARK FOR THIS PROJECT IS:
USCGO5 MONUMENT F1189 1968, ELEVATION 623.99' (NGVD 29). THE BENCHMARK WAS SET IN THE CORNER OF A TRUCK SCALE PAD THAT HAS SINCE BEEN REMOVED.
- THE ON-SITE BENCHMARK FOR THIS PROJECT IS:
A SET MAG-NAIL NEAR THE SOUTH EDGE OF PAVEMENT ON 11TH STREET, ELEVATION 622.56 (NGVD 29) (MBS POINT #105).
- ELEVATIONS SHOWN HEREON ARE EXISTING SURFACE OR FLOWLINE AT GRADE, UNLESS OTHERWISE NOTED.
- ALL BOUNDARY DATA IS RECORD PER PARCEL MAP CD 02-0371.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	IRR	IRRIGATION
AC	ASPHALTIC CONCRETE	JP	JOINT POLE
ARCH	ARCHITECT	LA	LANDSCAPE AREA
AV	AIR VAC RELEASE	LP	LIGHT POLE / LOW POINT
BLDG	BUILDING	MH	MANHOLE
BCR	BEGIN CURB RETURN	MJ	MECHANICAL JOINT
BEG	BEGINNING	MON	MONUMENT
BF	BLIND FLANGE	NG	NATURAL GRADE
BSW	BACK OF SIDEWALK	OH / OHD	OVERHEAD UTILITY
BVC	BEGIN VERTICAL CURVE	P/A	PLANTER AREA
BW	BOTTOM OF WALL	P/L	PROPERTY LINE
BO	BLOW OFF	PC	POINT OF CURVATURE
C/L	CENTERLINE	PCR	POINT OF COMPOUND CURVE
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CMU	CONCRETE MASONRY UNIT	PE	PAD ELEVATION
CO	CLEANOUT	PI	POINT OF INFLECTION
CONC	CONCRETE	PJC	POINT OF CONNECTION (UTILITY)
DDC	DOUBLE DETECTOR CHECK	PP	POWER POLE
D/W	DRIVEWAY	PRCR	POINT OF REVERSE CURVE
ECR	END CURB RETURN	PS	PARKING STRIPE
EG	EXISTING GRADE	PT	POINT OF TANGENCY
EL	ELEVATION	PUE	PUBLIC UTILITY EASEMENT
ENG	ENGINEER	PVI	POINT OF VERTICAL INFLECTION
EP	EDGE OF PAVEMENT	R/W, ROW	RIGHT OF WAY
ESMT	EASEMENT	RP	REDUCED PRESSURE BACKFLOW DEVICE
EVC	END VERTICAL CURVE	SD	STORM DRAIN
FDC	FIRE DEPARTMENT CONNECTION	SG	SUB-GRADE ELEVATION
FE	FINISHED FLOOR ELEVATION	SS	SANITARY SEWER
FG	FINISHED GROUND ELEVATION	STA	STATION
FH	FIRE HYDRANT	TB	THRUST BLOCK
FL	FLOW LINE	TC	TOP OF CURB
FLG	FLANGED	TEL	TELEPHONE
FS	FINISHED SURFACE ELEVATION	TF	TOP OF FOOTING
GB	GRADE BREAK	TI	TRAFFIC INDEX
GM	GAS METER	TG	TOP OF GRATE
GV	GAS VALVE	TW	TOP OF WALL
GTD	GRADE TO DRAIN	VC	VERTICAL CURVE
GUY	GUY WIRE ANCHOR	VLT	VAULT
HB	HOSE BIB	WID	WASTE DISCHARGE IDENTIFICATION NUMBER
HP	HIGH POINT	WL	WATERLINE
IE	SEWER INVERT ELEVATION	WM	WATER METER
ICV	IRRIGATION CONTROL VALVE	WV	WATER VALVE
INV	STORM DRAIN INVERT ELEVATION		

LEGEND

	SD	STORM DRAIN LINE		2:1	INDICATES PROPOSED CUT SLOPE AND MAXIMUM GRADE
	SS	SANITARY SEWER LINE		2:1	INDICATES PROPOSED FILL SLOPE AND MAXIMUM GRADE
	SFM	SEWER FORCE MAIN		(388.50)	INDICATES EXISTING ELEVATION
	WL	WATER LINE		XX.XX	INDICATES FINISH SURFACE GRADE
	G	GAS LINE		S=0.01	INDICATES PIPE SLOPE
		EXISTING ELECTRIC LINE			
		FLOWLINE			
		EXISTING FLOWLINE			
		DAYLIGHT LINE			
		EXISTING MAJOR CONTOUR			
		EXISTING MINOR CONTOUR			INDICATES AC PAVEMENT
		RETAINING WALL			INDICATES PCC SURFACING (PLAN VIEW)
		PROPERTY LINE			
		STREET CENTERLINE			
		EXISTING BUILDING			



For Reference Only

TABLE 1705.6 (2013 CALIFORNIA BUILDING CODE)

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.		X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.		X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.		X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.		X
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.		X

DIGALERT
UNDERGROUND SERVICE ALERT OF CALIFORNIA
DIAL TOLL FREE 811 OR (1-800-227-2600) AT LEAST TWO DAYS BEFORE YOU DIG

SHEET INDEX

Sheet Number	Sheet Title
C-1	TITLE SHEET
C-2	GRADING PLAN
C-3	GRADING PLAN
C-4	COMPOSITE UTILITY PLAN

CIVIL DESIGN STUDIO
CIVIL ENGINEERING | PLANNING | PERMITTING

9700 El Camino Real, Suite 300, San Mateo, CA 94403
www.civil-design.com

PLANS PREPARED BY: **RDW**
ENGINEER OF RECORD

PLANS REVIEWED BY: **DJN**
DATE: **JANUARY 21, 2014**
SCALE: **AS SHOWN**
CDS JOB #: **13-072**

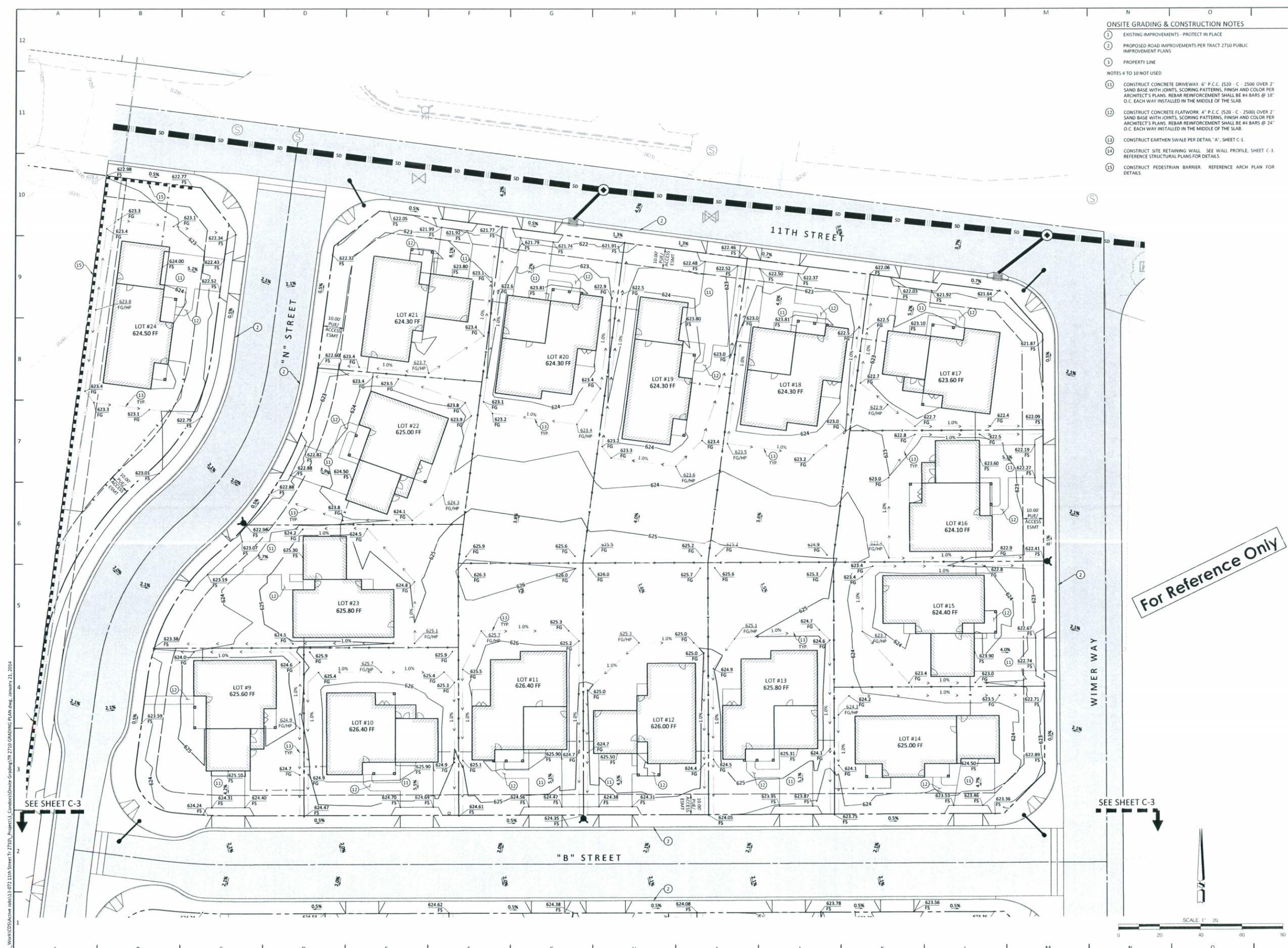
PROJECT LOCATION:
**11TH STREET AND "N" STREET
SAN MIGUEL
3333 EMPLEO STREET
SAN LUIS OBISPO, CA 93401**

PROJECT NAME:
PEOPLE'S SELF HELP HOUSING

ON-SITE CIVIL PLANS - TRACT 2710

TITLE SHEET

SHEET **C-1** OF 4 SHEETS



- ONSITE GRADING & CONSTRUCTION NOTES**
- (1) EXISTING IMPROVEMENTS - PROTECT IN PLACE
 - (2) PROPOSED ROAD IMPROVEMENTS PER TRACT 2710 PUBLIC IMPROVEMENT PLANS
 - (3) PROPERTY LINE
 - NOTES 4 TO 10 NOT USED
 - (11) CONSTRUCT CONCRETE DRIVEWAY. 6" P.C.C. (520 - C - 2500) OVER 2" SAND BASE WITH JOINTS, SCORING PATTERNS, FINISH AND COLOR PER ARCHITECT'S PLANS. REBAR REINFORCEMENT SHALL BE #4 BARS @ 18" O.C. EACH WAY INSTALLED IN THE MIDDLE OF THE SLAB.
 - (12) CONSTRUCT CONCRETE FLATWORK. 4" P.C.C. (520 - C - 2500) OVER 2" SAND BASE WITH JOINTS, SCORING PATTERNS, FINISH AND COLOR PER ARCHITECT'S PLANS. REBAR REINFORCEMENT SHALL BE #4 BARS @ 24" O.C. EACH WAY INSTALLED IN THE MIDDLE OF THE SLAB.
 - (13) CONSTRUCT EARTHEN SWALE PER DETAIL "A", SHEET C-1.
 - (14) CONSTRUCT SITE RETAINING WALL. SEE WALL PROFILE, SHEET C-3. REFERENCE STRUCTURAL PLANS FOR DETAILS.
 - (15) CONSTRUCT PEDESTRIAN BARRIER. REFERENCE ARCH PLAN FOR DETAILS.

PLAN PREPARED BY:
CIVIL DESIGN STUDIO
 CIVIL ENGINEERING | PLANNING | PERMITTING
Open Office: 10000 Wilshire Blvd, Suite 1000, Beverly Hills, CA 90210
 Phone: 310.206.1000 | Website: www.civil-design.com



ENGINEER OF RECORD:
DAVID WINSLOW
 PROFESSIONAL ENGINEER - CIVIL
 STATE OF CALIFORNIA
 LICENSE NO. 45678

PROJECT NAME:
ONSITE CIVIL PLANS - TRACT 2710

PROJECT LOCATION:
**11TH STREET AND "N" STREET
 SAN MIGUEL
 SAN LUIS OBISPO, CA 93401**

APN: 021-241-021

PLANS PREPARED FOR:
**PEOPLE'S SELF HELP HOUSING
 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA 93401**

REVISIONS:

REVIEWED BY: RDW
 PREPARED BY: DJN
 DATE: JANUARY 21, 2014
 SCALE: AS SHOWN
 CDS JOB #: 13-072

GRADING PLAN
C-2

SHEET 2 OF 4 SHEETS

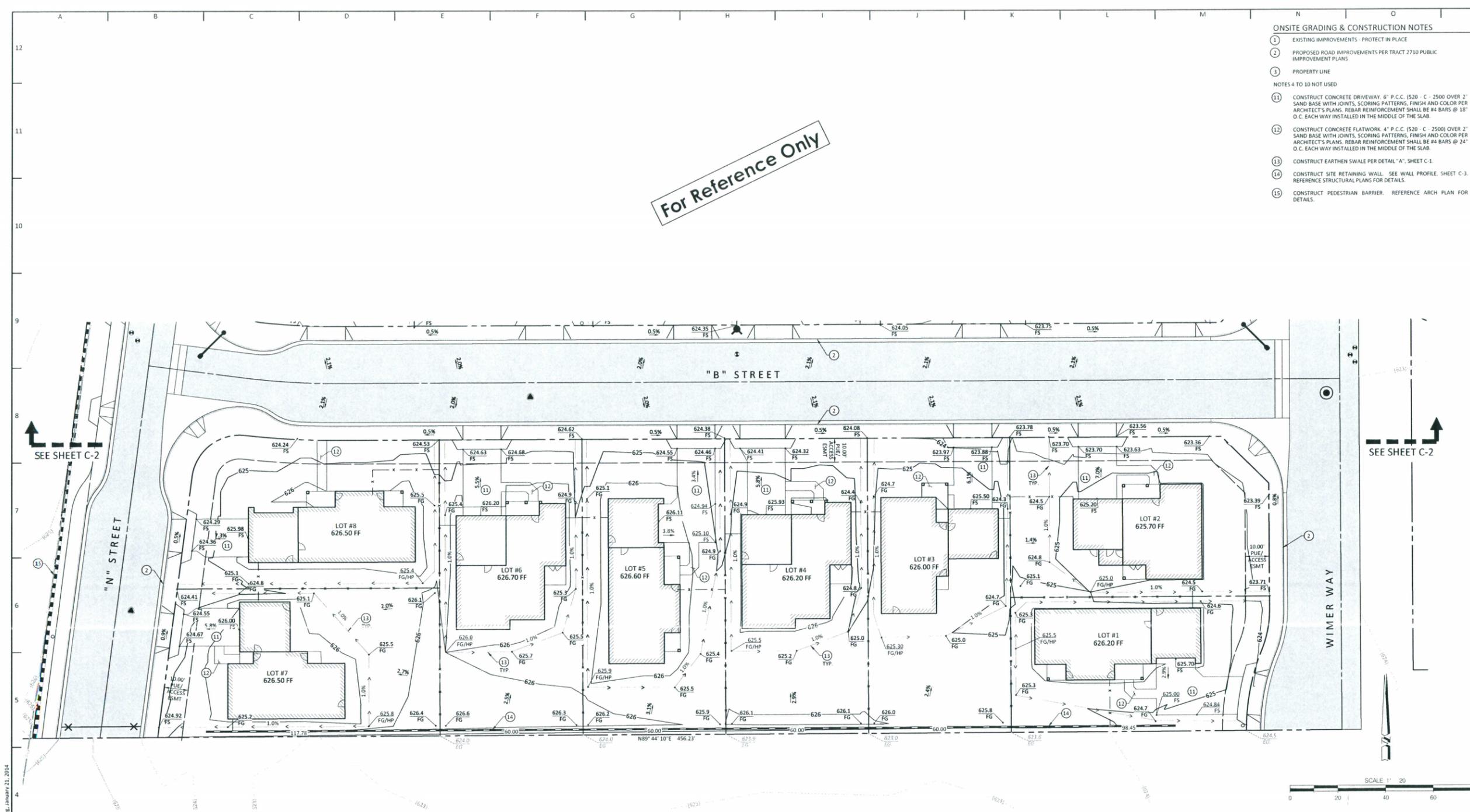
For Reference Only

SEE SHEET C-3

SEE SHEET C-3

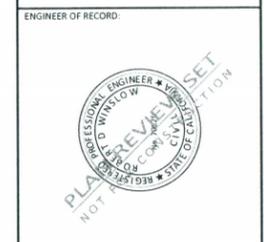


C:\Work\CDS\active_jobs\13-072-11th Street Tr 2710_Grading Plan.dwg, January 21, 2014



- ONSITE GRADING & CONSTRUCTION NOTES**
- 1 EXISTING IMPROVEMENTS - PROTECT IN PLACE
 - 2 PROPOSED ROAD IMPROVEMENTS PER TRACT 2710 PUBLIC IMPROVEMENT PLANS
 - 3 PROPERTY LINE
 - NOTES 4 TO 10 NOT USED
 - 11 CONSTRUCT CONCRETE DRIVEWAY. 6" P.C.C. (520 - C - 2500 OVER 2" SAND BASE WITH JOINTS, SCORING PATTERNS, FINISH AND COLOR PER ARCHITECT'S PLANS. REBAR REINFORCEMENT SHALL BE #4 BARS @ 18" O.C. EACH WAY INSTALLED IN THE MIDDLE OF THE SLAB.
 - 12 CONSTRUCT CONCRETE FLATWORK. 4" P.C.C. (520 - C - 2500 OVER 2" SAND BASE WITH JOINTS, SCORING PATTERNS, FINISH AND COLOR PER ARCHITECT'S PLANS. REBAR REINFORCEMENT SHALL BE #4 BARS @ 24" O.C. EACH WAY INSTALLED IN THE MIDDLE OF THE SLAB.
 - 13 CONSTRUCT EARTHEN SWALE PER DETAIL "A", SHEET C-1.
 - 14 CONSTRUCT SITE RETAINING WALL. SEE WALL PROFILE, SHEET C-3. REFERENCE STRUCTURAL PLANS FOR DETAILS.
 - 15 CONSTRUCT PEDESTRIAN BARRIER. REFERENCE ARCH PLAN FOR DETAILS.

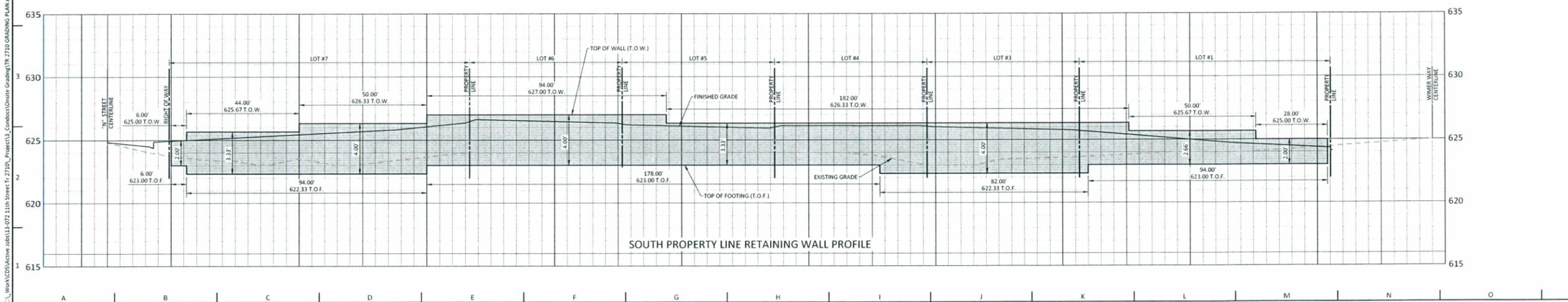
PLAN PREPARED BY:
CIVIL DESIGN STUDIO
 CIVIL ENGINEERING | PLANNING | PERMITTING
 9700 El Camino Real | Suite 300 | Menlo Park, CA 94025
 www.civilstudio.com



ENGINEER OF RECORD:
DAVID WINKLER
 PROFESSIONAL ENGINEER
 LICENSE NO. 50612
 STATE OF CALIFORNIA

PROJECT NAME:
ONSITE CIVIL PLANS - TRACT 2710

PROJECT LOCATION:
 11TH STREET AND "N" STREET
 SAN MIGUEL
 SAN LUIS OBISPO, CA 93401
 APN: 021-241-021



REVISIONS:

REVIEWED BY: RDW
 PREPARED BY: DJN
 DATE: JANUARY 21, 2014
 SCALE: AS SHOWN
 CDS JOB #: 13-072

GRADING PLAN
C-3

SHEET 3 OF 4 SHEETS

C:_Work\CDS\Active Jobs\13-072 11th Street Tr 2710 Onsite Grading\TR 2710 GRADING PLAN.dwg, January 21, 2014



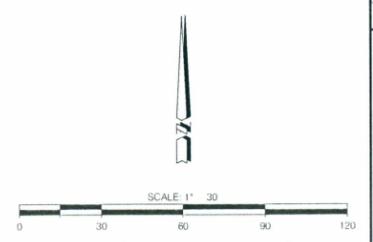
SEE PUBLIC IMPROVEMENT PLANS FOR TR 2710 FOR STORM DRAIN CONTINUATION

- COMPOSITE UTILITY PLAN NOTES**
1. PROPOSED UTILITY IMPROVEMENTS SHOWN HEREON FOR REFERENCE ONLY. REFER TO PUBLIC IMPROVEMENT PLANS FOR TR 2710 FOR INSTALLATION OF SEWER, WATER, AND STORM DRAIN IMPROVEMENTS. REFER TO UTILITY PURVEYOR'S "HANDOUT PACKAGE" FOR INSTALLATION OF "DRY" UTILITIES.
 2. THE EXISTENCE AND APPROXIMATE LOCATIONS OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CIVIL ENGINEER ASSUMES NO LIABILITY AS TO THE EXACT LOCATION OF SAID LINES NOR FOR UTILITY OR IRRIGATION LINES WHOSE LOCATIONS ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY AND IRRIGATION COMPANIES PRIOR TO WORK OR EXCAVATION TO DETERMINE THE EXACT LOCATIONS OF ALL LINES AFFECTING THIS WORK, WHETHER OR NOT SHOWN HEREON, AND FOR ANY DAMAGE TO OR PROTECTION OF THESE LINES.

UTILITY LEGEND

	SD	STORM DRAIN LINE
	SS	EXISTING SANITARY SEWER LINE
	SS	PROPOSED SANITARY SEWER LINE
	WL	EXISTING WATER LINE
	WL	PROPOSED WATER LINE
		EXISTING OVERHEAD WIRE
	WM	WATER METER
	FH	FIRE HYDRANT
	A.V.	AIR-VAC RELEASE VALVE
	W.V.	WATER VALVE
		THRUST BLOCK
	SSMH	SANITARY SEWER MANHOLE
	SSCO	SANITARY SEWER CLEANOUT
	SDMH	STORM DRAIN MANHOLE
	GETTV	GAS, ELEC, TEL, CABLE SERVICE
	LIGHT STD.	LIGHT STANDARD

For Reference Only



PLAN PREPARED BY: CIVIL DESIGN STUDIO
 CIVIL ENGINEERING | PLANNING | PERMITTING
 10000 El Camino Real | Suite 100 | Alhambra, CA 91802
 626-256-8400 | www.civil-design.com

ENGINEER OF RECORD: [Signature]

PROJECT NAME: ONSITE CIVIL PLANS - TRACT 2710
 PROJECT LOCATION: 11TH STREET AND "N" STREET
 SAN MIGUEL
 SAN LUIS OBISPO, CA 93401
 APN: 021-241-021

PLANS PREPARED FOR: PEOPLE'S SELF HELP HOUSING
 3533 EMPLEO STREET
 SAN LUIS OBISPO, CA 93401

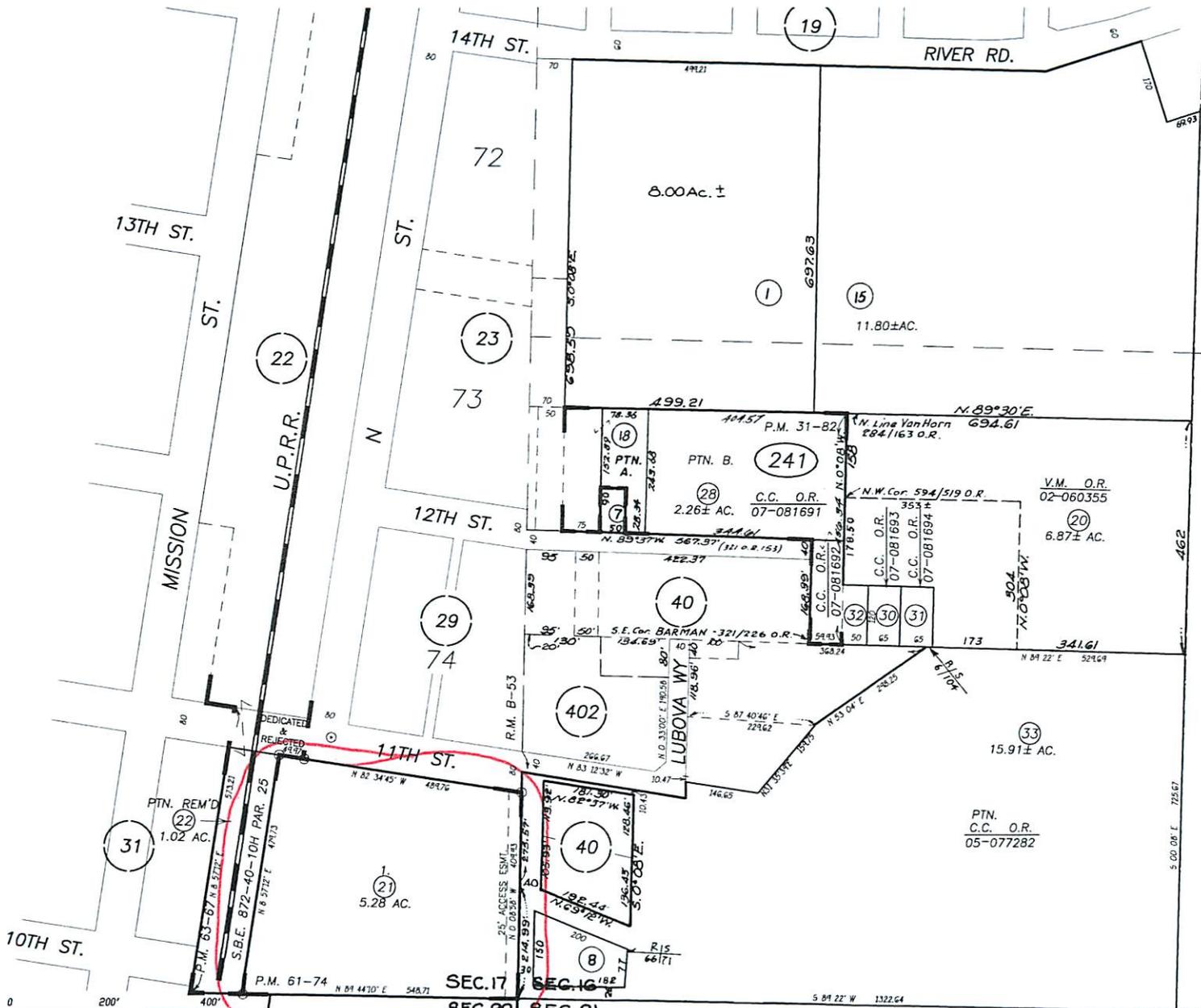
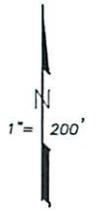
REVISIONS:

REVIEWED BY: RDW
 PREPARED BY: DJN
 DATE: JANUARY 21, 2014
 SCALE: AS SHOWN
 CDS JOB #: 13-072

COMPOSITE UTILITY PLAN
C-4

SHEET 4 OF 4 SHEETS

C:\Work\CDS\active jobs\13-072 11th Street Tr 2710\COMP UTIL PLAN.dwg, January 21, 2014



REVISIONS	
I.S.	DATE
05-267	01-10-05
05-492	06-30-05
06-082	09-02-05
06-282	02-08-06
06-282	02-09-06
09-004	03-19-08
09-004	03-20-08
10-164	03-08-10

100' 0 200' 400'

GB
03-26-01

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

TOWN OF SAN MIGUEL, R.M. Bk. B, Pg. 53.
T. 25S.; R. 12E.; SECTION 16. M.D.B.&M.

SAN MIGUEL
ASSESSOR'S MAP, COUNTY OF
SAN LUIS OBISPO, CA.
BOOK 021 PAGE 241





Parcel Summary Report For Parcel # 021-241-021

1/31/2014
7:50:59AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PEOPLES SELF-HELP HOUSING CORP
3533 EMPLEO ST SLO CA 93401-7349
OWN PEOPLES SELF-HELP HOUSING CORP A CA

Address Information

Status Address
P 00525 11TH ST SMIG

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO02-	371	0001	San Miguel	Salinas	RSF			Y		

Parcel Information

Status Description
Active PM 61-74 PAR 1

Notes

Tax Districts

SAN MIGUEL
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
SAN MIGUEL
NO. 01
AREA NO. 21
SAN MIGUEL



Parcel Summary Report For Parcel # 021-241-021

1/31/2014
7:51:00AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2013-00065 REC Primary Parcel

Description:

24 SINGLE FAMILY RESIDENCES

PRE2013-00014 MET Primary Parcel

Description:

24 LOT TRACT (TRACT 2710) WITH AFFORDABLE SINGLE FAMILY HOMES TO BE BUILT BY PEOPLE'S SELF HELP HOUSING

LRP2004-00026 APV Related Parcel

Description:

SAN MIGUEL COMMUNITY UPDATE

S020247P RDD Related Parcel

Description:

PROP 2 LOT PARCEL MAP (MAP RECORDED 7/23/04 BK 61 PG 074-077 OF PM)

SUB2004-00331 PTX Related Parcel

Description:

TRACT MAP TO SUBDIVIDE AN EXISTING 5.28 ACRE PARCEL INTO 24 RESIDENTIAL PARCELS OF 6,024 TO 9,668 SQUARE FEET EACH

SUB2005-00265 APV Related Parcel

Description:

REQUEST FOR 5 ROAD NAMES: WIMER WAY-A STREET MAKEWE AVE-B STREET SOKA WAY-C STREET CHIC LANE-D STREET CATALA WAY-E STREET