



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 5/12/2014

TO: _____

FROM: Megan Martin (805-781-4163 or mamartin@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2013-00097 VILLA SAN JULIETTE – Proposed conditional use permit for a phased winery expansion. Phase 1: 22,020 sf winery expansion. Phase 2: Conversion of existing lower level residence to a six-room bed & breakfast with limited food facility inside tasting room. Increased special events program. Site location is 6385 Cross Canyon Rd, San Miguel. APN: 019-051-041

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

ELPO/ RELPO

AG FH

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Site Plan
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Curb, Gutter & Sidewalk Waiver
- Plot Plan
- Variance
- Surface Mining/Reclamation Plan
- Modification to approved land use permit
- Zoning Clearance
- Other

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Villa San Juliette Holdings LLC Daytime Phone (805) 467-0014
 Mailing Address 6385 Cross Canyons Road, San Miguel, CA Zip Code 93451
 Email Address: Matt@villasanjuliette.com

Applicant Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Kirk Consulting Daytime Phone (805) 461-5765
 Mailing Address 8830 Morro Road, Atascadero, CA Zip Code 93422
 Email Address: jamie@kirk-consulting.net ; mandi@kirk-consulting.net

PROPERTY INFORMATION

Total Size of Site: +/- 169 acres Assessor Parcel Number(s): 019-051-041

Legal Description: T25S R13E PTN SEC 18.

Address of the project (if known): 6385 Cross Canyons Road, San Miguel, CA

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: From Hwy 101 north lake Mission St. exit, right on river road, right on Cross Canyon Road, property is located approximately 4 miles on the left on Cross Canyons Road.

Describe current uses, existing structures, and other improvements and vegetation on the property:
Vineyard operations, +/- 140 vineyards planted. Existing residence and tasting room, and winery production buildings.

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Phase 1 +/-22,020sf winery expansion, Phase 2:conversion of ex. lower level residence to a 6 room Bed and Breakfast with limited food facility inside tasting room. Increased special events program. See project description.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature *[Signature]* Date 8-7-14

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): Modification to Winery Noise Ordinance to allow Outdoor Amplified Music after 5 p.m. See project description.

Describe existing and future access to the proposed project site: Existing access will remain off of Cross Canyons Road, a collector road. Secondary access will be from an existing driveway off of Cross Canyon Road, east of the primary entrance.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Agriculture South: Agriculture - vineyards
East: Agriculture - single residence West: Agriculture - vineyards

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: proj description sq. feet _____ % Landscaping: _____ sq. feet _____ %
Paving: none sq. feet _____ % Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: 0 sq. feet acres

Number of parking spaces proposed: 45 (existing) Height of tallest structure: 34' 8"

Number of trees to be removed: 0 Type: _____

Setbacks: Front 915' Right 100' Left 2,576' Back 1,562'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL FIRE - Meridian Station 52

For commercial/industrial projects answer the following:

Total outdoor use area: 5,090 sq. feet acres

Total floor area of all structures including upper stories: 38,138 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer ALL of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: +/-10 acres
Moderate slopes of 10-30%: +/-100 acres
Steep slopes over 30%: +/-50 acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: Streams to northwest corner of property & west structures
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Previous grading for existing residence
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Project is visible from Ranchita Canyon Road and portions of Cross Canyons Road.

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain Vineyard operations and winery processing facilities.
 Commercial/Office - Explain B&B and tasting room with limited food facility in existing residence.
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? refer to water calcs
4. How many service connections will be required? 0
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: Existing well for residence and vineyard operations
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
 Bacteriological? Yes No
 Chemical? Yes No
 Physical Yes No
 Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? +1,000 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No *(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)*

If a community sewage disposal system is to be used: N/A

1. Is this project to be connected to an existing sewer line? Yes No
 Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 10 Between 4:00 to 6:00 p.m. 10
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: There are no restrictions.

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: Phase 1 - winery expansion, Phase 2 - conversion of residence to B&B with limited food facility. See project description.
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: ATF, NTTB

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
Use of existing primary access on Cross Canyons Road. Use of existing winery processing building areas, conversion of existing residence for use of B&B and dual utilization of existing tasting room for tasting and food consumption.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes No

If yes, please describe and provide "ED" number(s): ED07-216

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Modification to Winery Noise Ordinance for Amplified Music after 5pm for outdoor events.

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

Villa San Juliette Winery

May 2014

Enclosed are the following to complete the application for a Conditional Use Permit for Villa San Juliette Winery

- Project Description
- Answers To Typical Winery Questions
- Winery Ordinance Evaluation
- General Permit Application
- Consent of Landowner
- Land Use Permit Application
- Floor Plans & Elevations for Winery & Tasting Room (Seven 24" x 36" & one 8.5" x 11")
- 1,000' Radius Mailing List and Copy of Neighbor Notice
- Water Offset Calculations
- Winery Wastewater Report
- Noise Study
- Copy of Approved MUP- NOFA
- Exhibit: Photos of Existing Development
- Permit History

Villa San Juliette Winery
May 2014

VILLA SAN JULIETTE WINERY
6385 Cross Canyons Road San Miguel, CA

This project involves modifications to an existing winery, known as Villa San Juliette Winery, located on 169-acre parcel at 6385 Cross Canyons Road San Miguel, CA. The property is zoned Agriculture, is under Ag Preserve Contract and is located on Cross Canyons Road, a collector road. Villa San Juliette is currently operating under a Minor Use Permit entitlement (DRC2007-00076) which approved two winery buildings, a tasting room within an existing single family residence and a small event program. This proposal includes a Conditional Use Permit for a phased winery expansion, partial conversion of the existing residence to a Bed and Breakfast Inn, limited food serving facility within the existing tasting room and an increased limited special event program.

Below is a summary of the proposed project:

Existing Winery Use Areas: 11,764sf

Tasting Room: 1,521sf (located between private residences, lower floor)

Building A-Processing: 2,933sf

Building B-Processing/Storage: 2,939sf

Outdoor Fermentation Slab: 3,471sf

Outdoor Processing Slab: 900sf

**Note: These ex. outdoor use areas will be enclosed and modified to create Building C*

PHASE ONE: New (Phased) Winery Expansion

➤ **Building C (Expansion of Buildings A&B)**

Indoor Winery: 13,930sf

Barrel Storage Room: 4,650sf

Fermentation Room: 6,580sf

1st Floor Administration: 1,200sf

2nd Floor Administration: 1,500sf

Outdoor Winery: 5,090sf

Outdoor Crush Pad: 4,060sf

Porch: 1,030sf

➤ **Building D (Relocation and Conversion of Ex. 3,000sf Ag Equipment Building to Case Goods Storage)**

Indoor Winery: 3,000sf

Phase One- Total New Indoor Winery = 16,930sf

Phase One- Total New Outdoor Winery= 5,090sf

Total Phase One Winery Uses Buildout (Indoor): 22,802sf

Total Phase One Winery Uses Buildout (Outdoor): 5,090sf

Villa San Juliette Winery

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PHASE TWO: Bed and Breakfast

➤ **Conversion of existing Residence (Lower Level): to Bed and Breakfast Inn**

Existing (4 Bedrooms/2 baths)

Proposed (+2 new bedrooms, +2 baths)

Total = 6 rooms, 4 baths

Note: Upper floor to remain for private residential use only

➤ **Tasting Room small service/support addition:**

Kitchen: 49sf

Service: 640sf

Terrace (second floor to serve residence): 706sf

➤ **Limited Food Facility**

Utilization of an 800sf portion of the existing Tasting Room.

Phase Two-Hospitality: Tasting Room/Limited Food Facility/B&B (lower level): 7,456sf

Special Event Program

The existing winery was approved for a special event program for 6 events with up to no more than 80 guests under their previous Minor Use Permit. This new proposal includes a Conditional Use Permit to allow for 23 annual special events, broken down into the following special event program:

3 special events at no more than 500 guests

20 special events at no more than 200 guests

The winery will also participate in periodic industry-wide events by holding open houses and winemaker dinners during those established event weekends and other events currently allowed by the LUO. The applicant is requesting a modification to the winery noise ordinance for outdoor amplified music after 5 p.m. and will adhere to all county noise standards. A noise study was conducted and found that outdoor amplified music will not exceed 65db at the property lines; therefore the proposal meets the finding required to allow outdoor amplified music beyond 5pm.

The winery currently has an approved event program with event parking and secondary access. Additional event overflow parking will be located along the winery facility, driveway, in front of the production facilities and back behind the winery in an open area (previous corral). Cal Fire has been to the site recently in April 2014 to evaluate site conditions and proposal. Cal Fire will be recommending additional mitigation measures, for operational purposes, on their fire safety plan. Secondary access and parking areas are existing and sufficient. Please refer to the overall site plan for access and parking locations.

Case Production

The existing facility produces up to 25,000 cases per year. This proposal includes an increased production for another 55,000 cases annually to bring the total annual case production to 80,000 cases. Production will be sourced from onsite and offsite vineyards.

Waste Water Flow:

The existing winery wastewater treatment facility, involves the capturing of process wastewater from floor drains/trenches and is collected and directed to a lift station where it is pumped then gravity fed

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down to an aerated pond. The wastewater is treated at the pond and then sent to the percolation pond. Wallace Group has prepared and permitted this design and has also considered this proposed increase in production. A copy of their waste water report has been provided as well as correspondence from RWQCB recognizing this upgrade. At ultimate production the winery will generate 8,056 gpd.

Water:

The property is located within the Paso Robles Groundwater basin and is subject to the SLO County Urgency Water Ordinance (3246). The ordinance includes requirements for new proposed water demands to offset water with a 1:1 ratio. In addition according to Section 22.104.020 of the Salinas River Areawide Standards for discretionary permits, the new net water demand must be offset at a 2:1 ratio. Water calculations were conducted for the winery expansion, special events and B&B. It was determined that the project would yield 0.56 acre feet annually. The proposed offset is mitigated with the removal of 0.9 acres of irrigated vineyards. The estimated water savings from the removal of irrigated vineyards (1.13 acre-ft/year) which exceed the minimum required offsets (0.56 acre-ft/year). Please refer to information below, referenced from Wallace Group's Water Offset Calculation Memo.

Water Offset Breakdown:

Table 1: Estimated Increased Water Use from Phase II Expansion		
Development Component	Basis of Demand Estimate	Estimated Increased Annual Water Use
Increased wine production	55,000 cases x 10 gal/case x 20%	110,000 gallons (0.34 acre-ft)
800 sf restaurant	(9 gal/day/cust x 10 customers x 365 days/year x 20%)x 75%	19,710 gallons (0.06 acre-ft)
Increased Events	4,500 people x 5 gal/person	22,500 gallons (0.07 acre-ft)
Bed and Breakfast (New B&B - existing house)	(150 gal/day/unit x 70% occupancy x 6 units x 365 days/year x 20%) - (3 people x 70 gal/cap/day x 365 days/year x 20%)	30,660 gallons (0.09 acre-ft)
Total Increased Demand		160,370 gallons (0.56 acre-ft)

Structure Siting:

The winery expansion will be located on the eastern portion of the parcel behind the existing winery structures (Buildings A & B). This location was chosen because it is located adjacent to the existing winery development on the site, will replace existing ag buildings and is close to existing improvements (access, utilities, etc). Visual simulations have been provided by the architect for context of building in relation to existing winery structures onsite.

Interior modifications are proposed to the existing residence's lower level in order to accommodate a Bed and Breakfast. The building footprint will remain the same and only an additional restroom and bedroom will be added on each side.

The tasting room will remain within the same location. The tasting room will only be modified operationally, to include the ability to consume 'made to order' food within a small portion. This modification includes the ability to have a limited food facility within an 800sf portion of the existing tasting room.

Primary access will remain from an existing driveway off of Cross Canyons Road, a collector road. Secondary access for events already approved in the original use permit, will be provided on Cross Canyons Road, from an existing driveway east of the primary entrance.

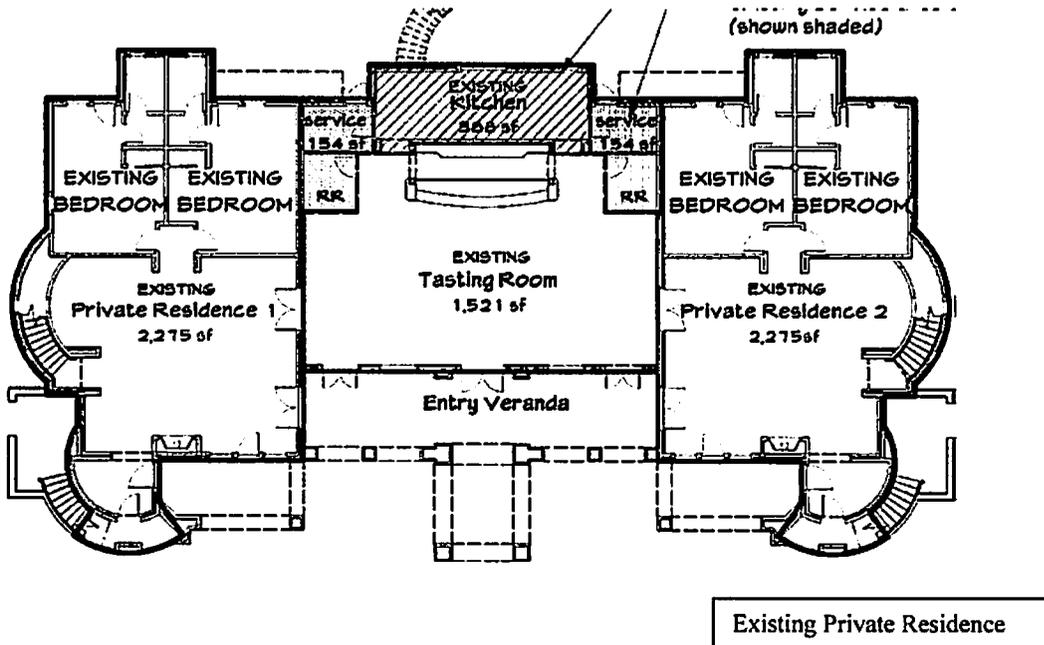
Biological Impacts:

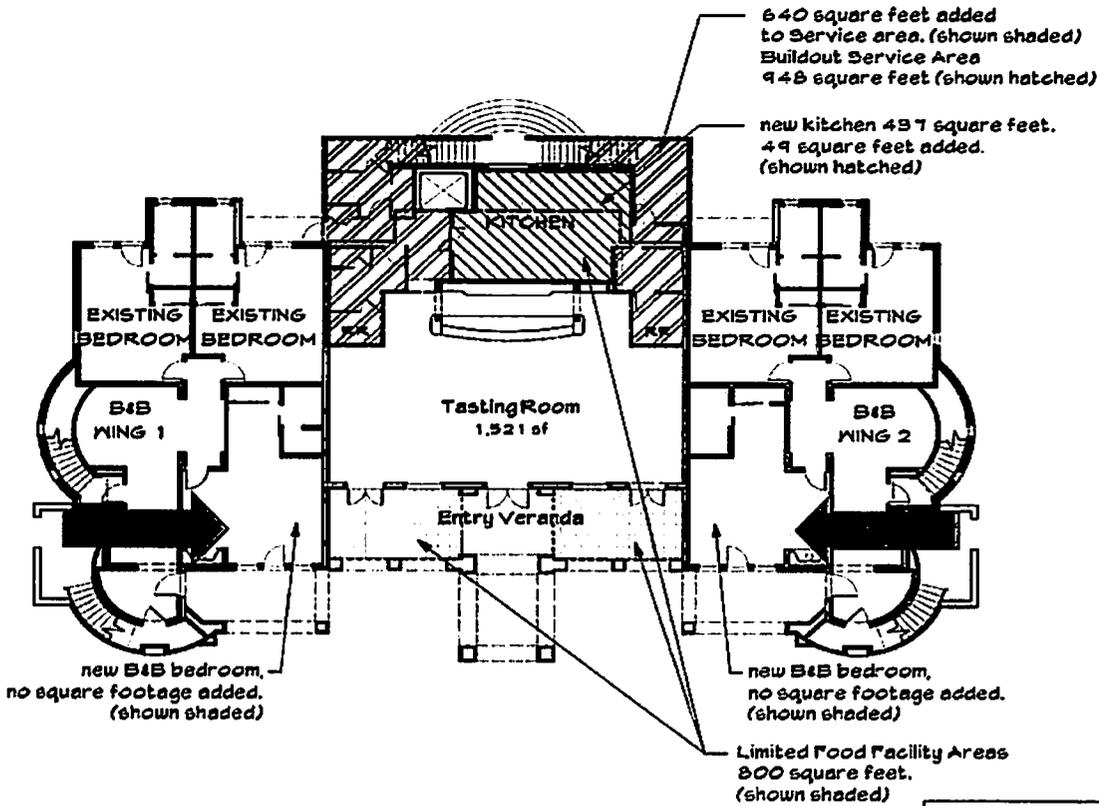
Implementation of the project will not result in an impact to biological resources on the site. The site is within the San Joaquin Kit Fox habitat area. A previous Kit Fox evaluation was documented in the previous MND noted this parcel is within its habitat area and requested mitigation for new ground disturbance at a 4:1 ratio. The project will not require the removal of any native trees.

LUO Compliance- B&B, Limited Food Facility, Winery, Signage

LUO Requirements for Bed and Breakfast (Section 22.30.260)

This application includes a conversion of an existing single family residence into a Bed and Breakfast Inn with 6 rooms. The residence currently has two private residences; one on one side of the tasting room and one on the other. Combined, this residence is 13,941sf in size. Modifications to accommodate this conversion include subdividing the first floor (4 bedrooms existing) of each residence into 3 bedrooms (6 total). Everything will be accommodated under one roof, within the existing building's footprint. The terrace of the second floor will expand 706sf to accommodate the increase of the limited food facility. Compliance with lodging facilities on Agricultural property is discussed below in the LUO discussion.





Interior Remodel for B&B

A Bed and Breakfast Inn is subject to a Conditional Use Permit and must be incidental to the primary operation of the winery or the tasting room. The Bed and Breakfast is incidental to the winery production onsite and its proposed expansion.

Where the bed and breakfast is located on a site in the Agriculture, Rural Lands and Residential Rural categories with an existing conforming visitor-serving facility (e.g., winery, riding stable, health resort), it may be established in one structure, with an exterior design style that is residential or agricultural in appearance, built expressly for a bed and breakfast inn where the facility is approved with a Conditional Use Permit. The bed and breakfast inn shall be clearly incidental, related and subordinate to the primary operation of the winery as a production facility or the visitor serving use where the use is not a winery.

In addition, the Bed and Breakfast shall be located within 100' of the visitor serving use. The Bed and Breakfast is located within the same structure as the tasting room. On Agricultural zoned land, a Bed and Breakfast Inn is allowed to have up to 8 bedrooms. This proposal is for a 6 bedroom B&B, four of which are existing bedrooms. An interior remodel within the existing residence will accommodate an additional two bedrooms and two restrooms. The upper floor of the residence will remain unchanged and will still operate as a single family residence. Parking for the B&B is provided in front of the winery buildings.

LUO Requirements for Limited Food Serving Facility (Section 22.30.570)

This application includes a limited food facility within the existing tasting room, in order to provide service to tasting room visitors and guests staying at the B&B. The limited food facility will consume 800sf of the existing tasting room area.

In order to establish a limited food facility in the Agriculture land use category, the site and operation must meet a list of criteria. Below are the pertinent Land Use Ordinance requirements and a description of how the project is compliant with the standards.

Visitor Use

- c. **A limited food service facility may be established in the Agriculture land use category where there is an existing conforming visitor-serving use (e.g.: winery, riding stable, health resort), and where the use is clearly incidental, related and subordinate in nature and size to the primary operation of the winery as a production facility or to the existing visitor-serving use where the use is not a winery. The limited food service facility shall be within the same structure as the wine tasting facility, or the winery facility where no tasting is proposed, or within the same structure as the visitor serving use where the use is not a winery.**
-

- Must have an established visitor serving use (e.g. winery, riding stable, health resort)

The established visitor serving use is the tasting room.

- Limited food facility must be incidental, related and subordinate to size and operation of visitor serving use

The proposed limited food facility will be incidental to the tasting room as it is a small accessory component to the main tasting room operation.

Site Area

- B. Minimum site area. 6,000 square feet in urban areas; one acre in rural areas.**
-

- Site must be a minimum of 6,000sf

The site 160 acres which far exceeds min. site area requirements.

Location

- C. Location and access. In Residential categories, the site of a restaurant shall be located on a collector or arterial; the site of a store selling food or beverages for off-premise consumption shall be located at the intersection of two collectors, arterials or combination of both. Such uses may be sited on local streets in Recreation and Office and Professional categories. The site of a limited food service facility in the Agriculture category shall be located within 5 miles from an urban or village reserve line, and on or within one mile of an arterial or collector.**
-

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- Limited food facility must be located within the same structure as the visitor serving use

The limited food facility is located within the same structure as the tasting room and Bed and Breakfast.

- Limited food facility must be located within 5 miles from an urban or village reserve line, and on or within one mile of an arterial or collector road.

The limited food facility is located within 5 miles of the San Miguel Village Reserve Line (approximately 3.5 miles) and Paso Robles Urban Reserve Line (about 4 miles) and is located on Cross Canyons Rd., a collector road.

Hours

- D. Hours of operation.** The conduct of retail business in residential or agricultural areas is limited to the hours between 7:00 a.m. and 9 p.m. daily. A limited food service facility in the Agriculture land use category is restricted to the hours the wine tasting facility, or the winery facility where no tasting is proposed, or the visitor serving use where the use is not a winery, is open to the public.
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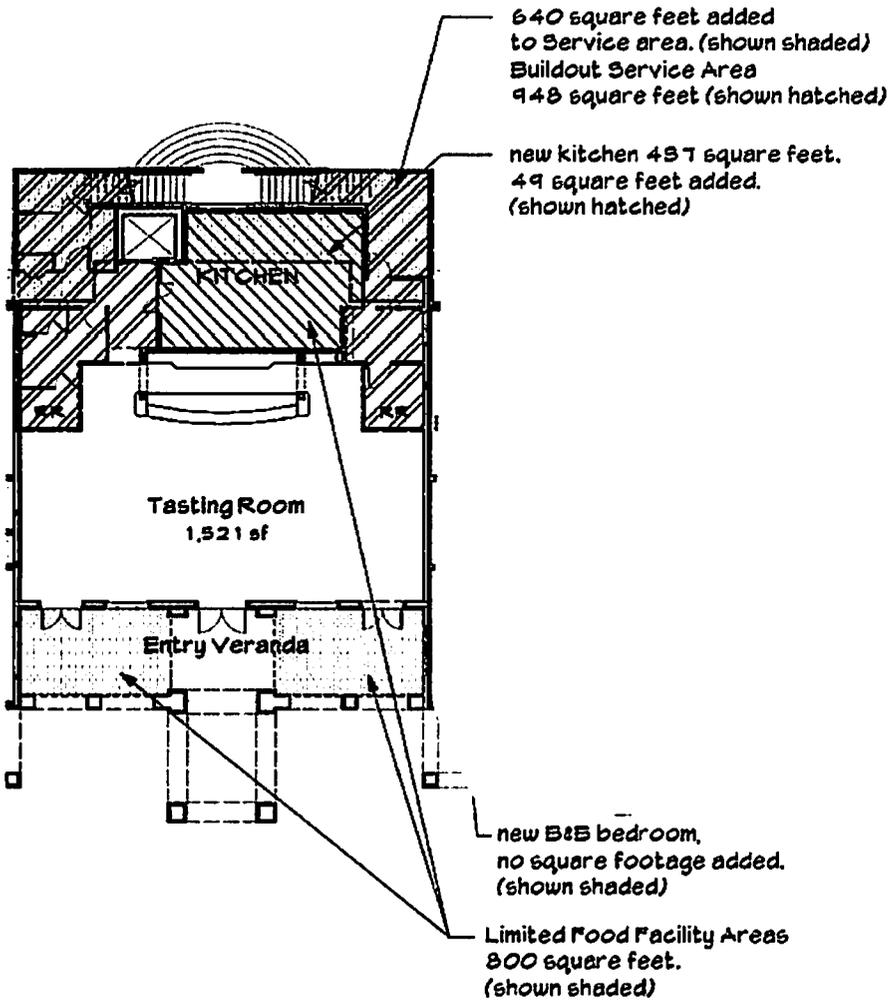
The operation plans to conduct business consistent with tasting room hours and the Bed and Breakfast operation.

Size

- E. Size of accessory restaurant.** The size of a limited food service facility in the Agriculture category shall contain no more than 800 square feet of kitchen and dining area, including any outdoor dining area.
-

- Limited food facility (kitchen, dining and any outdoor dining) may not contain more than 800sf

The limited food facility proposed is a maximum of 800sf. It includes indoor and outdoor areas within the tasting room area.



LUO Requirements for Signage (Section 22.20.060)

Commercial Signage on Agriculturally zoned property is governed by Section 22.20.060A2. Villa San Juliette has existing monument signage at their existing main gate, onsite signage at the intersection of Pleasant Rd. and Cross Canyons Rd. and a small sign on the processing/secondary access to keep visitors from accessing. They also have two off-site signs at the Airport/Estrella intersection and the Estrella/Pleasant Rd (these are each between 4-6'). Villa San Juliette wishes to keep these signs and potentially replace them with new and improved graphics.

Answers To Typical Winery Development Application Questions

1. Please describe all the stages of wine production that will be done on-site or off-site.

The following activities are proposed to occur on-site: Crushing, fermenting, barrel aging, blending, bottling, and case goods storage. The applicant plans to continue to produce wine from on and off-site grapes.

2. How much wine will be produced?

Existing wine production under the original minor use permit was approved for 25,000 cases per year. The proposed production will increase by 55,000 cases to an anticipated production of 80,000 cases annually.

3. Based on your answers to No. 1 & 2 above, how much truck/equipment traffic will the winery generate? What are the peak times of the year for this traffic? Peak times of day? Any ideas about how much traffic the tasting room itself may generate?

The tasting room traffic will remain the same as there is no change to the tasting room. Patrons that will be visiting the tasting room will most likely partake in food provided at the limited food facility.

There is also no increase in public traffic from the residential room occupancy conversion to B&B.

An increase in winery production facilities is anticipated to generate an additional (22,020sf increase in production areas/ 1000sf *0.97= 21 pht). The majority of grapes are processed from onsite sources. This estimate is conservative.

Special events are based on 0.4 pht max permitted attendance. The 500 guest events would generate 200 pht and the 200 person events may generate 80 pht; however, the event operations are not proposing to hold events during the peak hours which would therefore eliminate peak hour trips. The larger events will most likely occur on weekends and not impact peak hour trips. Weeknight activities may occur on a Thursday or Friday, but will commence after 6pm.

4. Describe the volume of waste disposal you will be handling on-site (liquid and solid waste/pomace). Describe this for both the existing winery and the expansion phases.

Winery wastewater is in place and is currently collected and transferred to wastewater treatment ponds onsite. Information on design and permits are included with this application and have been prepared by Wallace Group.

5. Describe the quantities of waste disposal that will occur on a typical day at the peak of production season. (Over 2,500 G.P.D. requires state Regional Water Quality Control Board approval.)

The existing winery generates up to 2,014 gallons of wastewater per day during peak crush with a 25,000 case per year production. Proposed peak production, at 80,000 cases per year, expects to be at 8,056 gpd.

6. How many employees will the winery employ (both existing winery and expansion phases.)

Villa San Juliette may add another 10-15 employees with the winery expansion and hospitality services.

7. Will the tasting room sell food (food sales require Health Dept. permit).

Yes, the tasting room includes a commercial kitchen and will include a limited food facility.

Villa San Juliette Winery

May 2014

8. Will the winery process grapes from other sites or rely on grapes grown on the site and adjacent parcels?

The winery will process grapes from both on and off-site grapes.

9. Will the project require the construction of water reservoirs for irrigation, wastewater treatment and/or fire safety?

The project currently has 30,000 gallons of water storage. Collings & Associates – Fire Protection Engineers are currently evaluating a master plan for the increased production facility.

10. Do you plan to lease out the winery or tasting room facilities for any public events (parties, weddings), or to have ticket-paying concerts on-site? If yes, then how many events per year (also, what days & what time of day), how many people, and what types of events. Where will extra parking go?

This facility is proposing to hold 20 winery special events per year, with no more than 200 guests at each event and 3 winery special events per year, with no more than 500 guests at each event. The winery will also participate in periodic industry-wide vents by holding open houses and/or winemaker dinners during established event weekend. The applicant is requesting a modification to the Noise Ordinance for outdoor amplified music after 5 p.m. and will adhere to all county noise standards.

Secondary access is existing. Additional event overflow parking areas are shown on the site plan.

Ordinance Evaluation of the Winery

Below is a detailed evaluation of how the project is consistent with LUO requirements.

22.30.070 - Ag Processing Uses:22.08.042 - Ag Processing Uses: Agricultural processing activities as defined by the Land Use Element, including but not limited to wineries, packing and processing plants and fertilizer plants, are allowable subject to the following:

- A. Permit requirements.** Conditional Use Permit required, for access location inconsistencies, under section 22. 30.070.

- B. Application content.**
 - (1) Public Notice.**
 - (a) Prior to application submittal.(i)Prior to application submittal.** The applicant shall submit evidence that the neighboring property owners and the applicable advisory group were notified of the request prior to the submission of the land use permit to the county. This notice shall be provided by the applicant sending a letter using the form provided by the Department of Planning and Building. The letter shall be mailed or

delivered at least 10 days prior to application submittal to the applicable advisory group and to all owners of real property as shown on the latest equalized assessment roll within 1,000 feet of the subject site.

Please see attached notice sent to neighbors and 1,000 foot radius mailing list. Please note that the event program listed on the neighbor notice has been reduced for the application.

(b) Public hearing notice. (ii)Public hearing notice. Public notice shall be provided to owners of property within a minimum of 1,000 feet of the exterior boundaries of the proposed AG processing site and to all property owners fronting any local roads that serve the facility back to an arterial or collector, instead of in the manner normally required for public hearings by Section 22.70.060. Public notice may be required to be provided to properties greater than 1,000 feet away for certain applications at the discretion of the Director of Planning and Building.

2. Description of Use. Applications for agricultural processing uses are to include a description of all processes and equipment proposed for use on the site, and a description of measures proposed to minimize the off-site effects of dust, odor or noise generated by the proposed operation. Such information is to be provided in addition to that specified in Article 6 (Land Use and Development Permit Procedures), in order to evaluate the conformity of a proposed use with the standards of Article 3 (Site Planning and General Project Design Standards).

See attached project description.

C. Minimum site area. No minimum required unless subsection D would otherwise require a minimum site area.

Subsection is not applicable.

D. Standards for specific uses.

1. Fertilizer plants. The following are minimum requirements to enable consideration of a specific proposal. Greater separation between fertilizer plants and other uses may be required through land use permit approval.

(a) Location:(i)Location: No closer than one-half mile from any residential category located within an urban or village reserve line; and no closer than 400 feet to any residence outside the ownership of the applicant.

Closest neighboring residences are farther than 400 feet from winery.

(b) Setbacks: 200 feet from each property line.

May 2014

2. **Wineries.** For the purposes of this section, a winery is defined as an agricultural processing facility used for the processing (fermentation when combined with any of the following: crushing, barrel aging, blending, and bottling) of juices into wine or the re-fermenting of still wine into sparkling wine. This definition does not include the storage of case goods in the absence of processing (included under Warehousing).

The proposed winery will include crushing, fermenting, barrel aging, blending and bottling.

- a. **Access location.** The principal access driveway to a winery with public tours, tasting, retail sales or special events held in compliance with subsection D.2.i. is to be located on or within one mile of an arterial or collector.

The site will be accessed from an existing driveway on Cross Canyons Road. Secondary access for events will use an existing approved driveway that has access to Cross Canyons Road, east of the primary entrance.

- b. **Solid waste disposal.(ii)Solid waste disposal.** Pomace may be used as fertilizer or soil amendment, provided that such use or other disposal shall occur in accordance with applicable Health Department standards.

The winery utilizes pomace as soil amendment.

- c. **Liquid waste disposal.** Standards will be set, where applicable, through Regional Water Quality Control Board discharge requirements developed pursuant to Section 22.10.180 (Water Quality).

The project's wastewater system will comply with the Regional Water Quality Control Board Discharge requirements.

- d. **Setbacks.(iv)Setbacks.**

- (1) **Rural areas.(a)Rural areas.** All winery structures and outdoor use areas shall be a minimum of 100 feet from each property line and no closer than 200 feet to any existing residence outside of the ownership of the applicant. Where a winery has public tours, tasting, retail sales, or special events (in compliance with subsection D.2.i.), the setback shall be increased to 200 feet from each property line and no closer than 400 feet to any existing residence outside the ownership of the applicant. These setbacks can be modified through Minor Use Permit approval when Conditional Use Permit is not otherwise required by Subsection A. Approval may be granted only after the Review Authority first determines that the request satisfies any of the following findings:
(1) there is no feasible way to meet the required setbacks without

creating environmental impacts or impacting prime agricultural land (SCS Class I, II and III); (2) the property fronts an arterial or collector street; (3) the setbacks are not practical or feasible due to existing topographic conditions or existing on-site vegetation or (4) is a legally constructed existing structure that was built prior to 1980 and it can be clearly demonstrated that the structure was intended for a legitimate agricultural or residential use.

This application is requesting a modification from the side setback requirement for a project with public tasting. The proposed winery processing expansion structures will be 100' from the easterly property and well beyond for other property lines. The tasting room location will not change and is compliant with the 200' setback.

e. Signing. As provided by Section 22.20 (Signs) of this title.

N/A no additional signage proposed at this time.

f. Parking. Parking shall be provided in compliance with Section 22.18. (Parking and Loading Standards) Parking lot construction standards shall be provided in compliance with Section 22.18.060. The parking shall be located and/or landscaped so it is screened from public roads where topography or existing on-site vegetation (including vineyards) does not provide for adequate screening. No parking shall be allowed within any adjoining road right-of-way.

The proposed facility has an unimproved parking area that can currently provide parking for the tasting room, winery and event overflow parking. This parking area will continue to do so. Additional overflow parking will be provided behind the ag buildings where an old corral is located. These areas are both screened from Cross Canyons Road and are compliant with the County LUO parking standards. A total of 45 parking spaces are proposed for existing and future uses.

g. Design standards.

(1) Exterior.(a)Exterior. In the Agriculture, Rural Lands or Residential Rural land use categories, all structures associated with the winery (including production facilities) shall have an exterior design style that is agricultural or residential in nature using non-reflective siding and roofing materials. Structures shall not use an exterior design style typically associated with large industrial facilities unless the facility is proposed in the Commercial Service or Industrial land use categories.

The exterior of the winery processing buildings are compatible with the existing residential, Tuscan architecture currently onsite. The new addition will be located behind the existing winery buildings, refer to elevations and perspectives provided on sheets A1.4-A1.6

- (2) **Screening.** Any portion of the winery structures that are visible from public roads shall be screened where necessary to ensure the rural character of the area is unchanged unless screening is not practical, feasible or necessary due to existing topographic conditions or existing on-site vegetation (including vineyards). The screening may include such measures as landscape or existing vegetative screening, existing topography, and/or arrangement of the structures on the site to minimize bulky appearance. Any tank located outside of structures shall be screened 100 percent from public roads.

Winery additions and parking will be screened from Cross Canyon's view as they will be behind existing winery, vineyards. The tanks are back behind all of the structures and are 100% screened from Cross Canyons Rd.

- (3) **Height.** The maximum height of any structure associated with a winery facility shall be 35 feet. The height may be increase to 45 feet where a pitched roof of greater than 4 in 12 is proposed and at least 50 percent of the structure is at 35 feet in height or less.

The new winery addition's height is 34'8" which complies with the maximum height requirement of 35'-0". There is an existing tower feature on the existing winery buildings that was approved with the previous Minor Use Permit. Building D-the conversion of an ag storage building to case storage is only 19'1" in height, which also complies with this standard.

- (4) **Lighting.** All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off the project site. All lighting poles, fixtures, and hoods shall be dark colored. No exterior lighting shall be installed operated in a manner that would throw light, either reflected or directly, in an upward direction.

Any exterior lighting will be shielded and comply with LUO standards.

- h. **Tasting rooms.** Tasting rooms shall be clearly incidental, related and subordinate to the primary operation of the winery as a production facility.
- (1) **Permit requirement.** Minor Use Permit approval. Tasting rooms shall also meet all the standards for wineries set forth in Subsection D.2., in addition to the specific standards of this Subsection.
- (2) **Location.** The tasting room shall be located within or no more than 200 feet from the winery facilities. This standard may be waived where site constraints, on-site access, visual concerns, grading or

other environmental issues can be better addressed through an increased distance. A Minor Use Permit application may be used to modify this standard where an existing structure built prior to 1980 is being used as the tasting facility.

- (3) Number of tasting rooms allowed. (c)Number of tasting rooms allowed.** One tasting room is allowed for each winery. If more than one winery share production facilities or more than one winery is located on a site, only one tasting room is allowed. More than one winery facility may share a tasting room.

The tasting room is existing and approved with the previous Minor Use Permit. The tasting room is not proposed to be changed other than a small addition to the kitchen/service area and reconfiguration of restrooms.

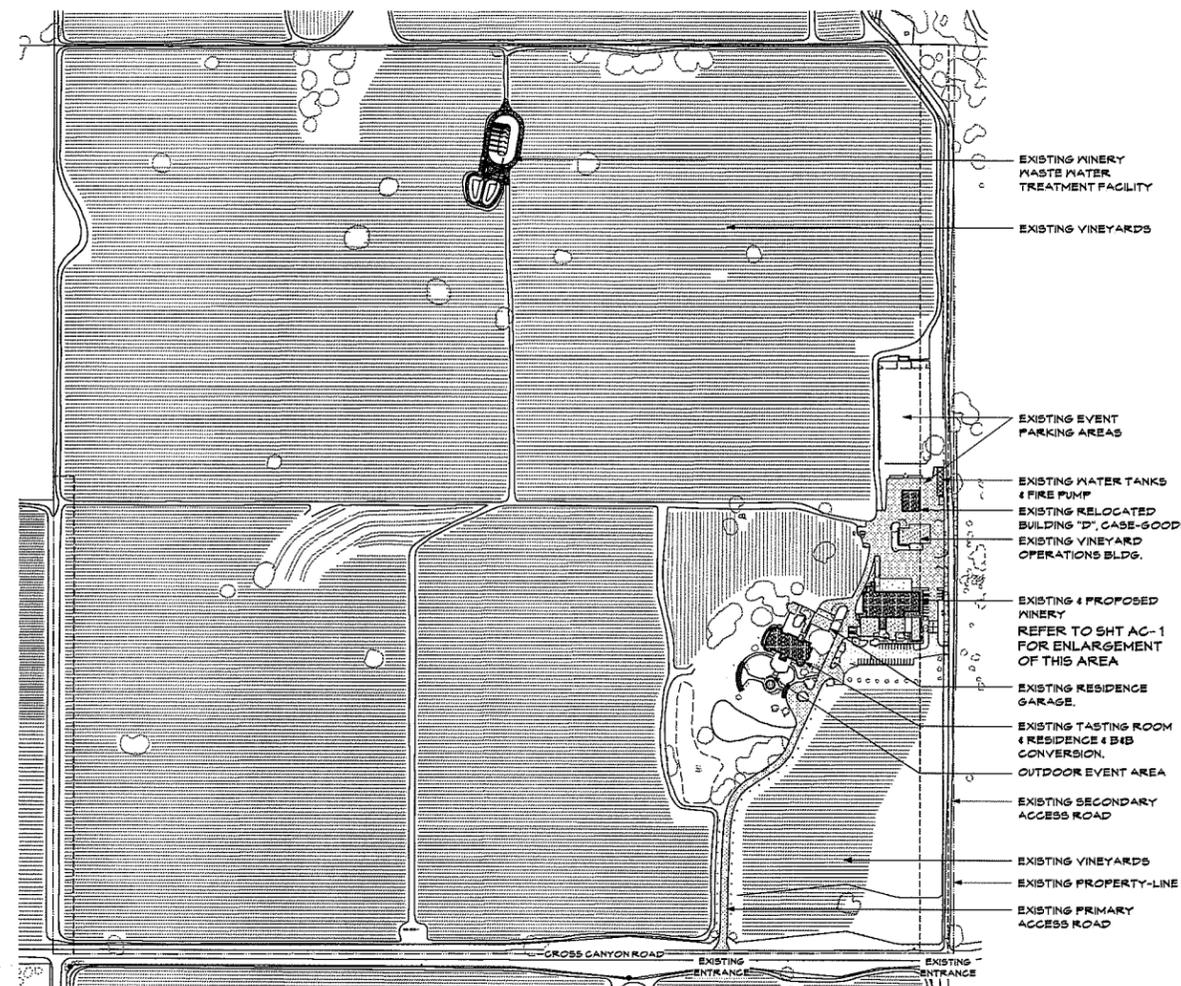
- (1) Special events.** For the purposes of this section special events are defined as any of the following events when there is the possibility that 50 people or more individuals will attend: concerts (with or without amplified sound), weddings, advertised events (including fund raising, but not including industry-wide events), and advertised winemaker dinners open to the general public. Does not include normal patronage of the tasting room or non-advertised events.

The existing facility holds entitlement to host six winery special events per year, with no more than 80 guests annually. The current proposal plans to increase the special event program to 23 special events annually. The limited special event program is planned to be broken down as follows: 3 special events with no more than 500 guests and 20 special events with no more than 200 guests at each event. The applicant is requesting a modification to the Noise Ordinance for outdoor amplified music to occur after 5:00 p.m. during these events and all the facility will abide by all county noise ordinances.

VILLA SAN JULIETTE VINEYARD & WINERY

WINERY EXPANSION AND B&B CONVERSION PROJECT

SAN MIGUEL, CA SAN LUIS OBISPO COUNTY



OVERALL SITE PLAN
NO SCALE



Architecture, Planning & Graphics
3450 Broad Street, Suite 106
San Luis Obispo, California 93401
805/541-5604 voice
805/541-4311 fax

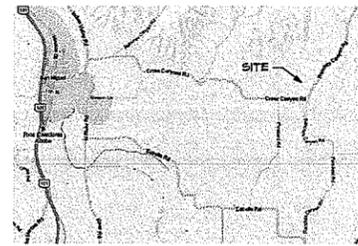
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Project:
VILLA SAN-JULIETTE VINEYARD & WINERY
WINERY EXPANSION AND B&B CONVERSION PROJECT
8385 CROSS CANYON ROAD
SAN MIGUEL CA 93451

VILLA SAN-JULIETTE VINEYARD & WINERY
8385 CROSS CANYON ROAD
SAN MIGUEL CA 93451
(805) 467 - 0014

Consultant:

VICINITY MAP



SYMBOLS

- ① DIMENSIONAL GRID LINE
- ① DOOR MARK REFER TO DOOR SCHEDULE
- Ⓐ WINDOW MARK REFER TO WINDOW SCHEDULE
- Ⓐ WINDOW ABOVE REFER TO WINDOW SCHEDULE
- REFERENCE NOTE
- ①-1 DETAIL NUMBER SHEET SHOWN ON SECTION
- Ⓐ-1 SHEET SHOWN ON

DIRECTORY

ARCHITECT
STEPHEN D. PULITS, AIA & ASSOCIATES, LLP
3450 BROAD STREET, SUITE 106
SAN LUIS OBISPO, CA 93401
(805) 541-5604

SOILS ENGINEER
GEO SOLUTIONS
220 HIGH STREET
SAN LUIS OBISPO, CA 93401
(805) 543-8534

CIVIL ENGINEER - SURVEY/GRADING
ABOVE GRADE ENGINEERING
178 OSBORN STREET, SUITE A
SAN LUIS OBISPO, CA 93401
(805) 540-5115

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities: 2010 CBC, CMG, CPC, and CEC, County of San Luis Obispo, & the Americans with Disabilities Act (Title II).
- The Americans with Disabilities Act (ADA) is subject to various and possibly contradictory interpretations. These plans and any accompanying specifications represent designer's opinion regarding an interpretation of the ADA as it applies to the subject project. Any variance from these documents may create non-compliance to the ADA.
- The existing building described on the following pages is equipped with a fire sprinkler system. If this project requires the fire sprinkler system to be revised to accommodate the improvements, shop drawings shall be submitted and approved by the (City/County) Building and Fire Departments prior to fabrication and modification of the system. System design shall meet all requirements of State Fire Marshal, NFPA, and County regulations. Sprinkler system shall depict dual-alarm remote supervisory service capability. Provide the Fire Department with a key for knock box.
- Special inspectors shall be a qualified person who shall demonstrate competence, to the satisfaction of the Building Official. Names and qualifications shall be submitted to Building Department for approval.
- Erosion and Sediment Control Best Management Practices must be in place and functional PRIOR to the first inspection. No inspections can be performed if they are not in place or have failed to provide erosion control. Failure to maintain erosion control will cause inspections to be delayed until erosion control measures are functional.

PROJECT SUMMARY (CONTINUED)

RESIDENCE, B&B/TR/LIMITED FACILITY PHASE TWO	
BUILDING AREA: REFER TO SHEET B4B A-B	
EXISTING TO REMAIN BUILDING AREA 1ST FLOOR	
RESIDENCE 1 - UTILIZED AS B&B	2,275 SF
RESIDENCE 2 - UTILIZED AS B&B	2,275 SF
TASTING ROOM	1,521 SF
PORTION USED FOR LIMITED FOOD FACILITY	900 SF
KITCHEN	980 SF
SERVICE	300 SF
TOTAL 1ST FLOOR EXISTING	6,761 SF
ADDED BUILDING AREA 1ST FLOOR	
KITCHEN	44 SF
SERVICE	640 SF
TOTAL ADDED SF	684 SF
TOTAL 1ST FLOOR PROPOSED	7,456 SF
TOTAL 1ST FLOOR BUILDING AREA AT BUILD-OUT	
B&B	4,550 SF
TASTING	1,521 SF
KITCHEN	481 SF
SERVICE	940 SF
TOTAL 1ST FLOOR AREA AT BUILD-OUT	7,456 SF
EXISTING TO REMAIN BUILDING AREA 2ND FLOOR	
RESIDENCE 1	2,544 SF
RESIDENCE 2	2,544 SF
TERRACE	2,076 SF
TOTAL 2ND FLOOR EXISTING	7,174 SF
ADDED BUILDING AREA 2ND FLOOR	
TERRACE	106 SF
TOTAL 2ND FLOOR PROPOSED	7,880 SF
TOTAL 2ND FLOOR BUILDING AREA AT BUILD-OUT	
RESIDENCE 1 & 2	5,098 SF
TERRACE	2,782 SF
TOTAL 2ND FLOOR AREA AT BUILD-OUT	7,880 SF

PROJECT SUMMARY (CONTINUED)

WINERY BUILDING PHASE ONE	
BUILDING AREA:	
EXISTING BUILDING A,B,C,D,E,F AREA	
BUILDING 'A'	2,433 SF
BUILDING 'B'	2,434 SF
BUILDING 'D', RELOCATED	3,000 SF
BUILDING 'E', DEMO	345 SF
BUILDING 'F', DEMO	209 SF
MECHANICAL YARD/SHOP	1,560 SF
TOTAL EXISTING BUILDING AREA	12,881 SF
EXISTING OUTDOOR USE AREA	
FERMENTATION SLAB	3,411 SF
PROCESSING SLAB	500 SF
TOTAL EXISTING OUTDOOR USE AREA	4,511 SF
PROPOSED BUILDING C AREA	
FERMENTATION ROOM AREA	6,580 SF
BARREL ROOM AREA	4,650 SF
1ST FLOOR ADMINISTRATION	1,200 SF
2ND FLOOR ADMINISTRATION	1,500 SF
TOTAL PROPOSED BUILDING 'C'	16,930 SF
PROPOSED OUTDOOR USE AREA	
CRUSH PAD, (COVERED)	4,060 SF
PORCH (COVERED)	1,080 SF
TOTAL PROPOSED OUTDOOR USE AREA	5,040 SF
PROPOSED BUILDING AREA AT BUILD-OUT	
FERMENTATION ROOM AREA	6,580 SF
BARREL ROOM AREA	4,650 SF
1ST FLOOR ADMINISTRATION	1,200 SF
2ND FLOOR ADMINISTRATION	1,500 SF
BUILDING 'A'	2,433 SF
BUILDING 'B'	2,434 SF
BUILDING 'D', RELOCATED	3,000 SF
TOTAL BUILDING AREA AT BUILD-OUT	22,802 SF

PROJECT DESCRIPTION AND PHASING

Phased project for winery expansion, and conversion of the lower level of the existing residence into a B&B. Plus a small expansion to the existing kitchen and service area and to establish a limited food facility in the existing tasting room and entry veranda.

PHASE ONE - Winery Expansion attached to and behind existing buildings A & B. Construct building 'C' by enclosing existing 3,411 sqft fermentation slab, add 3,104 sqft of enclosed fermentation area, 4,650 sqft barrel room, 4,060 sqft covered crush pad, 2,100 sqft 2-story administration area, and 1,080 sqft covered porch. Relocate existing AG storage building 'D' and use for case-good storage.

PHASE TWO - Reconfiguration of existing residence, tasting room, service area, and 2nd floor terrace. Convert 4 existing 1st floor bedrooms into B&B and add 2 new B&B bedrooms within the existing building footprint for a total of 6 B&B rooms. Remodel and expand the existing 1st floor kitchen and service area by adding 44 sqft to the reconfigured kitchen and 332 sqft to the existing service area. Within the existing tasting room and entry veranda 800 sqft will be utilized for limited food facility. The existing 2nd floor terrace will be enlarged by 640 sqft, and the existing personal residences on the 2nd floor will continue to be used as personal residences and will not be modified.

PROJECT SUMMARY

LEGAL: 8385 CROSS CANYON ROAD
PASO ROBLES, CA
COUNTY OF SAN LUIS OBISPO, CA

ZONING: AG

APN: 014-051-041

SITE AREA: 164.6 ACRES

CONST TYPE: VN, SPRINKLERS

OCCUPANCY: F-2, S-2, M, A

BUILDING HEIGHT: AVERAGE GRADE 9'2 1/2"
EXISTING BUILDING 30'-0" (1011.167)
PROPOSED BUILDING 34'-0" (107.167)
ALLOWED 45'-0" (1017.4)

PARKING:

EXISTING STRUCTURES	
BUILDING 'A'	2,433 / 2000
BUILDING 'B'	2,434 / 5000
RESIDENCE	2 / HOUSE
B&B	1 / UNIT
BUILDING 'D'	3,000/5,000
TASTING ROOM	3,251 / 200
TOTAL	24
PROPOSED WINERY	
FERMENTATION	6,580 / 2000
BARREL	4,650 / 5000
ADMINISTRATION	2,100 / 200
TOTAL	13
GRAND TOTAL	42
PROPOSED PARKING	
	45

SHEET INDEX

T - 1	TITLE SHEET
ARCHITECTURAL CIVIL	
AC-1	ENLARGED SITE PLAN
AC-2	ENLARGED PHASING SITE PLAN
WINERY EXPANSION PHASE ONE	
ARCHITECTURAL	
D - 1	BUILDING DEMOLITION PLAN
A - 1.1	FIRST FLOOR PLAN
A - 1.2	SECOND FLOOR PLAN
A - 1.3	ROOF PLAN
A - 1.4	EXTERIOR ELEVATIONS
A - 1.5	EXTERIOR ELEVATIONS
A - 1.6	PERSPECTIVES
EXISTING BUILDING D, RELOCATED PHASE ONE	
A - 1	FLOOR PLAN & ELEVATIONS
B&B CONVERSION AND KITCHEN ADDITION PHASE TWO	
B4B A - 1	FIRST FLOOR PLAN
B4B A - 2	SCOPE OF WORK AND SQUARE FOOTAGE
TOTAL 13 SHEETS	

RELATED PERMITS

PERMIT #	DESCRIPTION
2007-01304	TASTING ROOM & KITCHEN
2011-00344	WINERY BUILDING 'A' PERMIT, AG TO WINERY
2011-00850	WINERY BUILDING 'B' PERMIT, AG TO WINERY
2012-01856	1. Construct new concrete slabs, trench drains and associated support systems for new outdoor fermentation area. 2. Install new concrete slabs and screen walls for mechanical yard. 3. Add new DG drive connection between existing parking area to existing frontage road. 4. Realign existing AG road to accommodate new fermentation slab area. 5. Install new AC paved area for crush pad usage. 6. Install new AC drive areas between existing buildings for access. ISSUED 5-15-2013
2012-02145	Wastewater facility and utilities to serve the winery
2012-01854	Minor grading for wastewater pond.

APPLICABLE CODES

- 2013 California Building Code, Vols 1 & 2 (2012 IBC).
- 2013 California Residential Code (New) (2012 IRC)
- 2013 California Plumbing Code (2012 UPC)
- 2013 California Mechanical Code (2012 IMC)
- 2013 California Electrical Code (2012 NEC)
- California Energy Code
- 2013 California Green Building Code (New)
- 2013 California Fire Code (2012 IFC)
- California Reference Standards Code

Sheet Contents:

TITLE SHEET

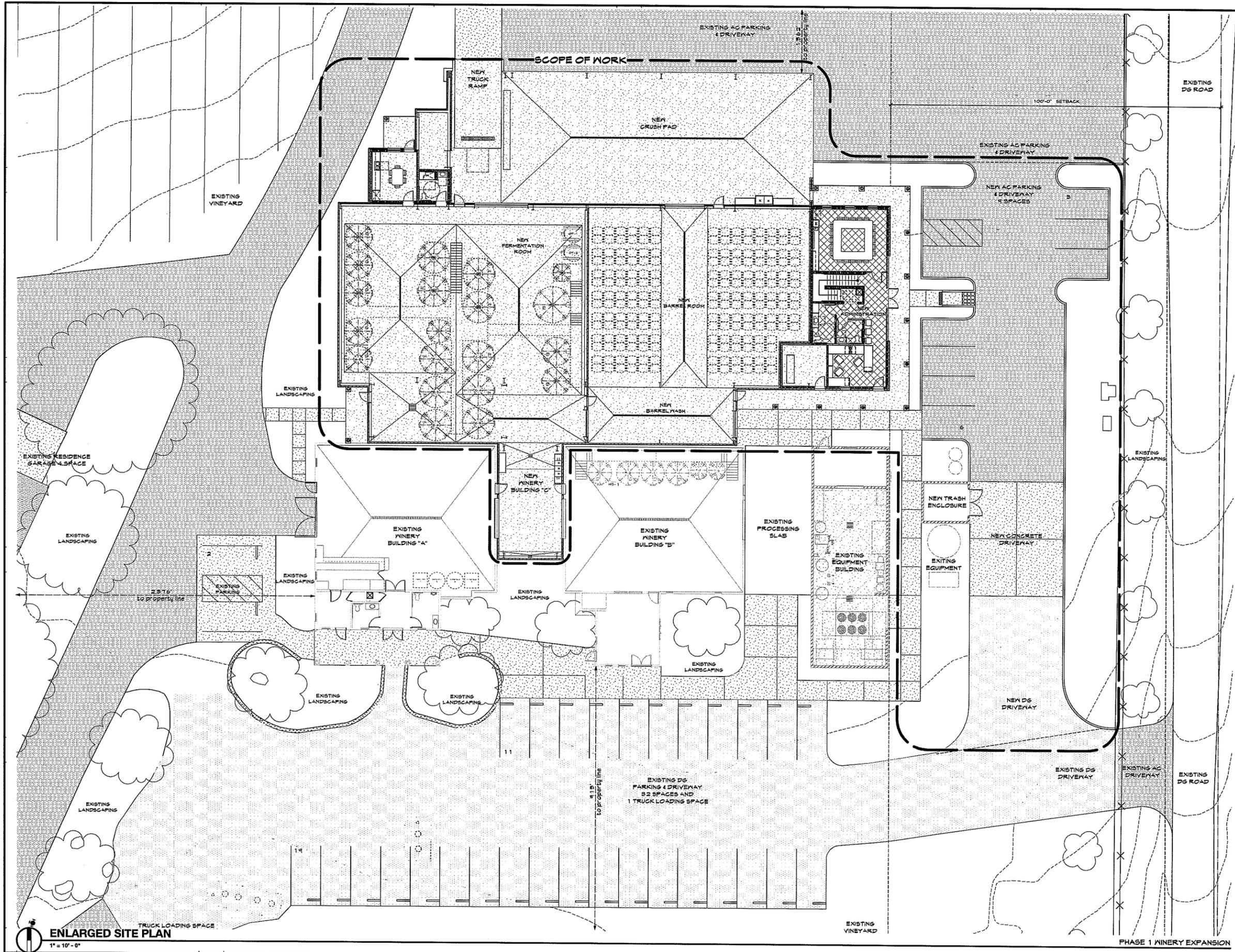


Date: APRIL 10, 2014
Revised:

Job No: 1231

Sheet:

T - 1



PULITS
 Steven D. Pulits, AIA & Associates, LLP

Architecture, Planning & Graphics
 3450 Broad Street, Suite 106
 San Luis Obispo, California 93401
 805/541-5504 voice
 805/541-4371 fax

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Project:
 VILLA
 SAN-JULIETTE
 VINEYARD & WINERY
**WINERY
 EXPANSION
 PROJECT**
 6385
 CROSS CANYON ROAD
 PASO ROBLES
 CA 93446

VILLA
 SAN-JULIETTE
 VINEYARD & WINERY
 6385
 CROSS CANYON ROAD
 PASO ROBLES
 CA 93446
 (805) 487-0014

Consultant:

Sheet Contents:
 ENLARGED
 SITE PLAN



Date: APRIL 10, 2014
 Revised:

Job No:
 1231

Sheet:

AC - 1

ENLARGED SITE PLAN
 1" = 10'-0"

PHASE 1 WINERY EXPANSION

Architecture, Planning & Graphics
 3150 Broad Street, Suite 106
 San Luis Obispo, California 93401
 805/541-5604 voice
 805/541-4371 fax
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Project:
VILLA SAN-JULIETTE VINEYARD & WINERY WINERY EXPANSION PROJECT
 6385 CROSS CANYON ROAD PASO ROBLES CA 93446

VILLA SAN-JULIETTE VINEYARD & WINERY
 6385 CROSS CANYON ROAD PASO ROBLES CA 93446
 (805) 467 - 0014

Consultant:
 SHEET CONTENTS:
 ENLARGED PHASING SITE PLAN

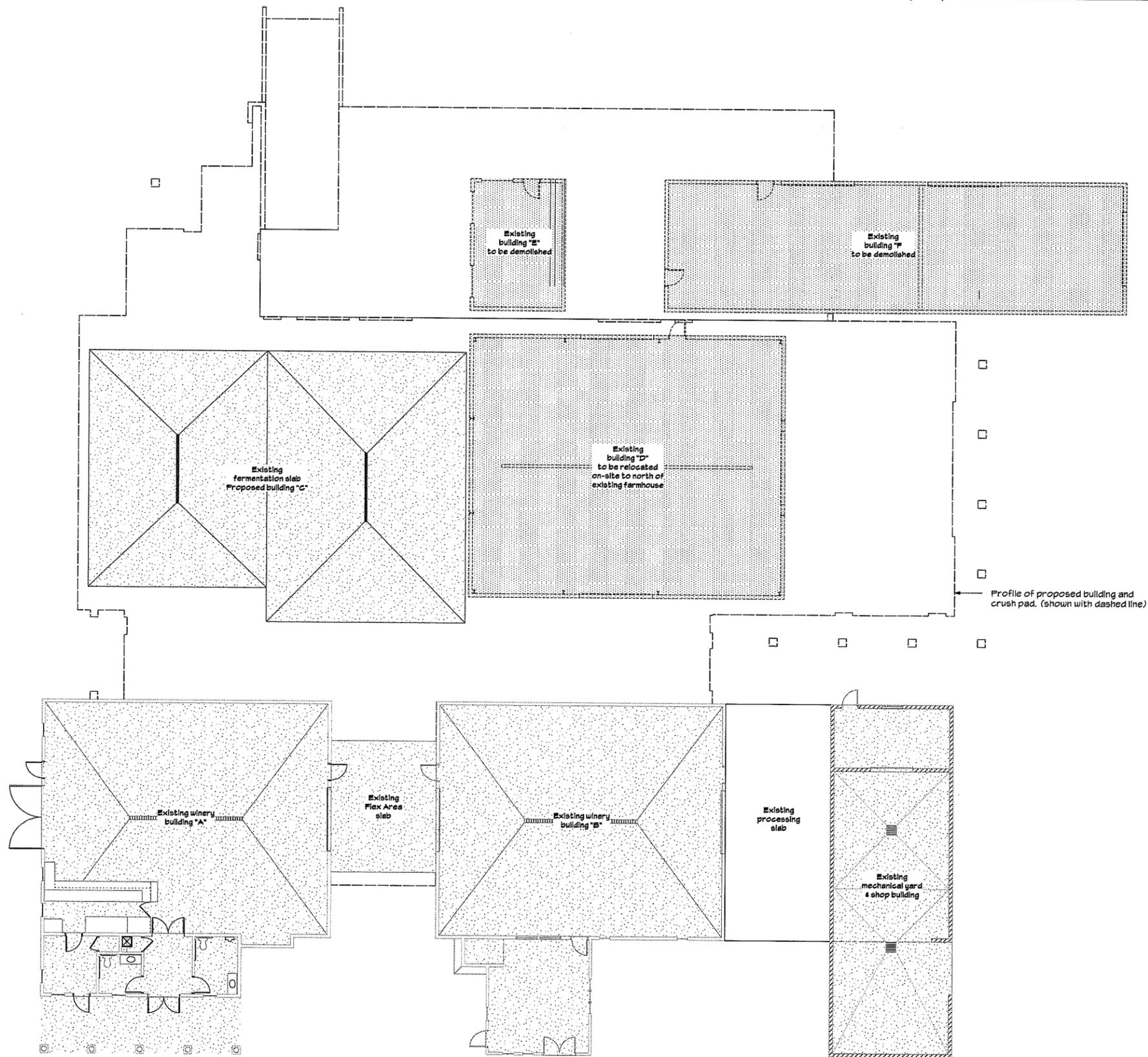


Date: APRIL 10, 2014
 Revised:

Job No: 1231
 Sheet:



ENLARGED PHASING SITE PLAN
 1" = 20' - 0"



PULITS
Steven D. Pulis, AIA & Associates, LLP

Architecture, Planning & Graphics
3450 Broad Street, Suite 106
San Luis Obispo, California 94901
805/541-5004 voice
805/541-4311 fax

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Project:
VILLA
SAN-JULIETTE
VINEYARD & WINERY

WINERY
EXPANSION
PROJECT
6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446

VILLA
SAN-JULIETTE
VINEYARD & WINERY

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446
(805) 467 - 0014

Consultant:

Sheet Contents:
DEMOLITION PLAN



Date: APRIL 10, 2014
Revised:

Job No: 1281

Sheet:

D - 1

DEMOLITION PLAN
1/8" = 1'-0"

Architects, Planning & Graphics
3450 Broad Street, Suite 106
San Luis Obispo, California 93401
(805) 541-5504 voice
(805) 541-4371 fax
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Project:
VILLA
SAN-JULIETTE
VINEYARD & WINERY
**WINERY
EXPANSION
PROJECT**
6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446

VILLA
SAN-JULIETTE
VINEYARD & WINERY
6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446
(805) 467-0014

Consultant:

Sheet Contents:

1st FLOOR PLAN

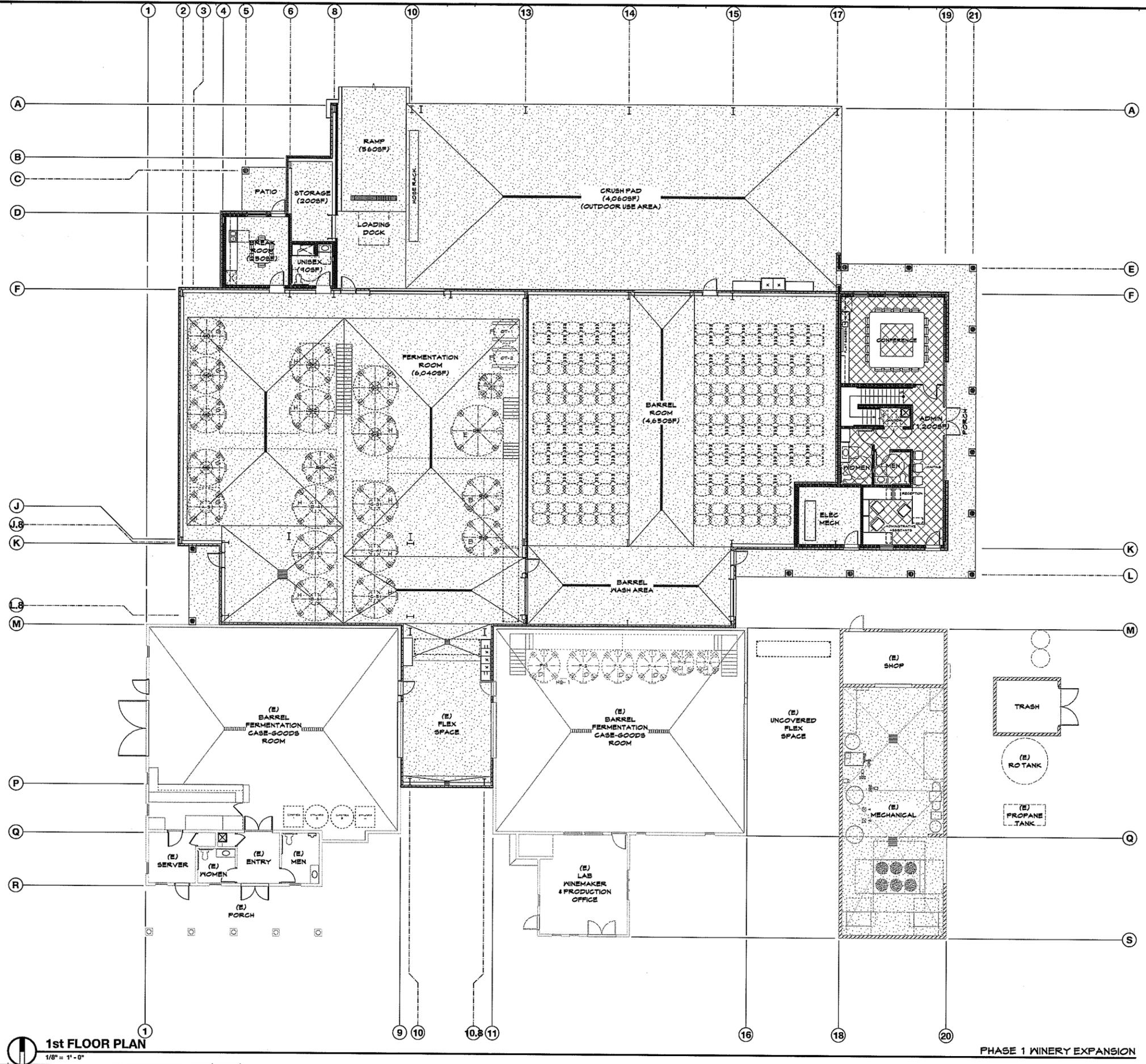


Date: APRIL 10, 2014
Revised:

Job No: 1231

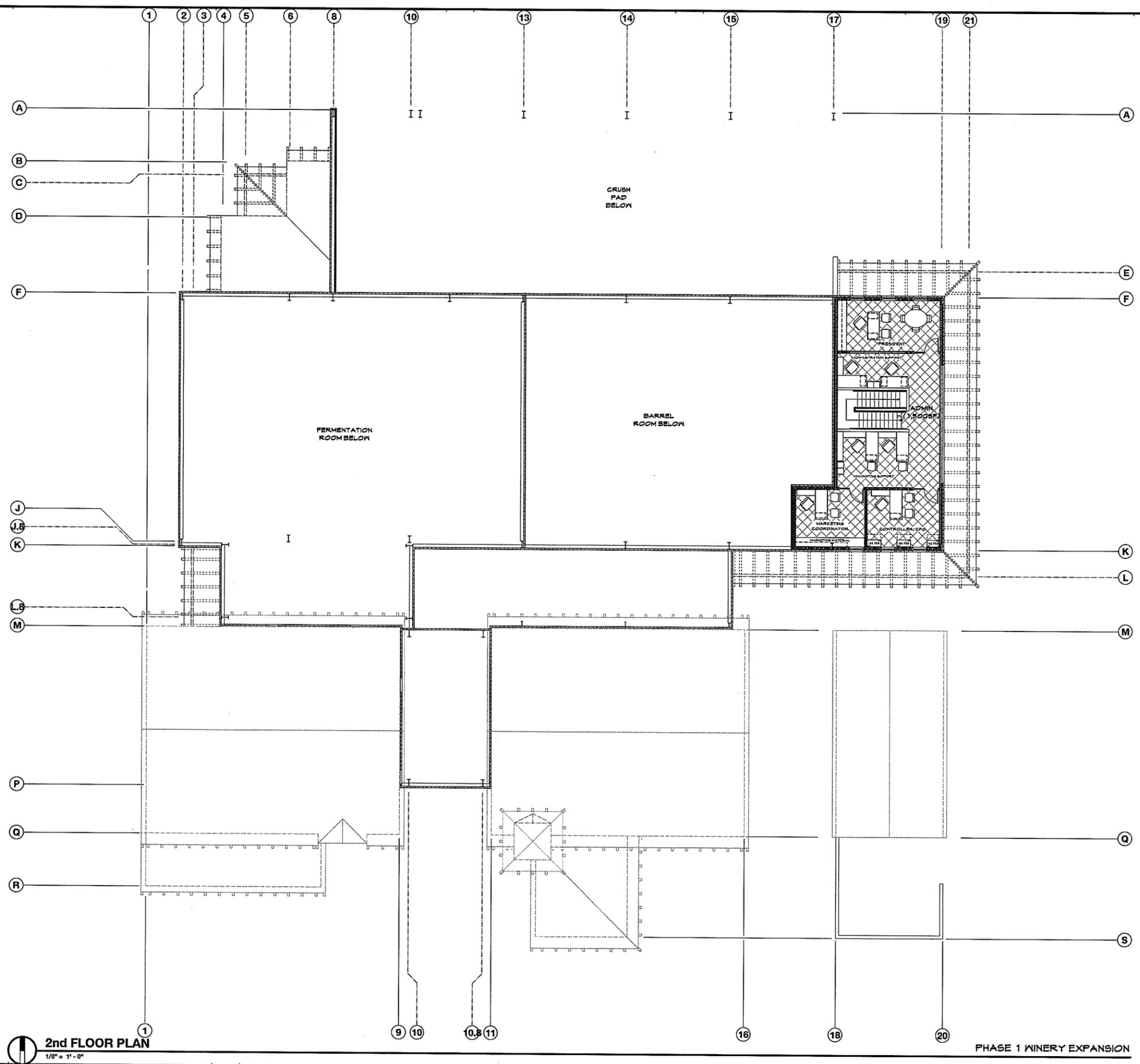
Sheet:

A 1.1



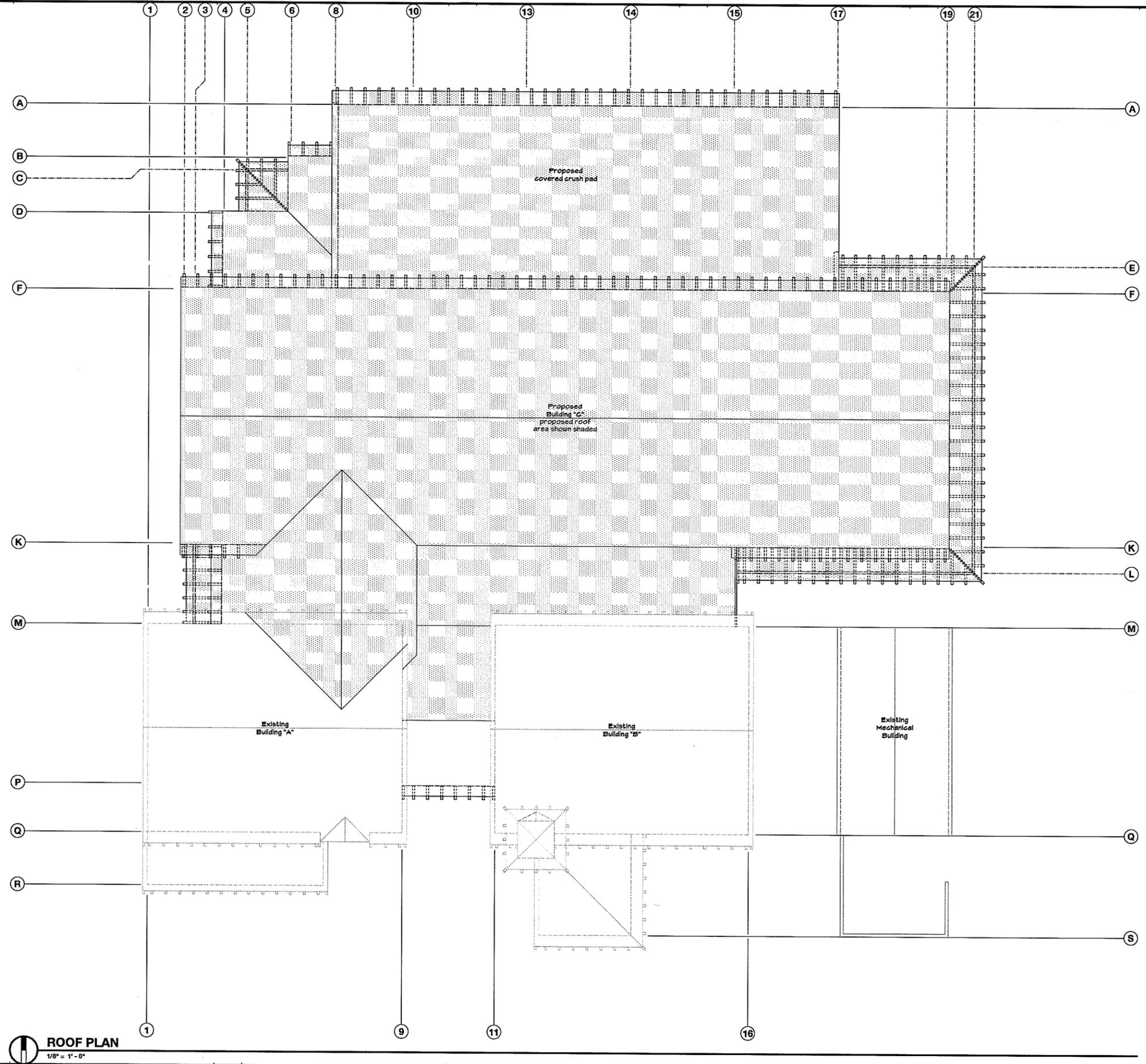
1st FLOOR PLAN
1/8" = 1' - 0"

PHASE 1 WINERY EXPANSION

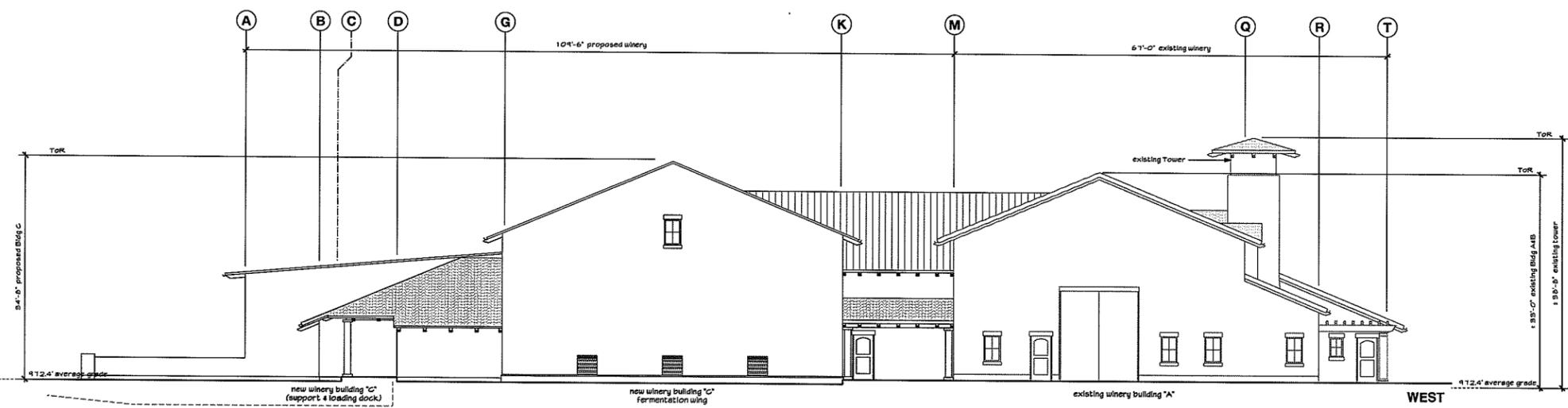
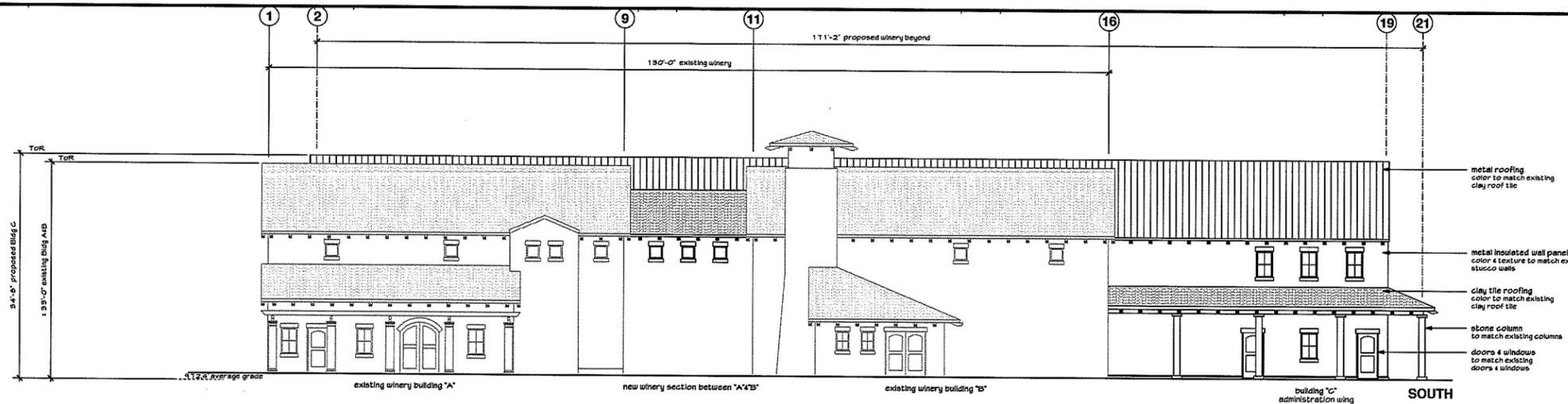


2nd FLOOR PLAN
 1/8" = 1' - 0"

PHASE 1 WINERY EXPANSION



ROOF PLAN
 1/8" = 1' - 0"



EXTERIOR ELEVATIONS
1/8" = 1' - 0"

PULTIS
Steven D. Pultis, AIA & Associates, LLP

Architecture, Planning & Graphics
3150 Broad Street, Suite 105
San Luis Obispo, California 93401
805.541.5504 voice
805.541.4371 fax
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Project:
VILLA
SAN-JULIETTE
VINEYARD & WINERY
**WINERY
EXPANSION
PROJECT**
6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446

VILLA
SAN-JULIETTE
VINEYARD & WINERY
6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446
(805) 487 - 0014

Consultant:

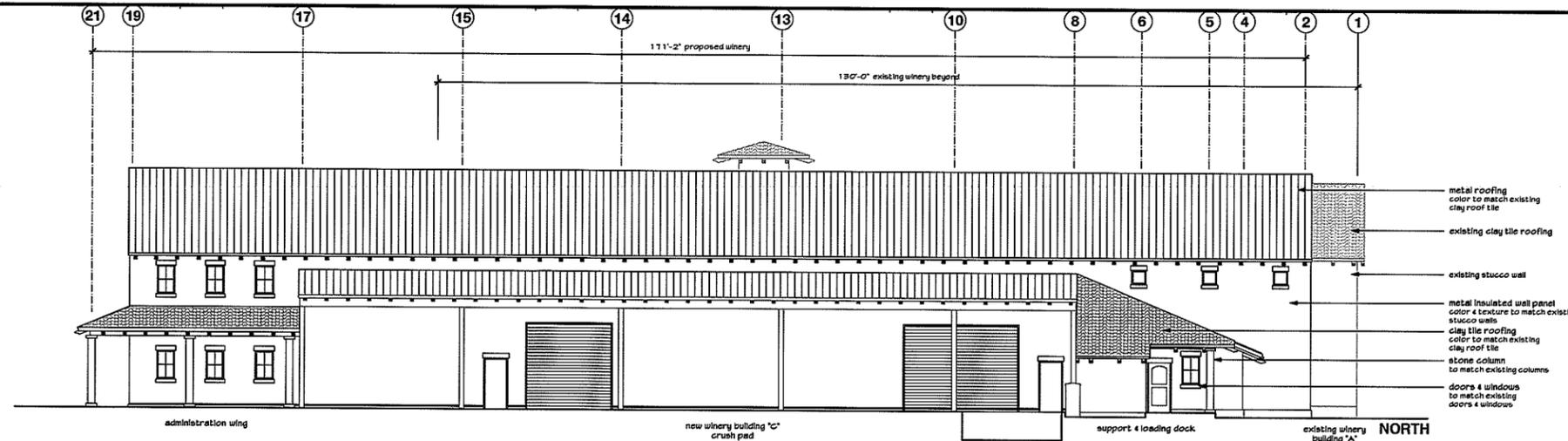
Sheet Contents:
EXTERIOR ELEVATIONS



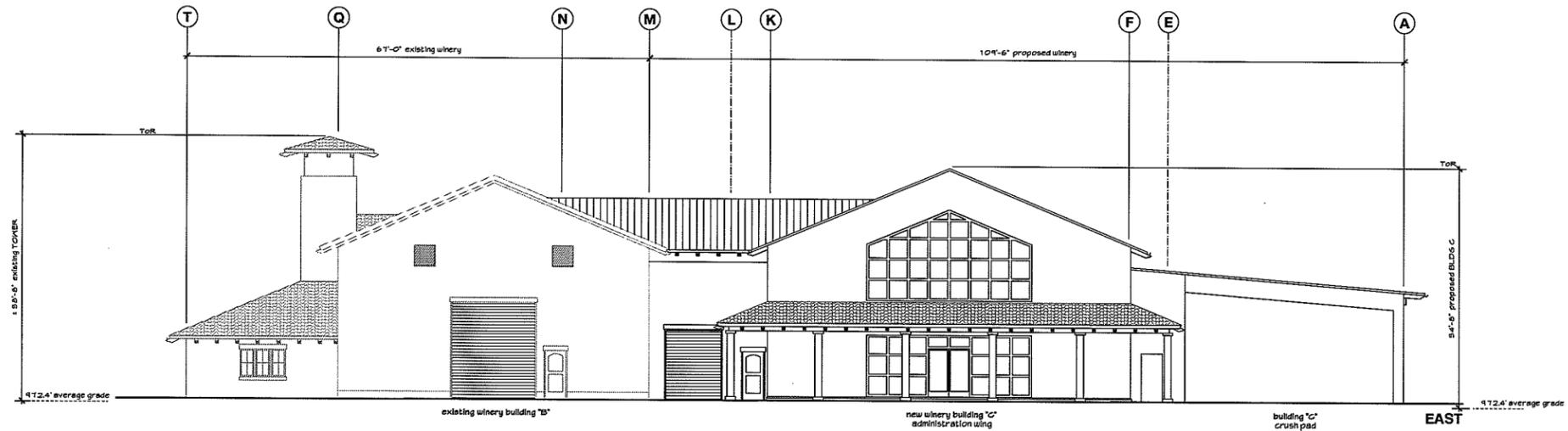
Date: APRIL 10, 2014
Revised:

Job No: 1231

Sheet:
A - 1.4



- metal roofing color to match existing clay roof tile
- existing clay tile roofing
- existing stucco wall
- metal insulated wall panel color & texture to match existing stucco wall
- clay tile roofing color to match existing clay roof tile
- stone columns to match existing columns
- doors & windows to match existing doors & windows



EXTERIOR ELEVATIONS
1/8" = 1' - 0"

PUTTS
Steven D. Putts, AIA & Associates, LLP

Architecture, Planning & Graphics
3150 Grand Street, Suite 105
San Luis Obispo, California 93401
805/541-5204 voice
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Project:
**VILLA
SAN-JULIETTE
VINEYARD & WINERY
WINERY
EXPANSION
PROJECT**

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446

VILLA
SAN-JULIETTE
VINEYARD & WINERY

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93446
(805) 467 - 0014

Consultant:

Sheet Contents:

EXTERIOR ELEVATIONS

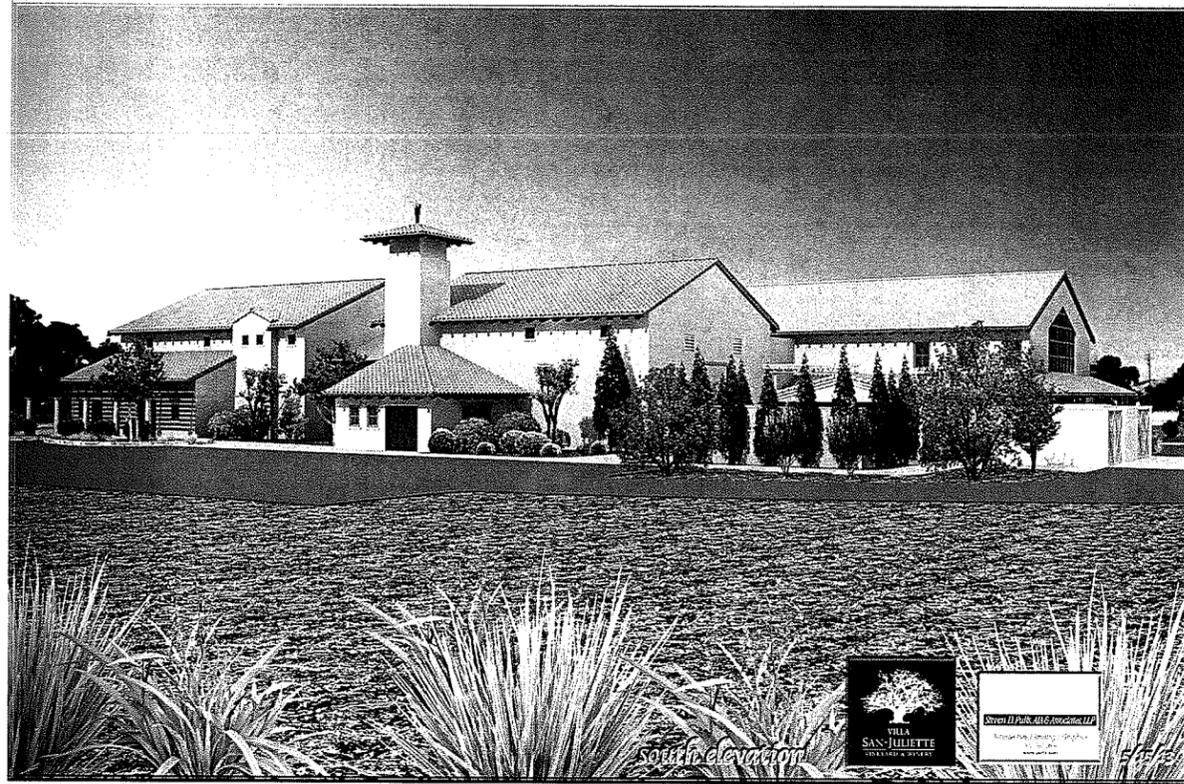


Date: APRIL 10, 2014
Revised:

Job No: 1231

Sheet:

A - 15



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Steven D. Pulis, AIA & Associates, LLP

Architecture, Planning & Graphics
3459 Grand Street, Suite 100
San Luis Obispo, California 93401
805/541-9504 voice
805/541-4371 fax

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Project:
VILLA
SAN-JULIETTE
VINEYARD & WINERY
WINERY
EXPANSION
PROJECT

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93448

VILLA
SAN-JULIETTE
VINEYARD & WINERY

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93448
(805) 487 - 0014

Consultant:

Sheet Contents:
EXTERIOR PERSPECTIVES

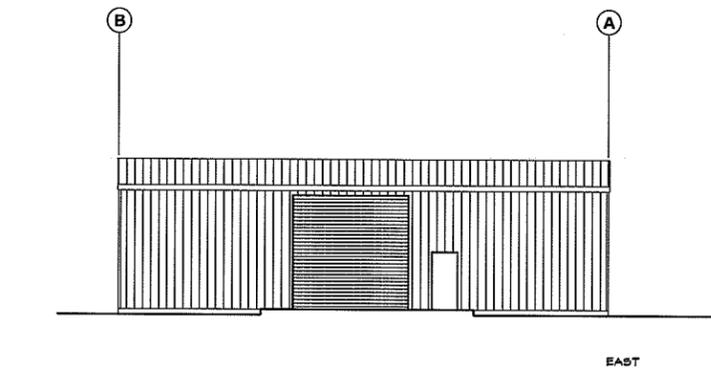


Date: APRIL 10, 2014
Revised:

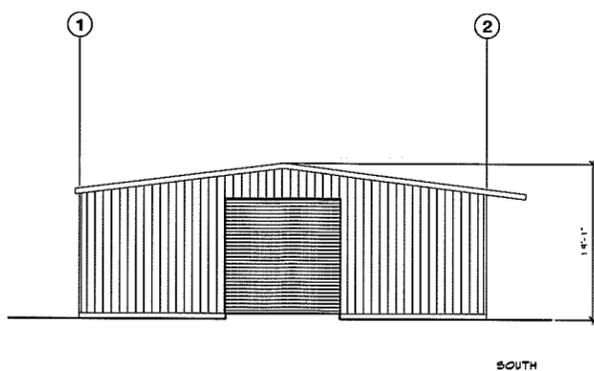
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1231

Sheet:

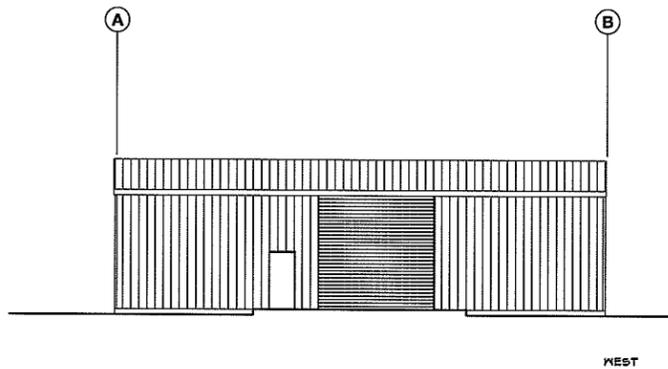
A - 16



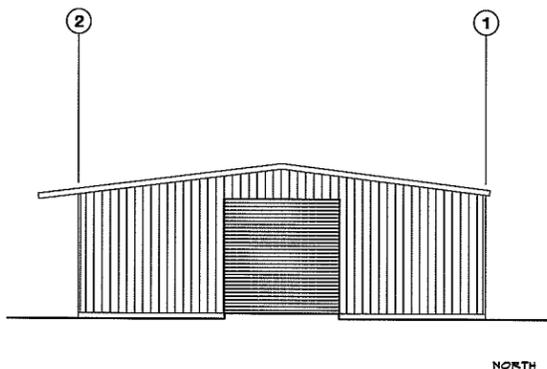
EAST



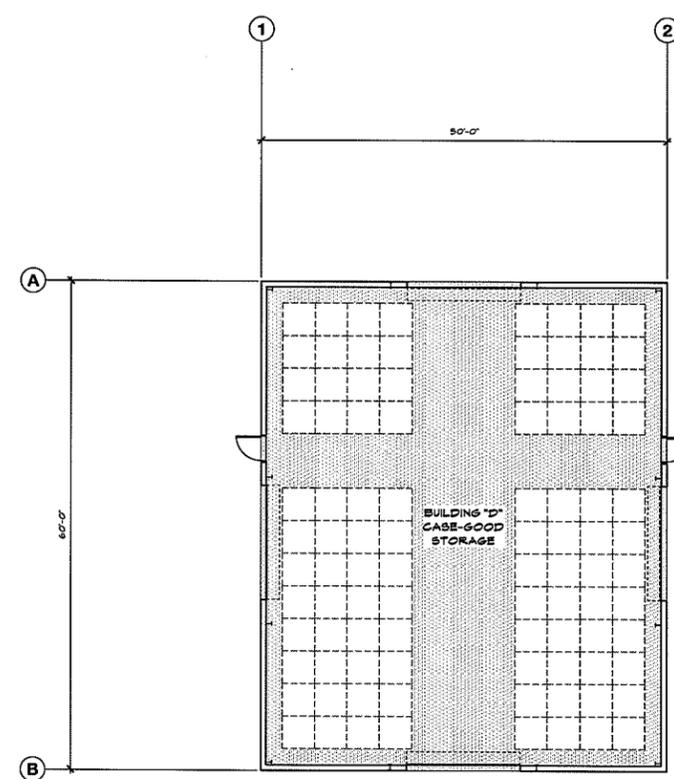
SOUTH



WEST



NORTH



50'-0"

A

B

1

2

60'-0"

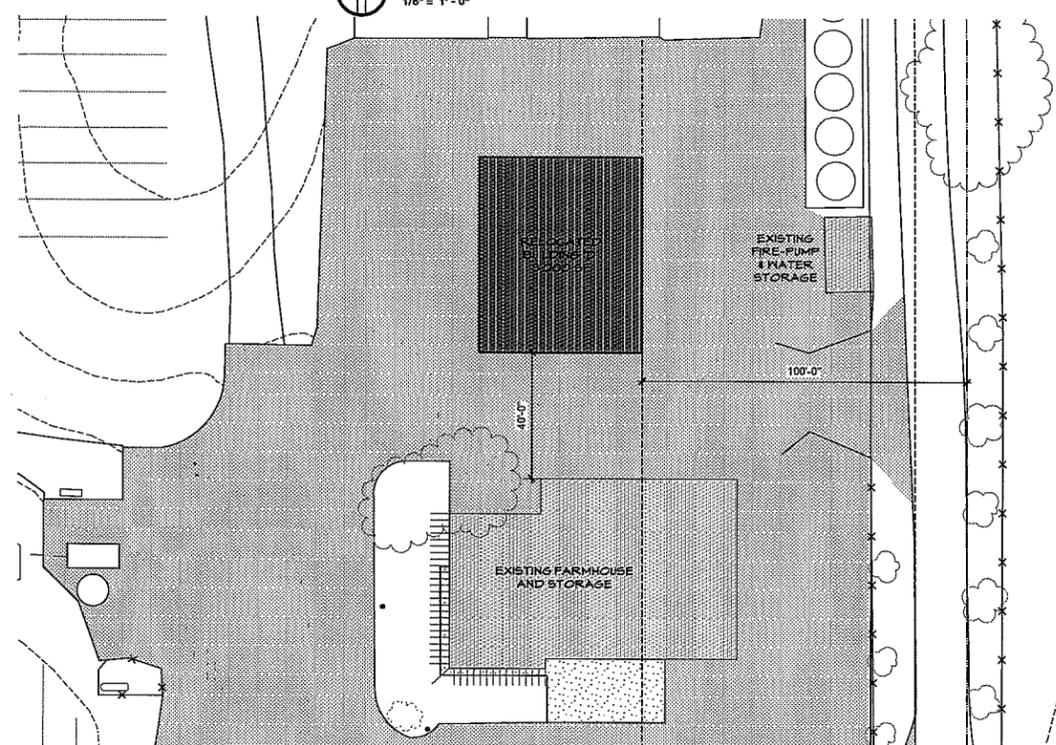
A

B

BUILDING "D"
CASE-GOOD
STORAGE

ELEVATIONS - EXISTING BUILDING "D" casegood storage
1/8" = 1'-0"

FLOOR PLAN - EXISTING BUILDING "D" casegood storage
1/8" = 1'-0"



100'-0"

EXISTING FARMHOUSE
AND STORAGE

EXISTING FIRE PUMP
WATER
STORAGE

ENLARGED SITE PLAN
1" = 20' - 0"

PULITS
Steven D. Pulits, AIA & Associates, LLP

Architecture, Planning & Graphics
3450 Broad Street, Suite 105
San Luis Obispo, California 93401
805/541-5504 voice
805/541-4371 fax

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Project:
VILLA
SAN-JULIETTE
VINEYARD & WINERY
**WINERY
EXPANSION
PROJECT**

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93448

VILLA
SAN-JULIETTE
VINEYARD & WINERY

6385
CROSS CANYON ROAD
PASO ROBLES
CA 93448
(805) 467 - 0014

Consultant:

Sheet Contents:
FLOOR PLAN
EXISTING BUILDING "D"
CASEGOOD STORAGE



Date: APRIL 10, 2014
Revised:

Job No: 1231

Sheet:

Architecture, Planning & Graphics
 3450 Broad Street, Suite 106
 San Luis Obispo, California 93401
 805/541-5604 voice
 805/541-4371 fax

Project:
VILLA SAN-JULIETTE VINEYARD & WINERY
B&B CONVERSION AND KITCHEN ADDITION & REMODEL
 6385 CROSS CANYON ROAD
 SAN MIGUEL CA 93451

Client:
VILLA SAN-JULIETTE VINEYARD & WINERY
 6385 CROSS CANYON ROAD
 SAN MIGUEL CA 93451
 (805) 467-0014

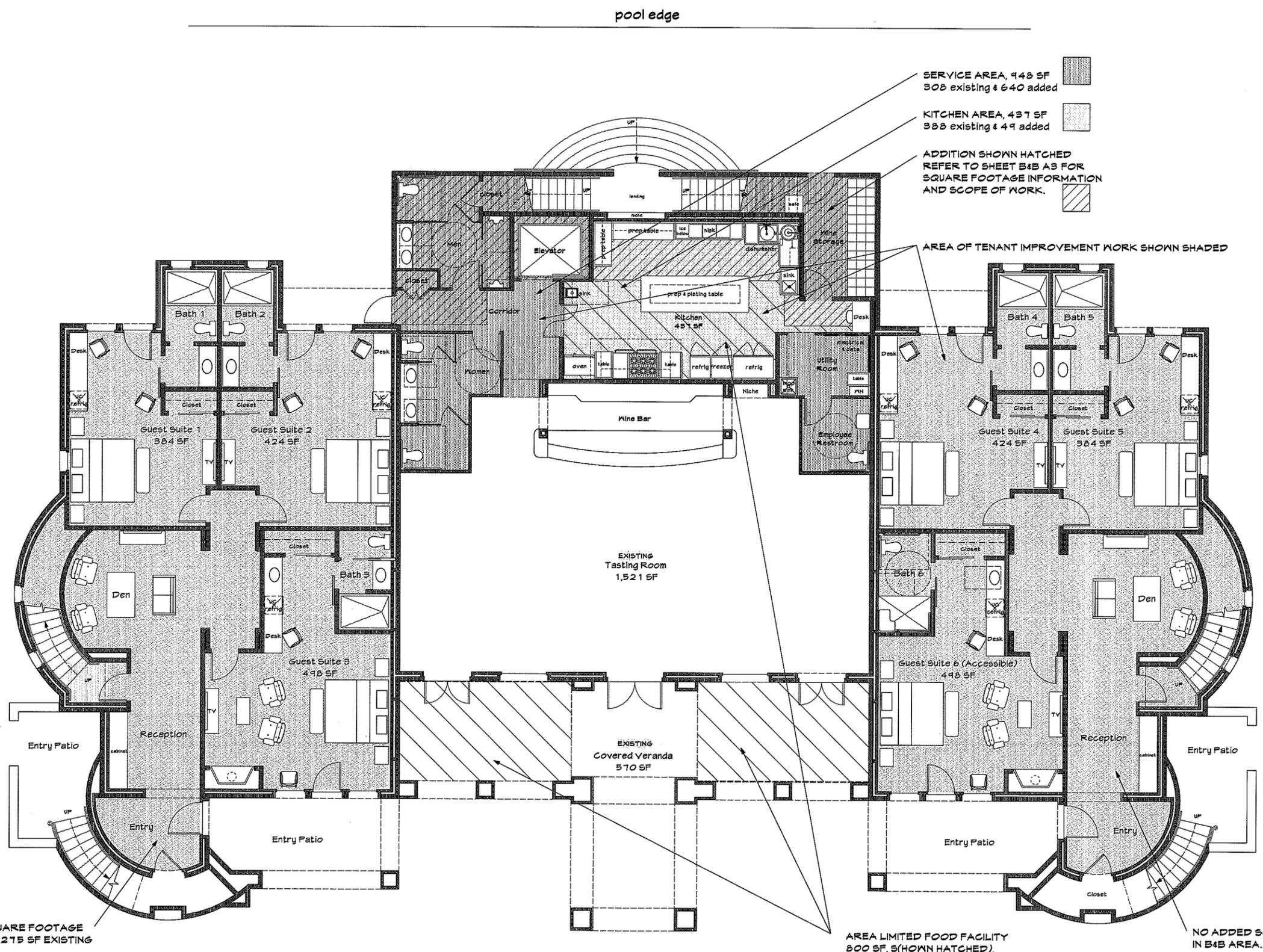
Sheet Contents:
FIRST FLOOR PLAN



Date: APRIL 10, 2014
 Revised:

Job No: 1231

Sheet:
B&B A - 1



SERVICE AREA, 948 SF
 508 existing & 640 added

KITCHEN AREA, 487 SF
 388 existing & 49 added

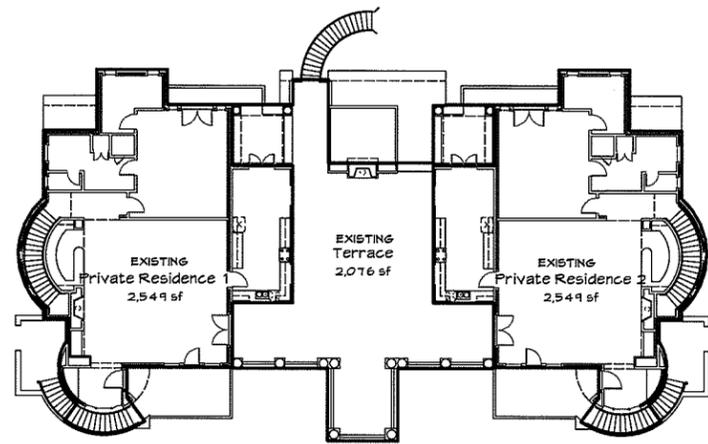
ADDITION SHOWN HATCHED
 REFER TO SHEET B&B A3 FOR
 SQUARE FOOTAGE INFORMATION
 AND SCOPE OF WORK.

AREA OF TENANT IMPROVEMENT WORK SHOWN SHADED

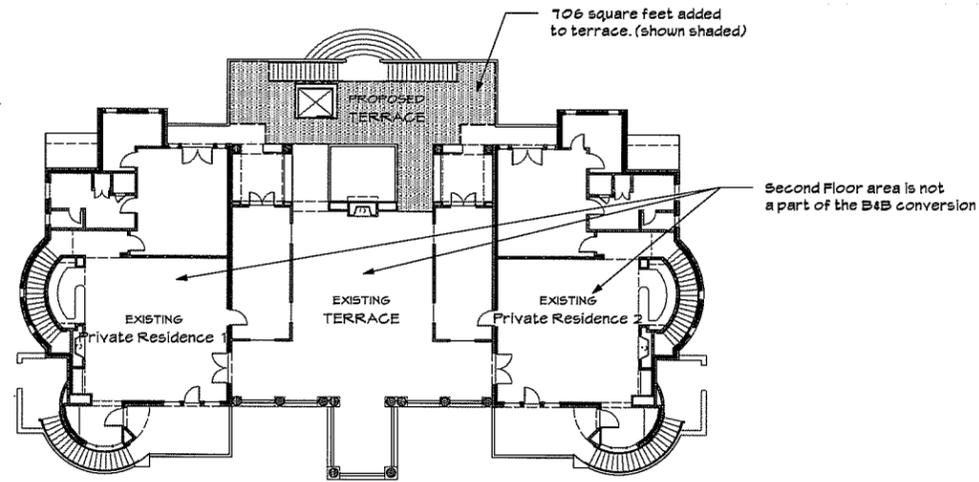
NO ADDED SQUARE FOOTAGE
 IN B4B AREA. 2,275 SF EXISTING

AREA LIMITED FOOD FACILITY
 800 SF, S(HOWN HATCHED),

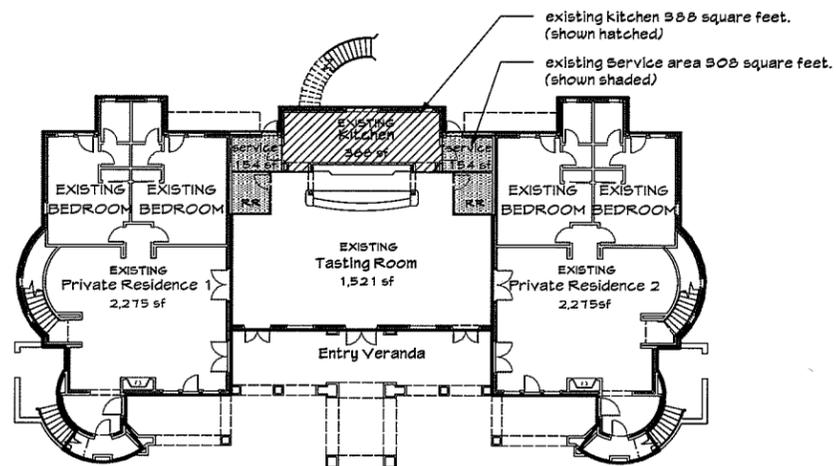
NO ADDED SQUARE FOOTAGE
 IN B4B AREA. 2,275 SF EXISTING



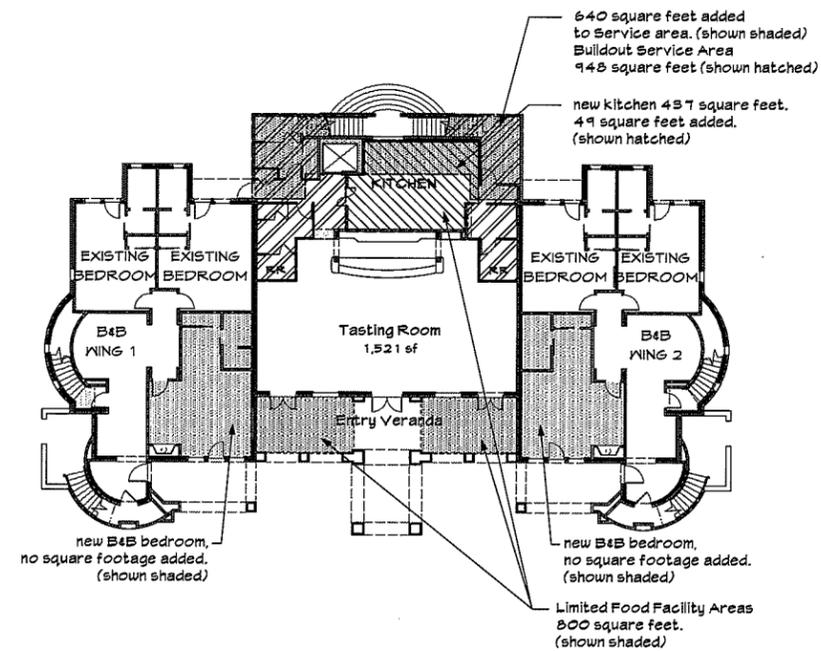
EXISTING SECOND FLOOR PLAN
5,097 SF LIVING
2,076 SF TERRACE



PROPOSED SECOND FLOOR PLAN
5,097 SF LIVING
2,782 SF TERRACE

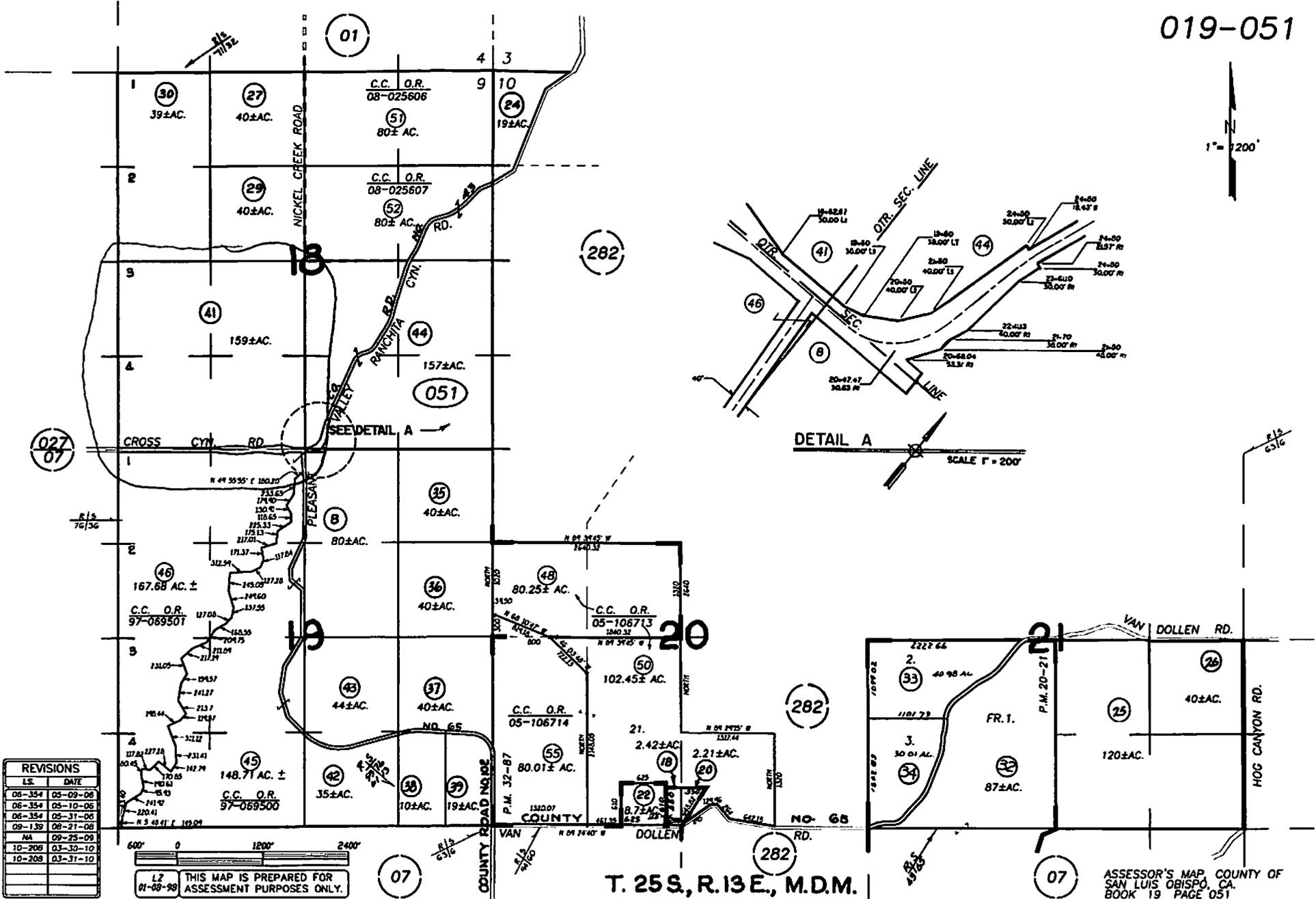
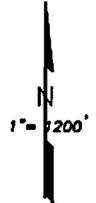


EXISTING FIRST FLOOR PLAN
4,549 SF LIVING
2,217 SF TASTING



PROPOSED FIRST FLOOR PLAN
4,549 SF LIVING
2,857 SF TASTING





REVISIONS	
LS.	DATE
06-35*	05-09-06
06-35*	05-10-06
06-35*	05-31-06
09-139	06-21-08
NA	09-25-09
10-208	03-30-10
10-208	03-31-10

600' 0 1200' 2400'

L2
01-09-98

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

T. 25 S., R. 13 E., M.D.M.

ASSESSOR'S MAP COUNTY OF SAN LUIS OBISPO, CA. BOOK 19 PAGE 051

El Romar-Estrella Sub Area
Planning Area

AG

North County Planning Area
Planning Area



400 m
1000 ft

POWERED BY
esri



Parcel Summary Report For Parcel # 019-051-041

5/12/2014
2:31:13PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN VILLA SAN JULIETTE HOLDINGS LLC
6385 CROSS CANYON RD SAN MIGUEL CA 93451-9582

Address Information

<u>Status</u>	<u>Address</u>
P	06383 CROSS CANYON RD RELPO
P	06387 CROSS CANYON RD RELPO
P	06385 CROSS CANYON RD RELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T25S	R13E	18P	Rural El Pomar	El Pomar-Estr	AG			Y		P910374P
APV.C81-	010	0007	Rural El Pomar	El Pomar-Estr				N		

Parcel Information

<u>Status</u>	<u>Description</u>
Active	T25S R13E PTN SEC 18

Notes

Tax Districts

PLEASANT VALLEY
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
ESTRELLA
AREA NO. 21
NO. 01



Parcel Summary Report For Parcel # 019-051-041

5/12/2014
2:31:13PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

72389 FNL Primary Parcel

Description:

CONST SFD WITH BARN

81696 FNL Primary Parcel

Description:

CONSTRUCT SFD W/ GARAGE

95889 FNL Primary Parcel

Description:

INGROUND POOL

A0685 FNL Primary Parcel

Description:

ELECTRIC METER FOR AG PURPOSES

A900024A AGC Primary Parcel

Description:

ESTABLISH AG PRESERVE (ESTRELLA # 25)

COD2010-00657 CLD Primary Parcel

Description:

PMT2007-00859 & PMT2007-00862 (BARN 'A' AND BARN 'B') EXPIRED

DRC2007-00076 APV Primary Parcel

Description:

REQUEST BY VILLA SAN JULIETTE/MICHELLE LLC FOR A MINOR USE PERMIT TO ALLOW THE CONVERSION OF TWO AGRICULTURAL ACCESSORY BUILDINGS OF 2,933 AND 2,939 SQUARE FEET EACH INTO A WINE PROCESSING BUILDING AND A WINE PROCESSING/STORAGE BUILDING, AND CONVERSION OF 934 SQUARE FEET WITHIN AN EXISTING 11,246-SQUARE FOOT RESIDENCE (CURRENTLY UNDER CONSTRUCTION) INTO A TASTING ROOM. IN ADDITION, THE APPLICANT PROPOSES: SIX SPECIAL EVENTS WITH UP TO 80 PERSONS PER EVENT, IN ADDITION TO PERIODIC INDUSTRY-WIDE EVENTS WITH AMPLIFIED MUSIC PROPOSED BETWEEN THE HOURS OF 10:00 A.M. AND 5:00 P.M., A 4,000-SQUARE FOOT PAVED PARKING AREA, SPECIAL EVENT OVERFLOW PARKING AREA, SIX WATER TANKS, WASTEWATER TREATMENT AND DISPOSAL FACILITIES, SECONDARY ACCESS ROAD, AND LANDSCAPING. THE APPLICANT PROPOSES TO PHASE CASE PRODUCTION AS FOLLOWS: PHASE I (10,000 CASES), PHASE II (25,000 CASES) ANNUALLY. THE PROJECT WILL RESULT IN THE DISTURBANCE OF APPROXIMATELY 0.6 ACRE OF A 160-ACRE PARCEL.

DRC2013-00097 REC Primary Parcel

Description:

WINERY EXPANSION

PMT2002-16749 EXP Primary Parcel

Description:

GRADING FOR ACCESS RD (AS BUILT)



Parcel Summary Report For Parcel # 019-051-041

5/12/2014
2:31:13PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

PMT2007-00026 FNL Primary Parcel

Description:

DEMO EXISTING SFD (81696)

PMT2007-00859 EXP Primary Parcel

Description:

EXPIRED AND REPLACED WITH PMT2011-00849 - SENT TO CODE ENF 4-4-11 - AG BARN W/ FARM WORKER RESTROOMS - BLDG A
REVIEWED AS FUTURE BARRELL STORAGE & MINOR GRADING TI 08-01578

PMT2007-00862 EXP Primary Parcel

Description:

EXPIRED AND REPLACED WITH PMT2011-00850 - SENT TO CODE ENF. 4-4-11 - AG BARN W/ WORKSHOP AND ELECTRICAL- BLDG B
REVIEWED AS FUTURE WINE PROCESSING, MINOR GRADING, TI 08-01579

PMT2007-01308 FNL Primary Parcel

Description:

REPLACEMENT (3300SF) SINGLE FAMILY RESIDENCE (11,246 SF) W/ COVERED VERANDA (983 SF), CVP (421 SF) & DECK (291 SF)

PMT2007-01309 FNL Primary Parcel

Description:

PLEASE SEE CASE NOTES PRIOR TO PROCEEDING CONVERSION OF SFD TO A SFD, FARM SUPPORT DWELLING AND WINERY
TASTING ROOM AND COMMERCIAL KITCHEN (SEE ORIGINAL PMT2007-01308) FOR DETAILS - TASTING ROOM IS (2,217 SF) W/ CVP (983
SF) DRC2007-00076 ADDRESS FOR WEST END SFD IS "6387 CROSS CANYON RD", EAST END SFD IS "6383", TASTING ROOM IS "6385".
2/26/09-PCS - ON 12/7/2009 REVISED PARKING AND OVERFLOW PARKING RELOCATION APPROVED FOR ACCESSIBILITY. - REVISION
5/30/12 - ADDITION OF CHEMICAL FIRE SUPPRESSION SYSTEM TO TYPE 1 HOOD

PMT2007-01310 WIT Primary Parcel

Description:

ENTERED IN ERROR- PERMIT FOR INSPECTION PURPOSES ONLY - SFD (4,565 SF) CVP (421 SF) DECK (291 SF), PMT2007-01308 MASTER
PERMIT FOR ENTIRE STRUCTURE, PMT2007-01309 DUMMY PERMIT FOR WINE TASTING

PMT2007-01472 FNL Primary Parcel

Description:

DETACHED GARAGE (1300 SF) W/ ELECTRICAL

PMT2007-02275 FNL Primary Parcel

Description:

200 AMP ELECTRIC METER FOR AG WELL - 75 HP - THREE PHASE

PMT2007-02879 FNL Primary Parcel

Description:

FIRE SPRINKLERS FOR AGRICULTURE BUILDING A (FIRE SPRINKLERS NOT REQUIRED PER CAL FIRE OR BLD CODE) NFPA 13 2002
EDITION/ ORDINARY HAZARD GROUP 11/ SEE PMT2007-00859 FOR BUILDING PERMIT.INCLUDES FIRE PUMP AND 4' UNDERGROUND
STUB UP TO FUTURE HOUSE SITE

PMT2007-02881 FNL Primary Parcel

Description:



Parcel Summary Report For Parcel # 019-051-041

5/12/2014
2:31:13PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

FIRE SPRINKLERS FOR AGRICULTURE BUILDING B (FIRE SPRINKLERS NOT REQUIRED PER CAL FIRE OR BLD CODE) NFPA 13 2002 EDITION/ ORDINARY HAZARD GROUP 11/ SEE PMT2007-00862 FOR BUILDING PERMIT

PMT2008-00025 FNL Primary Parcel

Description:

WATER TANKS - 5 TANKS - 10,000 GALLONS EACH - POLY FIRE TANKS SET ON GRAVEL BASE - FOR AG BUILDING (FUTURE WINERY) FIRE SPRINKLERS (DRC2007-00076)

PMT2008-00409 FNL Primary Parcel

Description:

FIRE SPRINKLER SYSTEM FOR TASTING ROOM LT HAZARD AND COMMERCIAL KITCHEN/ STORAGE ORDINARY HAZARD GRP 1 ON 1ST FLOOR/ 2 SINGLE FAMILY DWELLINGS, & 2ND STORY COVERED PORCH LT HAZARD PMT2007-01308/ NFPA 13 2002 EDITION/.FIRE PUMP APPROVED UNDER PMT2008-00025

PMT2008-01219 EXP Primary Parcel

Description:

EXPIRED - MINOR GRADING TO COMPLETE EXPIRED PERMIT PMT 2002-01649 & WIDEN EXISTING DRIVE TO MEET CAL FIRE REQ'MNTS TO SERVE A WINE TASTING ROOM ONLY. ALL DISABLED ACCESS WILL BE REVIEWED FOR THE (7) NEW PARKING SPACES & OVERFLOW PARKING AREA, ON PMT 2007-01309. KEN ROMERO, RCE/SOILS: BUENA

PMT2008-01578 FNL Primary Parcel

Description:

TENANT IMPROVEMENT - BUILDING 'A' - BARN (PMT2007-00859) CONVERSION TO BARREL STORAGE (2933 SF) (DRC2007-00076). ACCESSIBILITY W/ SHELL BLDG. ADD AFTER ISSUE MECHANICAL.

PMT2008-01579 FNL Primary Parcel

Description:

TENANT IMPROVEMENT - BUILDING 'B' - BARN (PMT2007-00862) CONVERSION TO WINE PROCESSING (2939 SF). PROCESSING TANKS NIC. DRC2007-00076. ADD AFTER ISSUE MECHANICAL.

PMT2008-01680 FNL Primary Parcel

Description:

SEPTIC SYSTEM FOR THE FOLLOWING PERMITS: PMT 2007-00862, 2007-00859, 2007-01308 (DID NOT USE SEPTIC DESIGN FOR THE ABOVE PERMITS)

PMT2011-00849 FNL Primary Parcel

Description:

REPLACEMENT PERMIT FOR PMT 2007-00859 - AG BARN W/FARM WORKER RESTROOMS - BLDG A REVIEWED AS A FTURE BARRELL STORAGE AND MINOR GRADING TI 08-01578

PMT2011-00850 FNL Primary Parcel

Description:

REPLACEMENT PERMIT FOR PMT 2007-00862 - AG BARN W/WORKSHOP AND ELECTRICAL L- BLDG B REVIEWED AS FUTURE WINE PROCESSING, MINOR GRADING, TI 08-01579

PMT2011-02249 FNL Primary Parcel

Description:



Parcel Summary Report For Parcel # 019-051-041

5/12/2014
2:31:13PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

MINOR GRADING TO COMPLETE EXPIRED PERMIT PMT 2002-01649 & EXPIRED PERMIT PMT2008-01219 & WIDEN EXISTING DRIVE TO MEET CAL FIRE REQ'MNTS TO SERVE A WINE TASTING ROOM ONLY. ALL DISABLED ACCESS WILL BE REVIEWED FOR THE (7) NEW PARKING SPACES & OVERFLOW PARKING AREA, ON PMT 2007-01309. KEN ROMERO, RCE/SOILS: BUENA

PMT2012-01836 FNL Primary Parcel

Description:

WINERY EXPANSION - PHASE 1.1 - CRUSH PAD (2340 SF), FERMENTATION PAD (3183 SF), NO BLDG, NO TANKS, NO CATWALKS, DOMESTIC SEPTIC ONLY, NO PROCESSING WASTEWATER SYSTEM (SEE 12-01589). ADD STUBOUTS FOR ELECTRICAL & PLUMBING FOR FUTURE MECHANICAL YARD. MINOR GRADING.

PMT2012-01859 FNL Primary Parcel

Description:

MINOR GRADING FOR WASTEWATER POND (.75 ACRE OF DISTURBANCE)

PMT2012-02145 FNL Primary Parcel

Description:

WASTEWATER FACILITY AND UTILITIES TO SERVE VILLA SAN JULIETTE WINERY - SEE GRADING PMT2012-01859 (DRC2007-00076)

PMT2012-02307 ISS Primary Parcel

Description:

PHASE 1.2 - ROOF OVER MECHANICAL YARD & ADD SHOP (975 SF), ADD OUTDOOR MECH AREA FOR CHILLER 470 SF, ADD CONCRETE FERMENTATION PAD 3471SF, ADD AC CRUSH PAD 1468 SF, ADD TANKS TO FERMENTATION PAD, ADD 990K BTU BOILER, AND CHILLER TO MECH YARD. ADD UNIT COOLERS TO BLDG A & B, AND FERMENTATION TANKS TO BLDG B. INCLUDES ASSOCIATED P, M & E. CATWALKS INCLUDED. SEE 12-02145 FOR WASTEWATER FACILITY AND 12-01859 FOR MINOR GRADING.

S800022C RDD Related Parcel

Description:

PROP 8 CERT OF COMP