



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 12/18/2014

TO: \_\_\_\_\_

FROM: Megan Martin (805-781-4163 or mamartin@co.slo.ca.us)  
North County Team / Development Review

**PROJECT DESCRIPTION:** DRC2014-00057 WILSON – Proposed minor use permit for a distance modification to construct a 1200 sf secondary residence with an attached garage. Site location is 5000 Bluebell Ln, Paso Robles. APN: 042-181-011

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

MINOR USE PERMIT

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Build

CONSTRUCT A 1200 SQ FT SECONDARY RESIDENCE WITH ATTACHED GARAGE  
NCELPO/ NCELPO

AG FH

### APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Plot Plan
- Zoning Clearance
- Site Plan
- Minor Use Permit
- Variance
- Other
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver
- Amendment to approved land use permit

### APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name JOHN WILSON Daytime Phone (602) 391-1754  
 Mailing Address P.O. Box 50069, PHOENIX Zip Code 85076  
 Email Address: \_\_\_\_\_

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
 Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Email Address: \_\_\_\_\_

Agent Name NELSON R. BERNAL Daytime Phone 237-3746  
 Mailing Address 2121 PINE STREET, SUITE 'A' Zip Code 93446  
 Email Address: \_\_\_\_\_

### PROPERTY INFORMATION

Total Size of Site: 10 AC Assessor Parcel Number(s): 042-181-011  
 Legal Description: LOT 11  
 Address of the project (if known): 5000 BLUEBELL, PASO ROBLES  
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: HIWAY 41 TO CAMP 8 ROAD

Describe current uses, existing structures, and other improvements and vegetation on the property:  
A NEW PRIMARY SPD UNDER CONSTRUCTION & PERMIT APPLIED FOR  
A METAL AG BUILDING  
**PROPOSED PROJECT**

Describe the proposed project (inc. sq. ft. of all buildings): CONSTRUCT A 1200  $\Phi$   
SECONDARY RESIDENCE W/ ATTACHED GARAGE.

### LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature *John Wilson* Date 12/4/14

**FOR STAFF USE ONLY**

Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): DISTANCE BETWEEN PRIMARY AND SECONDARY RESIDENCE

Describe existing and future access to the proposed project site: THERE IS AN EXISTING ROADWAY WHICH WILL BE PAVED, NO GRADING NECESSARY.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: RESIDENTIAL South: RESIDENTIAL  
East: RESIDENTIAL West: RESIDENTIAL

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:  
Buildings: 12,560 sq. feet \_\_\_\_\_% Landscaping: 2,000 sq. feet \_\_\_\_\_%  
Paving: 32,650 sq. feet \_\_\_\_\_% Other (specify) VACANT (FUTURE ORCHARD)  
Total area of all paving and structures: 48,210 \_\_\_\_\_  sq. feet  acres  
Total area of grading or removal of ground cover: 7500 \_\_\_\_\_  sq. feet  acres  
Number of parking spaces proposed: 8 Height of tallest structure: 20'  
Number of trees to be removed: 0 Type: \_\_\_\_\_  
Setbacks: Front 500 Right 180 Left 200 Back 200

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL FIRE

### For commercial/industrial projects answer the following:

Total outdoor use area: \_\_\_\_\_  sq. feet  acres  
Total floor area of all structures including upper stories: \_\_\_\_\_ sq. feet

### For residential projects, answer the following:

Number of residential units: 2 Number of bedrooms per unit: 3  
Total floor area of all structures including upper stories, but not garages and carports: \_\_\_\_\_  
Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- 1. Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: ± 4 acres  
Moderate slopes of 10-30%: ± 6 acres  
Steep slopes over 30%: 0 acres
- 2. Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- 3. Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- 4. Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: GRADING FOR PRIMARY RESIDENCE ONLY
- 6. Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- 8. Is a railroad or highway within 300 feet of your project site?  Yes  No
- 9. Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain OLIVE ORCHARD - FUTURE  
 Commercial/Office - Explain \_\_\_\_\_  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? \_\_\_\_\_
4. How many service connections will be required? 3
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: \_\_\_\_\_
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach. \_\_\_\_\_
7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test 1 Hours 100 G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 2300 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: \_\_\_\_\_ Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
2. Name of Solid Waste Disposal Company: PASS POBLES
3. Where is the waste disposal storage in relation to buildings? CONTAINER PROVIDED BY WASTE COMPANY
4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

1. Name of School District: PASS POBLES
2. Location of nearest police station: < 30 MILES
3. Location of nearest fire station: 15 MILES
4. Location of nearest public transit stop: < 30 MILES
5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

1. Please describe the historic use of the property:  
NONE
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

1. Days of Operation: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_
2. How many people will this project employ? \_\_\_\_\_
3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: \_\_\_\_\_
7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related ~~traffic~~ trips to or from the project: Between 7:00 - 9:00 a.m. \_\_\_\_\_ Between ~~4:00 to 6:00~~ p.m. \_\_\_\_\_
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): \_\_\_\_\_
2. Will the development occur in phases?  Yes  No  
If yes describe: AN OLIVE ORCHARD IS PROPOSED AFTER COMPLETION
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: MANDATORY GREEN CODE REQUIREMENTS & SOLAR

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
STORM WATER MANAGEMENT WILL BE INSTALLED

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: \_\_\_\_\_

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes  No

If yes, please describe and provide "ED" number(s): \_\_\_\_\_

### Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): BUILDING

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

**GENERAL NOTES:**

- CONSTRUCTION SHALL BE OF THE HIGHEST QUALITY WORKMANSHIP. ALL WALLS SHALL BE PLUMB AND TRUE. ALL CONNECTIONS SHALL BE MADE SECURE ACCORDING TO ACCEPTED CONSTRUCTION PROCEDURES OR AS SPECIFIED HEREIN OR AS PER THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE.
- NRB ASSUMES NO RESPONSIBILITY FOR ANY CHANGES, ERRORS, OMISSIONS OR DEVIATIONS BY THE OWNER OR CONTRACTOR, EITHER INTENTIONAL OR ACCIDENTAL. THE OWNER IS ADVISED THAT THESE DRAWINGS AND ASSOCIATED CONSTRUCTION DOCUMENTS ARE THE ONLY MEDIUM AVAILABLE TO EXPRESS THE INTENT OF NRB AND CANNOT BE ASSUMED ALL-INCLUSIVE WITH REGARD TO SUCH.
- IN ALL CASES, NOTED DIMENSIONS SHALL SUPERSEDE SCALED DIMENSIONS.
- CONSTRUCTION METHODS SHALL COMPLY WITH MATERIAL POLLUTION CONTROL MEASURES.
- OPERATION AND MAINTENANCE MANUAL SHALL BE SUPPLIED AT FINAL INSPECTION.

**GENERAL GRADING PLAN NOTES:**

- ALL CONSTRUCTION WORK SHALL CONFORM TO THE COUNTY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH C.B.C. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE COUNTY BUILDING DEPT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED AND ARRANGEMENT FOR INSPECTION.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK IN THE COUNTY RIGHT OF WAY.
- GRADING SHALL COMPLY WITH THE RECOMMENDATION OF THE SOILS REPORT BY HALLIN GEOTECHNICAL, JOB NO. H-14644 DATED MAY 16, 2014, FILED WITH THE COUNTY OF SAN LUIS OBISPO.
- A SOILS ENGINEER SHALL SUPERVISE THE GRADING AND CERTIFY THAT ALL GRADING HAS BEEN COMPLETED IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS, SECTION 1803 OF THE C.B.C. AND RECOMMENDATIONS OF PRELIMINARY SOILS REPORT.
- ESTIMATED EARTH QUANTITIES: CUT: 30 CU YDS. FILL: 30 CU YDS. NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUBGRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF AND SHALL BID ACCORDINGLY.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS SHALL BE RESET AT THE CONTRACTORS EXPENSE.
- ALL TOP SOIL SHALL BE STOCKPILED FOR LATER DISTRIBUTION OVER THE LOTS AND SLOPES. ALL CUT AND FILL SLOPES ARE TO BE PLANTED OR HYDROSEEDED AFTER COMPACTION TO PREVENT EROSION.
- ALL ROUGH GRADING SHALL BE COMPLETED AND APPROVED BY THE COUNTY BUILDING DEPT. PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- ANY OAK TREES ON SITE SHALL BE PROTECTED DURING CONSTRUCTION. IF THE DEVELOPER PROPOSES TO REMOVE AN OAK, AN APPLICATION SHALL BE FILED WITH THE COUNTY OF SAN LUIS OBISPO FOR APPROVAL.
- ALL CONTRACTORS AND SUB-CONTRACTORS WORKING WITH THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTORS LICENSE, A LOCAL BUSINESS LICENSE, AND SHALL OBTAIN AN ENCROACHMENT PERMIT.
- SLOPES OF ALL CUT SURFACES TO BE NO LESS THAN 2 HORIZ. TO 1 VERT. ALL FILL SURFACES SHALL NOT EXCEED 3:1 SLOPE. ALL FILL SHALL HAVE 10% COMPACTION.
- ANY GRADING DONE DURING THE RAINY SEASON OF OCT. 15 THRU APRIL 15 IS SUBJECT TO EROSION CONTROL MEASURES.

**UTILITY NOTES:**

- PROVIDE WATER PRESSURE REGULATOR FOR NEW CONSTRUCTION.
- THE MINIMUM SIZE FOR RISERS SHALL BE 1" IN DIAMETER. MATERIALS TO BE USED MAY BE SCHEDULE 80 PVC OR TYPE L COPPER PIPE.
- PROVIDE NEW SEWER LATERAL WITH CLEANOUT 2 FEET MIN. FROM BUILDING.
- HOSE BIBS AND SPRINKLER SYSTEMS SHALL HAVE APPROVED BACKFLOW PREVENTION DEVICES.
- WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 PSI OR LESS. PRESSURE REGULATOR IS REQUIRED.
- WHERE APPLICABLE, PROVIDE BACK WATER VALVE ON THE SEWER LATERAL WHEN THE PROPOSED BUILDING FIXTURES HAVE FLOOD RISKS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER.
- IF DRAIN LINES WITHIN THE BUILDING ARE LOWER THAN THE SEWER MAIN, AN EJECTOR PUMP PUMP MAY BE REQUIRED.
- MINIMUM SIZE FOR SERVICE RISERS FOR STRUCTURES SHALL BE 1" DIA. MATERIALS SHALL BE SCHEDULE 80 PVC OR TYPE L COPPER, MIN.

**IRRIGATION NOTES:**

- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CALIFORNIA GREEN BUILDING STANDARDS. CONTROLLERS SHALL BE WEATHER-OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTER NEEDS AS WEATHER CONDITIONS CHANGE.
- WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

**GRADING:**

CUT: 30 CU YDS ±  
 FILL: 30 CU YDS ±  
 MAX DEPTH OF CUT = 12"  
 MAX DEPTH OF FILL = 6"  
 PERCENT OF NATURAL GRADE: 3%  
 AREA OF DISTURBANCE: 1,000 SQ.FT.

**STATEMENT OF SPECIAL INSPECTIONS**

- THIS STATEMENT OF SPECIAL INSPECTIONS IS SUBMITTED IN FULFILLMENT OF THE REQUIREMENTS OF CBC SECTIONS 1704 AND 1705
- SCHEDULE OF SPECIAL INSPECTIONS AND TESTS APPLICABLE TO THIS PROJECT
- SPECIAL INSPECTIONS PER SECTIONS 1704 AND 1705
- SPECIAL INSPECTIONS FOR BUILDING PAD PREPARATION
- SPECIAL INSPECTIONS AND TESTING WILL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, THIS STATEMENT AND CBC 1704.1
- THE OWNER WILL RETAIN AND DIRECTLY PAY FOR THE SPECIAL INSPECTIONS AS REQUIRED IN CBC SECTION 1704.1

**SCHEDULE OF INSPECTION, TESTING AGENCIES, AND INSPECTORS**

THE FOLLOWING ARE THE TESTING AGENCIES AND SPECIAL INSPECTORS THAT WILL BE RETAINED TO CONDUCT THE MAJORITY OF THE TESTS AND INSPECTION ON THIS PROJECT

RESPONSIBILITY:	FIRM CONTACT INFORMATION:
1. GEOTECHNICAL INSPECTIONS	BEACON GEOTECHNICAL P.O. BOX 4814 PASO ROBLES, CA 93441 (805) 231-4451

**SCHEDULE OF SPECIAL INSPECTIONS**

NOTATION USED IN TABLE:  
 C INDICATES CONTINUOUS INSPECTION IS REQUIRED  
 P INDICATES PERIODIC INSPECTIONS ARE REQUIRED  
 THE NOTES AND/OR CONTRACT DOCUMENTS SHOULD CLARIFY

TABLE 1704.1 - INSPECTION OF SOILS
1. VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIRED BEARING CAPACITY.
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.
3. PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS.
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL.
5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.

A SEPERATE PERMIT IS REQUIRED FOR:  
 FIRE SPRINKLERS

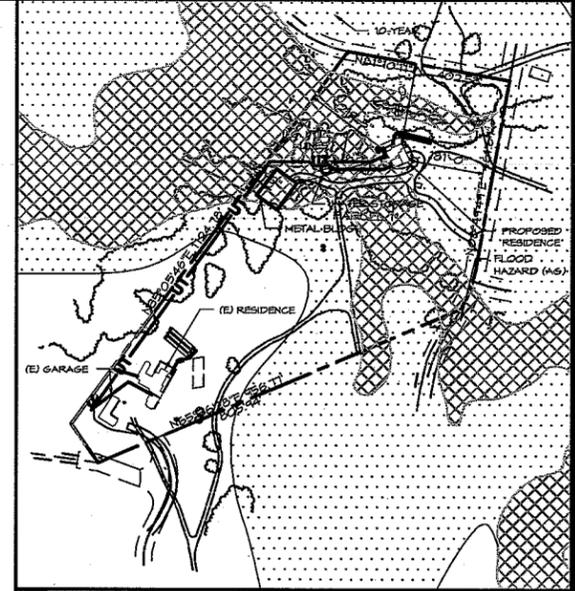
**6.2 Specific Site Development, Grading Pads, and Foundation Excavations**

6.2.1 Due to the presence of low density soils and a cut/fill situation at the proposed bearing depth, overexcavation and recompaction of soils in the building area (including covered deck areas) will be necessary to decrease the potential for differential settlement and to provide more uniform bearing conditions. Soils should be overexcavated to a depth of two (2) feet below the bottom of footings, four (4) feet below existing grade, or 75% of the deepest fill thickness, whichever is greater. The over-excavation should extend to a distance of five (5) feet beyond the building perimeter. The resulting surface should be scarified to a depth of one (1) foot, moisture conditioned and recompacted to a minimum of 90% of maximum dry density. The intent of these recommendations is to provide a minimum of two (2) feet of compacted soils below the bottom of all footings, and recompact the loose topsoil.

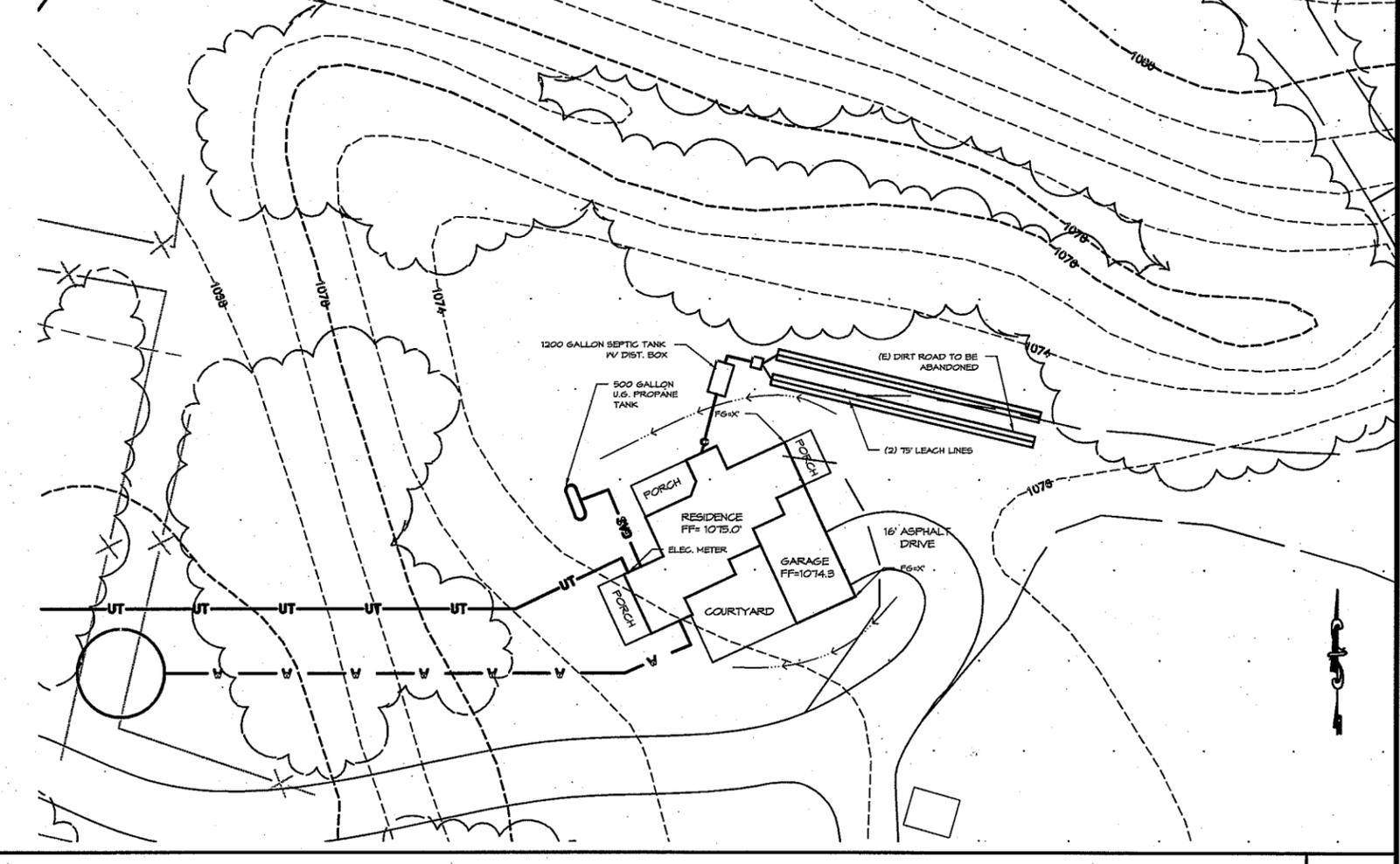
6.2.2 Any excavated material from foundation and septic or drainage systems should be properly recompacted in accordance with all the recommendations for engineered fill. Alternatively, excavated soil may be hauled off site when adequate placement area is not available at the project location.

6.2.3 Areas outside the building area to receive fill, exterior slabs-on-grade, sidewalks and paving should be overexcavated to a depth of one (1) foot. The exposed surface should be scarified, moisture conditioned and recompacted.

6.2.4 On-site soils may be used for fill once they are cleaned of all organic material, rock, debris and irreducible material larger than eight (8) inches.



PARCEL PLAN 1" = 200'-0"



PARCEL PLAN 1" = 50'-0"

**PROJECT TEAM**

TRUSS COMPANY	ENERGY T-24	FIRE SPRINKLER	SOILS ENGINEER	STRUCTURAL	DRAFTSMAN	OWNER
TRUSSPRO, INC. P.O. BOX 850 GUADALUPE, CA 93443 (805) 343-2955 (805) 343-2371 FAX	CARSTARS ENERGY CALCS P.O. BOX 4736 SAN LUIS OBISPO, CA 93403 (805) 904-7049 (805) 623-3714 FAX	SHAHER FIRE PROTECTION 730 MORRO RD., UNIT 208 ATASCADERO, CA 93422 (805) 461-1253	BEACON GEOTECHNICAL P.O. BOX 4814 PASO ROBLES, CA 93441 (805) 231-4451	WILLIAM TORREY 730 MORRO RD., UNIT 208 ATASCADERO, CA 93422 (805) 461-1116	NRB DRAFTING, INC. 2121 PINE STREET, SUITE A PASO ROBLES, CA 93446 (805) 231-3146 (805) 231-1368 FAX	MR. AND MRS. WILSON P.O. BOX 50064 PHOENIX, AZ 85076 (602) 354-1154

JOB #: F-1008-43

**DESIGNER NOTE**

PLANS PREPARED BY:  
 NRB DRAFTING, INC.  
 2121 PINE STREET, SUITE A  
 PASO ROBLES, CA 93446  
 PH (805) 231-3146 FX (805) 231-1368

NRB DRAFTING, INC. TAKES NO LIABILITY FOR INFORMATION PROVIDED BY THE OWNER IN THE PREPARATION OF THESE CONSTRUCTION DRAWINGS. THE OWNER HAS APPROVED THIS SET OF PLANS AND AGREED THAT THIS STRUCTURE IS BULDBLE ON SAID LOT.

THE DRAFTSMAN DOES NOT REPRESENT THAT THESE PLANS OR THE SPECIFICATIONS IN CONNECTION THEREWITH ARE SUITABLE, WHETHER OR NOT MODIFIED FOR ANY OTHER SITE THAN THE ONE FOR WHICH THEY WERE SPECIFICALLY PREPARED. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED IN LETTER OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ENGINEER.

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE DRAFTSMAN AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE DRAFTSMAN.

**SHEET INDEX**

CS	COVER SHEET / SITE PLAN
T-24	TITLE 24 / LEGEND SHEET
CF-1	CAL FIRE REQUIREMENTS
GC-1.1	GREEN CODE REQUIREMENTS
GC-1.2	GREEN CODE CHECKLIST
A-1	FLOOR PLAN
A-2	SECTIONS
A-3.1	EXTERIOR ELEVATIONS
A-3.2	EXTERIOR ELEVATIONS
A-4	UTILITY PLAN
S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
D-1.1	FOUNDATION DETAILS
D-3	ROOF FRAMING DETAILS
D-4	ARCHITECTURAL DETAILS

**AREA CALCS**

BUILDING AREA	600 SQ. FT.
LIVING	610 SQ. FT.
GARAGE	175 SQ. FT.
PORCH	175 SQ. FT.

**BLDG CODE DATA**

OCCUPANCY: R-3/U  
 TYPE OF CONSTRUCTION: VB  
 ALLOWABLE AREA: UNLIMITED  
 HEIGHT (MAX): 20'-0"  
 AUTOMATIC TREE SPRINKLER: YES

**CODE ANALYSIS**

ALL CONSTRUCTION SHALL CONFORM TO THE:  
 2013 California Energy Code  
 2013 California Building Code  
 2013 California Electrical Code  
 2013 California Fire Code  
 2013 California Green Building Code  
 2013 California Mechanical Code  
 2013 California Plumbing Code  
 2013 California Residential Code  
 2013 California Reference Standards Code

AS WELL AS ALL COUNTY OF SAN LUIS OBISPO LAND AND BUILDING ORDINANCES: TITLE 16, 17, 22, AND 23.

**PROJECT DATA**

LOT 11, COAL #1-0184  
 5000 BLUEBELL LANE  
 TOWN OF PASO ROBLES, CA 93446  
 COUNTY OF SAN LUIS OBISPO  
 APN #: 042-181-011

**SCOPE OF WORK**

CONSTRUCT A SINGLE STORY SINGLE FAMILY SECONDARY UNIT WITH AN ATTACHED GARAGE

**VICINITY MAP**



NUMBER OF ORIGINALS IN SETS: 15

THESE RECORD DOCUMENTS HAVE BEEN PREPARED BASED UPON INFORMATION SUBMITTED, IN PART, BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, NRB DRAFTING IS NOT RESPONSIBLE FOR THEIR ACCURACY, NOR FOR ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DOCUMENTS AS A RESULT.



2121 Pine St., SUITE A  
 Paso Robles, California 93446  
 Tel: 805.231.3146  
 Fax: 805.231.1368  
 Email: nelson@nrbdrafting.biz

ATTENTION: IF PLAN CHECK CORRECTION DATE DOES NOT APPEAR IN THE REVISION BLOCK BELOW, DO NOT LAYOUT / BUILD STRUCTURE FROM THIS COPY OF CONSTRUCTION DRAWINGS, UNLESS OTHERWISE INDICATED WITH "APPROVED" RED STAMP FROM LOCAL BUILDING AND PLANNING DEPARTMENT. COPIES WITHOUT CORRECTION DATE INDICATED ARE MOST LIKELY PRELIMINARY DOCUMENTS ONLY.

WILSON  
 GUEST UNIT  
 5000 BLUEBELL  
 PASO ROBLES, CA

COUNTY OF  
 SAN LUIS OBISPO  
 CALIFORNIA

14023  
 COVER SHEET

PH12014-00000

REVISIONS	
DESCRIPTION	DATE

DRAWN	SCALE	DATE
	1" = 20'-0"	10-11-14
JOB NO.	DWG NAME	CHECKED
14023		
SHEET		
CS		



2121 Pine St., SUITE A  
 Paso Robles, California 93446  
 Tel: 805.231.3146  
 Fax: 805.231.1368  
 Email: nelsonrbdrafting@taz

ATTENTION: IF PLAN CHECK CORRECTION DATE DOES NOT APPEAR IN THE REVISION BLOCK BELOW, DO NOT LAYOUT / BUILD STRUCTURE FROM THIS COPY OF CONSTRUCTION DRAWINGS, UNLESS OTHERWISE INDICATED WITH "APPROVED" RED STAMP FROM LOCAL BUILDING AND PLANNING DEPARTMENT. COPIES WITHOUT CORRECTION DATE INDICATED ARE MOST LIKELY PRELIMINARY DOCUMENTS ONLY.

WILSON  
 GUEST UNIT  
 5000 BLUEBELL  
 PASO ROBLES, CA

COUNTY OF  
 SAN LUIS OBISPO  
 CALIFORNIA

14023

FLOOR  
 PLAN

PN12014-00000

REVISIONS	
DESCRIPTION	DATE

DOWN	SCALE	DATE
PJ	1/4" = 1'-0"	10-11-14
JOB NO.	DWG NAME	CHECKED
14023	FLOOR PLAN	

SHEET  
**A-1**

**WALL LEGEND**

- 
- 
- 
- 
- 

EXISTING WATER FIXTURES THAT EXCEED THE THRESHOLDS IN THE WATER USE BASELINE SHALL BE RETROFITTED TO THE FOLLOWING:  
 TOILETS 1.28 GALLONS PER FLUSH  
 SHOWERHEADS 2.0 GPM @ 80 PSI  
 LAVATORY FAUCETS 1.5 GPM @ 60 PSI  
 KITCHEN FAUCETS 1.0 GPM @ 60 PSI

**KEYNOTES**

- 101 5/8" TYPE 'X' GYPSUM BOARD ON COMMON WALL WITH HOUSE FLOOR TO CEILING AND ENTIRE LID OF GARAGE (REFER TO FLOOR PLAN NOTES)
- 102 FIBERGLASS LAUNDRY TRAY PER OWNER
- 103 VENT DRYER TO EXTERIOR, THROUGH ROOF IF NECESSARY
- 104 TANKLESS WATER HEATER IV SOFT WATER LOOP
- 105 22X30 ATTIC ACCESS
- 106 FAU IN ATTIC - SEE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS
- 107 BUILT-IN CABINETS PER OWNER
- 108 AIR-CONDENSER ON CONC. STOOP
- 109 1 1/2" SOLID-CORE OR 20 MIN. RATED DOOR WITH SELF-CLOSER. MUST BE TIGHT FITTING TYPE
- 110 BUILT-IN UPPER CABINETS PER OWNER
- 111 RETURN AIR GRILLE

**FLOOR PLAN NOTES**

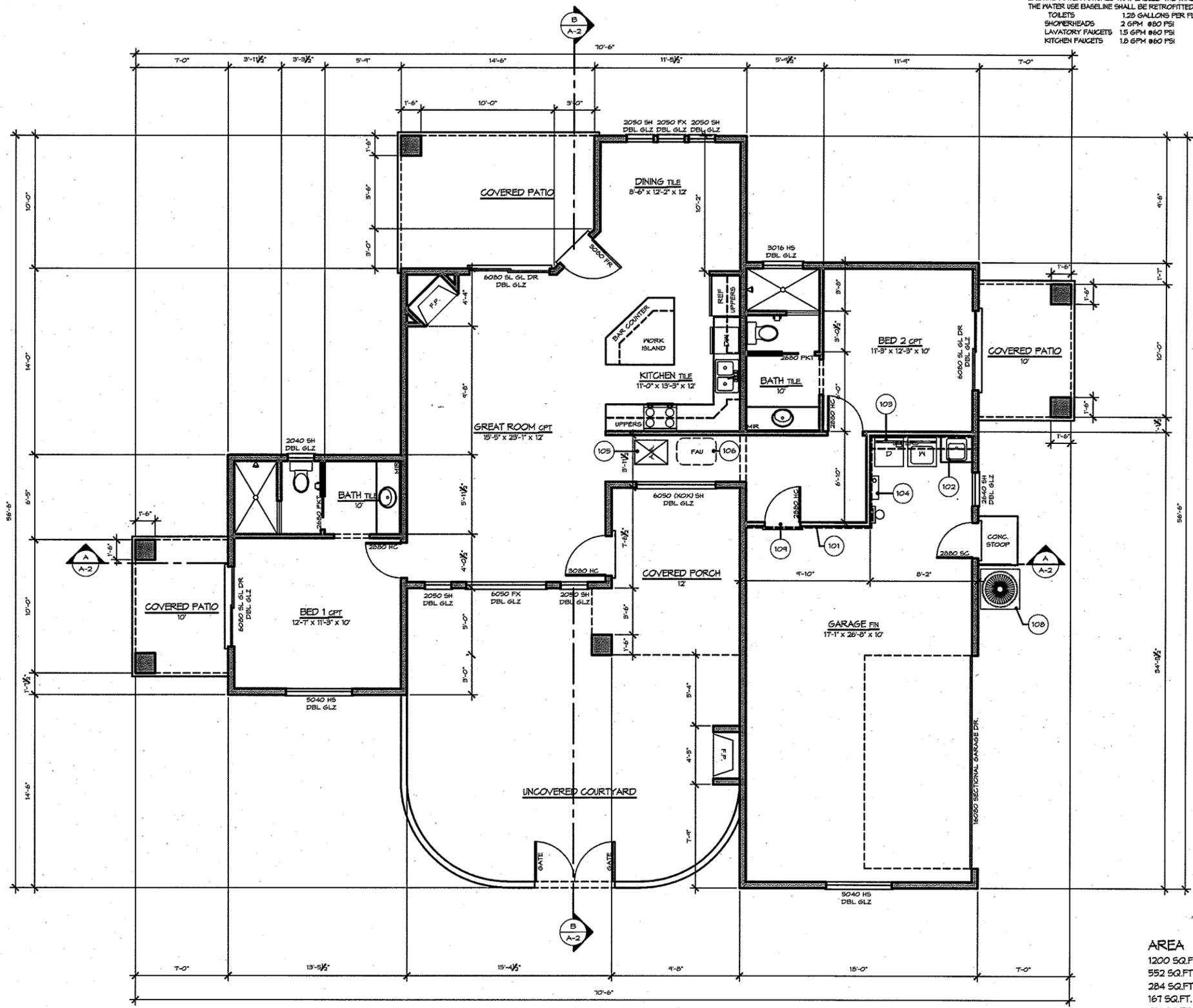
1. ALL EXTERIOR HEADERS ABOVE OPENINGS SHALL BE 4 X 10 12 DF UNLESS OTHERWISE NOTED. INTERIOR HEADER SHALL BE 4 X 8 12 DF UNLESS NOTED.
2. ALL INTERIOR PLUMBING WALLS RECOMMENDED TO BE 2 X 6 STUDS @ 16" O.C.
3. PROVIDE FIRE STOPS IN CONCEALED SPACES OF STUD WALLS INCLUDING SPACES AT CEILINGS AND FLOORS AND IN OPENINGS AROUND DUCTS, PIPES, CHIMNEYS AND SIMILAR OPENINGS WHICH ALLOW PASSAGE OF FIRE.
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT, HARD SURFACE TO A HEIGHT OF 12" ABOVE DRAIN INLET.
5. FLOOR LEVEL CHANGE AT DOORS NOT TO EXCEED 1/2".
6. PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING SHALL NOT BE LESS THAN 5.7 SQ. FT. MIN. NET OPENING HEIGHT DIMENSION, 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION, 20" CLEAR FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
7. OCCUPANCY SEPARATION BETWEEN GARAGE AND HOUSE SHALL BE OF ONE-HOUR FIRE RESTRICTIVE CONSTRUCTION ON THE GARAGE SIDE.
  - A. FIREWALL IS REQUIRED TO EXTEND FROM FLOOR TO ROOF SHEATHING PROVIDED A COMPLETE SEPARATION BETWEEN THE GARAGE AND SPD OR THE CEILING AND ALL BEARING WALLS OF CEILING ARE REQUIRED TO BE COVERED WITH FIRE RATED DRYWALL.
  - B. WHEN THE CEILING IN THE GARAGE IS REQUIRED TO BE ENTIRELY PROTECTED, THE WALLS, BEAMS OR POSTS SUPPORTING THE CEILING ARE TO BE PROTECTED WITH EQUIVALENT FIRE RESTRICTIVE CONSTRUCTION. CBC
  - C. IF THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE CEILING AND ALL SUPPORTING ELEMENTS AND POSTS MUST BE FIRE PROTECTED AND JACKETED FOR PROTECTION AGAINST MECHANICAL DAMAGE 104.2.5 AND 6.
12. SKYLIGHTS SHALL BE TEMPERED GLASS.
13. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED DOORS SHALL BE DUAL-GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR SHALL BE GLOSS BLOCK UNITS OR SHALL HAVE A FIRE-RESTRICTIVE RATING NOT LESS THAN 20 MINUTES. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS AND METAL REINFORCEMENT IN THE INTERLOCK AREA.
14. EXTERIOR DOORS AND EXTERIOR GLAZING SHALL COMPLY WITH CAL FIRE REQUIREMENTS PER SHEET CF-1.

**PLAN LEGEND**

REFRIGERATOR (N.L.G.)	COCKTOP W/HOOD	OPTIONAL TRASH COMPACTOR	CONDENSER ON CONCRETE PAD
DISHWASHER	OVEN/MICROWAVE	DOUBLE SINK W/ DISPOSAL	LAVATORY
WATER CLOSET	SHOWER	TUB ON PLATFORM	22 X 30 ATTIC ACCESS
TUB/SHOWER	OPTIONAL SOAKING SINK	DRYER (N.L.G.)	WASHER (N.L.G.)
MEDICINE CABINET	TOILET PAPER DISPENSER	TOWEL BAR (PROVIDE SOLID BACKING)	GAS METER
ELEG. METER			

AREA  
 1200 SQ.FT. LIVING  
 552 SQ.FT. GARAGE  
 284 SQ.FT. PATIO(S)  
 167 SQ.FT. PORCH  
 417 SQ.FT. COURTYARD

FLOOR PLAN 1/4" = 1'-0"



**LIVING AND PORCH ROOF VENTILATION REQUIRED**

ROOF 1610 / 300 PER CBC 1203.2  
WITH VAPOR RETARDER  
5.36 SQ.FT. X 144 SQ. IN.  
712 SQ.IN. FREE AREA REQUIRED  
EAVE VENTS @ 41 SQ.IN.  
ROOF VENTS @ 105 SQ.IN.

12 EAVE VENTS @ 41 SQ INCHES = 492 SQ. INCHES  
3 ROOF VENTS @ 105 SQ INCHES = 315 SQ. INCHES  
807 SQ. INCHES PROVIDED

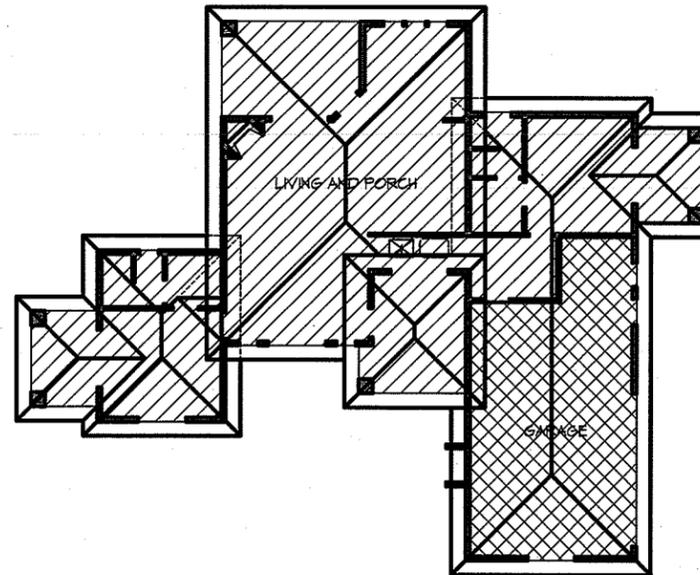
**GARAGE ROOF VENTILATION REQUIRED**

ROOF 540 / 300 PER CBC 1203.2  
WITH VAPOR RETARDER  
1.3 SQ.FT. X 144 SQ. IN.  
239 SQ.IN. FREE AREA REQUIRED  
EAVE VENTS @ 41 SQ.IN.  
ROOF VENTS @ 105 SQ.IN.

4 EAVE VENTS @ 41 SQ INCHES = 164 SQ. INCHES  
1 ROOF VENTS @ 105 SQ INCHES = 105 SQ. INCHES  
269 SQ. INCHES PROVIDED

- \* EAVE VENTS TO BE APPROVED "VULCAN VENT" MODEL VES322
- \* ROOF VENTS TO BE APPROVED "VULCAN VENT" MODEL VSB1212

NOTE: ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW PER CRC R206.1



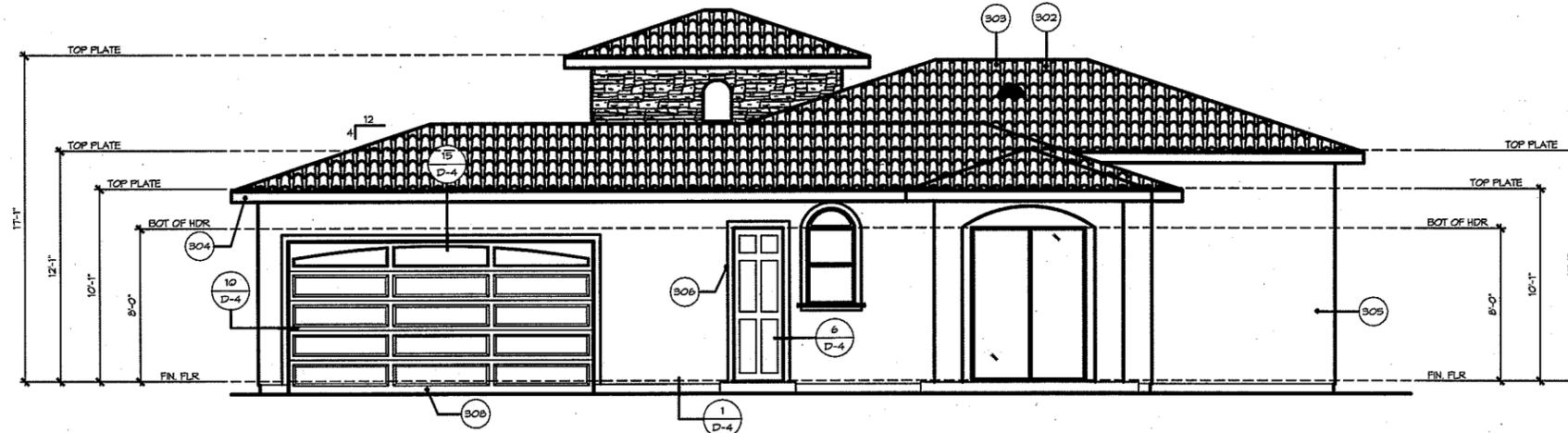
**KEYNOTES**

- 301 NOT USED
- 302 TILE ROOF PER OWNER
- 303 ROOF VENTS PER CALCS
- 304 2 X 6 HEM FER FASCIA
- 305 STUCCO EXTERIOR OR APPROVED BUILDING PER OWNER
- 306 FOAM CORE AROUND ALL WINDOWS AND DOORS
- 307 DECORATIVE STUCCO COLUMNS
- 308 METAL ROLL-UP GARAGE DOOR
- 309 NOT USED
- 310 PROVIDE SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS, PROVIDE WEARS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS
- 311 STUCCO-SOFFIT ON ALL EXPOSED EAVES, SOFFITS & LIDS OF COVERED PORCHES

**ELEVATION NOTES**

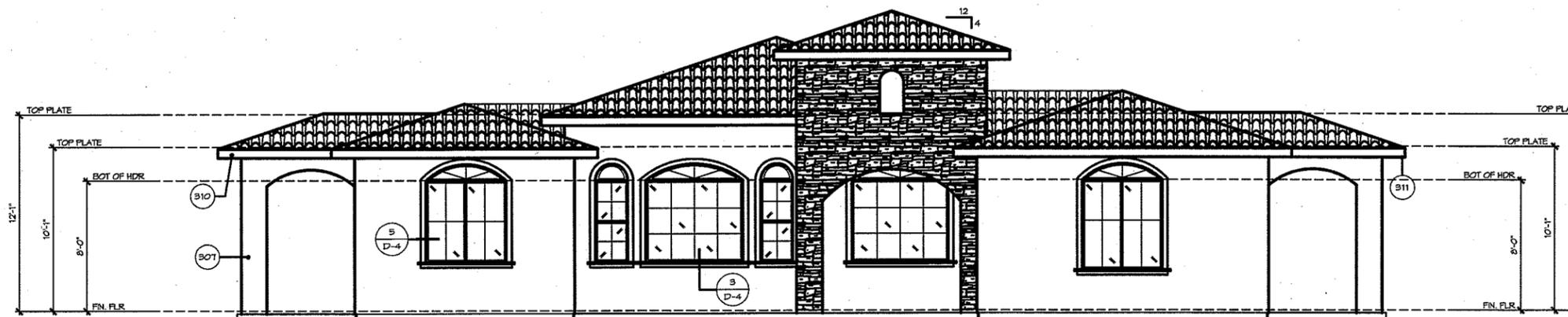
1. STUCCO SHALL BE APPLIED WITH THREE-COAT APPLICATION PER CBC
2. PROVIDE KEEL SCREED AT BASE OF STUCCO, A MINIMUM OF 0.19 INCHES (25 GA) CORROSION RESISTANT KEEL SCREED WITH A MIN. OF VERTICAL ATTACHMENT FLANGE OF 3 1/2" SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. PER CBC
3. 2 LAYERS OF GRADE 70 PAPER SHALL BE APPLIED UNDER PORTLAND CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC
4. GLASS SKYLIGHTS SHALL COMPLY WITH CRC PLASTIC SKYLIGHTS SHALL COMPLY WITH CRC EGO #1024-1990
5. ALL ROOFING MATERIAL SHALL BE GLASS 'A', AND SHALL BE ICBO APPROVED
6. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 29 GAUV. SHEET CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 6" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 6" FROM THE CENTERLINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". ALTERNATIVELY, THE VALLEY SHALL CONSIST OF 1/2" ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED)
8. ATTIC VENTS ARE TO BE PROTECTED BY 1/4 CORROSION RESISTANT METAL MESH
9. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH \* MINIMUM AND 1/2" MAXIMUM SIZED OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS.
10. ALL ROOF STRUCTURES SUCH AS ATTIC VENTS, PLUMBING VENTS, GUTTERS, ETC. SHOULD BE PAINTED TO MATCH THE ROOF COLORS AND BE POSITIONED BEHIND THE ROOF CROWN.

ATTENTION: IF PLAN CHECK CORRECTION DATE DOES NOT APPEAR IN THE REVISION BLOCK BELOW, DO NOT LAYOUT / BUILD STRUCTURE FROM THIS COPY OF CONSTRUCTION DRAWINGS, UNLESS OTHERWISE INDICATED WITH "APPROVED" RED STAMP FROM LOCAL BUILDING AND PLANNING DEPARTMENT. COPIES WITHOUT CORRECTION DATE INDICATED ARE MOST LIKELY PRELIMINARY DOCUMENTS ONLY.



**RIGHT ELEVATION**

1/4" = 1'-0"



**FRONT ELEVATION**

1/4" = 1'-0"

**WILSON  
GUEST UNIT  
5000 BLUEBELL  
PASO ROBLES, CA**

COUNTY OF  
SAN LUIS OBISPO  
CALIFORNIA

14023

**ELEVATIONS**

PMT2014-00000

REVISIONS	
DESCRIPTION	DATE

DRAWN	SCALE	DATE
PJ	1/4" = 1'-0"	10-13-14
JOB NO.	DWG NAME	CHECKED
14023		

SHEET

**A-3.1**

**NRB**  
DRAFTING  
SERVICES, INC.  
NELSON R. BERNAL

2121 Pine St., SUITE A  
Paso Robles, California 93446  
Tel: 805.237.3146  
Fax: 805.237.1366  
Email: nelsonnrbdrafting.biz

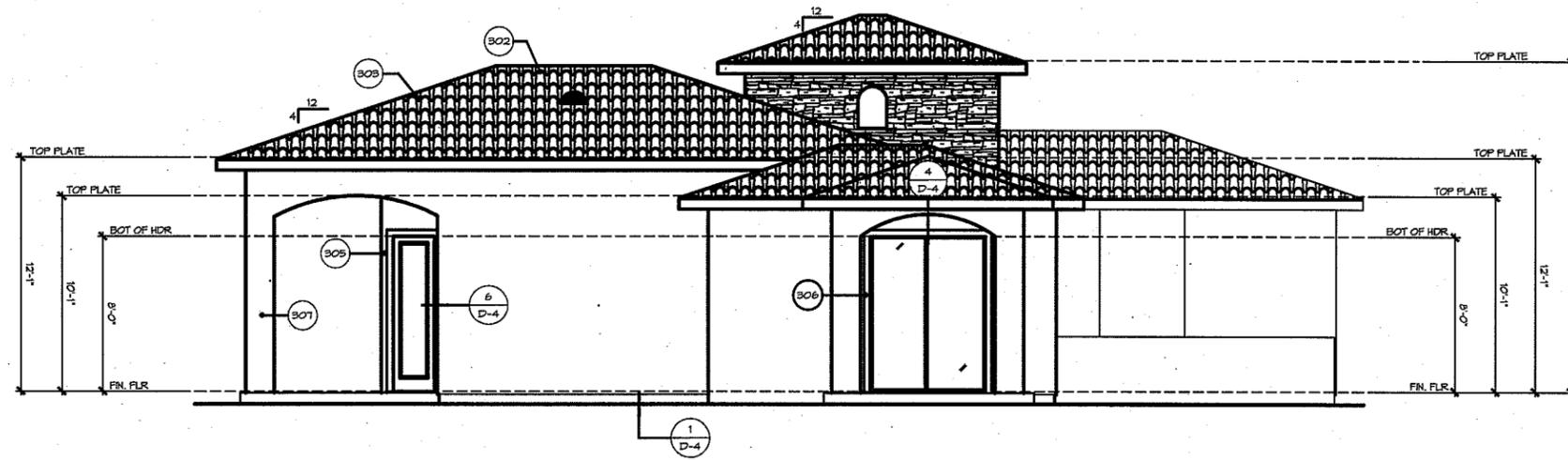
KEYNOTES

- 301 NOT USED
- 302 TILE ROOF PER OWNER
- 303 ROOF VENTS PER CALGS
- 304 2 x 6 HEM FIR FASGIA
- 305 STUCCO EXTERIOR OF APPROVED BUILDING PER OWNER
- 306 FOAM CORE AROUND ALL WINDOWS AND DOORS
- 307 6 x 6 WOOD POSTS
- 308 METAL ROLL-UP GARAGE DOOR
- 309 NOT USED
- 310 PROVIDE SEAMLESS ALUMINUM GUTTERS AND DOWNSPOUTS, PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS
- 311 STUCCO-SOFFIT ON ALL EXPOSED EAVES, SOFFITS & LIDS OF COVERED PORCHES

ELEVATION NOTES

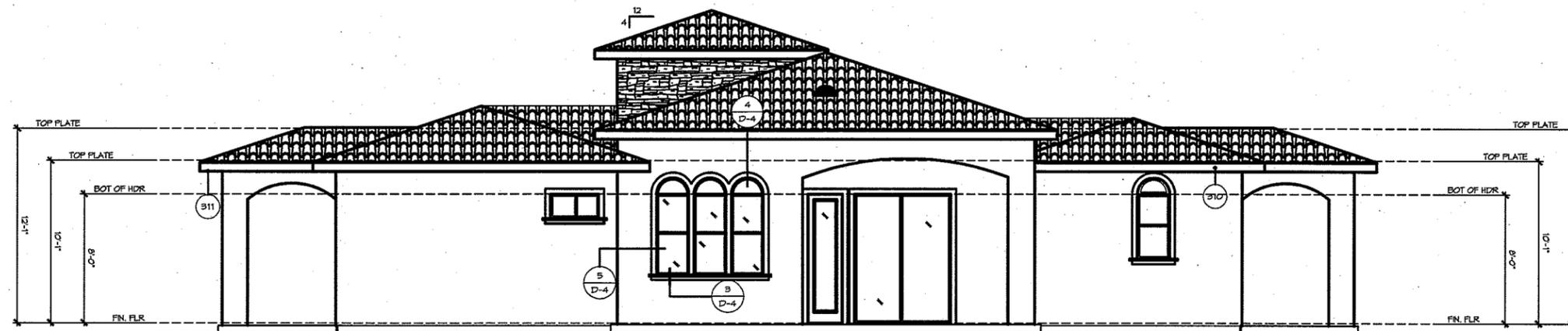
1. STUCCO SHALL BE APPLIED WITH THREE-COAT APPLICATION PER CBC
2. PROVIDE KEEL SCREED AT BASE OF STUCCO, A MINIMUM OF 0.18 INCHES (2 1/4") CORROSION RESISTANT KEEL SCREED WITH A MIN. OF VERTICAL ATTACHMENT FLANGE OF 3 1/2" SHALL BE PROVIDED AT THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHALL BE PLACED A MIN. OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED, PER CBC
3. 2 LAYERS OF GRADE D' PAPER SHALL BE APPLIED UNDER PORTLAND CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CBC
4. GLASS SKYLIGHTS SHALL COMPLY WITH CRC, PLASTIC SKYLIGHTS SHALL COMPLY WITH CRC IBCO #1084-1990
5. ALL ROOFING MATERIAL SHALL BE CLASS 'A', AND SHALL BE ICBO APPROVED.
6. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 28 GA. V. SHEET CORROSION RESISTANT METAL AND SHALL EXTEND AT LEAST 8" FROM THE CENTER LINE EACH WAY. SECTIONS OF FLASHING SHALL EXTEND AT LEAST 8" FROM THE CENTERLINE EACH WAY. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4". ALTERNATIVELY, THE VALLEY SHALL CONSIST OF MOVEN ASPHALT SHINGLES APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS, ATTIC INSULATION SHALL BE CONFINED SO AS NOT TO BLOCK EAVE OR CORNICE (ONE INCH MIN. CLEARANCE REQUIRED)
8. ATTIC VENTS ARE TO BE PROTECTED BY 1/4" CORROSION RESISTANT METAL MESH
9. AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS, OR GRILLES WITH 1/2" MINIMUM AND 1/2" MAXIMUM SIZED OPENINGS IN ANY DIMENSION. OPENINGS SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS
10. ALL ROOF STRUCTURES SUCH AS ATTIC VENTS, PLUMBING VENTS, GUTTERS, ETC., SHOULD BE PAINTED TO MATCH THE ROOF COLORS AND BE POSITIONED BEHIND THE ROOF CROWN.

ATTENTION: IF PLAN CHECK CORRECTION DATE DOES NOT APPEAR IN THE REVISION BLOCK BELOW, DO NOT LAYOUT / BUILD STRUCTURE FROM THIS COPY OF CONSTRUCTION DRAWINGS, UNLESS OTHERWISE INDICATED WITH "APPROVED" RED STAMP FROM LOCAL BUILDING AND PLANNING DEPARTMENT. COPIES WITHOUT CORRECTION DATE INDICATED ARE MOST LIKELY PRELIMINARY DOCUMENTS ONLY.



LEFT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

WILSON  
GUEST UNIT  
5000 BLUEBELL  
PASO ROBLES, CA

COUNTY OF  
SAN LUIS OBISPO  
CALIFORNIA

14023

ELEVATIONS

PMT2014-00000

REVISIONS	
DESCRIPTION	DATE

DRAWN PJ	SCALE 1/4" = 1'-0"	DATE 12-11-14
JOB NO. 14058	DRG NAME	CHECKED

SHEET

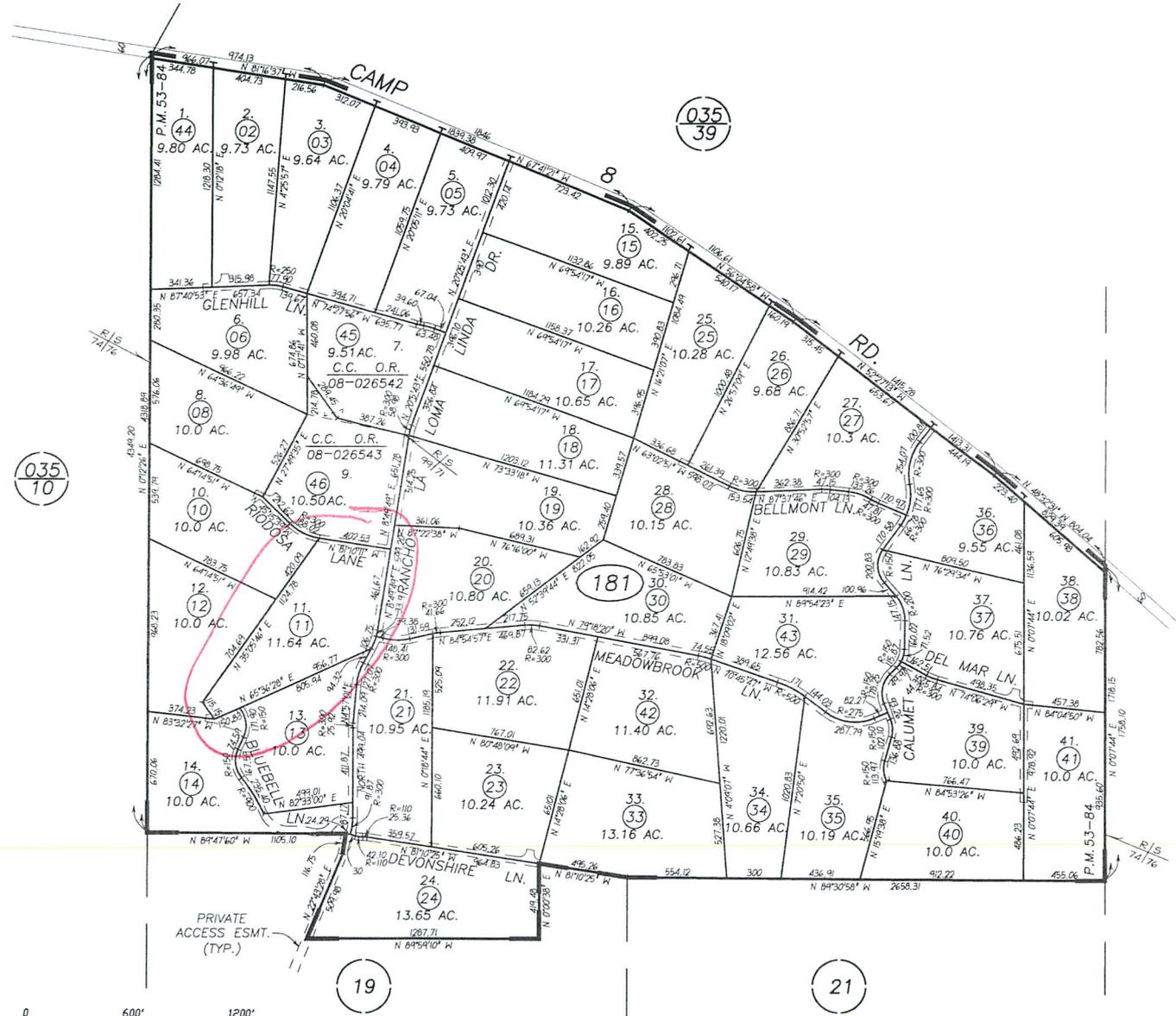
A-3.2



2121 Pine St., SUITE A  
Paso Robles, California 93446  
Tel: 805.231.3146  
Fax: 805.231.1366  
Email: nelsonnrbdrafting.biz



042-18



REVISIONS	
I.S.	DATE
09-104	06-26-08

300' 0 600' 1200'

JAW 09-09-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



El Pomar-Estrella Sub Area  
Planning Area

AG

North County Planning Area  
Planning Area

INDONESIA LN

DEVONSHIRE LN

POWER

200 m

500 ft



POWER



# Parcel Summary Report For Parcel # 042-181-011

12/8/2014  
8:06:50AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role   Name and Address

OWN   WILSON JOHN M III  
PO BOX 50069 PHOENIX AZ 85076-

OWN   WILSON CATHERINE

OWN   WILSON JOHN M III & CATHERINE LIVIN

### Address Information

<u>Status</u>	<u>Address</u>
P	05000 BLUEBELL LN NCELPO

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL97-	198	0011	North Cty. Plan	North County I AG	FH			Y	SC	

### Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 53-84 PAR 11

### Notes

#### Tax Districts

PASO ROBLES JT(27,40) (SB1537)

SAN LUIS OBISPO JT(27,40)

PASO ROBLES PUBLIC

NO. 01

AREA NO. 21

PASO ROBLES UNION (SB1537 BLO)



# Parcel Summary Report For Parcel # 042-181-011

12/8/2014  
8:06:51AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### Case Information

**Case Number:**

**Case Status:**

DRC2014-00057 REC Primary Parcel

**Description:**

CONSTRUCT A 1200 SQ FT SECONDARY RESIDENCE WITH ATTACHED GARAGE

PMT2002-24634 WIT Primary Parcel

**Description:**

GRADING OF LOTS 6, 7, 8, 9 & 10 (OVER 10%) (ADDED TO /001 PERMIT 95550

PMT2013-03030 ISS Primary Parcel

**Description:**

SFD (3018 SF), ATTACHED GARAGE (788 SF), PORCHES (2051 SF), BASEMENT (185 SF) INCLUDES MINOR GRADING & RETAINING WALL (PMT2013-03031 - DETACHED GARAGE)

PMT2013-03031 ISS Primary Parcel

**Description:**

DETACHED GARAGE (1910 SF) INCLUDES ELECTRICAL (SFD - PMT2013-03030)

PMT2014-01101 ISS Primary Parcel

**Description:**

FIRE SPRINKLERS FOR SINGLE FAMILY DWELLING & GARAGE /PMT 2013-03030/ NFPA 13D 2013 EDITION/ PIPING CPVC/ SPRINKLERS HOUSE VIKING VK457 & VK476 IN BEAMED CEILING/ GARAGE RECESSED PENDENT VK468 175 DEGREE/ BOOSTER PUMP GRUNDFOS 30 BMQE 10C-130

PMT2014-01478 REC Primary Parcel

**Description:**

AG BUILDING - 4800 SF - NO ELECTRICAL OR PLUMBING

C5102 FNL Related Parcel

**Description:**

PRIVATE ROADS, ENG GRADING & CULVERTS/COAL 97-198 REVIEWED & INSPECTED BY ENG DEPT FOR BLDG

S970078L RDD Related Parcel

**Description:**

PROPOSED 46 PARCEL ADJUSTMENT

S970158N RDD Related Parcel

**Description:**

ROAD NAMES FOR COAL 97-198