



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 12/22/2014

TO: _____

FROM: Holly Phipps (805-7811162 or hhipps@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2014-00064 GLEASON – Proposed minor use permit for a phased winery expansion with special events. Phase 1 includes a building and crush pad and Phase 2 includes an agriculture processing building and an additional building. Site location is 2485 Green Valley Rd, Paso Robles. APN: 040-111-019.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

MINOR USE PERMIT

PHASED MUP TO ADD PROCESSING BUILDINGS AND SPECIAL EVENTS
NCADEL/ NCADEL

AG

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Site Plan
- Conditional Use Permit/Development Plan
- Curb, Gutter & Sidewalk Waiver
- Tree Permit
- Minor Use Permit
- Plot Plan
- Variance
- Surface Mining/Reclamation Plan
- Amendment to approved land use permit
- Zoning Clearance
- Other

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Steve and Jackie Gleason Daytime Phone _____

Mailing Address 2485 West Highway 46 Zip Code _____

Email Address: _____

Applicant Name _____ Daytime Phone _____

Mailing Address _____ Zip Code _____

Email Address: _____

Agent Name Pamela Jardini Daytime Phone 805-801-0453

Mailing Address planningsolutions@charter.net Zip Code 93465

Email Address: 1360 New Wine Place, Templeton, CA

PROPERTY INFORMATION

Total Size of Site: ± 3.5 acres Assessor Parcel Number(s): 040-111-019

Legal Description: _____

Address of the project (if known): 2485 West Highway 46

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: 101 North to Highway 46 west - project site on left/south side of Highway 46

Describe current uses, existing structures, and other improvements and vegetation on the property: existing winery and production facilities and vineyards

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Phased MUP to add processing buildings and special events

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Jacqueline J Gleason Date 12/15/14

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): Setback modification and secondary special events access modification

Describe existing and future access to the proposed project site: Highway 46 existing and continue use proposed

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: _____ South: _____
East: _____ West: _____

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: _____ sq. feet _____% Landscaping: _____ sq. feet _____%
Paving: _____ sq. feet _____% Other (specify) _____

Total area of all paving and structures: _____ sq. feet acres

Total area of grading or removal of ground cover: _____ sq. feet acres

Number of parking spaces proposed: _____ Height of tallest structure: _____

Number of trees to be removed: _____ Type: _____

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____
 Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal-Fire

For commercial/industrial projects answer the following:

Total outdoor use area: ± 35 sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 10 acres
Moderate slopes of 10-30%: 25 acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: existing buildings and ag pond
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Highway 46

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain vineyards
 Commercial/Office - Explain winery processing facilities
 Industrial - Explain _____
- 3. What is the expected daily water demand associated with the project? vineyards/ processing facilities
- 4. How many service connections will be required? none
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach. _____
- 7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? > 1000 feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*) maybe

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
- 2. What is the amount of proposed flow? _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: W.I-Mor
- 3. Where is the waste disposal storage in relation to buildings? near processing facilities
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: _____
- 2. Location of nearest police station: Paso City / Templeton Sheriff
- 3. Location of nearest fire station: Paso City / Templeton CSD
- 4. Location of nearest public transit stop: _____
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
existing winery and vineyards
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: Sun thro Sat Hours of Operation: 9-6 for commercial purposes 10:30-6pm for public
- 2. How many people will this project employ? varies/seasonal
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift
depend / seasonal
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail:
wine processing waste
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: no restrictions

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): open areas + vineyards
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: future processing buildings and gazebo
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
existing winery facility

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): refer to project description letter enclosed with application

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): please refer to project description letter enclosed

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

Four Lanterns Winery Phased MUP Expansion

Property

The site is located at 2485 West Highway 46 in Paso Robles, CA (APN 040-111-019); it is approximately 35 acres and zoned Agriculture. The property is home to Four Lanterns Winery, owned by Steve and Jackie Gleason.

Existing Conditions

A winery facility was previously permitted at this site; the winery facility includes a tasting room, processing buildings/areas, administration offices, wine storage areas, retail sales area a roadside stand and an agricultural pond. No changes are proposed to these permitted uses.

There is an existing single family residence on-site; no change in the structure of the residence or the use is proposed with this application.

Highway 46 will provide both the primary and secondary access to the winery; a loop road is proposed for on-site interior road circulation.

Demolition is proposed for the greenhouse, storage garage and shed.

Permit History

A Minor Use Permit (MUP) was approved in 1996 that established the winery inside an existing barn with a tasting room. After a fire, a construction permit was issued to replace the burned winery structure (PMT2004-03199). In 2006, a MUP was approved for new storage areas, administration areas and the existing winery's amenities including a tasting room, a road side stand, office area, fermentation area, various storage areas and processing areas.

Proposed Phased Project Description

This Minor Use Permit application requests a phased project to expand the existing Agriculture Processing and Visitor Serving uses into new buildings as detailed below. Additionally, we are requesting a modification to the setback from the property line as required per Section 22.30.070(D)(2)(d)(1) of the Land Use Ordinance and special events per Section 22.30.070(I)

1. Phase 1

The first phase consist of two processing buildings totaling 4, 808 sq. ft., a 2,505 sq. ft. concrete crush pad that is covered; the roof over the crush pad spans the crush pad area and attaches to each proposed processing building. A 2,875 sq. ft. concrete slab is proposed in front of the processing buildings and the covered crush pad areas.

The wine processing building includes a restroom (84 sq. ft.), office space (54 sq. ft.), laboratory space (73 sq. ft.) and a utility room (180 sq. ft.). The existing septic

system will accommodate the proposed restroom's waste requirements and be utilized for both phases of the proposed project.

The wine storage building includes wine barrel storage (1,696 sq. ft.), case good storage (265 sq. ft.) and a commercial kitchen (260 sq. ft.).

2. Phase 2

The second phase of the project consist of two additional processing buildings totaling 5,000 sq. ft. Both buildings are located to the south of Phase 1's buildings and one building is proposed to be attached to the wine storage building.

Construction of a gazebo approximately 375 sq. ft. lying easterly of the proposed wine storage building.

3. Modification to Section 22.30.070 D2d(1) setback requirements

The applicant is requesting a modification to the setback requirements of 200 feet from the easterly property line. The setback can be modified when any one of the following findings are satisfied.

(1) There is no feasible way to meet the required setbacks without creating environmental impacts or impacting prime agricultural land

Here, the proposed siting of the new buildings in both phases are located in areas that have been previously disturbed and the proposed location requires minimal removal of existing vineyards. Placing the proposed buildings in any other area would require removal of existing vineyards and substantial grading on the hill; these environmental impacts could not be easily mitigated.

(2) The property fronts on an arterial or collector street

Here, the property fronts on Highway 46 which is an arterial Road

(3) The setbacks are not practical or feasible due to existing topographic conditions or existing vegetation

Here, the site has topographic constraints. The property rises quickly up a steep hill; both the hill and the level land area are planted with vineyards. Placing the proposed buildings in any other area would require removal of existing vineyards and substantial grading on the hill.

Additionally, the placement of the proposed building are further limited by the existing agricultural pond that lies immediately south of the building sites.

Conclusion to setback modification request

The modification to the setback requirement should be permitted because Four Lanterns Winery meets three out of the four findings specified for approval of the modification when technically only one finding is required.

Please note that the existing residence on the parcel immediately south of the subject site (APN 040-171-013) is not within 400 feet of any winery structure or outdoor use area therefore, a modification to the required setback for this structure is not required.

4. Special Events

The applicant is requesting special events where six or less special events of no more than 80 individuals are attending. Events allow the applicants to expand their consumer marketing plan through incorporating on-site agricultural experience (tasting and tours) and educate the public about the wine industry.

(1) Permit Requirement – The applicants are requesting six or less events of no more than 80 individuals attending; this request triggers a MUP

a. **Non-profit events** – the land use ordinance does not regulate non-profit events; Four Lanterns Winery intends to accommodate non-profits for fundraising activities. The owners understand the vital services non-profit organizations provide to the local community.

(2) Minimum site area – the minimum site area for special events is 20 acres. The project site is approximately 35 acres

(3) Limitations on use – the applicant is requesting six or less special events of no more than 80 individuals. No amplified music is proposed before 10 am or after 5 pm.

(4) Design and operational standards

a. **Access** – the applicant is requesting a modification to the access requirement; Highway 46 has a long left hand turning lane that could accommodate stacking of cars for events of 80 people or less and it is an arterial road.

b. **Parking** – off street parking is provided and it is contained within the project site.

c. **Cal Fire** – the applicant is proposing to use an interior loop road that allows options for exist routes. However, the proposed interior road has one access point from Highway 46; as stated above, Highway 46 is an arterial road that accommodates a high volume of traffic and therefore in an emergency, departure will not be obstructed or slowed for either the patrons or fire personnel. In all other areas, the project meets or exceeds Cal Fire's requirements.

d. **Water Supply and sanitation** – there are existing storage tanks on-site and restroom facilities. The applicant will provide portable sanitation facilities if needed for a special event.

e. **Guarantee of Site Restoration** – the owner guarantees that the site will be restored to its condition prior to any special event since this is the project site and wine tasting and tours and winery operations will continue

as the main purpose of the site. The applicants are willing to post a bond if required for site restoration

5. Business hours of operation

The facility will be open to accept deliveries at 9am; the facility will open at 10:30 am for the public and close at 6 pm.

6. Landscaping

New landscaping will be installed around the existing tasting room and spreading northerly toward the entrance. Plantings were chosen from the County's approved plant list and includes a mix of native and or drought tolerant trees, shrubs and groundcovers.

Landscape lighting is proposed to highlight accent plants, light paths and the outdoor area.



Four Lanterns

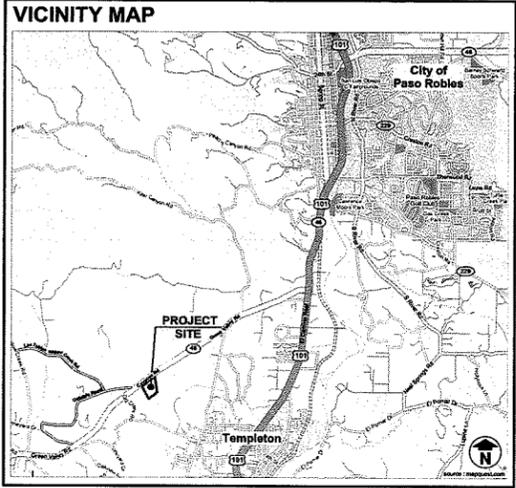
winery.

Minor Use Permit

Wine Processing and Barrel Storage



ABBREVIATIONS	
A	A/C AIR CONDITIONING A.F.F. ABOVE FINISH FLOOR ALT. ALTERNATE AMT. AMOUNT APPROX. APPROXIMATE AVG. AVERAGE
B	BD. BOARD BTWN. BETWEEN BLDG. BUILDING BLK. / BLKG. BLOCK / BLOCKING
C	C.F.M. CUBIC FEET PER MINUTE CHG. CHANGE C.I. CAST IRON CLR. CLEARANCE CLG. CEILING C.M.U. CONCRETE MASONRY UNIT COL. COLLUM CONC. CONCRETE CONSTR. CONSTRUCTION C.O.T.G. CLEAN OUT TO GRADE CTR. CENTER CU. FT. CUBIC FOOT CU. IN. CUBIC INCH CU. YD. CUBIC YARD
D	DBL. DOUBLE DEG. DEGREE DEPT. DEPARTMENT DIAG. DIAGONAL DIA. DIAMETER DIM. DIMENSION DIV. DIVISION D.S. DOWNSPOUT DW. DUMBWAITER / DOWNSPOUT
E	[E] EXISTING EA. EACH ELEC. ELECTRIC ELEV. ELEVATION / ELEVATOR ENCL. ENCLOSURE EQ. EQUAL EQUIP. EQUIPMENT EXST. EXISTING EXT. EXTERIOR
F	F.D. FLOOR DRAIN F.G. FINISH GRADE F.H. FIRE HYDRANT FIN. FINISH FLR. FLOOR FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD FS. FINISH SURFACE FT. FOOT FTG. FOOTING
G	G.A. GAUGE GAL. GALLON GALV. GALVANIZED GYP. GYPSUM
H	H.B. HOSE BIBB HDR. HEADER HRDW. HARDWARE HORIZ. HORIZONTAL HP. HORSE POWER HT. HEIGHT
I	I.D. INSIDE DIAMETER IN. INCH INFO. INFORMATION INSUL. INSULATION INT. INTERIOR
J	JAN. JANITOR JCT. JUNCTION JT. JOINT
K	KIT. KITCHEN
L	LAV. LAVATORY LB. POUND L.F. LINEAL FOOT LIG. LIGHT LT. LIGHT LT.WT. LIGHT WEIGHT
M	MAX. MAXIMUM M.B. MACHINE BOLT M.C. MEDICINE CABINET MECH. MECHANICAL MED. MEDIUM MEZZ. MEZZANINE MFR. / MFGR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTL. METAL
N	(N) NEW N.G. NATURAL GRADE N.I.C. NOT IN CONTRACT N.N.W. NO NEW WORK NTS. NOT TO SCALE
O	O / O.C. BOARD ON CENTER O.D. OUTSIDE DIAMETER OPNG. OPENING ORIG. ORIGINAL OUNCE OUNCE
P	PERP. PERPENDICULAR PL. PLATE P. LAM. PLASTIC LAMINATE PLY. WD. PLYWOOD PR. PAIR PROJ. PROJECT P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH P.W.M.T. PAVEMENT P.T.D.F. PRESSURE TREATED DOUG FIR
Q	QT. QUART QTY. QUANTITY
R	R. RISER RAD. RADIUS RD. ROAD REF. REFRIGERATOR REINF. REINFORCEMENT REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING R.T.S. REFER TO STRUCTURAL
S	SCHED. SCHEDULE S.C. SOLID CORE SECT. SECTION SHWR. SHOWER SHT. SHEET SIMM. SIMILAR SPEC(S). SPECIFICATION(S) SQ. SQUARE SQ. FT. SQUARE FEET S.S. STAINLESS STEEL ST. STREET STD. STANDARD STL. STEEL STOR. STORAGE STRUC. STRUCTURE SYM. SYMBOL
T	T. TREAD T.O.C. TOP OF CONCRETE/CURB T.O.C.B. TOP OF CATCH BASIN TEL. TELEPHONE TEMO. TEMPERATURE T&G. TONGUE AND GROOVE THK. THICK TOIL. TOILET T.O.P. TOP OF PAVEMENT T.O.S. TOP OF SLAB T.O.W. TOP OF WALL TV. TELEVISION TYP. TYPICAL
U	UNFIN. UNFINISHED U.N.O. UNLESS NOTED OTHERWISE UR. URINAL
V	V. VENT V.C.T. VINYL COMPOSITION TILE VENT. VENTILATE, VENTILATING VERT. VERTICAL V.T.R. VENT THRU ROOF
W	W.C. WATER CLOSET WD. WOOD W.H. WATER HEATER W.I. WROUGHT IRON WOM. WOMEN W.P. WATERPROOFING WSC.T. WAINSCOT W/ WITH W/O WITHOUT
ACRONYMS	A.N.S.I. AMERICAN NATIONAL STANDARDS INSTITUTE A.S.T.M. AMERICAN SOCIETY FOR TESTING AND MATERIALS C.B.C. CALIFORNIA BUILDING CODE I.B.C.O. INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS N.F.P.A. NATIONAL FIRE PROTECTION ASSOCIATION O.S.H.P.D. OCCUPATIONAL SAFETY AND HEALTH ACT U.F.C. UNIFORM FIRE CODE W.I.C. WOODWORK INSTITUTE OF CALIFORNIA



GENERAL COUNTY NOTES

All work shall comply with current county and state water conservation regulations.

Dust and erosion control shall be in conformance with standards and regulations of the County of San Luis Obispo.

Any work located within the public right-of-way or within the jurisdiction of the County Utilities and public works departments shall comply with the most current edition of the engineering standards and standard specifications.

Prior to final inspection AND/OR CERTIFICATION OF OCCUPANCY, the County Health Dept. shall approve & inspect the cross connection devices. Call Jon Williams, 805.781.5567.

GENERAL NOTES

This project shall comply with the 2013 California building code (CBC).

Codes: All construction shall conform to the following codes:
 2013 California Building Code
 2013 California Electrical Code
 2013 California Mechanical Code
 2013 California Plumbing Code
 2013 California Energy Code
 2013 California Fire Code
 2013 California Fire Code
 2013 Green Building Standards Code

NEPA - National Fire Codes, all other codes and ordinances adopted by the agencies having jurisdiction over this project.

All amendments to the CA codes adopted by the county of San Luis Obispo, and all other codes, regulations, and approvals established by the County of San Luis Obispo.

AGENCY SIGN-OFFS

List of required agencies needed to approve plans prior to final permit:
 This MUP Application requires approval of the Temploton Area Advisory Group (TAAG).

AGENCIES & UTILITIES

COUNTY BUILDING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600	COUNTY SHERIFF'S DEPT. 1585 KANSAS AVE. SAN LUIS OBISPO, CA 805.781.4550	SBC / AT&T SERVICE CENTER 1.800.310.2355 (RESIDENTIAL) 1.800.750.2355 (BUSINESS)
COUNTY PLANNING COUNTY GOVERNMENT CTR. SAN LUIS OBISPO, CA 93401 805.781.5600	COF / SLO COUNTY FIRE 635 N. SANTA ROSA ST. SAN LUIS OBISPO, CA 805.543.4248	PG&E 426 HIGUERA STREET SAN LUIS OBISPO, CA 805.743.5000
COUNTY HEALTH 2191 JOHNSON AVE. SAN LUIS OBISPO, CA 805.781.5500	UNDERGROUND SERVICES/ DIG ALERT 1.800.227.2600	SOUTHERN CALIFORNIA GAS COMPANY 9400 OAKDALE AVE. CHATS WORTH, CA 91313

PROJECT DESCRIPTION

The following project is to be developed in two phases. The first phase includes two buildings attached to a covered concrete crush pad and parking. The wine processing building includes a unisex bathroom, office space, laboratory space, a mechanical and electrical room. The unisex bathroom will attach to the existing septic system and is designed to serve both phases of this project. The wine storage building includes wine barrel storage, case good storage, and a commercial kitchen. The first phase of this project will also include the design of a fire water and sprinkler system to serve both phases of this project. The second phase of this project will include additional parking and two wine barrel storage buildings. The Minor Use Permit will also include an application for expanding the typical special events from 6 events with 50 people to 6 events with 80 people.

PROJECT TEAM

ARCHITECT STUDIO 2G ARCHITECTS ARCHITECT: HEIDI GIBSON, AIA 355 PACIFIC STREET, SUITE A SAN LUIS OBISPO, CA 93401 P: 805.594.0771 F: 805.540.5137	OWNER / CLIENT FOUR LANTERNS JACKIE & STEVEN GLEASON 2485 GREEN VALLEY ROAD PASO ROBLES, CA 93446 P: 949.300.5437	GENERAL CONTRACTOR JWD DESIGN CONTACT: AUSTIN CREEL 3563 SUELDO ST. SUITE I SAN LUIS OBISPO, CA 93401 P: 805.544.3130 F: 805.544.0115
CIVIL ENGINEER CONTACT: P: F:	LANDSCAPE ARCHITECT SAGE LANDSCAPES CONTACT: TODD DAVISON PO BOX 4653 LOS OSOS CA 93412 P: 805.574.0777	FIRE PROTECTIVE ENGINEER COLLINGS & ASSOCIATES CONTACT: JACK COLLINGS 260 MAPLE COURT VENTURA, CA 93003 P: 805.658.0003

STATEMENT OF COMPLIANCE

This project has been designed in accordance with and meets the San Luis Obispo County Adopted code and ordinance requirements including, but not limited to the California State Accessibility Standards and I/WE will be responsible for all clarifications deemed necessary during the construction phases.

Signature _____ Date _____

DEFERRED SUBMITTALS

Note: Submittal documents for deferred submittal items shall be submitted to the Architect or Engineer of record who shall review them and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall not be installed until their design and submittal documents have been approved by the building official.

PERMITS & SPECIAL INSPECTIONS:

FIRE SYSTEM NOTES

HEIGHT CALCULATION:

Allowable building height: The maximum height of any structure associated with a winery facility shall be 35 feet. The height may be increased to 45 feet where a pitched roof of greater than 4 in 12 is proposed and at least 90 percent of the structure is at 35 feet in height or less. San Luis Obispo County Code Title 22 §22.30.070(D)(g)(3)

Height Calculation: $200.00' \text{ highest n.o.} + 899.00' \text{ lowest n.o.} = 899.50' \text{ avg. n.g.}$

35' height limit = $899.50' + 40.00' = 939.50'$ max. ht.

Height of Structure: The top of the roof sheathing is at ± 938.50' 938.50' is less than the max. height of 939.50' and therefore okay

PROJECT DATA

SITE SUMMARY

ADDRESS: 2485 GREEN VALLEY ROAD (HWY 46)
PASO ROBLES, CA 93446
040-111-019

APN: DR2014-4

APPLICATION NUMBER: DR2014-4

ZONE: AG, AGRICULTURAL (ADELADA SUB AREA)

SITE SIZE: ± 34.22 ACRES, (1,490,459 SF)

USE / OCCUPANCY: F-2: BEVERAGES (UP TO AND INCLUDING 16% ALCOHOL)
S-2: BEVERAGES (UP TO AND INCLUDING 16% ALCOHOL)
B: COMMERCIAL KITCHEN, OFFICE AND LABORATORY
TYPE V-8, SPRINKLERED

CONSTRUCTION TYPE: ---

FIRE HAZARD ZONE: ---

AREAS:

CONDITIONED SPACE		
(N) PROCESSING BUILDING F-2:	2,404 SQ. FT.	
(N) STORAGE BUILDING S-2:	2,221 SQ. FT.	
TOTAL CONDITIONED SPACE PHASE I:	4,625 SQ. FT.	
UNCONDITIONED SPACE		
(N) COVERED CRUSH PAD:	2,605 SQ. FT.	
PHASE II		
CONDITIONED SPACE		
(N) STORAGE BUILDING S-2:	2,200 SQ. FT.	
(N) STORAGE BUILDING S-2:	2,800 SQ. FT.	
TOTAL CONDITIONED SPACE PHASE II:	5,000 SQ. FT.	

CALCULATIONS: OCCUPANCY | PLUMBING | PARKING

Space Description	Area (Sq.Ft.)	Use	Type	Occupancy Requirements (Table 1004.1.2)		Plumbing Requirements		Parking Requirements	
				Load Factor	Load	Load Factor	Load	Load Factor	Load
Processing Building									
Processing	2013	Winery	F-2	300	6.71	2000	1.01	2000	1.01
Lab	73	Lab	B	100	0.73	200	0.365	200	0.365
Office	54	Office	B	100	0.54	200	0.27	200	0.27
Electrical	96	Auxiliary	-	-	-	-	-	-	-
Mechanical	84	Auxiliary	-	-	-	-	-	-	-
Restroom	84	Auxiliary	-	-	-	-	-	-	-
Sub Total	2404				7.98		1.64		1.64
Storage Building									
Barrel Room	1676	Warehouse	S-2	500	3.39	5000	0.34	5000	0.34
Kitchen	240	Kitchen	B	200	1.3	200	1.3	100	2.6
Corsegoods	285	Warehouse	S-2	500	0.53	5000	0.05	5000	0.05
Sub Total	2221				5.22		1.69		2.99
Crush Pad	2505	Agricultural	-	300	8.35	2000	1.25	2000	1.25
Sub Total	2505				8.35		1.25		1.25
Phase II									
Barrel Storage	2200	Warehouse	S-2	300	7.33	2000	1.10	2000	1.10
Barrel Storage	2800	Warehouse	S-2	300	9.33	2000	1.40	2000	1.40
Sub Total	5000				16.67		2.50		2.50
Total	12130				38.22		7.09		8.39

Occupant Loads are based on the occupant load factors as outlined in Table 1004.1.2 maximum floor area allowances per occupant egress requirements of the 2013 CBC.

Plumbing Occupant Loads are based on those outlined in Chapter 4, Table A Occupant Load Factor of the 2013 CBC.

Parking: Loads are based on those set forth in the County of San Luis Obispo Land Use Ordinance, Title 22, Chapter 22.18

ALLOWABLE AREAS - Table 503, CBC 2013

Processing V-8, F-2 allows 13,000 s.f.
Proposed area of 2,404 < 13,000; therefore OK

Office V-8, S-2 allows 9,200 s.f.
Proposed area of 2,404 < 9,200; therefore OK

Lab V-8, B allows 9,000 s.f.
Existing area of 2,404 < 9,000; therefore OK

Storage V-8, S-2 allows 13,500 s.f.
Proposed area of 2,221 < 13,500; therefore OK

Kitchen V-8, B allows 9,000 s.f.
Proposed area of 2,221 > 9,000; therefore OK

PLUMBING REQUIREMENTS

TOTAL COMBINED PLUMBING OCCUPANT LOAD: 7

REQUIRED FIXTURES: Business Occupancy (per Table 422.1 Minimum Plumbing Facilities, CPC 2013)

FEB. CPC:	REQUIRED:		PROVIDED:	
	MALE	FEMALE	MALE	FEMALE
TOILET	1: 1-50	1: 1-15	1	1
URINAL*	1: 1-100	1	0	0
LAV	1: 1-75	1: 1-50	1	1

CPC §422.2 Exception 2: In occupancies with a total occupant load of 10 or less, including customers and employees, one toilet facility, designed for use by no more than one person at a time, shall be permitted for use by both sexes.

*Note: The total number of required water closets for females shall not be less than the total number of required water closets for males. The required toilet shall be permitted to be omitted, or if installed, the toilet shall not require a second water closet to be provided for the female.

SITE PARKING REQUIREMENTS

Parking Load

Phase I: 5.88 required
1 van accessible and 5 standard parking stalls provided for 6 total.

Phase II: 2.50 required
3 standard parking stalls provided

SHEET INDEX

T1.0	TITLE SHEET - MINOR USE PERMIT
AC0.0	OVERALL SCHEMATIC ARCHITECTURAL SITE PLAN
AC1.0	SCHEMATIC ARCHITECTURAL SITE PLAN
MFFP-1	MASTER FIRE PLAN - OVERALL SITE PLAN / GENERAL NOTES
MFFP-2	MASTER FIRE PLAN - ENLARGED SITE PLAN
L1.0	HARDSCAPE PLAN
L2.0	PLANTING PLAN
L3.0	PLANTING PLAN
A1.0	SCHEMATIC FLOOR PLAN
A7.0	SCHEMATIC SECTIONS
A8.0	SCHEMATIC ROOF PLAN
A9.0	SCHEMATIC EXTERIOR ELEVATIONS
A9.1	SCHEMATIC EXTERIOR ELEVATIONS

TOTAL: 13 SHEETS



APN: 040-111-019
2485 GREEN VALLEY ROAD
PASO ROBLES, CA. 93446

DATE	ISSUE
14 OCT 2014	OWNER APPROVAL
19 NOV 2014	MINOR USE SUBMITTAL

JOB NUMBER
1414

TITLE SHEET

SHEET NUMBER
T1.0

OVERALL SITE PLAN NOTES

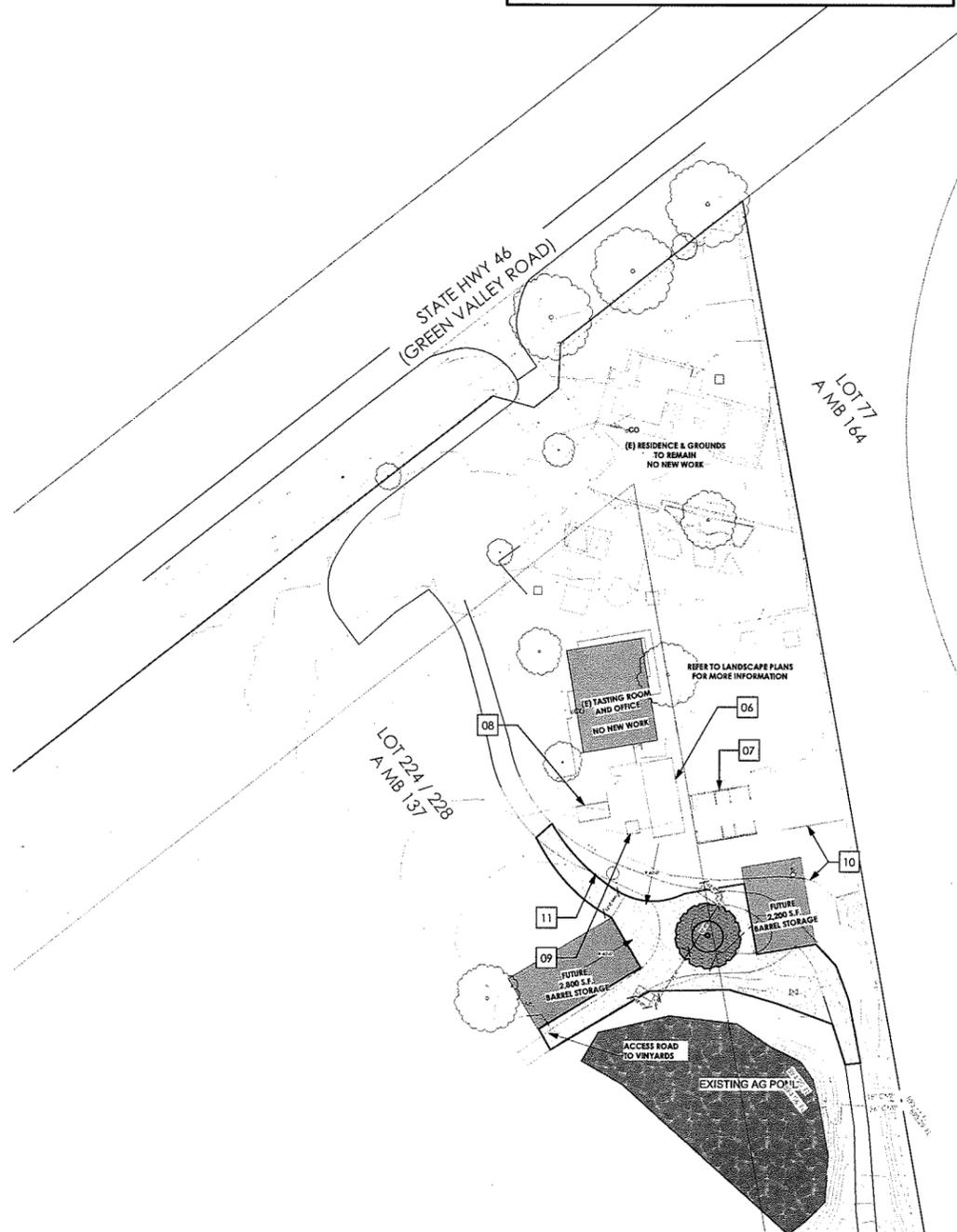
Prior to construction, an encroachment permit shall be obtained from the engineering division for any work within public right-of-way or easement. An itemized engineer's cost estimate for construction of the required public improvements shall be submitted to the engineering division and is used for determining the encroachment permit fee.

Prior to final approval, any damaged public improvements shall be repaired in conformance to the appropriate city / county / agency standard plans and specifications.

Any section of damaged or displaced curb, gutter & sidewalk or driveway approach shall be repaired or replaced to the satisfaction of the public works director.

OVERALL SITE & SITE DEMO PLAN KEYNOTES

1. Bold line indicates property line.
2. Dashed line indicates 100' setback from boundary line required for wine processing facilities.
3. Existing vineyards -Typical.
4. Approximate location of residential structure outside of the ownership of the applicant.
5. Dashed line indicates a 400' setback from residential dwellings outside of the ownership of the applicant as required for wine facilities.
6. Existing green house shall be removed.
7. Existing compost bins shall be removed and relocated.
8. Existing storage garage shall be removed.
9. Existing shed shall be removed.
10. Existing fence shall be removed.
11. Existing vineyard road to be realigned. Vineyards shall be removed as needed.
12. Existing ADA and winery parking.
13. Existing unisex restroom to remain. No new work.
14. Existing fence to remain.
15. Future barrel storage room.
16. Accessible access signage.
17. (2) Existing 10,000 gallon water tanks.
18. (E) Septic for unisex bathroom and tasting room. New restroom in processing to be connected to system.
19. (E) Septic tank (unused and available for future use).



SITE DEMOLITION PLAN
Scale: 1" = 50 ft



OVERALL SITE PLAN
Scale: 1" = 100 ft



APN:
040-111-019
2485 GREEN
VALLEY ROAD
PASO ROBLES,
CA. 93446

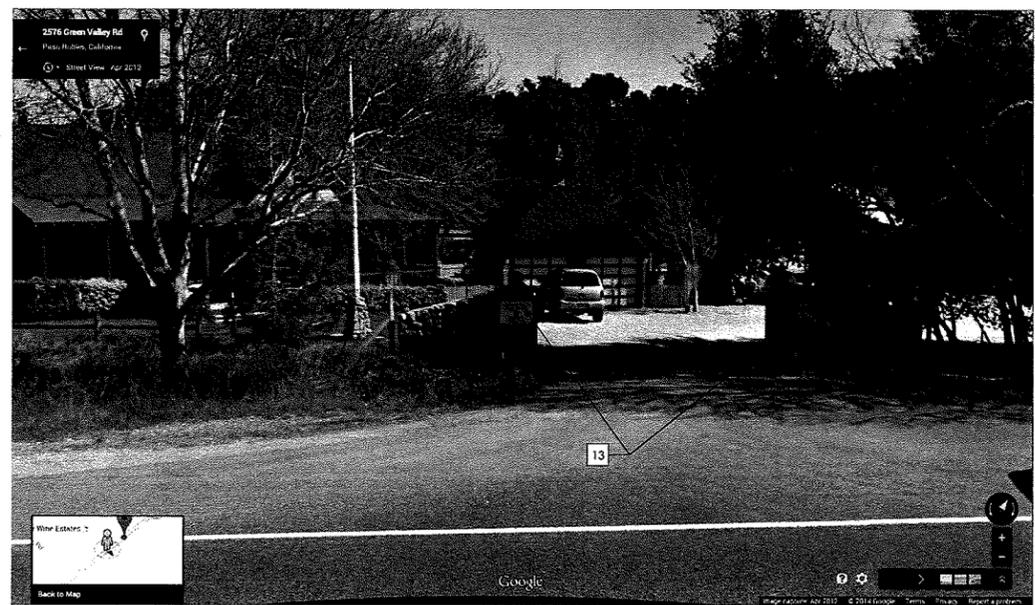
DATE	ISSUE
14 OCT 2014	CONCEPT APPROVAL BLOCK PLAN
19 NOV 2014	MINOR USE SUBMITTAL

JOB NUMBER
1414

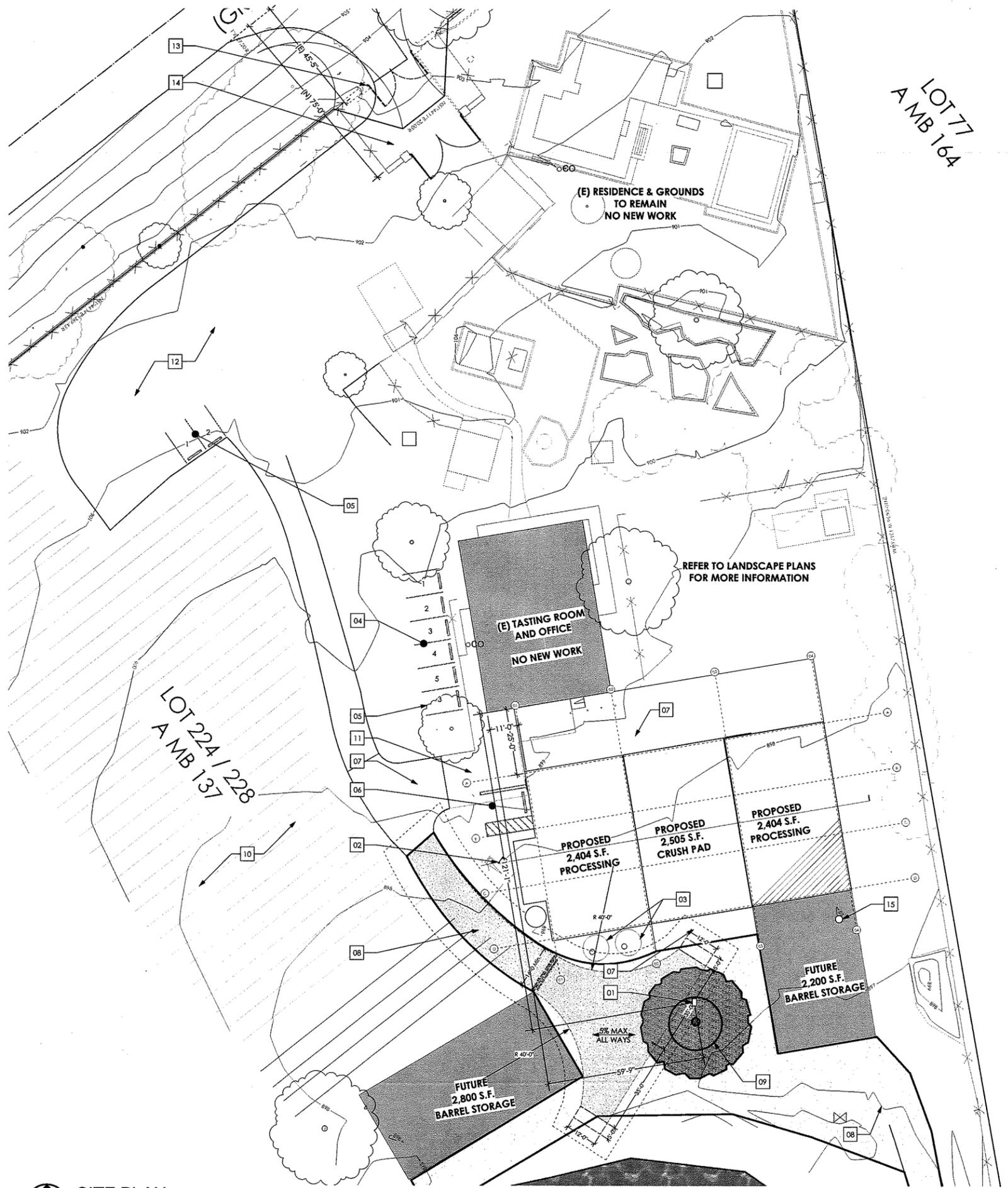
**OVERALL
SCHEMATIC
SITE PLAN**

SHEET NUMBER
AC0.0

- # SITE PLAN KEY NOTES**
- (N) Well head.
 - (E) Propane tank.
 - (N) Above ground waste water storage tanks.
 - (N) Phase I parking (5) spaces.
 - (N) Phase II parking (3) standard parking stalls.
 - (N) Phase I and Phase II ADA Accessible parking stall.
 - New concrete.
 - Re-aligned D.G. vineyard road.
 - New tree well.
 - Existing vineyard to remain.
 - Existing concrete to remain.
 - Existing overflow parking to remain.
 - Existing 22'-0" Gate to be widened and relocated.
 - Relocated 25'-0" Manually operated gated entry located 70'-0" min. from road edge per PRC4290 with approved padlock. Refer to CAL FIRE SLO Exhibit #5 and #5A available at www.calfireslo.org website for more information.
 - Location of (E) irrigation pipe riser.



EXISTING GATED ENTRY
Scale: Actual Size



SITE PLAN
Scale: 1" = 20 ft

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LICENSURE ARCHITECT
LINDA K. GIBSON
No. C 27830
Exp. 03-31-15
STATE OF CALIFORNIA

Four Lanterns
winery.

APN:
040-111-019
2485 GREEN
VALLEY ROAD
PASO ROBLES,
CA. 93446

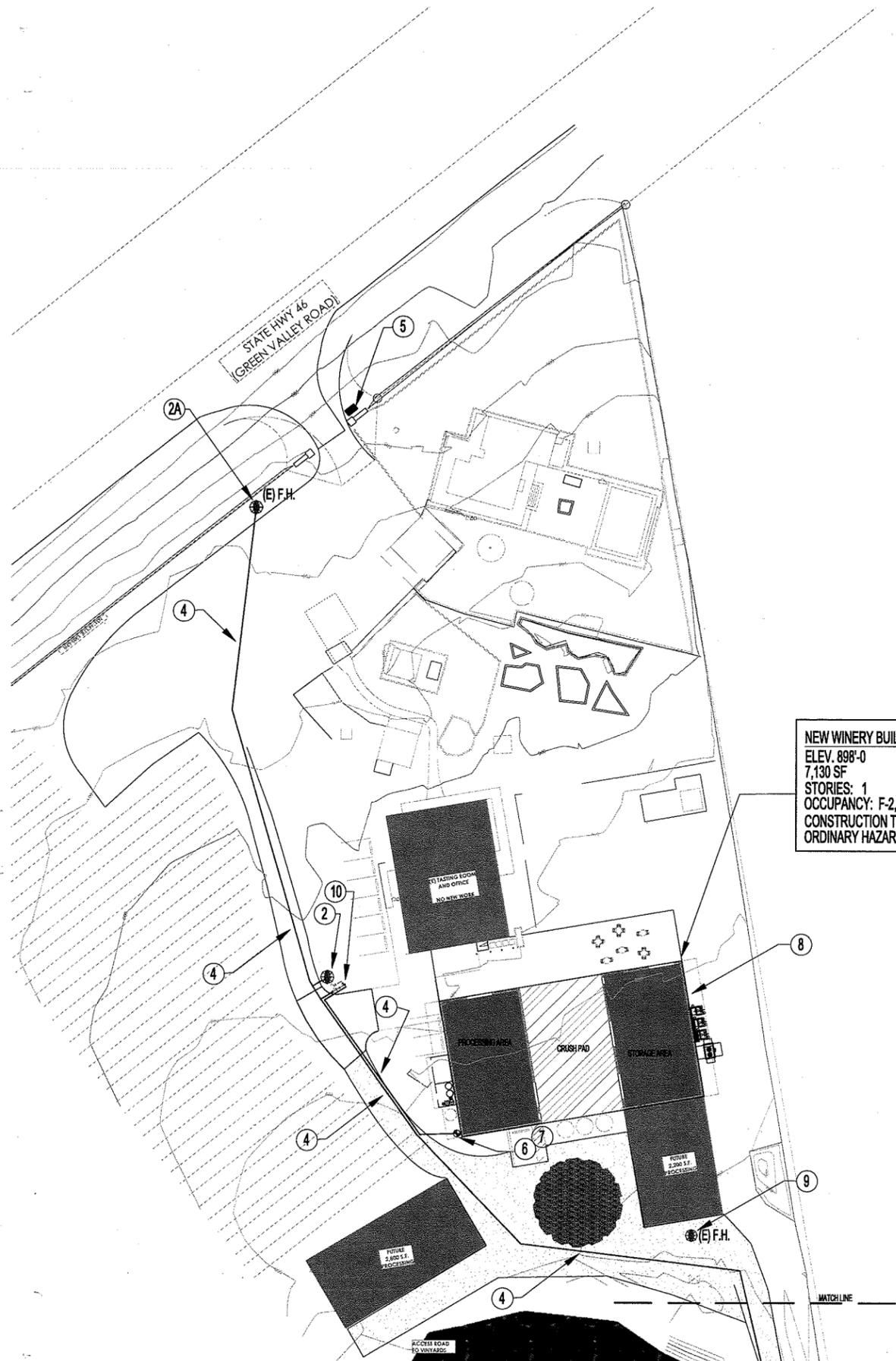
DATE	ISSUE
14 OCT 2014	CONCEPTUAL PROFESSIONAL SUBMITTAL
19 NOV 2014	MINOR REVISION SUBMITTAL

JOB NUMBER
1414

SCHEMATIC SITE PLAN

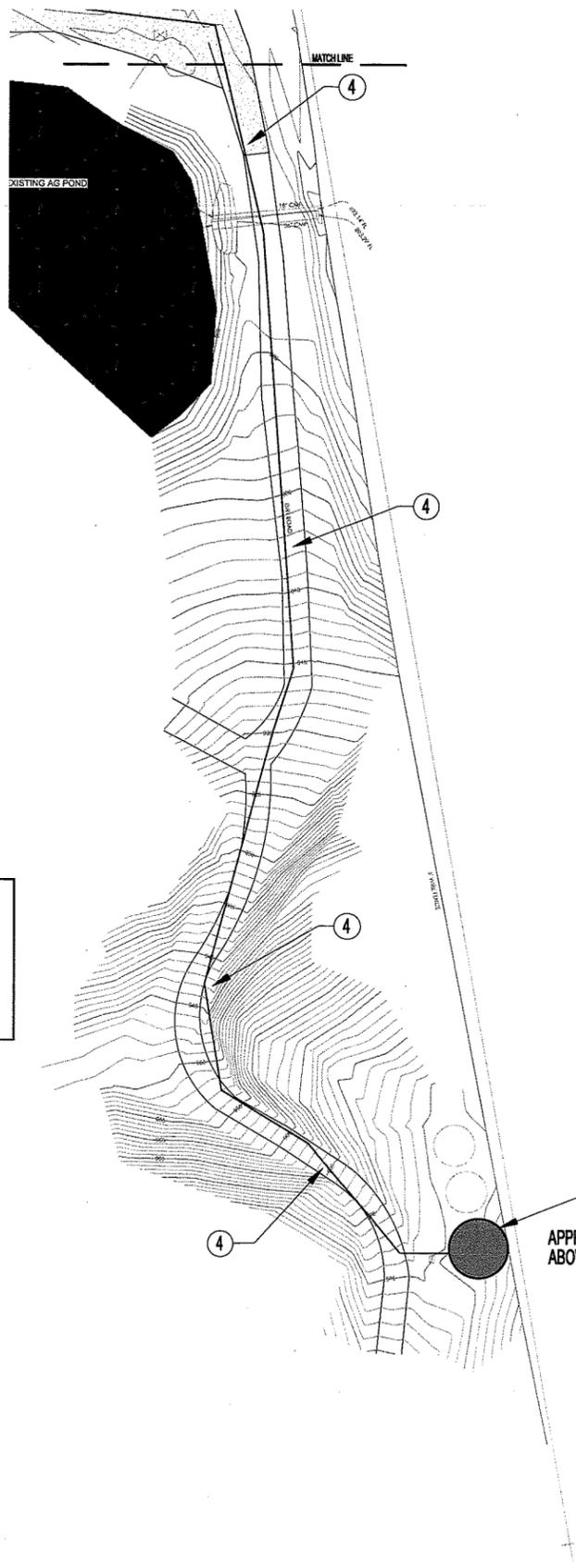
SHEET NUMBER
AC1.0

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NEW WINERY BUILDING
 ELEV. 898'-0"
 7,130 SF
 STORIES: 1
 OCCUPANCY: F-2, S-2, AND B
 CONSTRUCTION TYPE: V-B
 ORDINARY HAZARD GROUP II

ENLARGED SITE PLAN
 1" = 30'-0"
 Winery Buildings



APPROX. ELEV. = 1,028'-0" ABOVE WINERY PAD

ENLARGED SITE PLAN
 1" = 30'-0"
 Storage Tank

- KEY NOTES:**
- ① INSTALL NEW STEEL WATER STORAGE TANK, WITH AUTOMATIC FILL. NEW WATER STORAGE TANK TO BE PART OF A PRIVATE WATER SYSTEM. TANK TO PROVIDE MINIMUM 45,000 GALLONS DEDICATED FIRE WATER STORAGE.

 ELEVATION = MINIMUM +130.0' ABOVE HIGHEST BUILDING FINISH FLOOR (NEW WINERY BUILDING AT 898'-0')
 - ② INSTALL NEW FIRE HYDRANTS AS REQUIRED TO COMPLY WITH CAL FIRE / SLO COUNTY FIRE DEPT. STANDARD, EXH. 7. PROVIDE ISOLATION VALVE. HYDRANT TO BE WET BARREL COMMERCIAL GRADE, AND SHALL HAVE ONE 4" AND TWO 2-1/2" OUTLETS.
 MINIMUM TOTAL HYDRANT FLOW: 250 GPM IN ADDITION TO SPRINKLER DEMAND AND 500 GPM WITHOUT SPRINKLER DEMAND
 INSTALL PROTECTIVE BOLLARDS PER CAL FIRE STANDARDS.
 INSTALL BLUE REFLECTORS PER CAL FIRE STANDARDS
 - ②A EXISTING FIRE HYDRANT TO REMAIN. HYDRANT TO COMPLY WITH CAL FIRE / SLO COUNTY FIRE DEPT. STANDARD, EXH. 7. PROVIDE ISOLATION VALVE. HYDRANT TO BE SUPPLIED BY NEW 6" UNDERGROUND AS SHOWN
 - ③ FIRE DEPARTMENT ACCESS ROAD:
 • 24'-0" MINIMUM WIDTH
 • 13'-6" MINIMUM CLEAR HEIGHT
 • ALL WEATHER SURFACE
 • 20 TON VEHICLE ROAD CAPACITY
 • 40'-0" TURN RADIUS
 • ROAD TO COMPLY WITH CDF/SLO COUNTY FIRE STANDARD 4 "ACCESS ROADS AND DRIVEWAYS".
 - ④ NEW 6" C900 CLASS 150 UNDERGROUND FIRE SERVICE LINE TO SUPPLY FIRE SPRINKLER SYSTEM OF NEW WINERY BUILDING AND NEW HYDRANTS.
 - ⑤ PROVIDE FIRE DEPT. KNOX BOX AT ANY F.D. ACCESS GATES
 PROVIDE ADDRESS PER CAL FIRE / SLOCFD STANDARDS
 - ⑥ NEW 6" DUCTILE IRON STUB UP FOR FIRE SPRINKLER SYSTEM RISER.
 - ⑦ NEW AUTOMATIC FIRE SPRINKLER RISER
 - ⑧ INSTALL NEW AUTOMATIC WET FIRE SPRINKLER SYSTEM IN THE INDICATED BUILDING. THE SYSTEM IS TO BE DESIGNED AND INSTALLED IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE 2013 EDITION OF NFPA 13, THE SAN LUIS OBISPO COUNTY FIRE DEPARTMENT, AND IN ACCORDANCE WITH THE DESIGN REQUIREMENTS FOR AN ORDINARY HAZARD GROUP 2 SYSTEM FOR THE NEW WINERY BUILDING.

 MAXIMUM COMBUSTIBLE STORAGE HEIGHT TO BE 12'-0" ABOVE FINISHED FLOOR.
 - ⑨ REMOVE AND ABANDON NON-CONFORMING HYDRANT(S) (TYPICAL).
 - ⑩ INSTALL NEW 6" BACKFLOW PREVENTER WITH NEW 4"x2.5"x2.5" FDC AND CHECK VALVE

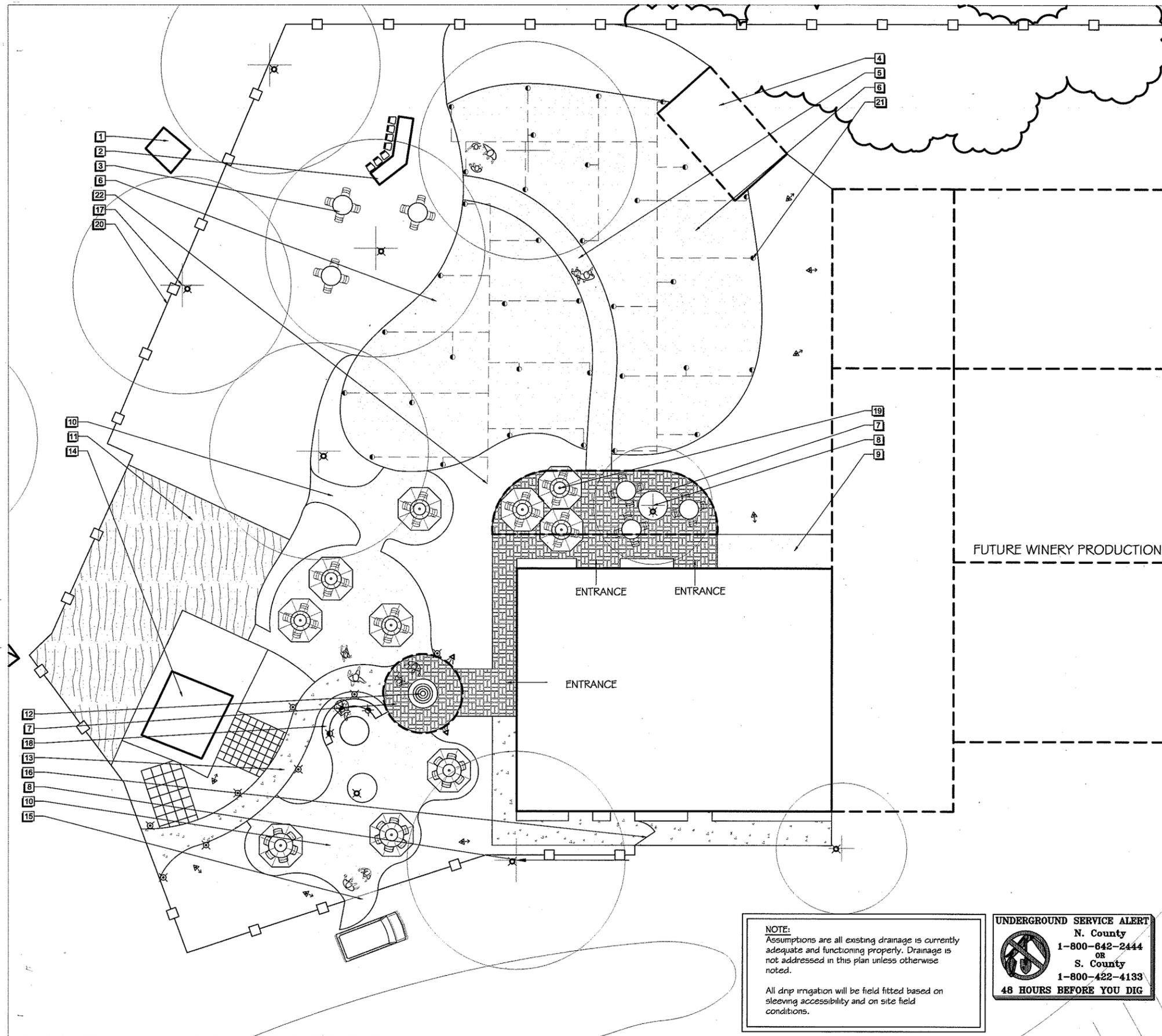
DATE	ISSUE
15 DEC. 2014	SUBMITTAL

JOB NUMBER 1414

MASTER FIRE PROTECTION PLAN
 ENLARGED SITE PLAN

SHEET NUMBER MFPP-2

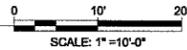
IT IS THE CLIENT'S RESPONSIBILITY PRIOR TO ORDERING CONSTRUCTION TO NOTIFY THE ENGINEER IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ENGINEER PRIOR TO THE CLIENT OR CLIENT'S SUBCONTRACTORS PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.



NOTE:
Assumptions are all existing drainage is currently adequate and functioning properly. Drainage is not addressed in this plan unless otherwise noted.

All drip irrigation will be field fitted based on sleeving accessibility and on site field conditions.

UNDERGROUND SERVICE ALERT
N. County
1-800-642-2444
OR
S. County
1-800-422-4133
48 HOURS BEFORE YOU DIG



DESIGN OBJECTIVES

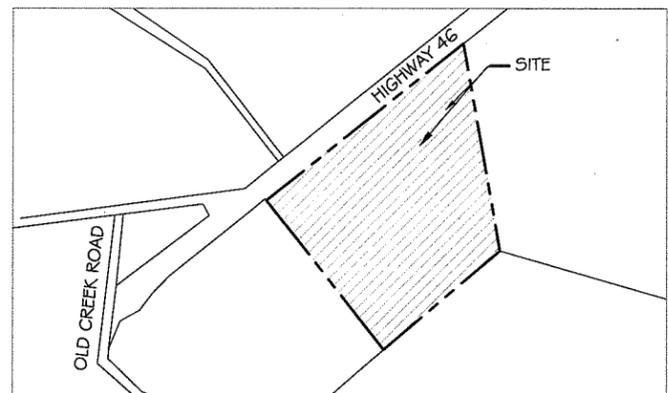
- Select a CA friendly plant palette for year-round color & water conservation
- Designate seating area for drinking wine
- Create circulation at entrance to encourage tasting room visitation
- Design additional plantings to help soften new production facility
- Design a large multi-use event area with stage and shade structure
- Locate Water Feature to create soothing ambiance
- Use recycled, reclaimed, repurposed materials when possible
- Locate point of connection for new low-flow drip irrigation system
- Maintain vistas of surrounding vineyards wherever possible
- Design fencing surrounding the drinking and garden area
- Design low voltage LED lighting for safety and aesthetics

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	New Location of Existing Treehouse		
2	Outdoor Seating Area		
3	Stone Tables		
4	Location of future Gazebo		
5	Decomposed Granite Path		
6	Grass		
7	Brick to Matching Existing; Basket Weave Pattern		
8	Existing Oak Tree to Remain		
9	Existing Gravel Circulation Path to Remain		
10	Decomposed Granite Patio		
11	Existing Lawn to Remain		
12	Central 3 Tier Fountain		
13	Existing Concrete Path to Remain		
14	Existing Building to Remain		
15	Access to Food Truck Vendors		
16	Gate to Office		
17	Existing Trees to Remain		
18	Poured in Place Concrete Seat Wall With Brick Bullnose Cap		
19	Umbrella Seating		
20	Existing Fence to Remain		
21	Hunter MP Rotator 2000 Nozzle		
22	Irrigation Point of Connection to be Determined in Field		

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
▲	Accent Light - Kichler LED Fixture: 15733 AZT	8	
⊗	Well Light - Kichler LED Fixture: 15748 BKT	8	
⊗	Path Light - Kichler LED Fixture: 15810 AZT	8	
⊗	Wall Light - Kichler LED Fixture: 15764 AZT	3	
⊗	Wash Light - Kichler LED Fixture: 15861 AZT	2	



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FOUR LANTERNS WINERY
2485 Highway 46 West, Paso Robles, CA 93446

Steve & Jackie Gleason (949) 300-5437 gsteven@gleason.com

HARDSCAPE PLAN

DRAWN BY:
T. HESSEL

DATE:
10/22/14

SHEET:
L-1

HARDSCAPE PLAN

SITE MAP



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PLANTING PLAN

FOUR LANTERNS WINERY

2485 Highway 46 West, Paso Robles, CA 93446

Steve & Jackie Gleason (949) 300-5437 gsteve@gleason.com

Sage designs and builds under a C-27 Landscape Contractors license therefore are only legally responsible for landscape plans if installation is performed and supervised by Sage Business and Professions Code sections 5641.4 and 7027.5 also subject to Title 16 Division 6, Section 692.7

DRAWN BY:
T. HESSEL

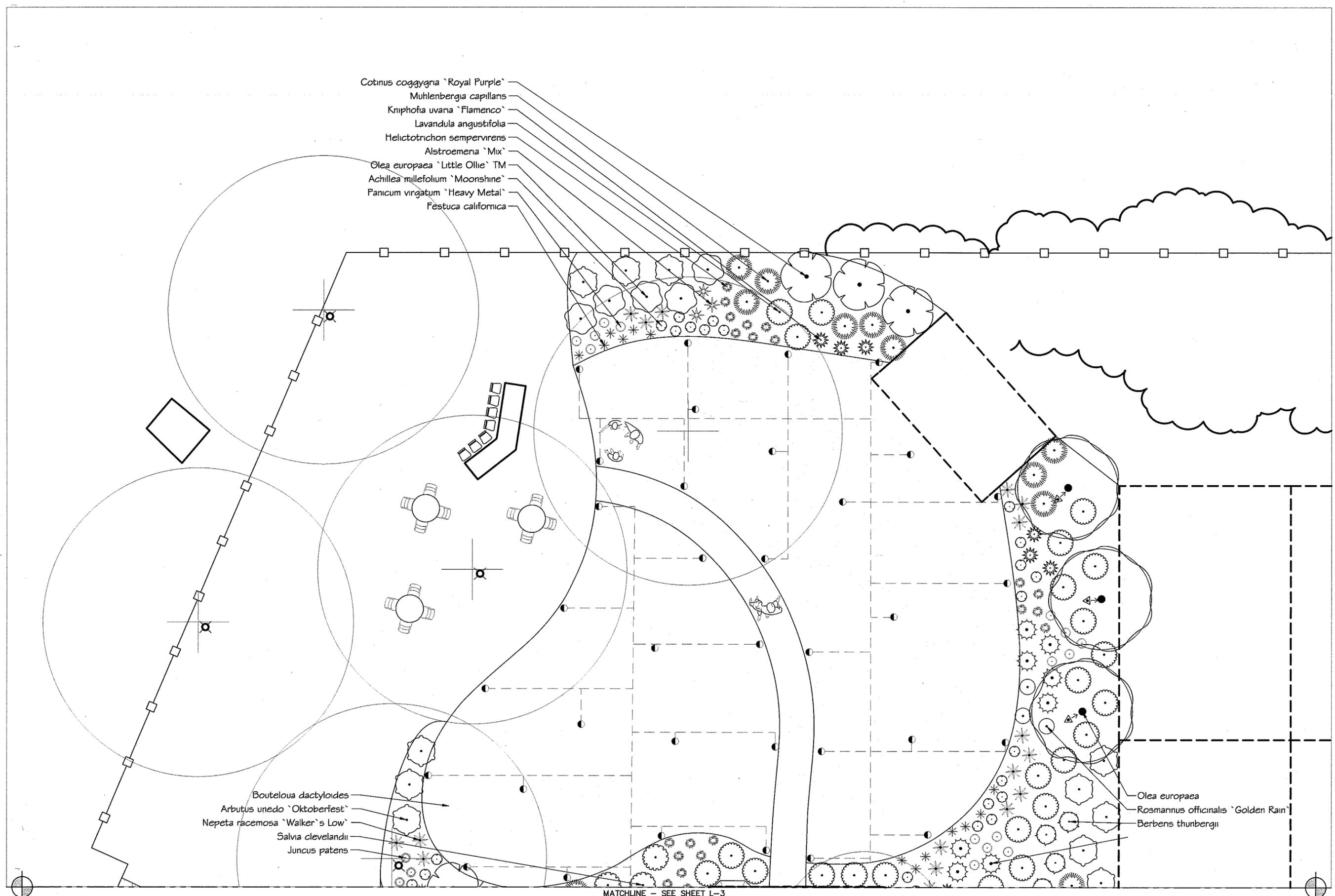
DATE:
10/22/14

SHEET:
L-2

- Cotinus coggygria 'Royal Purple'
- Muhlenbergia capillans
- Kniphofia uvana 'Flamenco'
- Lavandula angustifolia
- Helictotrichon sempervirens
- Alstroemeria 'Mix'
- Olea europaea 'Little Ollie' TM
- Achillea millefolium 'Moonshine'
- Panicum virgatum 'Heavy Metal'
- Festuca californica

- Bouteloua dactyloides
- Arbutus unedo 'Oktoberfest'
- Nepeta racemosa 'Walker's Low'
- Salvia clevelandii
- Juncus patens

- Olea europaea
- Rosmarinus officinalis 'Golden Rain'
- Berberis thunbergii

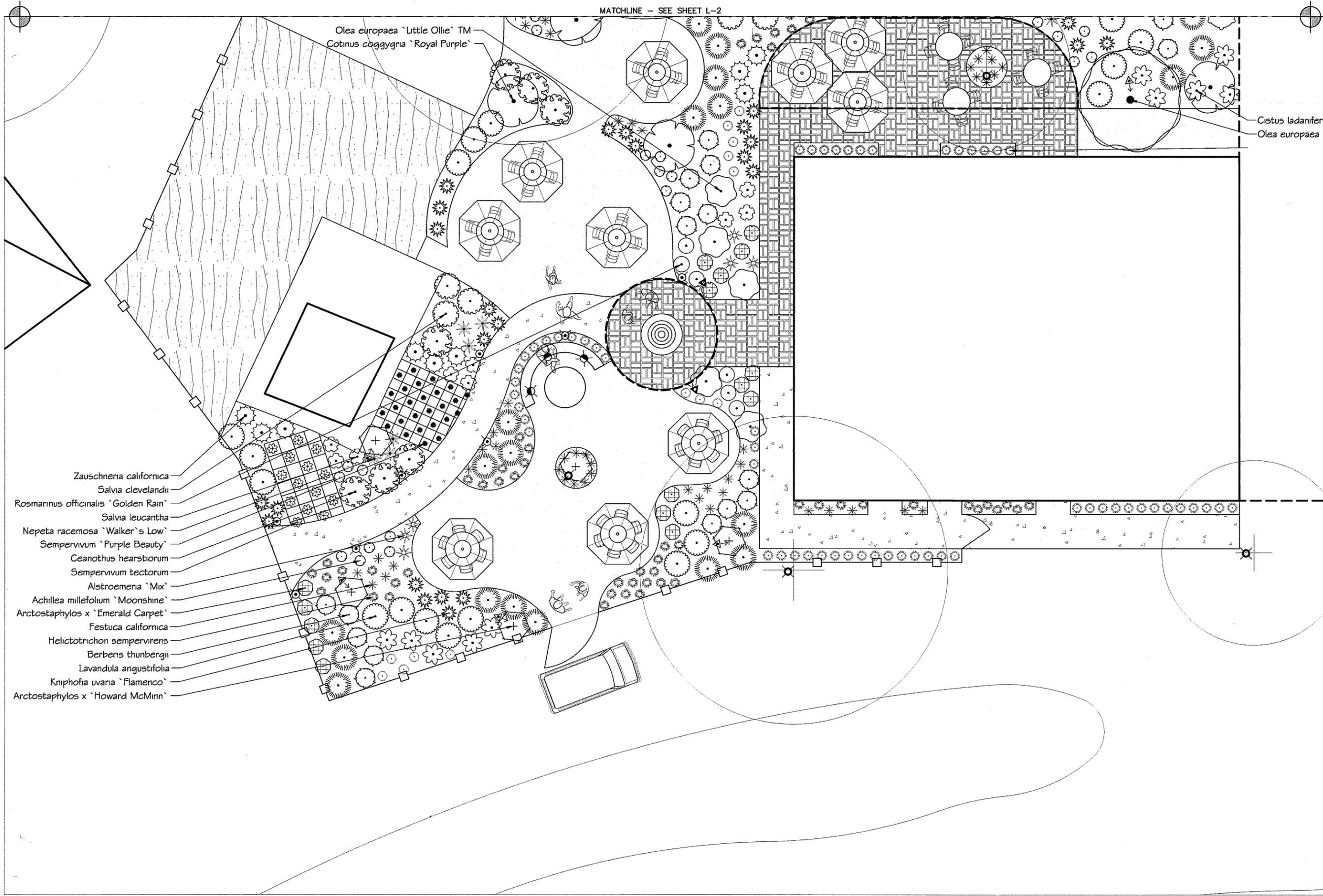


MATCHLINE - SEE SHEET L-3

PLANTING PLAN

SCALE: 1" = 6'-0"

MATCHLINE - SEE SHEET L-2



Olea europaea 'Little Ollie'™
Cotinus coggygria 'Royal Purple'

Cistus ladanifer
Olea europaea

- Zauschneria californica
- Salvia clevelandii
- Rosmarinus officinalis 'Golden Rain'
- Salvia leucantha
- Nepeta racemosa 'Walker's Low'
- Sempervivum 'Purple Beauty'
- Ceanothus hearstiorum
- Sempervivum tectorum
- Alstroemeria 'Mix'
- Achillea millefolium 'Moonshine'
- Arctostaphylos x 'Emerald Carpet'
- Festuca californica
- Helictotrichon sempervirens
- Berberis thunbergii
- Lavandula angustifolia
- Kniphofia uvana 'Flamenco'
- Arctostaphylos x 'Howard McMinn'

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FOUR LANTERNS WINERY
 2485 Highway 46 West, Paso Robles, CA 93446
 Steve & Jackie Gleason (949) 300-5437 gsteven@gleason.com

PLANTING PLAN

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DRAWN BY:
 T. HESSEL

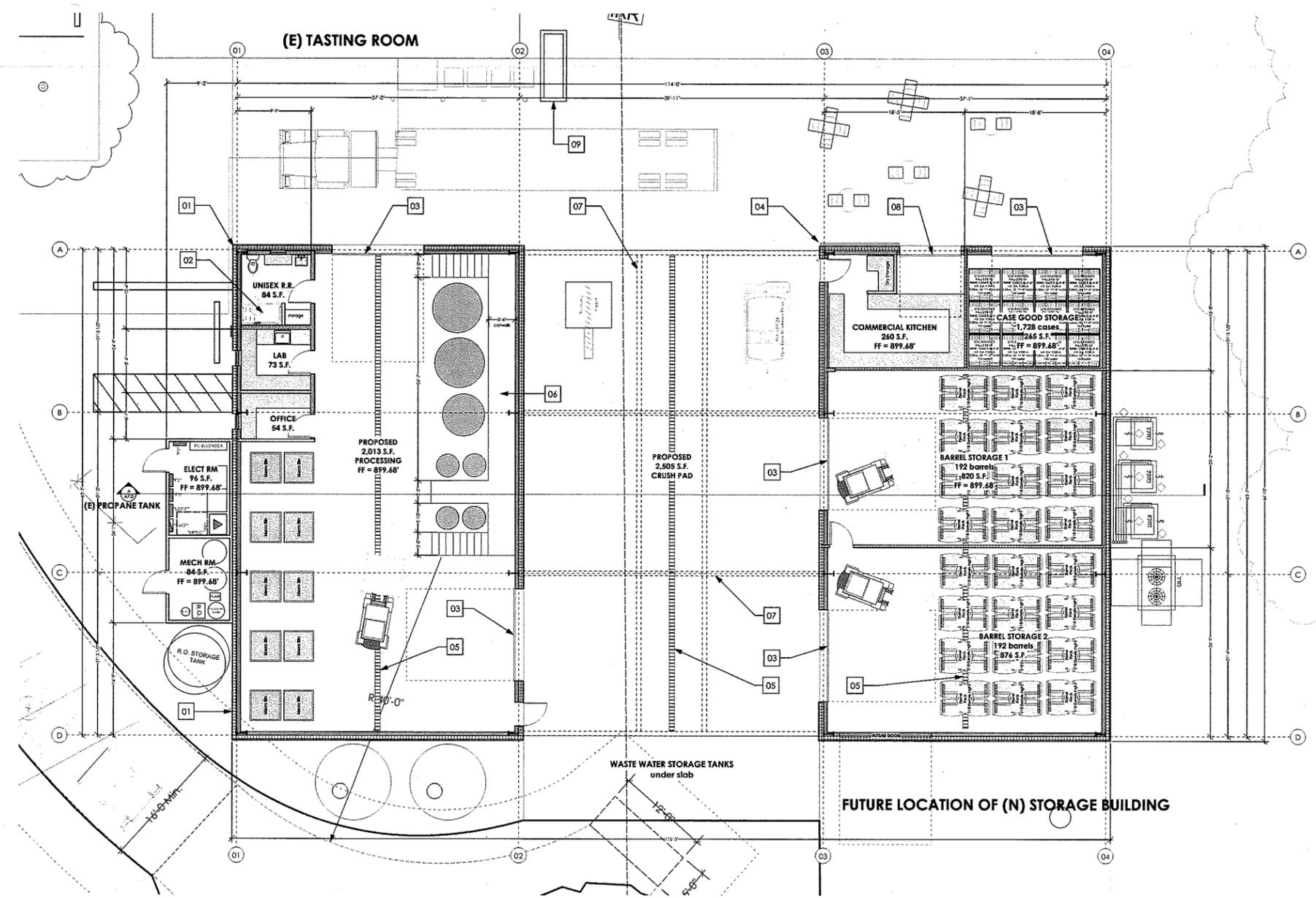
DATE:
 10/22/14

SHEET:

L-3

PLANTING PLAN

0 6' 12'
 SCALE: 1" = 6'-0"



DIMENSIONAL FLOOR PLAN
Scale: 1/8" = 1'-0"

SYMBOL LEGEND	
	INDICATES DIRECTION OF VIEW SECTION CUT REFERENCE SHEET NUMBER
	INDICATES DIRECTION OF VIEW INTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
	DOOR ID - REFER TO SHEET A3.0
	WINDOW ID - REFER TO SHEET A3.0 REFER TO SHT. A5.0 AND 'E' SHEETS FOR LOCATION OF EXIT SIGNS
	EXIT
ABBREVIATIONS FOR A COMPLETE LIST OF ABBREVIATIONS, REFER TO T1.0	
TEMP.	TEMPERED GLAZING REQUIRED
R.O.	ROUGH OPENING
P.W.	PLYWOOD
PLT. HT.	PLATE HEIGHT
F.F.	FINISH FLOOR
HDR.	HEADER

#	DIMENSIONAL PLAN KEYNOTES
1.	Metal insulated panel.
2.	ADA compliant, roll-in shower.
3.	Insulated roll-up door.
4.	Metal sliding doors - barn door style.
5.	Trench drain. Connect to waste water storage tanks.
6.	Metal grate catwalk.
7.	Dashed line indicates steel frame structure above.
8.	Glass roll-up door.
9.	New concrete planter to hide (E) HVAC units.



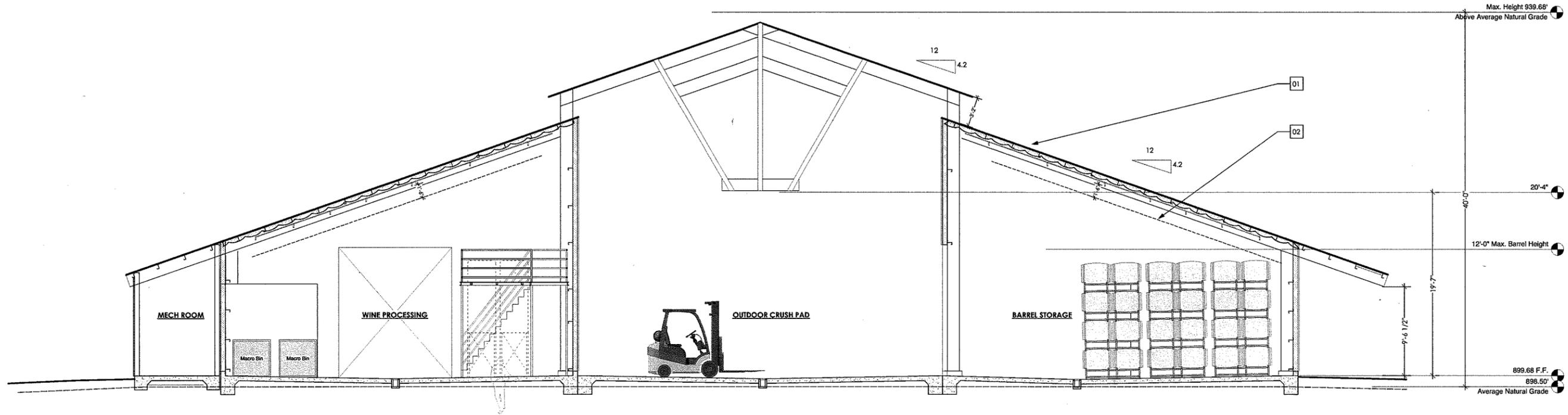
APN:
040-111-019
2485 GREEN VALLEY ROAD
PASO ROBLES, CA. 93446

DATE	ISSUE
14 OCT 2014	CONCEPTUAL FLOOR PLAN
19 NOV 2014	SUBMITTAL

JOB NUMBER
1414

SCHMATEIC DIMENSIONAL FLOOR PLAN

SHEET NUMBER
A1.0



SECTION
Scale: 3/16" = 1'-0"

#	SECTION KEYNOTES
1.	Open
2.	Min. clearance to sprinkler head deflectors.



APN:
040-111-019
2485 GREEN
VALLEY ROAD
PASO ROBLES,
CA. 93446

DATE	ISSUE
14 OCT 2014	CONTR. APPROVAL FLOOR PLAN
19 NOV 2014	MINOR USE SUBMITTAL

JOB NUMBER
1414

SCHEMATIC SECTION

SHEET NUMBER
A7.0



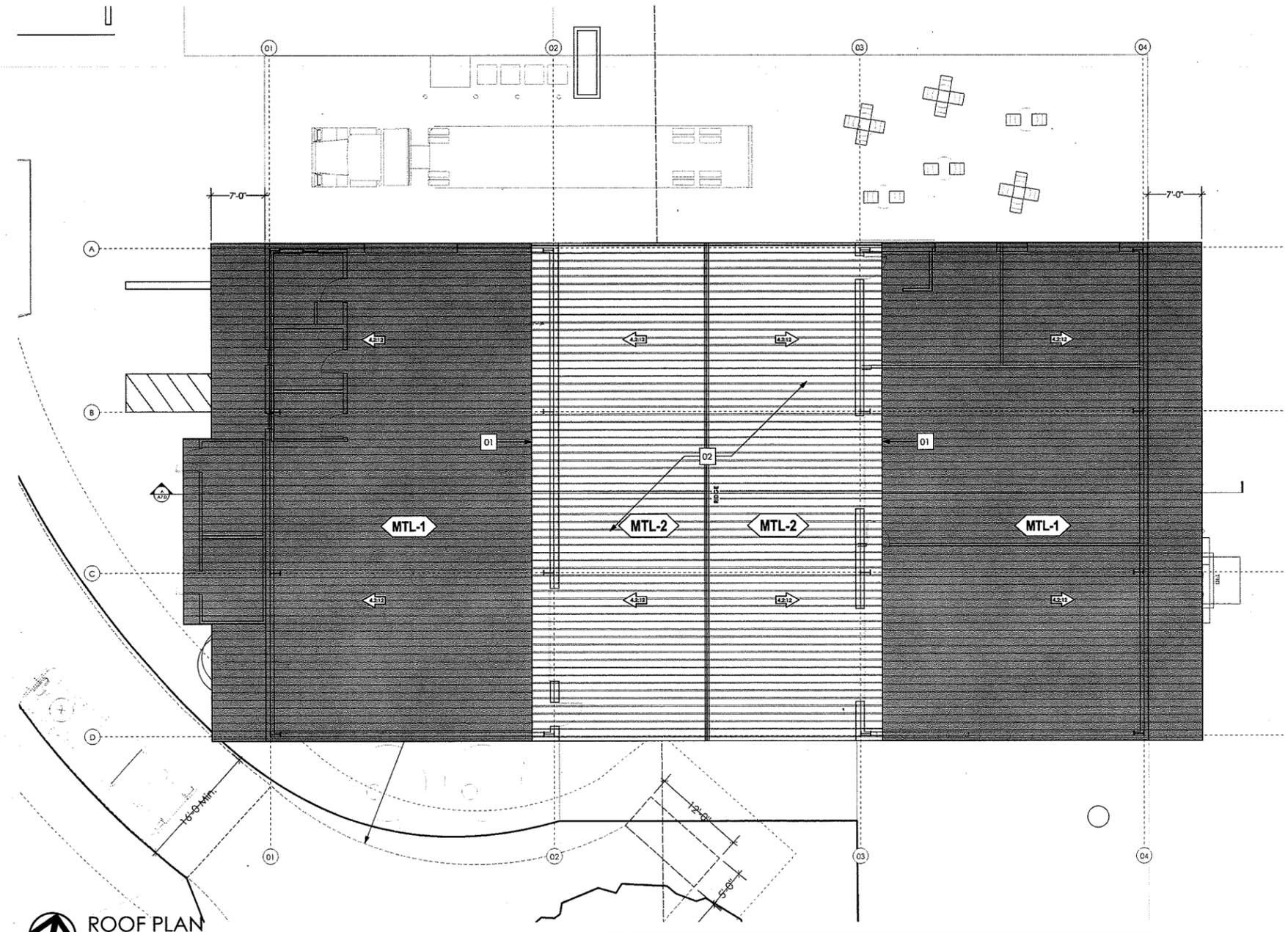
APN:
040-111-019
2485 GREEN
VALLEY ROAD
PASO ROBLES,
CA. 93446

DATE	ISSUE
14 OCT 2014	COWNER APPROVAL SCHEMATIC ROOF PLAN
19 NOV 2014	MINOR USE SUBMITTAL

JOB NUMBER
1414

**SCHMATIC
ROOF PLAN**

SHEET NUMBER
A8.0

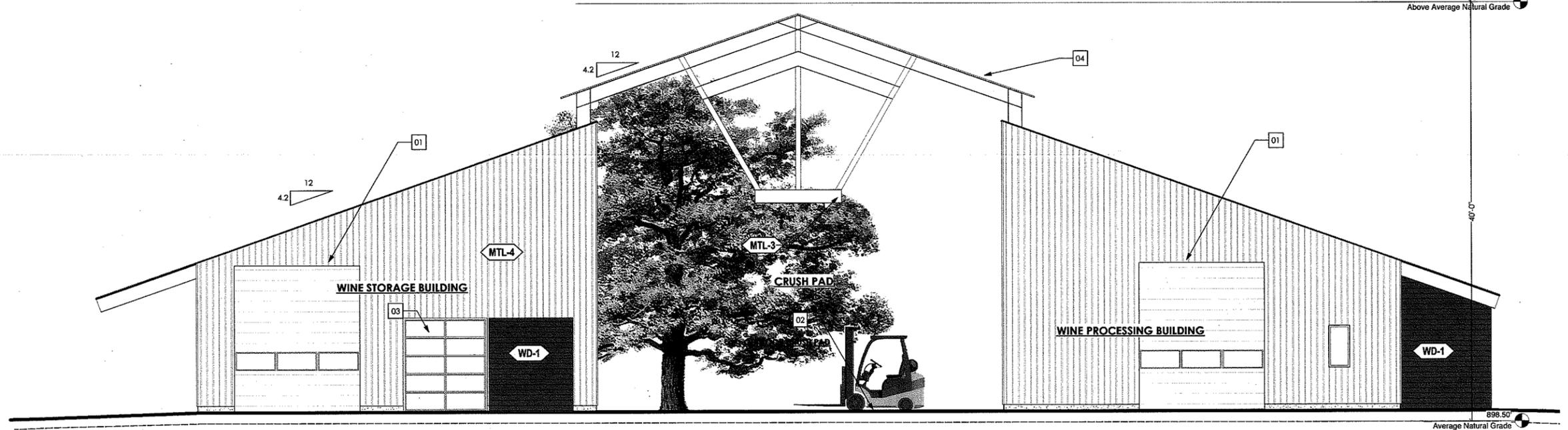


ROOF PLAN
Scale: 1/8" = 1'-0"

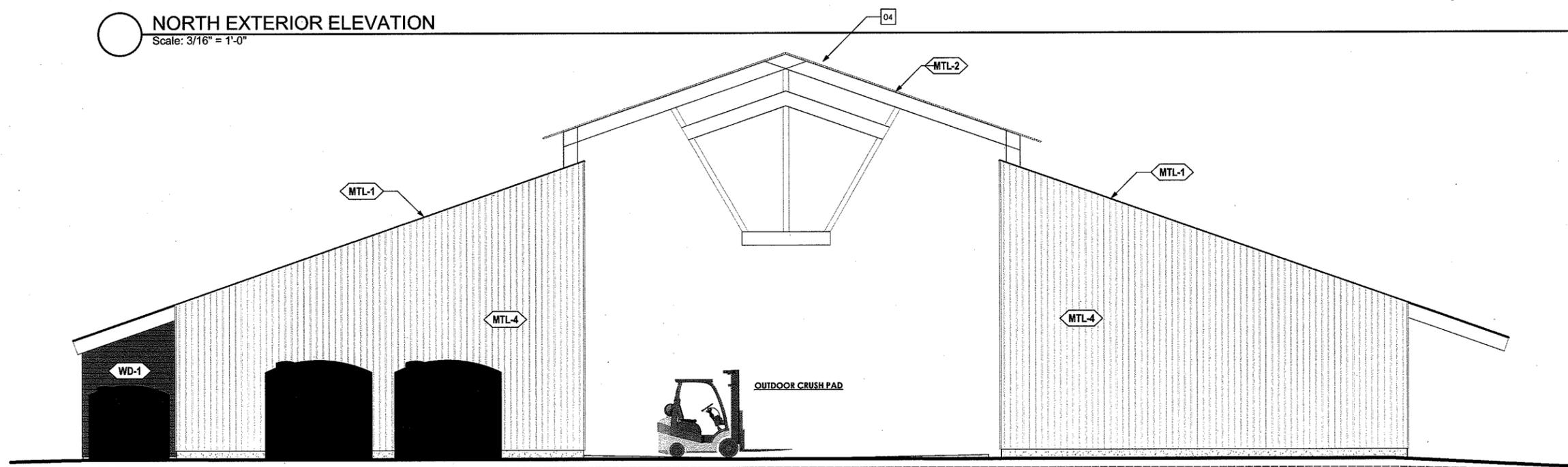
MATERIAL LEGEND	
MTL-1	TYPE: CORRUGATED METAL ROOFING MFG: TBD COLOR: TBD
MTL-2	TYPE: CORRUGATED METAL ROOFING OR SOLAR PANELS MFG: TBD COLOR: TBD
MTL-3	TYPE: PAINTED WIDE FLANGE BEAM MFG: TBD COLOR: BOYSENBERRY
WD-1	TYPE: WOOD SIDING MFG: TBD COLOR: NATURAL FINISH AND BOYSENBERRY
P-1	TYPE: DOOR AND WINDOW SILLS/JAMBS/HEADS MFG: TBD COLOR: BOYSENBERRY

#	ROOF PLAN KEYNOTES
1.	Open air.
2.	Corrugated metal roof or solar panels over crush pad.

Max. Height 933.50'
Above Average Natural Grade



NORTH EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"



SOUTH EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"

MATERIAL LEGEND	
MTL-1	TYPE: CORRUGATED METAL ROOFING MFG: TBD COLOR: TBD
MTL-2	TYPE: CORRUGATED METAL ROOFING OR SOLAR PANELS MFG: TBD COLOR: TBD
MTL-3	TYPE: PAINTED WIDE FLANGE BEAM MFG: TBD COLOR: BOYSENBERRY
WD-1	TYPE: WOOD SIDING MFG: TBD COLOR: NATURAL FINISH AND BOYSENBERRY
P-1	TYPE: DOOR AND WINDOW SILLS/JAMBS/HEADS MFG: TBD COLOR: BOYSENBERRY

EXTERIOR ELEVATION KEYNOTES
1. 14'-0" Roll up door.
2. Open air concrete crush pad.
3. 9'-0" Gass roll up door.
4. Corrugated metal roof or solar panels.

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Four Lanterns
winery

APN:
040-111-019
2485 GREEN
VALLEY ROAD
PASO ROBLES,
CA. 93446

DATE	ISSUE
14 OCT 2014	COWNER APPROVAL FLOOR PLAN
19 NOV 2014	MINOR REVISIONS SUBMITTAL

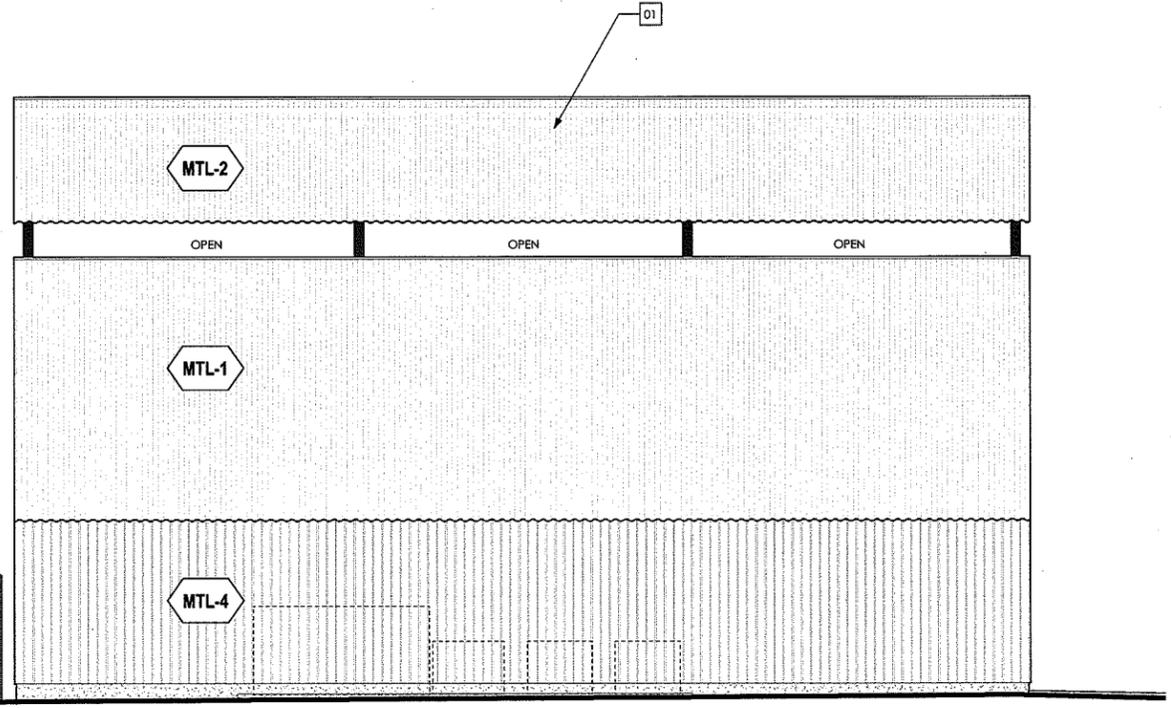
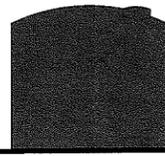
JOB NUMBER
1414

SCHMATIC EXTERIOR ELEVATIONS

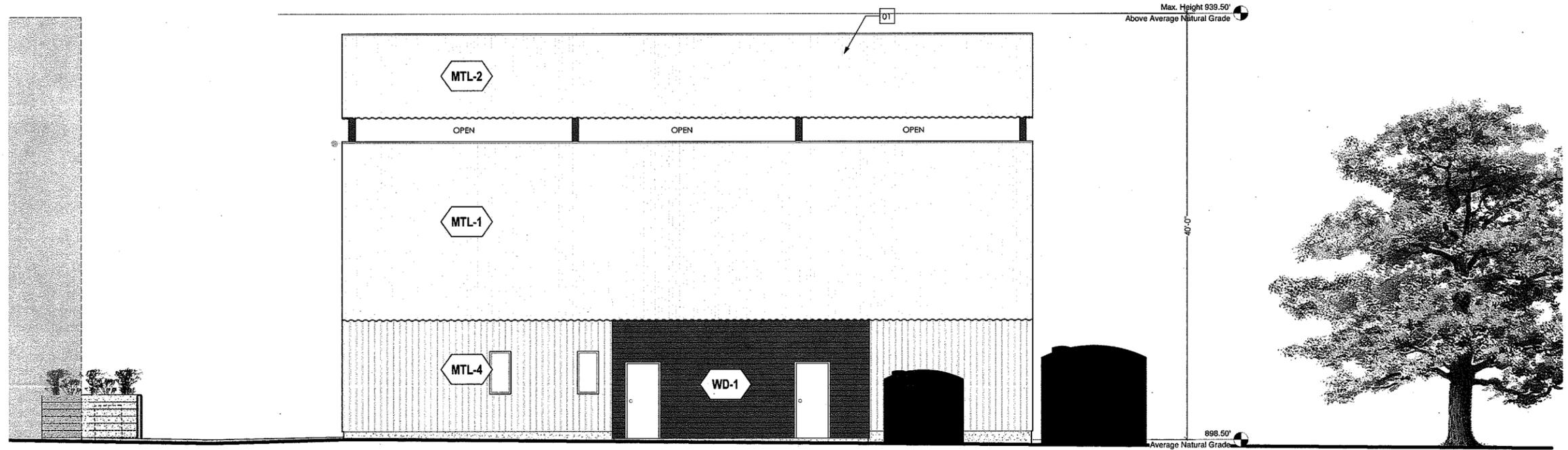
SHEET NUMBER
A9.0
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# EXTERIOR ELEVATION KEYNOTES	
1.	Corrugated metal roof or solar panels over crush pad.

MATERIAL LEGEND	
MTL-1	TYPE: CORRUGATED METAL ROOFING MFR: TBD COLOR: TBD
MTL-2	TYPE: CORRUGATED METAL ROOFING OR SOLAR PANELS MFR: TBD COLOR: TBD
MTL-3	TYPE: PAINTED WIDE FLANGE BEAM MFR: TBD COLOR: BOYSENBERRY
WD-1	TYPE: WOOD SIDING MFR: TBD COLOR: NATURAL FINISH AND BOYSENBERRY
P-1	TYPE: DOOR AND WINDOW SILLS/JAMBS/HEADS MFR: TBD COLOR: BOYSENBERRY



WEST EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"



W EXTERIOR ELEVATION
Scale: 3/16" = 1'-0"



DATE	ISSUE
14 OCT 2014	TOWNSHIP APPROVAL RECORD PLAN
19 NOV 2014	MINOR USE SUBMITTAL



AG

Adelaida Sub Area
Planning Area

North County Planning Area
Planning Area

AG

Salinas River Sub Area
Planning Area

AG

CANTONMENT RD

CANTONMENT ST

SALINAS RIVER



400 m

1000 ft

572630 Longitude -120.737005

RS County Assessor





Parcel Summary Report For Parcel # 040-111-019

12/17/2014
3:08:21PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN SCJS LLC
2485 W HIGHWAY 46 PASO ROBLES CA 93446-

Address Information

<u>Status</u>	<u>Address</u>
P	02485 GREEN VALLEY RD NCADEL
P	02495 GREEN VALLEY RD NCADEL

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
WARDSBPR	0000	0224	North Cty. Plan	North County I	AG			Y	VP / VP	D910027P / E9112180

Parcel Information

<u>Status</u>	<u>Description</u>
Active	RHO PR WARDS SB PTN LT 2 24 AKA 228 ADJ TO 223,225

Notes

Tax Districts

TEMPLETON
SAN LUIS OBISPO JT(27,40)
TEMPLETON PUBLIC
NO. 01
AREA NO. 21

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 040-111-019

12/17/2014
3:08:21PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

84076 FNL Primary Parcel

Description:

INSTALL AG. WELL 5HP PUMP/SUB PANEL

84639 FNL Primary Parcel

Description:

BARN CONVERSION FROM AG STATUS

84640 FNL Primary Parcel

Description:

CONSTRUCT HANDICAPPED BATHROOM IN AG BLDG

85401 FNL Primary Parcel

Description:

GREENHOUSE

85402 FNL Primary Parcel

Description:

GREENHOUSE (484 SQ FT)

86221 FNL Primary Parcel

Description:

CONST AG RAOD GRADING

C9839 FNL Primary Parcel

Description:

REPAIR DAMAGED ROOF ON EXISTING DETACHED GARAGE 473 SF

D900190S CMP Primary Parcel

Description:

ROADSIDE STAND INSIDE BARN OF 500 SF

D910027P APP Primary Parcel

Description:

CONSTRUCT WINERY IN BARN W/TASTING ROOM

DRC2005-00082 CMP Primary Parcel

Description:

A WINERY (TWO NEW 16 FOOT BY 16 FOOT AREAS FOR STORAGE AND ADMINISTRATION USE). EXISTING / APPROVED WINERY INCLUDES: " 1200 SF TASTING ROOM (THAT INCLUDES 500 SF FOR A ROADSIDE STAND) " 400 SF OFFICE AREA " 400 SF FERMENTATION AREA " 400 SF WINE CASE STORAGE AREA " 512 SF STORAGE AREA " 256 SF OUTSIDE PROCESSING AREA " ~906 SF OUTSIDE - WINE PROCESSING AREA BEHIND WINERY BLDG

DRC2014-00064 REC Primary Parcel

Description:

PHASED MUP TO ADD PROCESSING BUILDINGS AND SPECIAL EVENTS



Parcel Summary Report For Parcel # 040-111-019

12/17/2014
3:08:21PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

E990347 CLD Primary Parcel

Description:

CONST NO PERMIT EXPIRED

P940002Z APP Primary Parcel

Description:

WINERY/TASTING ROOM

PMT2002-27288 SUS Primary Parcel

Description:

AS BLT ADDTN TO WINERY/TASTING ROOM (512 SF STRG) DOESN'T INCLUDE INTERIOR EXPANSION OF TASTING RM

PMT2004-03199 FNL Primary Parcel

Description:

WINERY - (REPLACES BURNED BUILDING) TO INCLUDE WINE TASTING, RETAIL SALES AREA, OFFICE & STORAGE USING EXISTING SLAB

PMT2013-00773 FNL Primary Parcel

Description:

REPLACE EXISTING SEPTIC TANK WITH 1000 GALLON CONCRETE SEPTIC TANK, ABANDON EXISTING SEPTIC

PMT2013-01324 FNL Primary Parcel

Description:

REVISED TO EXTEND LOFT 75SF, ENLARGE REMODEL OF KIT/OFFICE TO 548 SF. ORIGINALLY RESTROOM ADDITION (240 SF) FOR TASTING ROOM, TENANT IMPROVEMENT TO KITCHEN (300 SF), DEMO EXISTING RESTROOM BUILDING & CORRAL - FOR FOUR LANTERNS WINERY

PRE2014-00003 MET Primary Parcel

Description:

PROPOSED WINERY EXPANSION IN TWO PHASES. PHASE 1: 5,000 SF BUILDING (WITH TWO SEPARATE INDOOR ELEMENTS & 3,000 SF CRUSH PAD); PHASE 2: 3,000 SF AG PROCESSING BUILDING & 1,700 SF ADDITION TO PHASE 1 PROCESSING BUILDING

ZON2009-00584 APV Primary Parcel

Description:

OUTDOOR NURSERY. ALL PRODUCTS MUST BE GROWN ON-SITE. OKAY FOR OUTDOOR RETAIL SALES IF NURSERY PRODUCTS ARE GROWN ON-SITE. HERB FARM/RETAIL GIFTS.