



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 2/2/2015

TO: _____

FROM: Holly Phipps (805-781-1162 or hhipps@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2014-00084 ORMONDE – Proposed minor use permit to construct a 27,788 sf truck center with vehicle sales, service facility, outdoor impound yard, and vehicle storage. Site location is 80 Wellsona Rd, Paso Robles. APN: 027-321-027

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Plot Plan Zoning Clearance
- Site Plan Minor Use Permit Variance Other
- Conditional Use Permit/Development Plan Surface Mining/Reclamation Plan
- Curb, Gutter & Sidewalk Waiver Modification to approved land use permit

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Ormonde Properties Inc, Steve Ormonde Daytime Phone 805-674-0664
 Mailing Address PO Box 2053 Paso Robles CA Zip Code 93447
 Email Address: _____

Applicant Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Kirk Consulting Daytime Phone 461-5765
 Mailing Address 8830 Morro Rd, Atascadero Zip Code 93422
 Email Address: mandi@kirk-consulting.net

PROPERTY INFORMATION

Total Size of Site: 4.17 acres Assessor Parcel Number(s): 027-321-027

Legal Description: _____

Address of the project (if known): 80 Wellsona Road, Paso Robles

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Highway 101 north, left onto Wellsona Rd. Property is on the right on the corner on Wellsona Road and Benton Road.

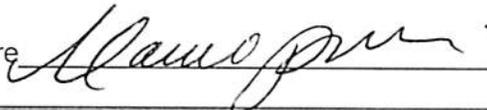
Describe current uses, existing structures, and other improvements and vegetation on the property:
Existing parking lot, driveways, water tanks, fencing

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Please see enclosed project description

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 1-28-15

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): see project description: modification to compliance with ptns of Salinas Area Plan: access & landscaping

Describe existing and future access to the proposed project site: _____
Existing and future access from Wellsona Road and Benton Road.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Commercial Services- vacant South: Commercial Services- Truck Stop
East: Commercial Services- RV Park West: Residential Rural- Single Family Residence

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 27,788 sq. feet 16 % Landscaping: 53,892 sq. feet 30 %

Paving: 98,890 sq. feet 54 % Other (specify) _____

Total area of all paving and structures: ~ 3 acres sq. feet acres

Total area of grading or removal of ground cover: 1.66 acres sq. feet acres

Number of parking spaces proposed: 46 Height of tallest structure: 30 ft

Number of trees to be removed: 0 Type: _____

Setbacks: Front 100' Right 122' Left 80' Back 154'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: ~3 acres sq. feet acres

Total floor area of all structures including upper stories: 27,788 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer ALL of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- 1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 4.17 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- 2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- 3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- 4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Grading permit PMT2005-00687
- 6. Has a grading plan been prepared? Yes No
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- 8. Is a railroad or highway within 300 feet of your project site? Yes No
- 9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Highway 101

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? 0.35 AFY
4. How many service connections will be required? 1
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

Existing septic installed under permit PMT2005-00688

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? +100 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: San Miguel Garbage Co
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: Paso Robles Joint Unified
2. Location of nearest police station: Paso Robles
3. Location of nearest fire station: Paso Robles
4. Location of nearest public transit stop: San Miguel
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
Existing parking lot.
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 6 days / week Hours of Operation: 8 am to 5 pm
2. How many people will this project employ? 20 people
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: APCD approved paint booth
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: _____
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: Waste oil and anti-freeze from vehicle service. All waste stored and disposed of according to County Regulations.
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
Use existing parking lot and paved areas. Will also use existing detention basin, septic and utilities installed on site. This will decrease the impact to the site associated with installing new utilities and new parking lot.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): ED04-006

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Building and grading permit for construction of building.

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



Detailed Project Description

Paso Robles Truck Center

Dave & Steve Ormonde

Minor Use Permit for Commercial Development

80 Wellsona Road

Background:

In 2005 Varborg-Davis was granted approval for a Minor Use Permit to allow commercial development. Subsequently a grading permit and building permit were issued to begin construction for the commercial development. Unfortunately the previous owners did not complete construction of the approved project. Since that time the property has changed ownership but has remained vacant. The Ormonde brothers purchased the property in December of 2013 with the intent to relocate their existing business, Paso Robles Truck Center, to the site.

Project Site:

The project site is located at 80 Wellsona Road (APN 027-321-027), on the North West corner of the intersection of Wellsona Road and Highway 101. The property is fronted by Wellsona Road and Benton Road, a frontage road along Highway 101. The property is zoned Commercial Services and is within the Rural Salinas planning area and is subject to the Commercial Services Wellsona Road Area plan standards within the Salinas River- Rural Area Standards.

The project site is a 4 acre parcel currently vacant (except for parking area, water tanks and fencing). Neighboring uses include San Paso Truck Stop to the south, The Vines RV Resort to the east, San Miguel Garbage to the north, and residential uses to the west.

Proposed Project:

Dave and Steve Ormonde, of Paso Robles Truck Center are proposing to construct a new building for purposes of Vehicle Retail Sales and Vehicle Service and Repair. The proposal includes the construction of new 27,788 SF vehicle sales and service facility with outdoor impound yard and vehicle storage.

Total Use Areas:	
Service and Maintenance	18,630 SF
Parts (on main level and mezzanine)	5,454 SF
Sales & Offices	3,704 SF
Total	27,788 SF
Project site disturbance:	2 acres

Paso Robles Truck Center Business Model:

Paso Robles Truck Center is a full service sales and repair shop specializing in large Class 8 vehicles such as big rigs, busses and motor homes. Paso Robles Truck Center is currently located on a +/- 3 acre site at the corner of Highway 46 and Golden Hill Road. The business is broken up into five departments that all work in conjunction with one another.

Sales- The sales department comprises approximately 10% of the business model. PRTC is the authorized dealer for Volvo, Mack and Autocar big rig trucks.

Service- The service department comprises approximately 35% of the business model. The service department of Paso Robles Truck Center is all encompassing for maintenance, service and repair needs of large trucks. PRTC has authorized service contracts for Volvo, Mack, Autocar, Prevost, and Monaco coach. PRTC service department also includes a paint and body services. The paint booth in the service department is the largest paint booth on the Central Coast to offer body and paint services for large and small vehicles.

Parts- PRTC parts department stocks parts for all big rig maintenance and repair needs. The parts department also stocks luxury items to enhance the comfort of your big rig or motorhome. The parts department makes up about 35% of the business.

Towing- Towing services are available any day or time, and can handle any situation or vehicle. Again PRTC towing department is one of the few businesses that specializes in Class 8, large vehicles. The towing department makes up about 10% of the business.

Tires- The tire department provides service for all types of vehicles from busses to construction and farm equipment. PRTC tire department is even equipped to repair and replace track tires on farm equipment. The tire department makes up about 10% of the business.

Land Use Ordinance Standards

22.30.110 - Auto and Vehicle Dealerships:

There are no special standards for Auto and Vehicle Dealerships in the Commercial Service Land Use Category. A Minor Use Permit is required for Outdoor Auto Sales in the Commercial Service land use category.

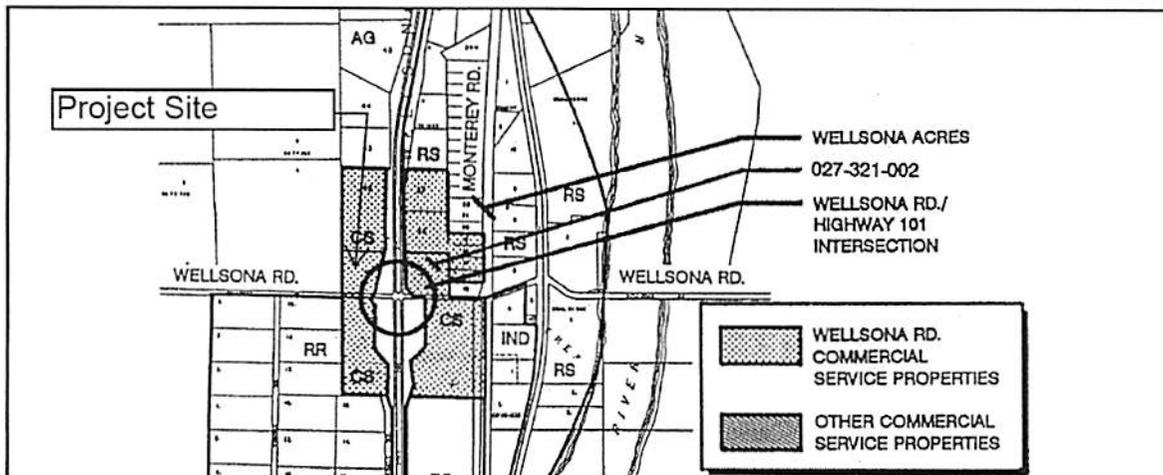
22.30.120 - Auto and Vehicle Repair and Service

A. Repair and services other than self-service washing. All repair and service activities, and the temporary storage of vehicles while waiting for repair, service or body work shall be conducted within a building, or within a yard enclosed by a six-foot high solid fence, such that storage or repair activities are not visible from the public street.

All repair and service activities will be conducted within the building or within an enclosed yard.

Salinas River Area Plan Standards:

The project is subject to the Wellsona Road planning area standards which limited the type of allowed uses on properties within the Wellsona area. An Ordinance Amendment is currently in process to include Auto Vehicle Sales and Auto Vehicle Repair as allowed uses within the Wellsona Road Commercial Service Properties.



3. **Permit requirement.** Minor Use Permit approval is required for all new uses, or expanded uses that increase use area more than 10 percent, unless a Conditional Use Permit is otherwise required by this Title.

The submittal is for a Minor Use Permit consistent with the previously approved project.

4. **Development limitation.** The Minor Use Permit or Conditional Use Permit shall include a traffic study showing existing and projected traffic volumes at all Highway 101 intersections shown in Figure 104-42, including the proposed development and other development that is approved but not yet constructed in the study area. Those figures shall be compared to the threshold volume of 2,300 trips per day for either side of each intersection (per the Final Environmental Impact Report for the Moe and Dotson General Plan Amendments, ED 85-195 and 85-223). A traffic study shall not be required if the Environmental Coordinator determines that it would be unnecessary for the proposed scale of development.

Traffic:

The intersection of Wellsona Road and Highway 101 is currently un-signalized. There are currently right and left hand turn lanes for both north and south bound traffic on Highway 101. There are also acceleration and deceleration lanes for both north and south bound traffic on Highway 101.

The County of San Luis Obispo has set a threshold of 2,300 trips per day as the maximum allowed for the existing intersection conditions. Once the threshold is reached intersection improvements will be required to mitigate traffic impacts. The County also has set the standard that intersections shall maintain a Level of Service of C or better. If the Level of Service is a D or F, mitigation measures will be required.

A traffic impact analysis study was completed by Central Coast Transportation Consultants. Traffic counts at Wellsona road and Highway 101 were conducted in October and November this year. According to the report the existing intersection operates at a LOS A and has 1,760 daily vehicles. Traffic count data from the existing Paso Robles Truck Center location on Golden Hill Road was used to evaluate the existing plus project conditions. The proposed project would generate 304 net new daily trips. With the addition of the new trips the intersection will continue to operate at a LOS A and the ADT will be 2,166. The cumulative conditions estimate that the intersection will continue to operate at a LOS A with an ADT of 2,206. Under both the project plus conditions and the cumulative conditions the intersection will continue to operate under the Salinas River Rural Area Standards threshold of 2,300 vehicles or a LOS C or better. Please see enclosed Traffic Impact Analysis prepared by Central Coast Transportation Consulting for additional information.

6. **Development intensity.** The ratio of gross floor area (exclusive of parking and non-structural development) to net site area shall be limited in reference to the following slope gradients. The coverage ratio of all use areas (including buildings, parking and outdoor use areas) to the net site area shall be no more than the following.

Slope Gradient	Floor Area Ratio	Site Coverage Ratio
0 - 15%	0.40	0.65
15 - 25%	0.20	0.30
More than 25%	0.05	0.10

The site is located on slopes less than 15% which requires a floor area ratio less than 0.40 and a site coverage ratio less than 0.65. The project's floor area ratio is 0.55% and site coverage is 0.627 which meets the development intensity requirements.

9. **Site access.** Access to each site from any street or road shall be at a single point or driveway and shall be shared between properties if feasible given existing terrain and vegetation, as shown in Figure 104-44. Where a creek or arroyo divides a site, an additional access point to the road may be provided to reduce impacts to the creek. Access shall be provided between sites for pedestrian and vehicle movement to reduce traffic conflicts on the road, as shown in Figure 104-44.

The project is utilizing the existing improvements approved under DRC2003-00063 and PMT2005-00687. The applicant is requesting to retain the existing three points of access in addition to one more driveway access along Benton Road. This commercial service operation use requires onsite circulation options for service purposes as well as visitors. It is important to keep these circulation movements separate in order to have the ability to make necessary turning movements onsite, thus the optional access points along Benton Road and to retain existing access options on Wellsona Road. There would be access off of Benton Road on the northern section of the property, which would provide direct truck access to the impound yard. The existing separate Benton Road access will provide visitor access to the main service area. Wellsona Road access driveways will provide direct access to the truck maintenance service area and is separate (gated) from visitor areas. All of these driveways have their purpose and capability to ensure onsite mobility for this type of operation. These options will ensure that circulation will stay off of county roads and circulate onsite with ease.

10. Setbacks

- a. **Landscaping setback.** A landscaped buffer shall be located in the following setbacks, in which no use areas, including building, parking or outdoor use, are allowed:

Location	Minimum Setback for Landscaping
Front	40 ft
Side	20 ft
Rear	20 ft

Landscape buffers are proposed along the property perimeter. Front landscape buffers range from 35'-45' and sides/rear less than 20'. Based on the current groundwater use restrictions for properties that overly the Paso Robles Ground Water Basin the application is requesting modification to the required landscape setback areas for portions of the side and rear setbacks. The reduction in landscaped areas will reduce long term water use. The areas proposed to not include landscaping will incorporate a perimeter 6 foot tall solid fence therefore the use areas will be screened from public views and meet the intent of the buffer.

- b. **Building setback.** The required setbacks for structures are in relation to their height and location on the site, in order to scale development back from view of Highway 101 and adjacent residential properties, as follows:

Minimum Setback from Property Line Based on Building Height		
Setback	Building Height	
	16 Feet or Less	More Than 16 Feet
Front	70	100
Side	40	70
Rear	60	80

The project complies with the setback requirements.

11. **Height limitation.** The maximum height for structures is 25 feet if parapet walls are used, and 30 feet if pitched roof lines are used, as illustrated in Figure 104-46.

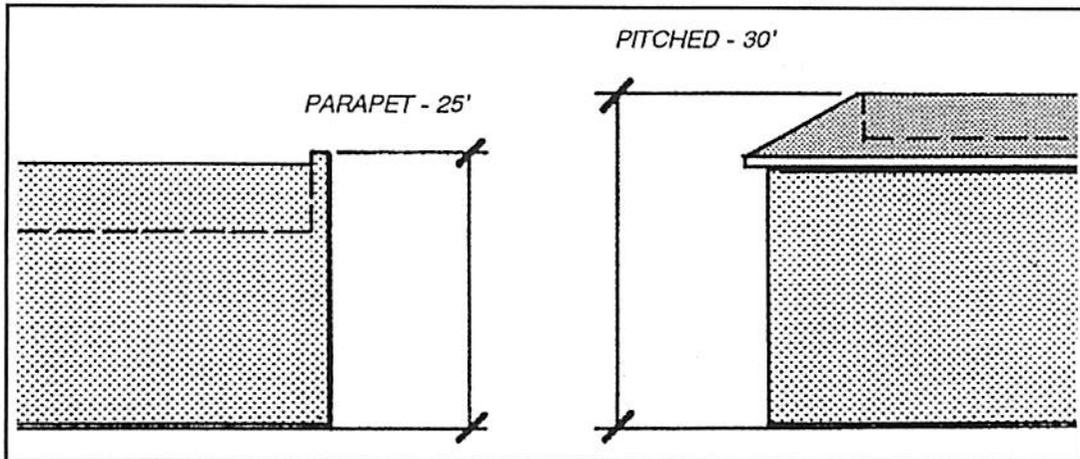


Figure 104-46 - Building Heights

The height of the building varies between 16 feet in height and 30 feet in height. The portion of the building that exceed 25 feet in height include a pitched roof.

12. **Building color.** Building color shall be in harmony with surrounding natural colors, be greater than or equal to 4 in value, and no brighter than 6 in chroma on the munsell color scale on file at the Department. Trim colors shall be complementary to wall colors (not contrasting), and shall comprise no more than five percent of any wall surface.

A rendering is included with this submittal. The building is a non-reflective anodized painted metal with a neutral palette and minimal contrasting trim. All components are in compliance with building color requirements listed above.

13. **Sign limitation.** Free-standing signs are limited to a height of 12 feet. Freeway identification signs, as identified in Chapter 22.20, are not allowed.

Free-standing signage will be consistent with the requirement listed above. All other site signage will comply with the provisions of the Land Use Ordinance.

14. **Building design.** Architecture shall be responsive to the need to minimize building massing as seen from Highway 101 and from adjacent residential properties.

Building architecture complies with the Building Design requirements listed in the area plan standard. The architecture includes varying building heights and porches have been provided to provide articulation. The customer entrance faces Highway 101, service bays do not face Highway 101. Building material will consist of non-reflective anodized painted metal.

Environmental:

The previous Minor Use Permit that was approved in 2004 was issued a Mitigated Negative Declaration, ED04-006. The environmental review determined that there were less than significant impacts associated with aesthetics, agricultural resources, cultural resources, hazards/hazardous material, population/housing, recreation, transportation/circulation, and land use. Mitigation measures included kit fox mitigation at a ratio or 2:1, erosion and sedimentation control plan, and oak tree replacement at a 2:1 ratio.

As part of the proposed new development a new erosion and sedimentation control plan will be prepared and submitted for review as part of the building permit. No oak trees are planned to be removed as part of the project, the existing oak tree located on the site will remain and will be protected during construction. The previous development would have impacted 1.7 acres of the site and mitigation fees of approximately \$8,500 were paid, equating to 3.4 acres of mitigation conservation. The proposed project can be considered a redevelopment of and an existing site and the mitigation measure completed as part of the previous approval remain with the site and should be taken into consideration for the current proposed development.

Noise:

The proposed use is generally not considered a noise generating use. Vehicle service main include limited noise generating equipment. The use of noise generating equipment is located within the proposed building mitigating potential noise impacts. The hours of operation of the proposed business are from 8:00 am to 5:00 Monday through Friday and 8:00 to 12:00 on Saturday to avoid any potential night time noise generation. The noise impact to the surrounding area is anticipated to be negligible.

Aesthetics:

The project proposes to construct a 28,788 SF building for vehicle sales service and repair. The maximum height allowed within the commercial land use category is 35 feet. The proposed building is has a maximum height of approximately 31 feet. The building is setback from the road and the projects includes at minimum 30' landscaping setback. Storage and parked vehicles will be located behind the proposed building screened from view. Additional screening will be provided by fencing surrounding the perimeter of the property. The building proposed includes metal siding and metal roofing, consistent with other commercial projects in the surrounding area. The proposed project is in compliance with existing ordinance and planning area standards. The proposed development of the project site is not anticipated to have and significant visual impacts on the surrounding area.

Parking:

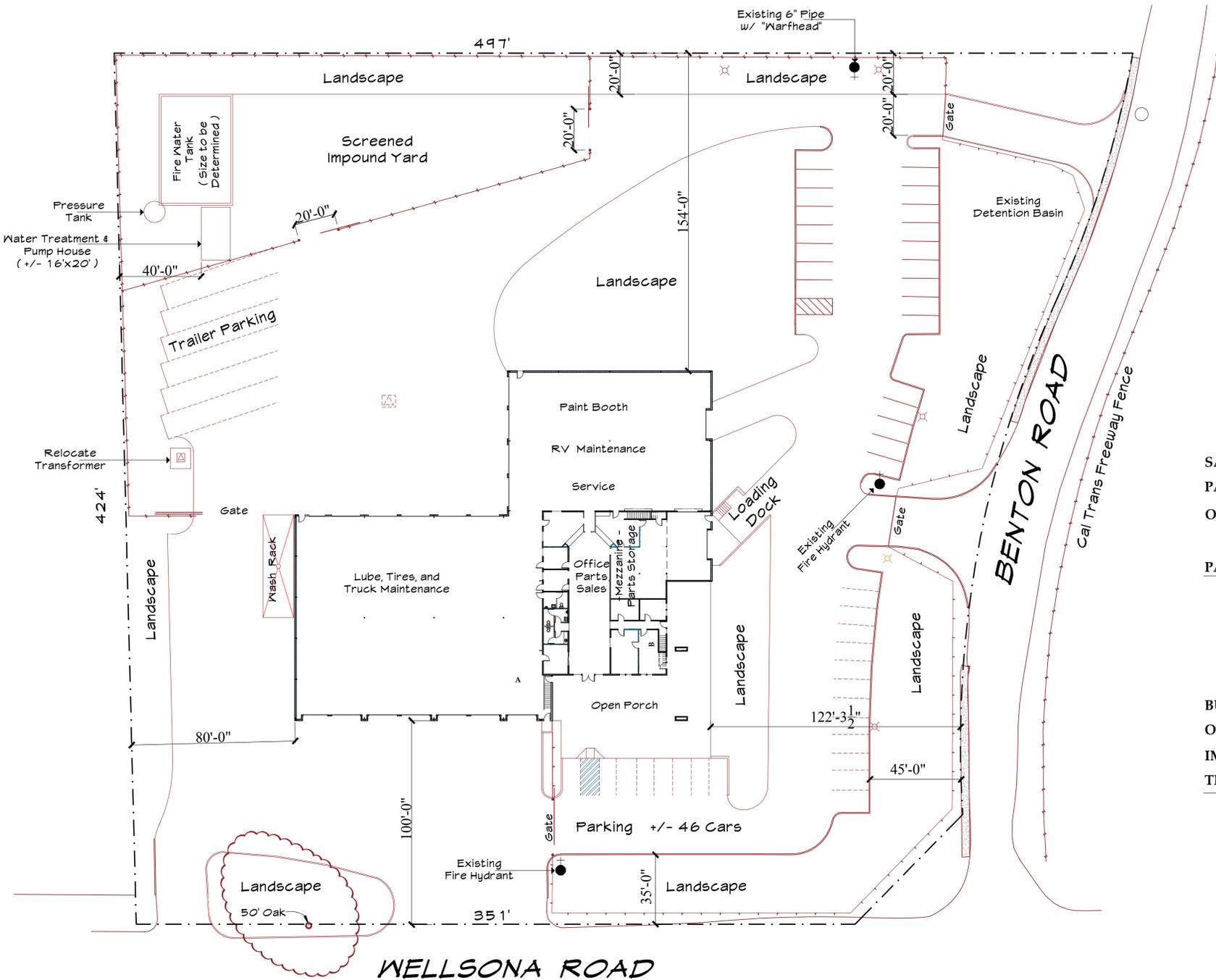
There is an existing parking lot on the site that includes 45 parking spaces, which exceeds the required 44 spaces. Therefore the existing parking spaces are sufficient to meet the needs of the proposed uses.

Water:

The project is located within the Paso Robles Groundwater Basin and is subject to the Urgency Ordinance and must demonstrate a 1:1 offset of the net new water demand. Additionally the project is subject to the Salinas River Area Plan Standards which requires that the net new water demand be offset by a 2:1 ratio for all discretionary permits.

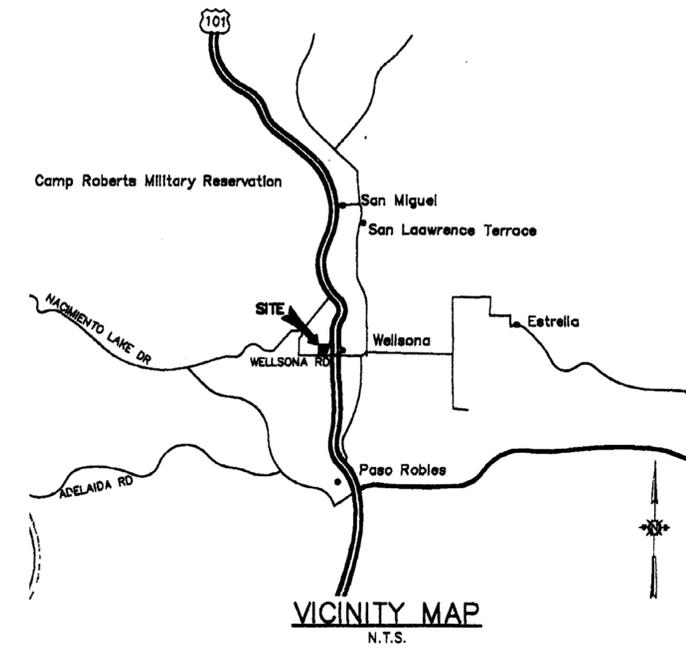
Based upon the water consumption at the existing Paso Robles Truck Center location the net new water demand is estimated to be 0.35 AFY. Therefore the project must demonstrate a water offset equivalent to 0.7 AFY. Prior to final of building permit evidence will be provided to demonstrate water offset savings equivalent to 0.7 AFY or participation in an County approved water off-set program.

PASO ROBLES TRUCK CENTER



SITE PLAN

1" = 30'



VICINITY MAP
N.T.S.

AREA TOTALS

PARKING CALCULATIONS :	
SALES & OFFICE @ 1/300	3704 / 300 = 12
PARTS & SERVICE @ 1/1000	24,084 / 1,000 = 24
OUTSIDE MAINTENANCE @ 1/3000	24,000 / 3000 = 8
	44
PARKING PROVIDED	45
SITE AREAS :	
BUILDING	27,258 SF
OPEN PORCH	2,728 SF
IMPOUND YARD	9,625 SF
TRAILER PARKING	4200 SF
SUBTOTAL	43,811 SF

BUILDING AREA :	
GRADE LEVEL =	24,258 SF
MEZZANINE (PARTS) =	3,530 SF
	27,788 SF
SERVICE & MAINTENANCE BAYS =	18,630 SF
OFFICES, SALES, RESTROOMS, & WAITING =	3,704 SF
PARTS (@GRADE & MEZZ) =	5,454 SF
OPEN PORCH =	2,728 SF

PROJECT DATA

PROJECT: PASO ROBLES TRUCK CENTER
USE: TRUCK SALES, ROAD SERVICE, TOWING, PARTS, SALES, REPAIR AND MAINTENANCE.
OWNER: ORMONDE PROPERTIES, LTD.
AGENT: KIRK CONSULTING
 8830 MORRO ROAD,
 ATASCADERO, CALIF. 93422
 TEL. 805.461.5765
APN: 027-321-027
PARCEL: +/- 4.21 ACRES
 (+/- 183,369.53 SF)

DEVELOPMENT INTENSITY
 SLOPE GRADIENT = 2.0 % , < 15.0 %
 FLOOR AREA RATIO = 13.2 % < 40 %
 (24,258 / 183,370)
 SITE COVERAGE RATIO =
 (112,713 / 183,370) = 0.615 < 0.65

Revisions	By
01.26.2015	JR

Nick Gilman, Architect
 945 12th Street, Paso Robles
 Tel. 805.238.3432
 Fax. 805.238.4813

PRELIMINARY SITE PLAN
PASO ROBLES TRUCK CENTER

Drawn	
Revised	01.09.2015
Date	10.10.2014
Scale	
Job No.	
Sheet	
TS	

Revisions	By
01.26.2015	JR

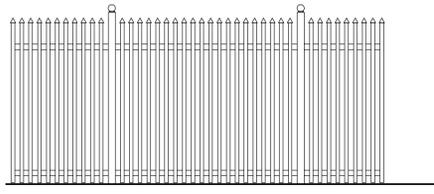
LANDSCAPE PLAN
PASO ROBLES TRUCK CENTER

Nick Gilman, Architect
945 12th Street, Paso Robles
Tel. 805.238.3432
Fax. 805.238.4813

Drawn	
Revised	01.09.2015
Date	10.10.2014
Scale	
Job No.	
Sheet	
L	

LANDSCAPE SYMBOLS

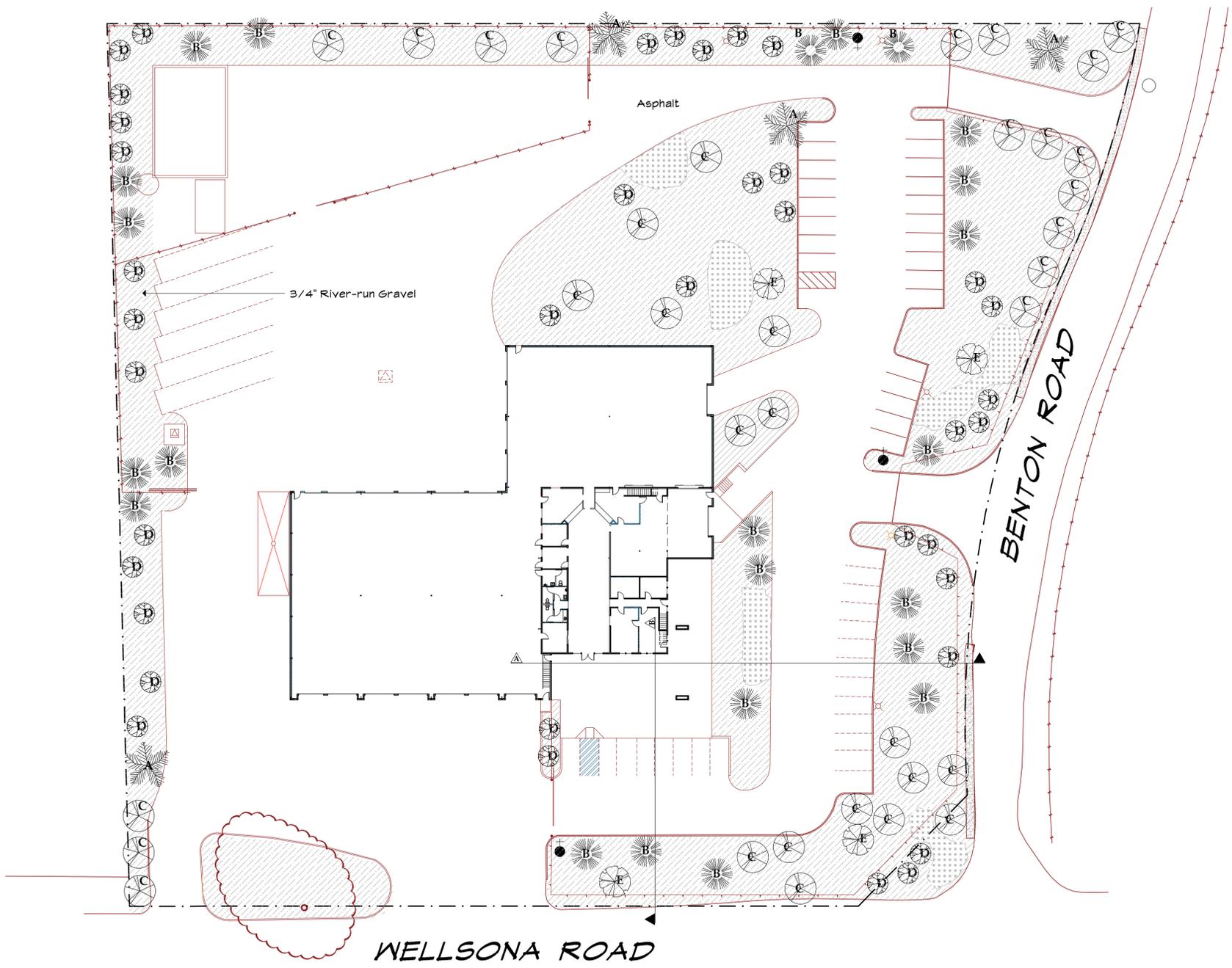
-  CEDRUS DEODARA - Valley Oak - 24" Box
-  PINUS PINEA - Italian Stone Pine - 15 Gal.
-  PISTACHIA CHINENSIS - Chinese Pistache - 15 Gal.
-  FRAXINUS OXYCARPA - "Raywood" - Raywood Ash - 15Gal
-  QUERCUS LOBATA - Valley Oak - 24" Box
-  JUNIPERUS SABINA 'BUFFALO' - Buffalo Juniper - 5 Gal @ 8' o.c.
-  JUNIPERUS SABINA 'TAMARISCIFOLIA' - "Silver" Tam - 15 Gal. (clumps of 3)



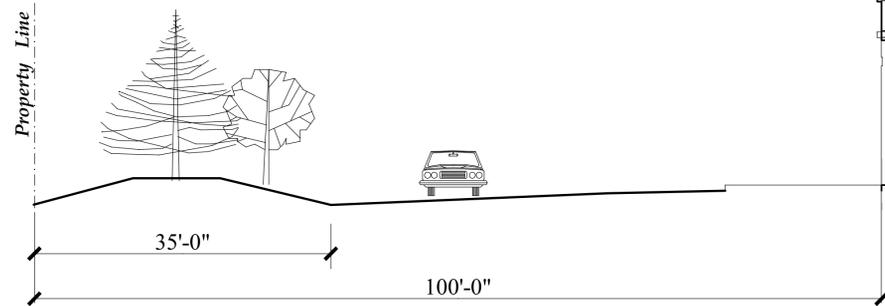
FENCE DETAIL 1" = 4'



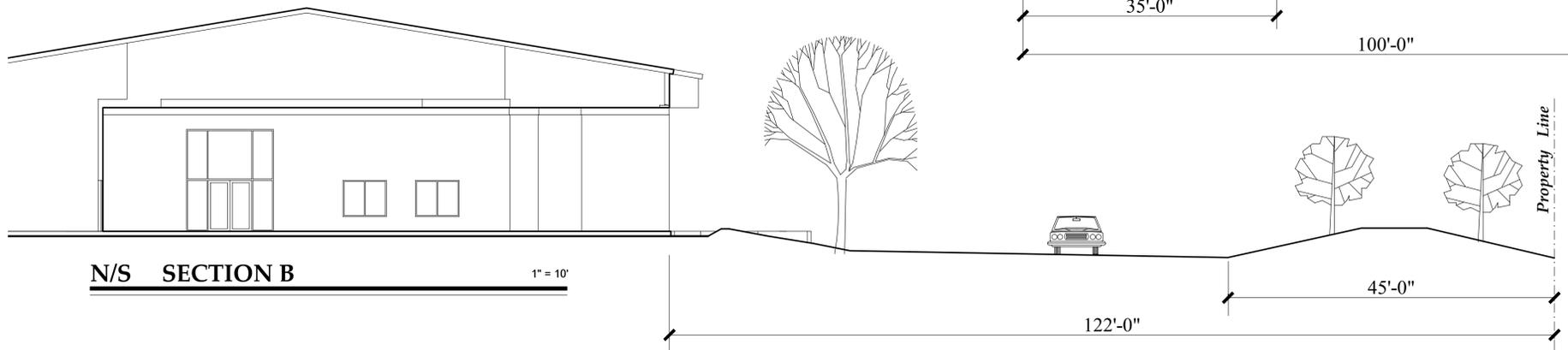
E/W SECTION A 1" = 10'



LANDSCAPE PLAN 1" = 30'
NORTH



E/W SECTION A 1" = 10'



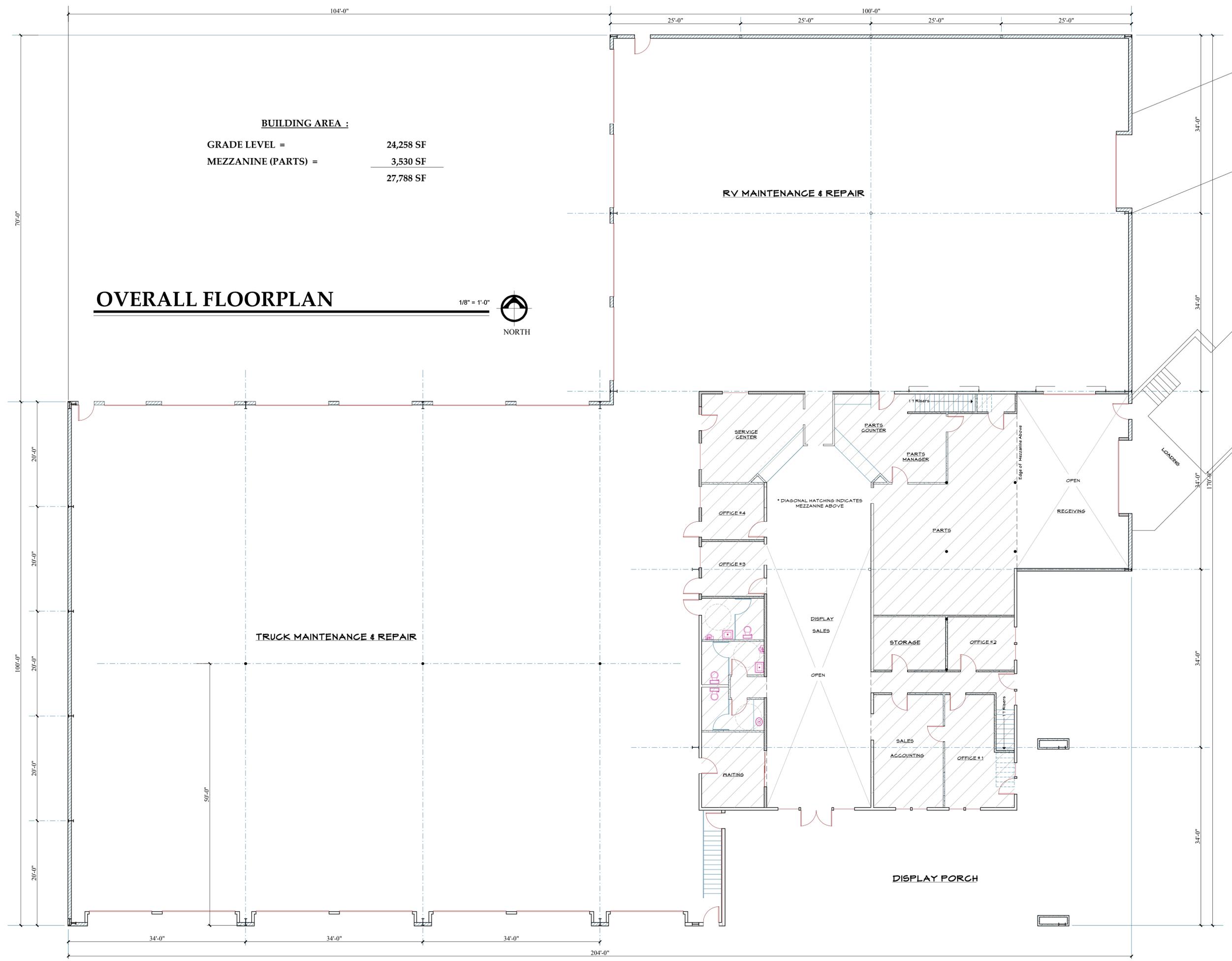
N/S SECTION B 1" = 10'

Revisions	By
01.26.2015	JR

Nick Gilman, Architect
 945 12th Street, Paso Robles
 Tel. 805.238.3432
 Fax. 805.238.4813

PRELIMINARY FLOOR PLAN
 PASO ROBLES TRUCK CENTER

Drawn	
Revised	01.09.2015
Date	10.10.2014
Scale	
Job No.	
Sheet	
A.1	





Revisions	By
01.26.2015	JR

Nick Gilman, Architect
 945 12th Street, Paso Robles
 Tel. 805.238.3432
 Fax. 805.238.4813

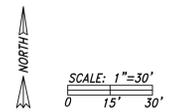
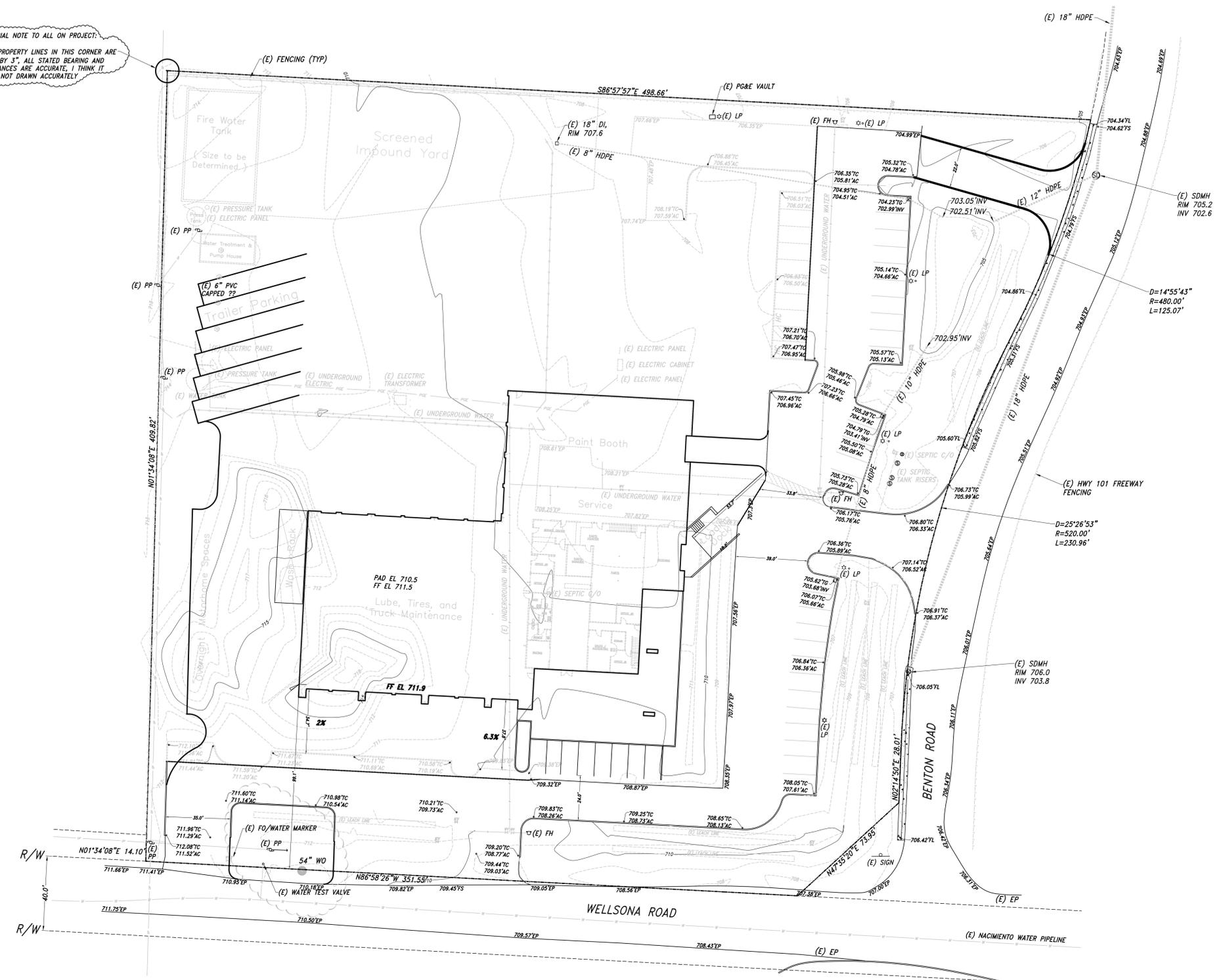
PRELIMINARY FLOOR PLAN
PASO ROBLES TRUCK CENTER

Drawn	
Revised	01.09.2015
Date	10.10.2014
Scale	
Job No.	

Sheet

A.2

SPECIAL NOTE TO ALL ON PROJECT:
 (E) PROPERTY LINES IN THIS CORNER ARE OFF BY 3". ALL STATED BEARING AND DISTANCES ARE ACCURATE, I THINK IT WAS NOT DRAWN ACCURATELY.



PRELIMINARY SITE PLAN #2 (1-5-15)

REVISIONS	
1	
2	
3	

PROPRIETARY NOTES:
 THESE PLANS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC GOBLER CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN PART OR IN WHOLE FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC GOBLER, CIVIL ENGINEER.

TOPOGRAPHIC SURVEY BY:
TWIN CITIES SURVEYING INC.
 413 MAIN STREET
 TEMPELTON, CALIFORNIA 93422
 (805) 436-1624
 FIELD SURVEY: 4-28-14 FAX: (805) 436-3044

ENGINEER OF WORK:

ERIC J. GOBLER, P.E.
 9110 ATASCADERO AVENUE
 ATASCADERO, CA 93422
 (805) 466-8632 OFFICE
 (805) 459-3268 CELL
 (805) 466-6465 FAX

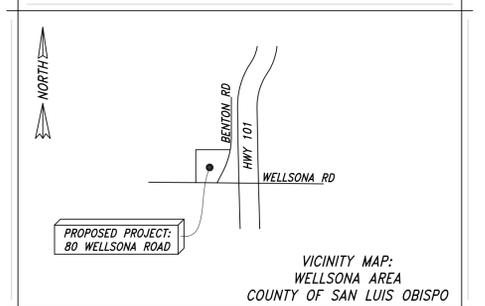
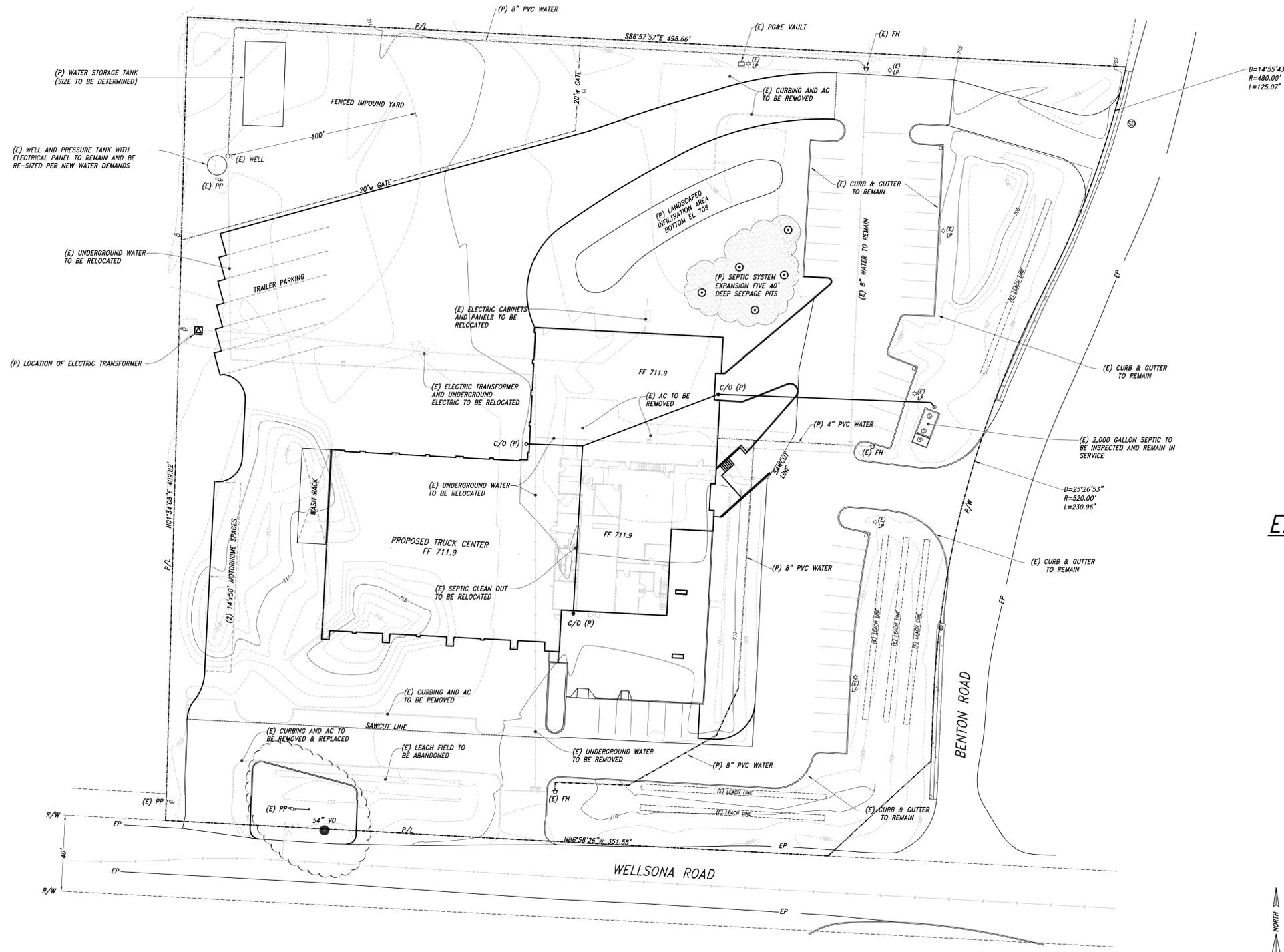
PROJECT DESCRIPTION: PASO ROBLES TRUCK CENTER 80 WELLSONA ROAD, APN: 027-321-027	
SHEET DESCRIPTION: PLAN #1 NOV. 2014	
DESIGN/DRAWN: ERIC J. GOBLER	COUNTY PLAN CHECKER: APPROVING ENGINEER FOR COUNTY REQUIREMENTS DATED: 11-1-14
JOB NUMBER: 14-04B	CO. PERMIT NUMBER: ERIC J. GOBLER, P.E. 30438 EXP. 03/31/16 DATED: 11-1-14
CALIFORNIA COORDINATES: N	E SHEET: C2

PRELIMINARY PLAN JANUARY 2015)

PROPOSED DEMOLITION PLAN:

DEMOLITION NOTES:

1. CONTRACTOR TO PROVIDE ALL ONSITE CONSTRUCTION WASTE CONTAINERS. ALL ONSITE CONSTRUCTION WASTE CONTAINERS SHALL BE CLEARLY MARKED AND COVERED TO PREVENT MIGRATORY DUST.
2. AT THE END OF EACH WORK DAY, AND AT LEAST ONCE DURING THE WORKDAY ALL ONSITE DEBRIS THAT CAN GENERATE MIGRATORY DUST SHALL BE SWEEPED UP AND PLACED INTO THE ONSITE CONSTRUCTION WASTE CONTAINERS.
3. CONTRACTOR TO PROVIDE A FENCE SYSTEM THAT IS FEASIBLE FOR ONSITE VEHICLE TRAFFIC AND FOOT TRAFFIC YET ADEQUATE ENOUGH TO RESTRICT THE ACCESS TO CONSTRUCTION AREAS BY UNAUTHORIZED PERSONNEL.



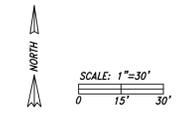
OWNER:
ORMONDE PROPERTIES LTD.
STEVE ORMONDE, AGENT
PO BOX 2053
PASO ROBLES, CA. 93447
(805) 674-0664

ARCHITECTURAL DESIGN:
NICK GILLMAN, ARCHITECT
945 12TH STREET
PASO ROBLES, CA. 93446
(805) 238-3432

ENGINEER OF RECORD:
ERIC J. GOBLER, P.E. #C30438
9110 ATASCADERO AVENUE
ATASCADERO, CA. 93422
(805) 466-8632 OFFICE
(805) 459-3268 CELL
(805) 466-6465 FAX

EXISTING & PROPOSED UTILITIES:

1. EXISTING UTILITIES ARE SHOWN AS CURRENTLY UNDERSTOOD. SINCE NUMEROUS UNDERGROUND UTILITIES EXIST AND RECORD OR AS-BUILT PLANS DO NOT EXIST, THERE IS SOME UNCERTAINTY.
2. EXISTING ELECTRICAL INCLUDE POLES, A TRANSFORMER, ELECTRICAL PANEL, LIGHT POLES AND ASSOCIATED CONDUITS. THE TRANSFORMER AND ELECTRICAL PANEL WILL BE RELOCATED AS INDICATED ON THIS SHEET AND AS SHOWN ON THE ARCHITECTURAL. ULTIMATELY, CHANGES WILL BE NEEDED AND WILL BE SHOWN ON THE FINAL ARCHITECTURAL PLANS UPON APPROVAL.
3. THE EXISTING WATER SYSTEM INCLUDES 8" WATER MAINS, TWO HYDRANTS, AN IRRIGATION SYSTEM AND ASSOCIATED PIPING APPROXIMATELY AS SHOWN. THIS PLAN SHOWS PROPOSED PIPING CHANGES (REMOVALS AND ADDITIONS) ANTICIPATED BASED ON WHAT IS BELIEVED TO EXIST.
4. THE EXISTING SEPTIC SYSTEM SHOWN IS TAKEN FROM A PLAN PREPARED BY EMK, DATED 12/13/06. SOME ASSOCIATED RISER PIPING IS VISIBLE ONSITE, BUT ACTUAL INSTALLATION IS UNCERTAIN. THE EXISTING SYSTEM MUST BE CONFIRMED PRIOR TO FINAL PLAN PREPARATION AND APPROVAL. ADDITIONALLY, THE ADEQUACY OF THE SYSTEM SIZE MUST BE CONFIRMED, SINCE INSUFFICIENT AREA EXISTS ONSITE FOR A CONVENTIONAL LEACH TRENCH EXPANSION, SEEPAGE PITS HAVE BEEN SHOWN TO ACCOMMODATE THE 100% EXPANSION AREA.
5. A COMPLETE UTILITY PLAN WILL BE PREPARED ONCE CONCEPTUAL PROJECT APPROVAL IS PROVIDED BY SAN LUIS OBISPO COUNTY.



ABBREVIATIONS USED:

- | | |
|-----------------------|-------------------------------|
| (P) = PROPOSED | AC = ASPHALT CONCRETE |
| (E) = EXISTING | EP = EDGE OF PAVEMENT |
| (TYP) = TYPICAL | INV = PIPE INVERT |
| MIN = MINIMUM | ELECT/EM = ELECTRICAL SERVICE |
| MAX = MAXIMUM | FH = FIRE HYDRANT |
| P/L = PROPERTY LINE | C/O = CLEAN OUT |
| R/W = RIGHT OF WAY | LPG = LIQUEFIED PETROLEUM GAS |
| EG = EXISTING GRADE | LP = LIGHT POLE |
| ES = EXISTING SURFACE | PP = POWER POLE |
| FG = FINISHED GRADE | TELCO = TELECOMMUNICATIONS |
| R/O = ROOF RUN OFF | VO = VALLEY OAK |
| FS = FINISHED SURFACE | |
| FF = FINISHED FLOOR | |

REVISIONS	
1	
2	
3	

PROPRIETARY NOTES:
THESE PLANS, SPECIFICATIONS AND DESIGN ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC GOBLER CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN PART OR IN WHOLE FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC GOBLER, CIVIL ENGINEER.

TOPOGRAPHIC SURVEY BY:
TWIN CITIES SURVEYING INC.
613 MAIN STREET / P.O. BOX 777
TWIN FALLS, CALIFORNIA 93422 / (805) 434-7824
FIELD SURVEY: 4-20-14 / FAX (805) 434-3684

ENGINEER OF WORK:
ERIC J. GOBLER, P.E.
LIC. #C30438
9110 ATASCADERO AVENUE
ATASCADERO, CA. 93422
(805) 466-8632 OFFICE
(805) 459-3268 CELL
(805) 466-6465 FAX



PROJECT DESCRIPTION: PASO ROBLES TRUCK CENTER 80 WELLSONA ROAD, APN: 027-321-027		PLAN #1 JAN. 2015
SHEET DESCRIPTION: PROPOSED DEMOLITION PLAN EXISTING & PROPOSED UTILITIES		
DESIGN/DRAWN: Eric J. Goblér	COUNTY PLAN CHECKER: [Signature]	DATED:
JOB NUMBER: 14-048	CO. PERMIT NUMBER: ERIC J. GOBLER, RCE 30438 EXP. 03/31/16	DATED: 1-12-15
CALIFORNIA COORDINATES: N	E	SHEET: PRELIMINARY

PROPOSED GRADING AND DRAINAGE PLAN:

**PRELIMINARY PLAN
(JANUARY 2015)**

EARTHWORK ESTIMATES:

CUT AND FILL ESTIMATES ARE CALCULATED AT PROFILE CENTERLINE. CONTRACTOR'S RESPONSIBILITY TO BID ACCORDINGLY.

PROJECT TOTALS:

850 CY OF CUT - MAX HEIGHT 7.0 FT (EXISTING DIRT PILES)
850 CY OF FILL - MAX HEIGHT 1.5 FT

NOTE: EXACT SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING ARE NOT INCLUDED. THE GRADING CONTRACTOR IS RESPONSIBLE TO DETERMINE EXACT QUANTITIES AND BID ACCORDINGLY. ANY EXCESS MATERIAL WILL BE SPREAD AND STABILIZED ONSITE, SOIL SPREAD BEYOND BUILDING AREA WILL BE (NON-STRUCTURAL)

SITE AREA OF DISTURBANCE:

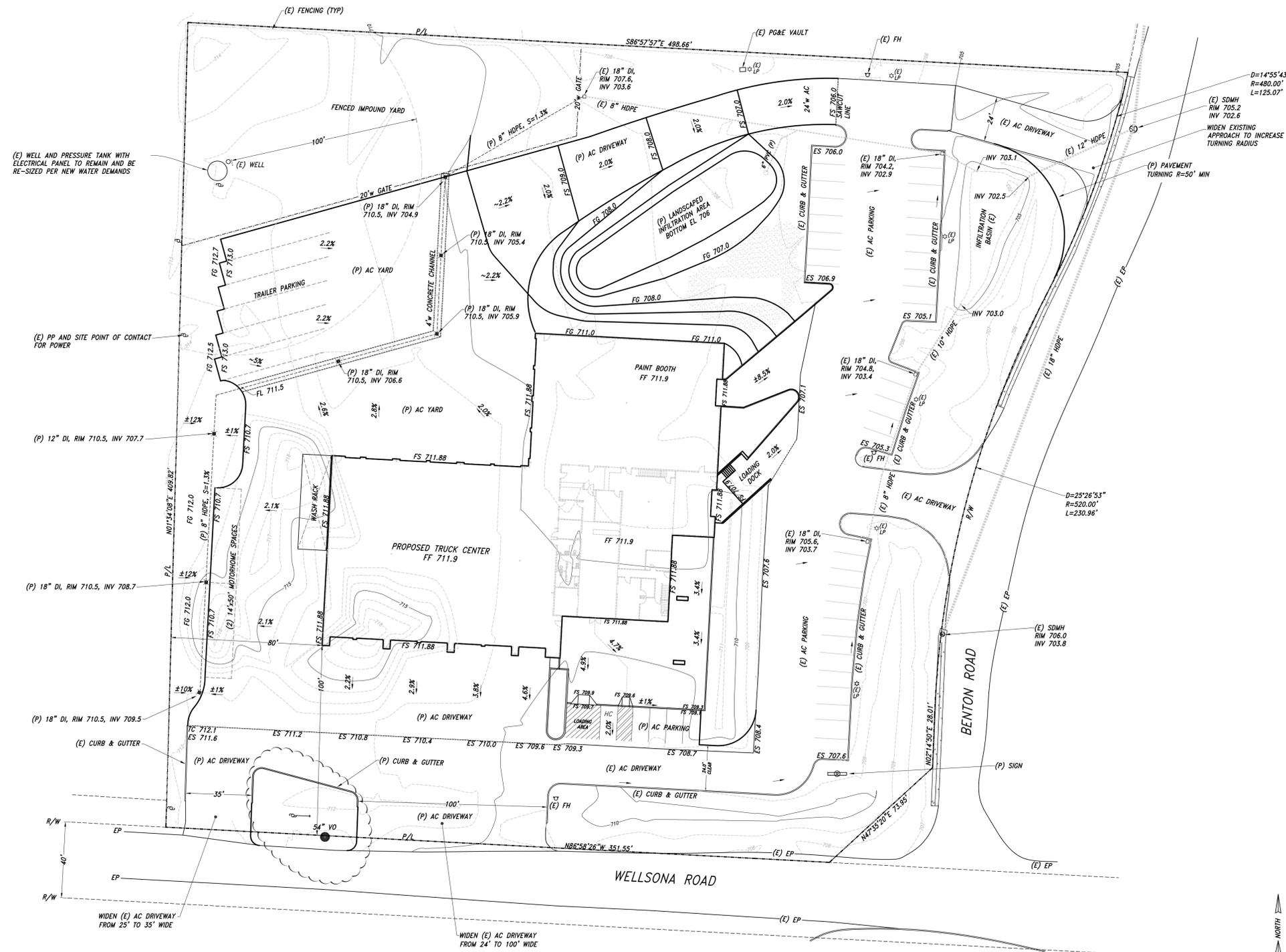
TOTAL AREA OF SITE DISTURBANCE:
85,702 SF = 2.0 ACRES

IMPORTANT NOTE:

- IT IS IMPORTANT TO ENSURE THAT THE LIMITS OF SITE DISTURBANCE CONFORMS TO THE APPROVED GRADING LIMITS. CONTACT THE ENGINEER OF RECORD FOR ALL CHANGES THAT AFFECT THE LIMITS OF GRADING.
- SINCE THE AREA OF SITE DISTURBANCE EXCEEDS ONE ACRE, A STORM WATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IS REQUIRED BY THE STATE WATER QUALITY CONTROL BOARD.
- THE COUNTY AREA INSPECTOR MAY REQUEST THE ENGINEER OF RECORD TO CERTIFY THE AREA OF DISTURBANCE. THIS MAY REQUIRE ADDITIONAL SITE SURVEYING.

EXISTING AND PROPOSED IMPROVEMENTS:

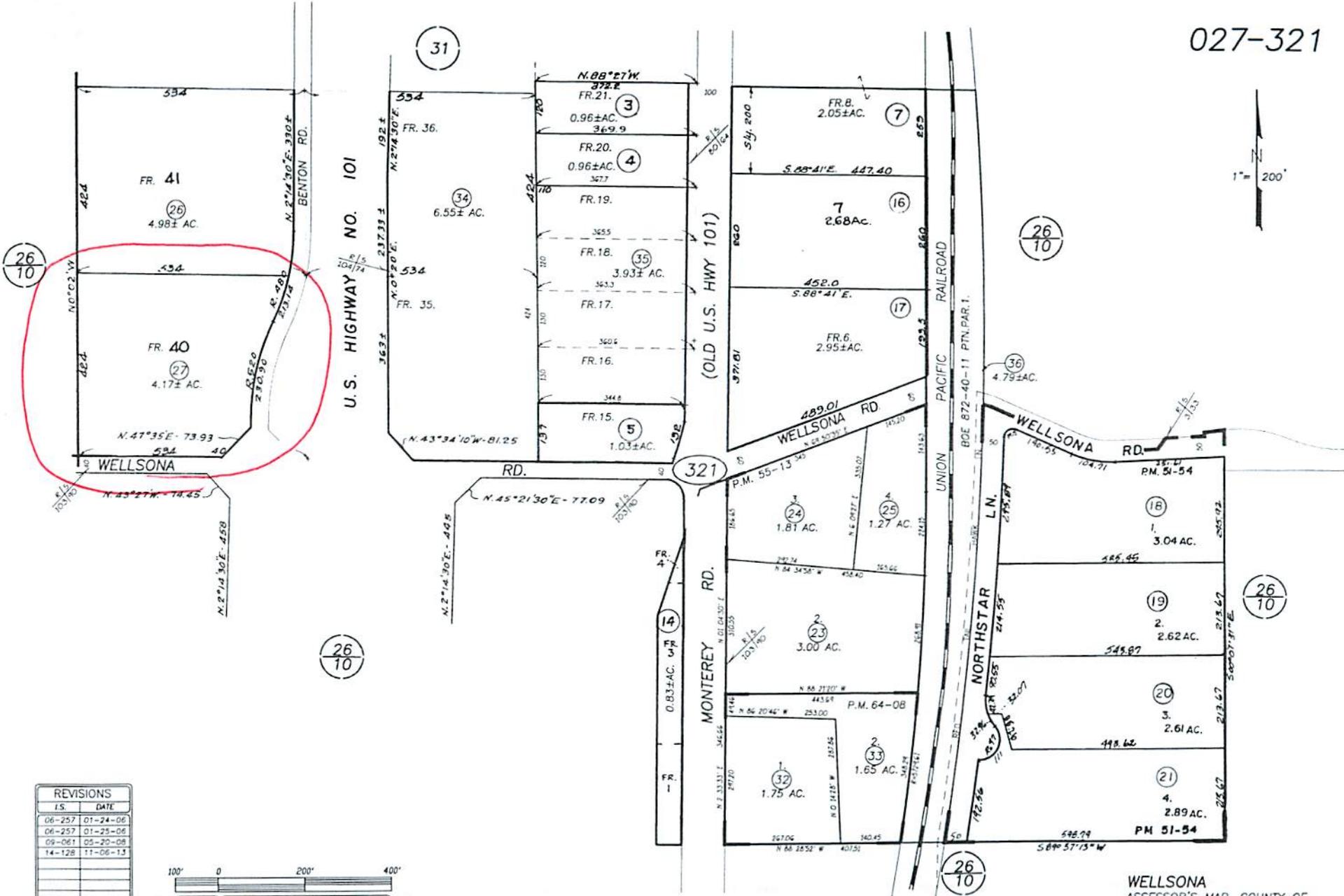
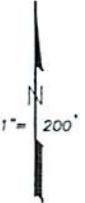
- SINCE THIS IS A PARTIALLY IMPROVED PLAN WITH EXISTING CURB, GUTTER, AC PAVEMENT, PARKING AND A STORM WATER SYSTEM, THE PROPOSED PROJECT WILL UTILIZE EXISTING FACILITIES TO THE MAXIMUM DEGREE POSSIBLE.
- ALL HARDSCAPE SURFACES, PARKING AND DRIVEWAYS AROUND THE PROPOSED MAINTENANCE BUILDING ARE TO BE ASPHALT.
- PAVED SURFACES ARE DESIGNED TO HAVE A MINIMUM SURFACE SLOPE OF 2%. DRAINAGE INLETS (CATCH BASINS) AND PIPING ARE NEEDED IN THE REAR YARD AREA TO PROVIDE NECESSARY SURFACE DRAINAGE AND STORMWATER TRANSPORT.
- SITE GRADING IS INTENDED TO SLOPE TO DEPRESSED AND LANDSCAPED AREAS TO ENHANCE STORMWATER INFILTRATION AND POTENTIAL POLLUTANT REMOVAL.
- THE EXISTING PAVEMENT AREAS KEPT FOR PARKING AND ACCESS WILL REMAIN AS CURRENTLY INSTALLED WITH ASSOCIATED RUNOFF TO THE STORMWATER BASIN LOCATED IN THE NE PORTION OF THE SITE. ALL EXCESS SITE RUNOFF WILL ENTER THE EXISTING ONSITE AND OFFSITE DRAINAGE SYSTEM.



ABBREVIATIONS USED:

- | | |
|-----------------------|-------------------------------|
| (P) = PROPOSED | AC = ASPHALT CONCRETE |
| (E) = EXISTING | EP = EDGE OF PAVEMENT |
| (TYP) = TYPICAL | DI = DRAINAGE INLET |
| MIN = MINIMUM | INV = PIPE INVERT |
| MAX = MAXIMUM | ELECT/EM = ELECTRICAL SERVICE |
| P/L = PROPERTY LINE | FH = FIRE HYDRANT |
| R/W = RIGHT OF WAY | C/O = CLEAN OUT |
| EG = EXISTING GRADE | LPG = LIQUEFIED PETROLEUM GAS |
| ES = EXISTING SURFACE | LP = LIGHT POLE |
| FG = FINISHED GRADE | PP = POWER POLE |
| R/O = ROOF RUN OFF | TELCO = TELECOMMUNICATIONS |
| FS = FINISHED SURFACE | VO = VALLEY OAK |
| FF = FINISHED FLOOR | |

REVISIONS 1 2 3		TOPOGRAPHIC SURVEY BY: TWIN CITIES SURVEYING INC. 613 MAIN STREET TWIN CITIES, CALIFORNIA (805) 434-1834	ENGINEER OF WORK: ERIC J. GOBLER, P.E. LIC. #C30438 9110 ATASCADERO AVENUE ATASCADERO, CA 94422 (805) 466-8632 OFFICE (805) 459-3288 CELL (805) 466-6465 FAX	PROJECT DESCRIPTION: PASO ROBLES TRUCK CENTER 80 WELLSONA ROAD, APN: 027-321-027
PROPRIETARY NOTES: THESE PLANS, SPECIFICATIONS AND DESIGNS ARE INSTRUMENTS OF WORK AND SERVICES PREPARED FOR THIS PROJECT BY ERIC GOBLER CIVIL ENGINEERING. NO PART OF THESE PLANS SHALL BE USED IN PART OR IN WHOLE FOR ANY OTHER PROJECT UNLESS WRITTEN CONSENT IS OBTAINED FROM ERIC GOBLER, CIVIL ENGINEER.		SHEET DESCRIPTION: PROPOSED GRADING AND DRAINAGE PLAN PLAN #1 JAN. 2015	COUNTY PLAN CHECKER: APPROVING ENGINEER FOR COUNTY REQUIREMENTS DATED:	
DESIGN/DRAWN: JOB NUMBER: 14-048	CO. PERMIT NUMBER: ERIC J. GOBLER, RCE 30438 EXP. 03/31/16	DATED: 1-12-15	SHEET: PRELIMINARY	

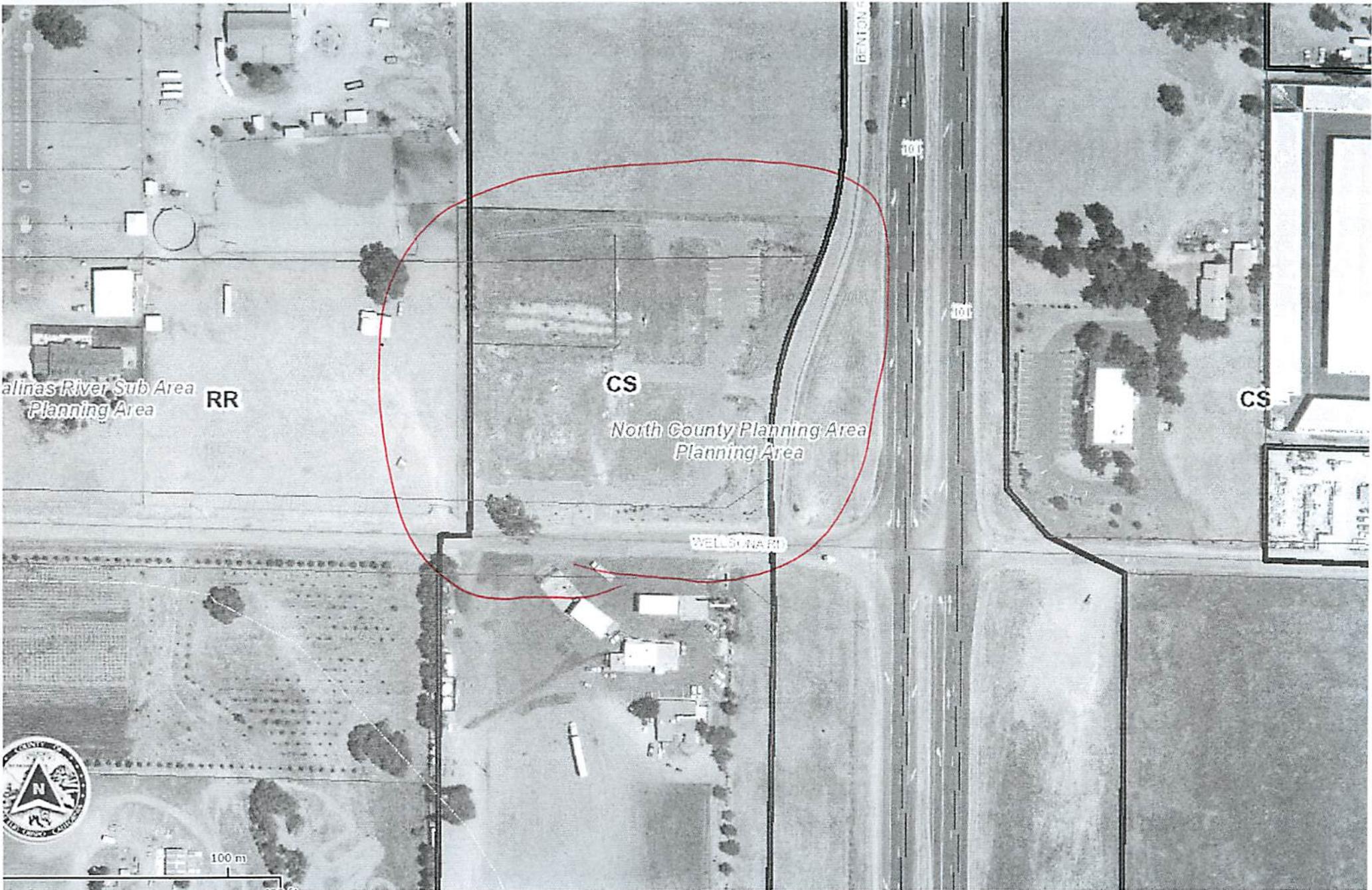


REVISIONS	
I.S.	DATE
06-257	01-24-06
06-257	01-25-06
09-081	05-20-08
14-128	11-06-13

100' 0 200' 400'

JAV
02-25-00

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.



Salinas River Sub Area
Planning Area

RR

CS

North County Planning Area
Planning Area

CS

WELLS WAY

BENTONS

100

100



100 m



Parcel Summary Report For Parcel # 027-321-027

2/2/2015
7:53:16AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN ORMONDE PROPERTIES INC
2348 GOLDEN HILLS RD PASO ROBLES CA 93446-7009
OWN ORMONDE PROPERTIES INC A CA CORP

Address Information

Status Address

P 06525 BENTON RD NCSAL
P 00080 WELLSONA RD NCSAL

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
WELSNAAC	0000	40P	North Cty. Plan	North County I CS				Y	VP	
APV.C01-	505	0001	North Cty. Plan	North County I				N		

Parcel Information

Status Description

Active WELLSONA AC LT 40

Notes

PER CALL FROM LEE & ASSOCIATES (JODY WALTERS @ 782-9000, EXT 10), CONFIRMED EXISTING ASSOCIATED ADDRESS 80 WELLSONA RD, FLAGGED AS DEFAULT ADDRESS FOR APN, AND EMAILED VERIFICATION LETTER. 11/15/13-PCS

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)



Parcel Summary Report For Parcel # 027-321-027

2/2/2015
7:53:17AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

COD2006-00455 CLD Primary Parcel

Description:

UMPERMITTED MOBILE HOME

COD2009-00109 REC Primary Parcel

Description:

PMT2005-00687, 2005-00688, 2005-00695 (MAJOR GRADING, COMMERCIAL WAREHOUSE & TEMP TRAILER) EXPIRED

COD2014-00142 CLD Primary Parcel

Description:

UNFOUNDED - COMPLAINT: GRADING WITHOUT PERMIT

DRC2003-00063 APV Primary Parcel

Description:

MUP FOR COMMERCIAL BUILDING ON WELLSONA ROAD

DRC2014-00084 REC Primary Parcel

Description:

TRUCK CENTER

LRP2013-00018 REC Primary Parcel

Description:

ORDINANCE AMENDMENT TO ALLOW TRUCK SALES AND SERVICE WITHIN THE WELLSONA ROAD COMMERCIAL SERVICES AREA

PMT2005-00687 EXP Primary Parcel

Description:

EXPIRED TO CODE ENF. 8/4/09 - MAJOR GRADING FOR 2 COMMERCIAL BDLGS, BLDG A & B, UTILITIES, NO SEPTIC & LEACH, PARKING LOT, DETENTION BASIN, ALL SITE WALLS < 4FT, THUS NO PMT IS REQ'D - R.THOMPSON, RCE/SOILS: GEOSOLUTIONS ALL ACCESSIBILITY W/ THE BLDGS.

PMT2005-00688 EXP Primary Parcel

Description:

EXPIRED TO CODE ENF. 8-4-09 - COMMERCIAL OFFICE/WAREHOUSE FOR MODULAR HOME BUSINESS (8,087 SF) MAJOR GRADING
PMT2005-00687

PMT2005-00695 EXP Primary Parcel

Description:

EXPIRED TO CODE ENF 8-4-09 - TEMPORARY CONSTRUCTION TRAILER (FOR COMMERCIAL BLDG PERMIT PMT2005-00687 & PMT2005-00688

PMT2006-01650 EXP Primary Parcel

Description:

EXPIRED - FIRESPRINKLERS FOR COMMERCIAL WAREHOUSE /OFFICE/ RETAIL PMT2005-00688/ NFPA 13 ORDINARY HAZARD GROUP 11/



Parcel Summary Report For Parcel # 027-321-027

2/2/2015
7:53:17AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

PRE2013-00023 MET Primary Parcel

Description:

METAL BUILDING FOR AG USE OF WAREHOUSING, DELIVERY, AND SALES OF BAGGED HAY CUBES AND SHAVINGS. JOINTLY USED FOR AG EQUIPMENT SUPPORT AS A MOBILE, COMMERCIAL TIRE REPAIR SERVICE.

PRE2013-00032 MET Primary Parcel

Description:

PROPOSED ORDINANCE AMENDMENT TO SALINAS RIVER PLAN TO ADD AUTO REPAIR WITH ACCESSORY SALES AS AN ALLOWED USE

D010286P EXP Related Parcel

Description:

OFFICE/WAREHOUSE

E980167 RES Related Parcel

Description:

TRUCK STOP PARKING NO PMT

S010164C RDD Related Parcel

Description:

PROP 2 CERT OF COMP