



# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00038

STEVE CASS, CAS

CONDITIONAL USE PERMIT/

CONSTRUCTION OF A NEW 13,279 SF  
BARREL STORAGE BUILDING, 4,128 SF BED  
NCELPO/ NCELPO

AG FH

## APPLICATION TYPE - CHECK ALL THAT APPLY

- |   |   |                                   |                                |
|---|---|-----------------------------------|--------------------------------|
| <input type="checkbox"/> Emergency Permit                                   | <input type="checkbox"/> Tree Permit                              | <input type="checkbox"/> P        |                                |
| <input type="checkbox"/> Site Plan  | <input type="checkbox"/> Minor Use Permit                         | <input type="checkbox"/> Variance | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Conditional Use Permit/Development Plan | <input type="checkbox"/> Surface Mining/Reclamation Plan          |                                   |                                |
| <input type="checkbox"/> Curb, Gutter & Sidewalk Waiver                     | <input type="checkbox"/> Modification to approved land use permit |                                   |                                |

## APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Steve Cass, Cass Winery Daytime Phone (805) 239-0873  
Mailing Address 7350 Linne Road Paso Robles, CA Zip Code 93446  
Email Address: steve@casswines.com

Applicant Name \_\_\_\_\_ Daytime Phone \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent Name Lacey Zubak-Kirk Consulting Daytime Phone 805-461-5765  
Mailing Address 8830 Morro Road, Atascadero, CA Zip Code 93422  
Email Address: Lacey@kirk-consulting.net

## PROPERTY INFORMATION

Total Size of Site: 265.6 Acres Assessor Parcel Number(s): 035-032-018

Legal Description: Parcel 6, PM COAL99-0104

Address of the project (if known): 7350 Linne Road Paso Robles, CA 93446

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Linne Rd Entrance. From Highway 46 East, south on Union, south on Geneso, right on Linne,

Site is on the corner of Linne and Geneso.

Describe current uses, existing structures, and other improvements and vegetation on the property:  
SFR, Winery, Vineyards, wine processing w/tasting room, Well

## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): See attached detailed project description.

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 7-30-15

## FOR STAFF USE ONLY

Reason for Land Use Permit: \_\_\_\_\_

# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): \_\_\_\_\_

Describe existing and future access to the proposed project site: \_\_\_\_\_

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: AG South: AG  
East: AG West: AG

**For all projects, answer the following:**

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 17407 sq. feet >1 % Landscaping: 4500 sq. feet >1 %  
Paving: minimal sq. feet 0 % Other (specify) \_\_\_\_\_

Total area of all paving and structures: >1  sq. feet  acres

Total area of grading or removal of ground cover: >1  sq. feet  acres

Number of parking spaces proposed: 28 Height of tallest structure: 32'

Number of trees to be removed: 0 Type: V-B

Setbacks: Front 577' Right 580' 6" Left 577' Back 2000' +

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_

Community System - List the agency or company responsible for provision: \_\_\_\_\_

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_

Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_

Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: CAL FIRE

**For commercial/industrial projects answer the following:**

Total outdoor use area: 10,153 gsf  sq. feet  acres

Total floor area of all structures including upper stories: 19,784 gsf sq. feet

**For residential projects, answer the following:**

Number of residential units: \_\_\_\_\_ Number of bedrooms per unit: \_\_\_\_\_

Total floor area of all structures including upper stories, but not garages and carports: \_\_\_\_\_

Total of area of the lot(s) minus building footprint and parking spaces: \_\_\_\_\_

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 165 acres  
Moderate slopes of 10-30%: 75 acres  
Steep slopes over 30%: 25 acres
2. Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: Huero Huero Creek
3. Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: Flood Hazard Zone
4. Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
5. Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: PREVIOUS FOR EXISTING WINERY BUILDING, SFD AND ACCESS, AG ROADS
6. Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
8. Is a railroad or highway within 300 feet of your project site?  Yes  No
9. Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: Geneso Road and Linne Road

**Water Supply Information**

- 1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
- 2. What is the proposed use of the water?  
 Residential     Agricultural - Explain \_\_\_\_\_  
 Commercial/Office - Explain 8 room B&B with office and Barrel Storage building  
 Industrial – Explain \_\_\_\_\_
- 3. What is the expected daily water demand associated with the project? \_\_\_\_\_
- 4. How many service connections will be required? 2
- 5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: ONE WELL FOR WINERY 2 FOR VINEYARD
- 6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?  
Bacteriological?     Yes     No  
Chemical?     Yes     No  
Physical     Yes     No  
Water analysis report submitted?     Yes     No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test 0.5 Hours 300 G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

- 1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? 1000 feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
- 4. Has a piezometer test been completed?  
 Yes     No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No *(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)*

**If a community sewage disposal system is to be used:**

- 1. Is this project to be connected to an existing sewer line?     Yes     No  
Distance to nearest sewer line: \_\_\_\_\_ Location of connection: \_\_\_\_\_
- 2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? WINERY PROCESS RELATED
- 2. Name of Solid Waste Disposal Company: \_\_\_\_\_
- 3. Where is the waste disposal storage in relation to buildings? \_\_\_\_\_
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Paso Robles
- 2. Location of nearest police station: 900 Park St, Paso Robles, CA
- 3. Location of nearest fire station: 900 Park St, Paso Robles, CA
- 4. Location of nearest public transit stop: Creston at Sherwood
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
AGRICULTURAL / RESIDENTIAL
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

***Only complete this section if you are proposing a commercial or industrial project or zoning change.***

- 1. Days of Operation: MONDAY-FRIDAY    Hours of Operation: 9-5
- 2. How many people will this project employ? 2 EMPLOYEES AND USE OF EXISTING EMPLOYESS FOR EVENTS
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: Wine process waste pomace and process waste water.
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- x 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 0 Between 4:00 to 6:00 p.m. 10
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: NONE

### **Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

### **Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): COMMON GATHERING AREA AT B&B
2. Will the development occur in phases?  Yes  No  
If yes describe: \_\_\_\_\_
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

### **Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: SOLAR PANELS FOR B&B

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

### **Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:  
Re-use of winery waste (pomace) as fertilizer, and winery wastewater for irrigation and dust control. Development is minimal and located within previously disturbed area.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?  Yes  No

If yes, please list: San Joaquin Kit Fox habitat area

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes  No

If yes, please describe and provide "ED" number(s): ED associated with previously approved MUP DRC2005-00270

### **Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Land Use and Building

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



CASS WINERY CUP  
PROJECT DESCRIPTION  
7350 LINNE ROAD, PASO ROBLES  
APN 035-032-018

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**General Description:**

Cass Winery is located on a +/-265 acre parcel at 7350 Linne Road, in rural Paso Robles, CA, approximately 4.13 miles east of the City of Paso Robles. The property is owned by Steve and Alice Cass under S&A Vineyards LLC. The Winery is owned and operated by Geneseo Partners LP, consisting of the following four members: Steve Cass, Ted Plemons, Bryan Cass, and Doug Cass. There is an existing permitted winery facility on the site that was approved June 18, 2004 (MUP DRC2003-00003). The site is zoned Agriculture, overlies the Paso Robles Groundwater Basin and is subject to a Williamson Act Contract. The winery has two access points from Linne Road. There are 145-acres (vine acres) of planted vineyard consisting of 12 varieties. See figure 1 below a breakdown of the planted varieties.

Figure 1-Planted Varietals

Varietal	Clone(s)	Acreage
Cabernet Sauvignon	4, 8, 15, 337	70
Mourvèdre	233	15.87
Syrah	383	12.11
Grenache	362	10.5
Cabernet Franc	332	9.52
Roussanne	468	5.65
Petite Sirah	3	5.18
Petit Verdot	Abreau	5.09
Viognier	642	4.89
Marsanne	574	3.93
Merlot	181	2.15
Malbec	9	0.9

**Existing Winery Operations:**

Cass Winery and tasting room was originally approved in June of 2004. The original Minor Use Permit (DRC2003-00003) approved the establishment of a wine processing facility, including a tasting room and case goods storage in an existing 7,500 square foot barn. At that time ultimate case production was anticipated to be 5,000 cases a year. The original use permit also approved a limited special event program of up to six special events a year with up to 80 attendees. These events are in addition to industry wide events and other activities not regulated by the current winery ordinance standards.

A building permit was submitted in October of 2004 to convert the barn from an agricultural use to a variety of commercial uses including wine production, barrel storage, a tasting room, event dining, and a commercial kitchen. The commercial kitchen is used to prepare food for the events as well as to prepare items that are part of the current wine and food pairing program that is operated through the tasting room. The building permit for the original winery structure was finalized in April of 2008.

A subsequent Minor Use Permit (DRC2008-00020) was approved on April 24, 2009. This Minor Use Permit permitted the construction of a new 4,000 sq.ft. wine storage building, which included a small covered crush area located just east of the existing winery building.

A building permit was submitted in April of 2009 to construct the 4,000 sq.ft. barrel storage building. The building permit for the additional winery structure was finalized in September of 2009.

Figure 2-Existing Structures

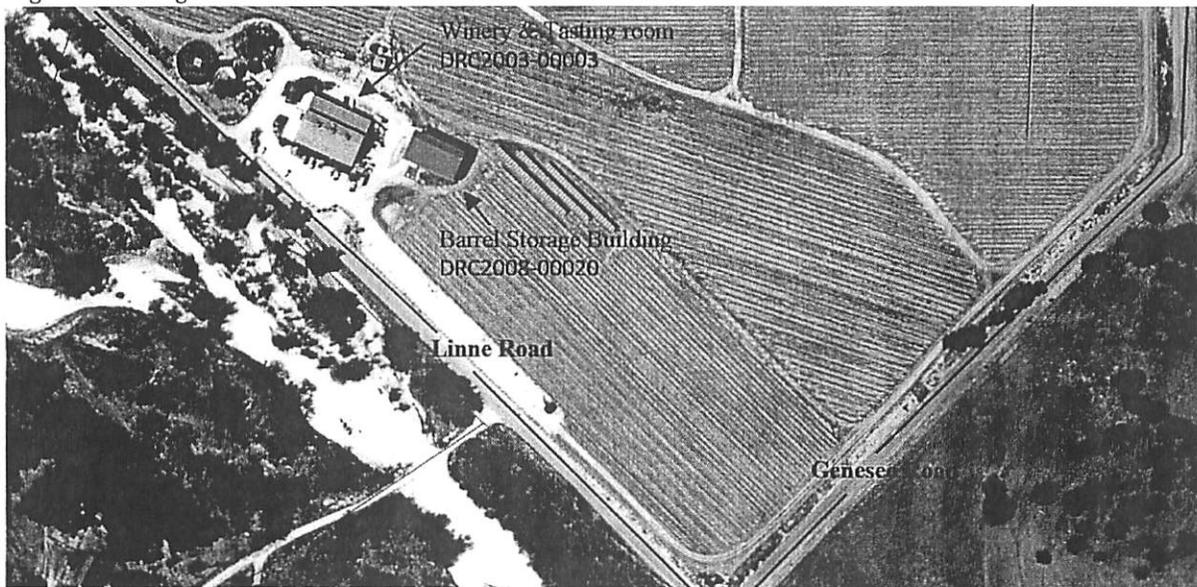


Figure 3- Existing Winery & Tasting room (left) and Barrel Storage Building (right)



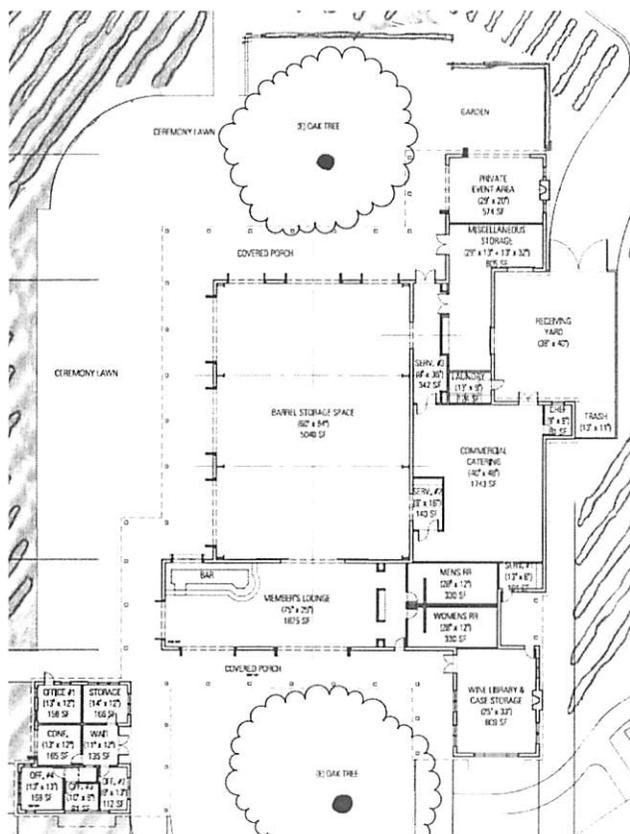
## Proposed Project:

The proposed project includes the following:

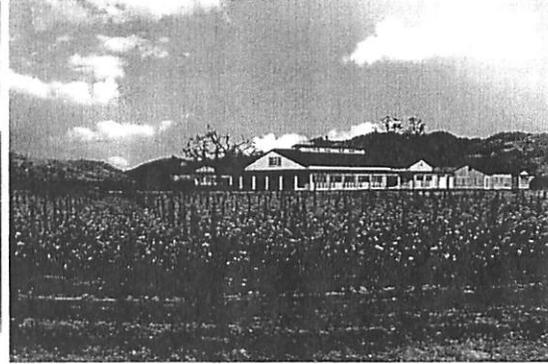
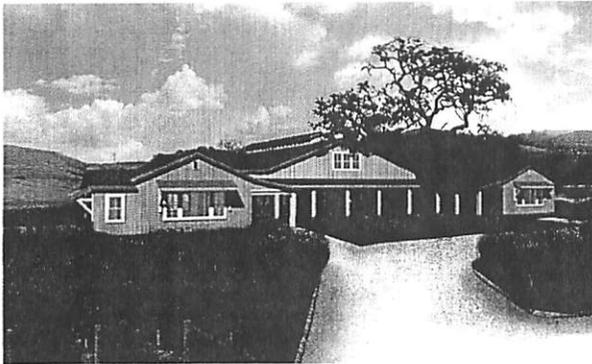
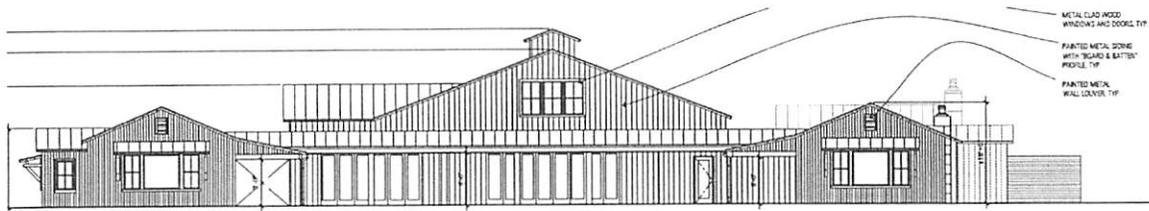
- The construction of a new 13,279 sq.ft. barrel storage building (LUO Section 22.30.070.D.2)
- The construction of a new 4,128 sq.ft. Bed & Breakfast Inn (LUO Section 22.30.260.A.1.a)
- Increase in the special event program to allow up to 20 special events with no more than 200 attendees - amplified music between 10:00 am and 5:00 pm (LUO Section 22.30.070.D.2)
- Use of the existing kitchen as a Limited Food Serving Facility (LUO Section 22.30.570.A.c)
- Increase in case production of up to 10,000 cases

### Barrel Storage Building – 13,279 sq.ft. Building Area:

The new barrel storage building is intended to be a multi-use building with the primary and daily use of the building directly related to agricultural production activities. The building will be used for barrel storage, administrative offices, and a wine-club member's lounge. In addition to the enclosed building areas, there is approximately 6,327 sq.ft. of covered outdoor area (veranda). A square footage breakdown of use areas and a floor plan is provided below:



BARREL STORAGE BUILDING	
<b>PRIMARY ENCLOSED SPACE</b>	
BARREL STORAGE SPACE	5,040 NSF
MEMBER'S LOUNGE	1,875 NSF
WINE LIBRARY & CASE STORAGE	809 NSF
MEN'S RESTROOM	330 NSF
WOMEN'S RESTROOM	330 NSF
SERVICE ROOM #1	101 NSF
SERVICE ROOM #2	140 NSF
SERVICE ROOM #3	342 NSF
COMMERCIAL CATERING	1,743 NSF
CHEF'S ROOM	81 NSF
LAUNDRY ROOM	124 NSF
MISCELLANEOUS STORAGE	805 NSF
PRIVATE EVENT AREA	574 NSF
<b>SUBTOTAL</b>	<b>12,294 NSF</b>
<b>OFFICE &amp; BRIDAL SPACE</b>	
OFFICE #1	158 NSF
OFFICE #2	112 NSF
OFFICE #3	81 NSF
OFFICE #4	168 NSF
WAITING AREA	135 NSF
STORAGE	166 NSF
CONFERENCE ROOM	165 NSF
<b>SUBTOTAL</b>	<b>985 NSF</b>
<b>TOTAL BARREL STORAGE BUILDING AREA</b>	<b>13,279 GSF</b>
<b>EXTERIOR SPACE (COVERED)</b>	
COVERED OUTDOOR AREA	6,327 GSF
<b>TOTAL BLDG FOOTPRINT (COVERED)</b>	<b>19,606 GSF</b>
<b>OTHER OUTDOOR PAVED AREAS (UNCOVERED)</b>	
RECEIVING YARD	1,481 NSF
TRASH BIN AREA	138 NSF
<b>SUBTOTAL</b>	<b>1,619 NSF</b>



The architectural style of the barrel storage building is agrarian in nature and is consistent with other agricultural buildings along Linne and Geneseo Roads. The exterior treatment of the building includes the use of painted metal siding with a ‘Board and Batten’ profile, a standing seam metal roof and metal clad wood windows and doors. A wrap around porch feature (6,327 sq.ft.) has been incorporated into the design which provides architectural interest as well as shade to minimize sun intrusion into the building from the southwest facing elevations. It also provides a covered connection between the barrel storage area / members lounge and the administrative offices. The building height ranges between 14 feet to 32 feet.

*Eight Room Bed and Breakfast Inn – 4,128 sq.ft. Building Area:*

An eight room Bed and Breakfast Inn is proposed as part of the project and will provide over-night accommodations to winery visitors. The typical units (7) are 400 sq.ft. and includes a sleeping area, a sitting area, wet bar and bathroom. The end unit is designed with a more traditional suite layout and is 600 sq.ft. The project also includes a detached reception / common area (728 sq.ft.), which will be used to greet and check in guests as well as be available for intimate receptions and wine tasting. This building includes an office, restrooms, and an outdoor hot tub. In addition to the enclosed building areas, there is approximately 1,661 sq.ft of outdoor decking.

The footprint for the Bed and Breakfast Inn is limited by the nature and design of the units and the topography of the location. Each bed and breakfast unit is comprised of two repurposed ISO containers connected together and structurally supported above

grade so that parking can be provided under the units. The placement of the elevated structures enable to structures to visibly 'float' over the vineyards, reducing their visual weight and impact which maximizes the guest's views over the vineyards. The units will incorporate recycled local materials including, corten steel, plywood shipping container floors, steel ceilings, corrugated metal siding and roofing, repurposed wine barrel wood panel ceiling and recycled steel support frames and posts. The use of the weathered exterior, natural finish materials will help integrate the buildings into the natural landscape of the vineyard.

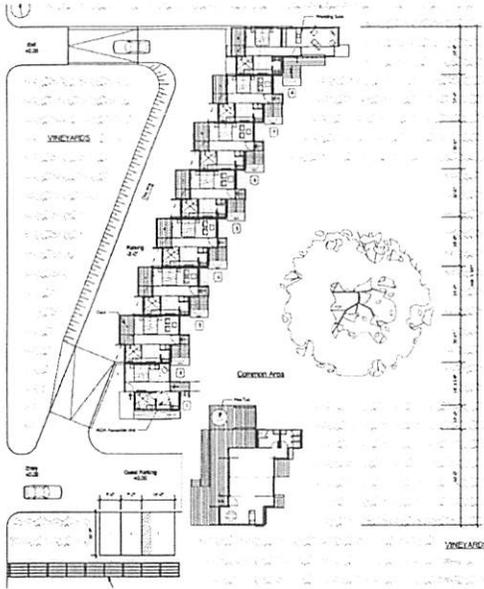
The Bed and Breakfast Inn will be LEED compliant and will incorporate the following Environmental Design Features:

- Natural ventilation and daylighting using operable windows, upper clerestory windows and floor registers.
- 800 SF solar pv array to enable to building to qualify for Net Zero classification
- Insulation exceeding T-24 requirements up to 100%
- Cool Roof
- TPO single ply membrane roofing
- Perforated metal shade panels to reduce solar heat gain and glare.
- Ductless and efficient split, air-handling system for heating/cooling when natural systems become inadequate.

Water conservation measures will be incorporated into the modules including:

- Water harvesting system/storage
- Gray water system
- Low-flush fixtures, showers
- Use of permeable DG paving, walkways and landscaping to prevent storm water runoff

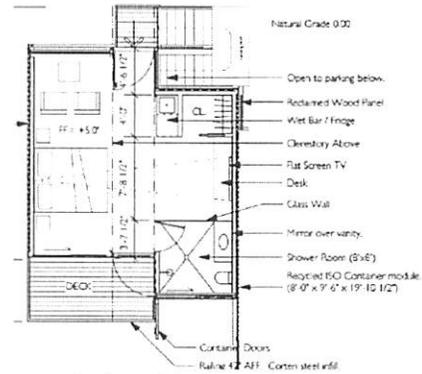
A square footage breakdown of use areas, site layout, and floor plan are provided below:



<b>BED &amp; BREAKFAST BUILDING</b>	
<b>COMMON SPACE BUILDING</b>	
RECEPTION, OFFICE, RESTROOMS	728 NSF
<b>SUBTOTAL</b>	<b>728 NSF</b>
<b>BED &amp; BREAKFAST BUILDING</b>	
6x UNIT 1 (400 NSF EA.)	2,400 NSF
1x UNIT 2 - ADA	400 NSF
1x UNIT 3	600 NSF
<b>SUBTOTAL</b>	<b>3,400 NSF</b>
<b>TOTAL BED &amp; BREAKFAST BUILDING AREA</b>	<b>4,128 GSF</b>
<b>EXTERIOR SPACE (COVERED)</b>	
B&B	801 GSF
COMMON SPACE	860 GSF
<b>SUBTOTAL</b>	<b>1,661 GSF</b>
<b>TOTAL BLDG FOOTPRINT (COVERED)</b>	<b>5,789 GSF</b>



View Looking to South East



Typical Module Floor Plan 400 sq. ft.

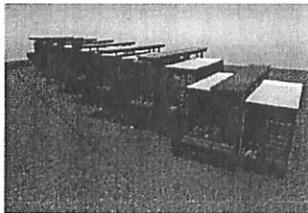
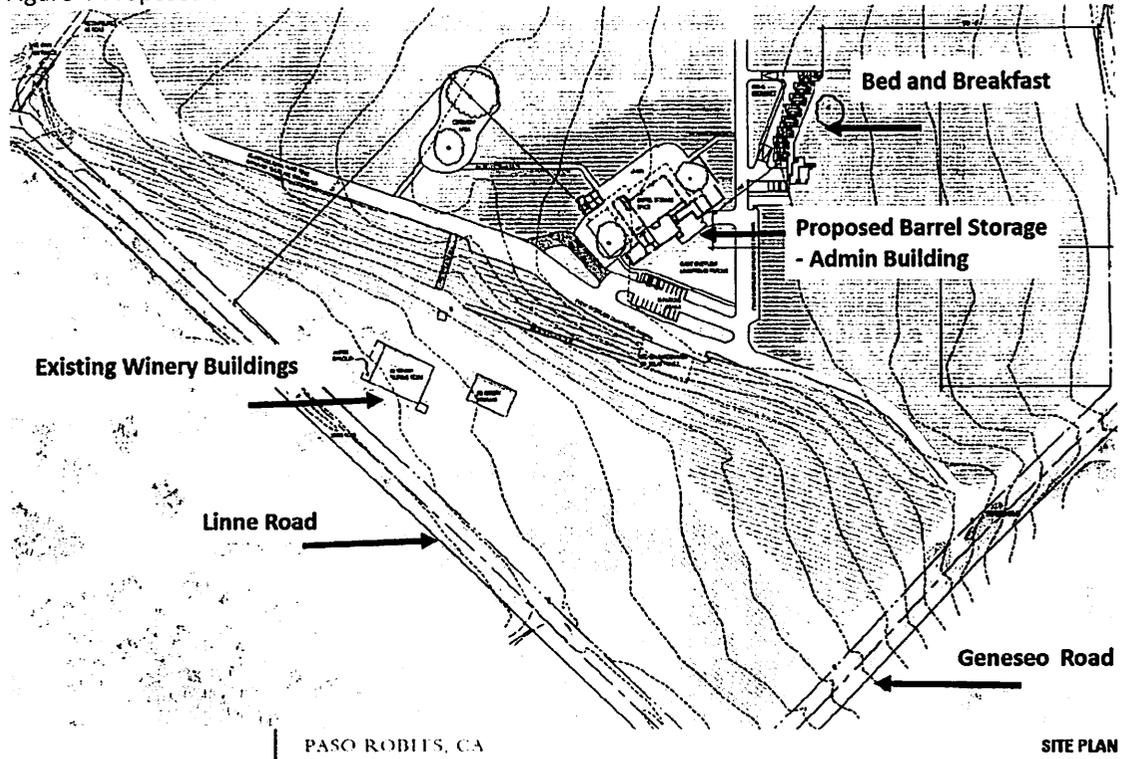


Figure 4-Proposed Site Plan



Structure Siting:

The new barrel storage building and the Bed and Breakfast Inn are located on the interior of the property northeast of the existing winery/tasting room building within a disturbed area currently planted vineyards. The construction of the barrel storage building, the Bed and Breakfast Inn, and the related infrastructure will result in the removal of approximately 1.5 acre of vines.

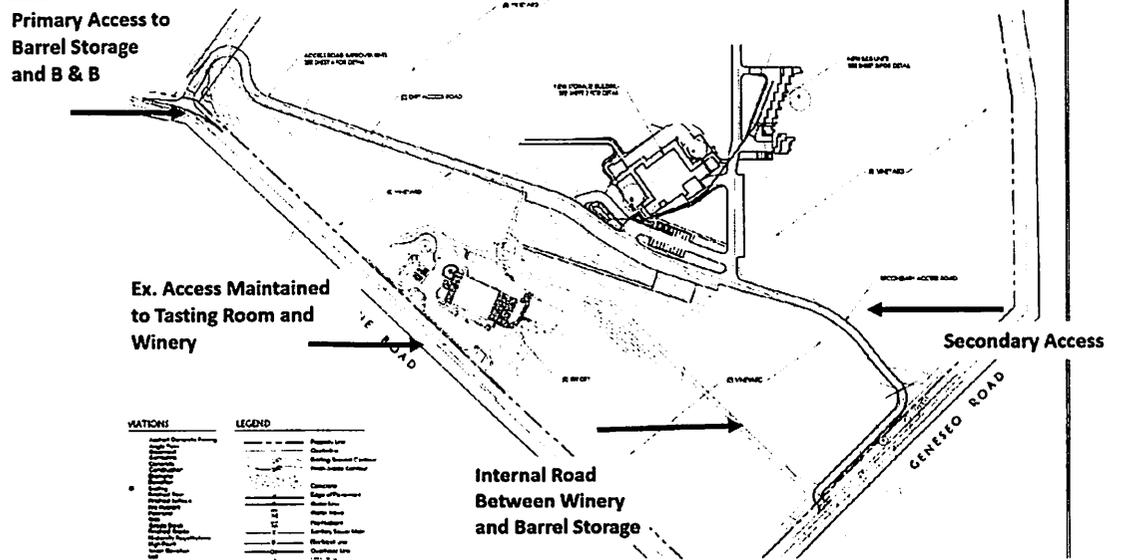
Visual:

The new barrel storage building and Bed and Breakfast Inn will be located northeast of the existing winery. While the existing and proposed barrel storage building provide consistency with other agricultural buildings that are indicative of the rural landscape, the Bed and Breakfast Inn, has a fresh design consistent with a contemporary house design. The structures will be visible from Geneseo Road and Linne Road however they are not located in a prominent location or on a hillside so they will not silhouette. The structures are located on the interior of the property amongst the existing vineyards, allowing the vineyard to soften the views from public roads.

Access:

Access to the new barrel storage building and the Bed and Breakfast Inn will be from an existing agricultural road that has direct access from Linne Road. The existing agricultural road will be widened to meet Cal Fire commercial road requirements. The existing agricultural road will be improved to serve as a secondary access, which will provide access from the new barrel storage and Bed and Breakfast Inn to Geneseo Road.

Figure 5- Access points



**Special Event Program – 20 Events with up to 200 Attendees - Amplified music between 10:00 am and 5:00 pm:**

The Conditional Use Permit application includes a request to increase Cass Winery’s existing special event program from 6 annual events with up to 80 attendees to 20 annual events with up to 200 attendees. Currently event activities on the site occur in the existing vineyard or after hours in the tasting room. Upon completion of the barrel storage building, portions of the building will also be available to be utilized for the limited special events program. The dual use of the barrel storage building for events will allow events to occur primarily indoors (barrel storage building or tasting room) with an option for gatherings to also occur adjacent to the barrel storage building in the ‘Ceremonial Gardens’. The nearest neighbor is over 1,500 feet away from the ‘Ceremonial Gardens, the barrel storage building will attenuate any noise associated with the events in the direction of the nearest neighbors. The events will not have outdoor amplified music after 5pm.

As provided in the Winery Land Use Ordinance Standards typical events may include weddings, concerts, advertised events, and advertised winemaker dinners open to the general public.

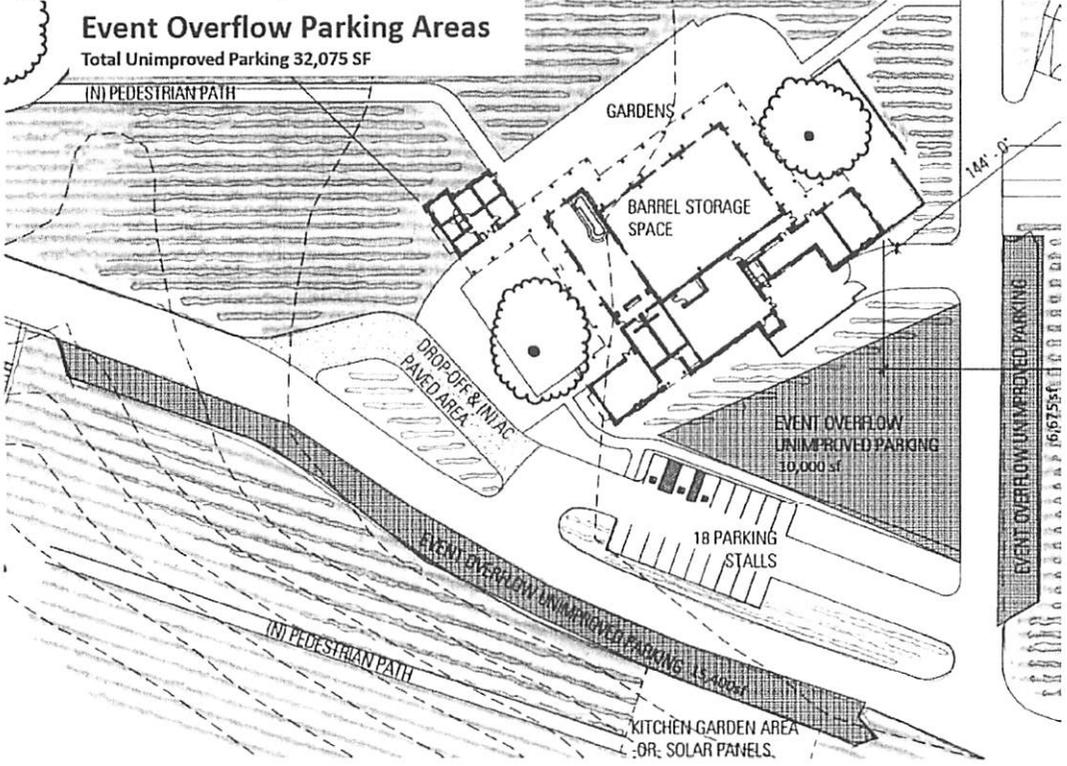
Land Use Ordinance Excerpt:

- i. **Special events.** For the purposes of this section special events are defined as any of the following events when there is the possibility that 50 people or more individuals will attend: concerts (with or without amplified sound), weddings, advertised events (including fund raising, but not including industry-wide events), and advertised winemaker dinners open to the general public. Does not include normal patronage of the tasting room or non-advertised events.

The winery will continue to participate in periodic industry-wide events by holding open houses during the established event weekends and continue to host activities that are marketed solely to their wine club members.

The winery currently has an approved event program with event parking and secondary access provided by the existing winery buildings. Additional event overflow parking will be located adjacent to the new barrel storage facility. As described above under the 'access' section, an existing ag road will be improved to serve as a new secondary access which will provide access from the new barrel storage facility to Geneseo Road.

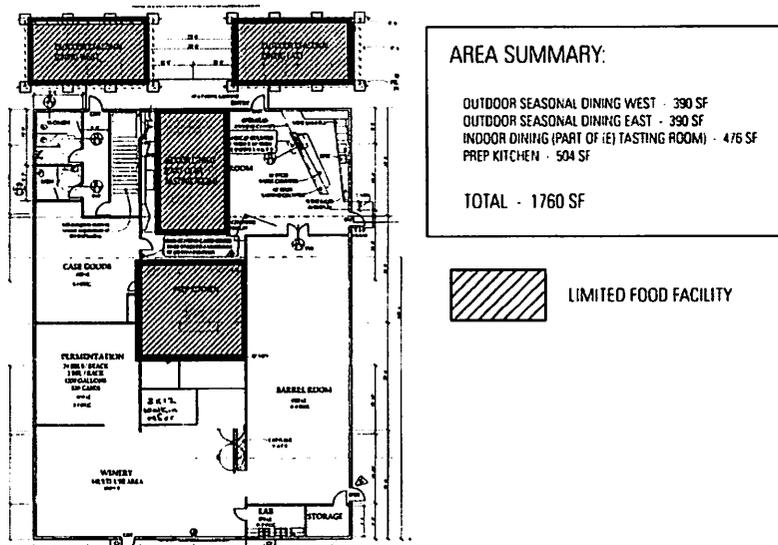
Figure 6- Overflow Parking



Limited Food Serving Facility – 1,760 sq.ft.:

The application also includes a request to allow the existing commercial kitchen and seating area in the tasting room and directly outside of the tasting room to be designated as a 'limited food serving facility'. This will allow the existing menu items to be expanded and allow customers to enjoy the culinary offerings without requiring them to pair the food with wine. The application includes a request for a modification to the size of the limited food serving facility to allow the total square footage of the existing kitchen area (504 sq.ft) and existing seating area (1,256 sq.ft) to be utilized for the limited food serving operation.

A square footage breakdown of the area for the limited food facility and floor plan is provided below:



Existing Uses/Operations	Proposed Uses/Operations
<p><u>Multi Use Commercial Kitchen (476 sf):</u>                      Food and wine pairing program (fixed menu)                      Special Event service</p>	<p><u>Multi Use Commercial Kitchen (476sf):</u>                      Food and wine pairing program (fixed menu)                      Special Event service  <b>Limited food facility (made to order menu)</b></p>
<p><u>Seating Areas within Tasting Room (780 sf total):</u>                      Includes indoor area within the tasting room (utilized for food and wine pairing consumption- pre-fixed menu) and outdoor area under existing covered veranda</p>	<p><u>Seating Areas within Tasting Room (780 sf total):</u>                      Includes indoor area within the tasting room (utilized for food and wine consumption and <b>limited food facility (made to order menu)</b> and outdoor area under existing covered veranda</p>

Resource Areas

Water:

There are 3 existing wells serving the winery and agricultural operations on this parcel. The project is located in the Paso Robles Groundwater Basin and may be subject to the Water Neutral Development Ordinance off-set requirements if they are adopted. As such it is anticipated that a 1:1 offset will be required for any new water use associated with the new project components. The project will result in an additional .865 acre feet

of water use per year (AFY). As discussed above approximately 1.5 acres of vineyards will be required to be removed for construction of the new barrel storage building and the Bed and Breakfast Inn. The removal of the 1.5 acres of vineyard will result in a reduction in water use of 1.875 AFY. The project is therefore water positive by over one (1) AFY. A water use and offset calculation was completed by Rob Miller of Wallace Group and has been attached for reference and is excerpted below.

**Estimated increase in water use subject to offset**

**Increased Wine Production**

Increase in cases per year (assuming 10 gallons/case water demand)	5,000
Total increased demand in acre-ft per year (AFY)	<b>0.153 AFY</b>

**Increased Employee Demand (employee allowance for additional visitor services)**

Increase in full time equivalent (FTE) employee count	2 FTE
Estimated average daily use per employee	10 gpd/employee
Percentage discharged to subsurface recharge via leach system	80%
Total net employee demand (not including leach field discharge)	1,460 gallons per year
Total increased demand in acre-ft per year (AFY)	<b>0.004 AFY</b>

**Increased visitor traffic (4,000 attendees/year proposed, approx 480 existing)**

Increase in visitor population in patrons per year	3,520 patrons
Estimated average use per patron	5 gal/patron/visit
Total new attendee demand (no credit taken for leach field discharge)	17,600 gallons per year
Total increased demand in acre-ft per year (AFY)	<b>0.054 AFY</b>

**New Bed and Breakfast (8 rooms, assuming 70% occupancy, 2 occupants per room)**

Estimated daily water use per occupant	50 gal/occupant/day
Annual population based on 2 occupants per room, 70% occupancy	4,088
Percentage discharged to subsurface recharge via leach system	80%
Total net B&B demand (not including leach field discharge)	40,880 gallons per year
Total increased demand in acre-ft per year (AFY)	<b>0.125 AFY</b>

**New ornamental landscaping**

New lawn area per site plan (including ceremony area)	8,000 sq ft
Annual water use factor for turf	2.50 ft/year
New ornamental plantings (estimated)	2,000 sq ft
Annual water use factor for drip/ornamental	1.50 ft/year
Total annual increase due to new landscaping	172,040 gallons per year
Total increased demand in acre-ft per year (AFY)	<b>0.528 AFY</b>

**Total increase in water use subject to offset**

<b>0.865 AFY</b>
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**Proposed offset at 1:1 ratio via vineyard removal**

Water demand factor for existing vineyard	1.25 AFY/acre
Minimum vineyard removal required	<b>0.69 acre</b>

Waste Water:

Wastewater is currently treated / separated and land applied under provisions of the Regional Water Quality Control Board (RWQCB) winery wastewater waiver. The system may need to be updated as production levels increase over time. The winery will still qualify for a 'Winery Waiver' from the Discharge Permit requirements of the Regional Water Quality Control Board

Biological Impacts:

Implementation of the project will result in new construction of the proposed barrel storage building and Bed and Breakfast Inn. The proposed structures are located in an area that does not support sensitive habitats and /or species as it is an area that is currently planted with vineyard and the entire property is fenced with 6 foot tall no-climb fencing. Three oak trees are located in close proximity to the proposed buildings and will be protected during construction activities.

Traffic:

The County of San Luis Obispo Public Works Department reviews discretionary projects which will generate public traffic based on an adopted policy by the Board of Supervisors (Resolution 2008-152). This policy outlines methodology for evaluating potential impacts of proposed developments in rural areas of the County. This policy was updated in 2008 to establish specific requirements for projects that generate 'public traffic'. This policy refined the County's previous policy from a congestion oriented approach to an approach that took into consideration the potential for a project to increase the collision exposure on the County's rural roads. The revised methodology was intended to determine whether or not specific mitigation measures need to be incorporated into a project to reduce the collision rates acceptable limits. The means to assess a project's potential impacts is through the preparation of a Roadway Safety Analysis (RSA). The adopted policy (Reso 2008-152) outlines when an RSA would be required and its context. The County Public Works Department can make the ultimate decision on whether or not an RSA is required for a project.

Steve Orosz of Orosz Engineering Group, INC. was hired to conduct a site distance evaluation and RSA for the proposed project. The RSA evaluated public trips that will be generated by this project. For purposes of the RSA, the number of "public" trips generated by the project totals five (5) weekday PM peak hour trips and 80 peak hour weekend trips. Since the project is expected to generate less than 10 PM public peak hour trips at build out (5 PM public trips total) and the temporary event public peak hour trip total is 80 trips, roadway improvements are not required by the RSA policy.

Linne Road and Geneseo Road are currently operating at a LOS A and will continue to do so upon completion of the proposed project. Mr. Orosz measured the road sections and determined that the current pavement widths and shoulders (12 foot travel lanes and 6 -8 foot graded shoulders) exceed the County's improvement requirements for the A1c roadway section.

Sight distance was evaluated for the two proposed access locations and it was verified that the access locations comply with the County sight distance requirements. Further, California Highway Patrol was contacted and indicated that no vehicle collisions have occurred within .5 miles of either site access over the past three (3) years, therefore no traffic safety issues were identified.

# Applicable Land Use Ordinance Sections and Analysis

## LUO Requirements for a Bed and Breakfast Inn (Section 22.30.260)

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### 22.30.260 - Lodging - Bed and Breakfast Facilities

The following standards apply to bed and breakfast facilities located in other than the Recreation, Office and Commercial land use categories. A bed and breakfast in the Recreation, Office and Professional and Commercial categories is instead subject to the provisions of Section 22.30.280 (Hotels and Motels). This Section does not apply to the rental of bedrooms in a residence to the same tenants for longer than seven days, although the County Tax Collector may still require special fees and/or licensing for any residential rental less than 30 days.

#### A. Limitations on use.

1. A bed and breakfast shall be established only in a single family dwelling that has been determined by the Review Authority to be of historical or architectural interest except:
  - a. Where the bed and breakfast is located on a site in the Agriculture, Rural Lands and Residential Rural categories with an existing conforming visitor-serving facility (e.g., winery, riding stable, health resort), it may be established in one structure, with an exterior design style that is residential or agricultural in appearance, built expressly for a bed and breakfast inn where the facility is approved with a Conditional Use Permit. The bed and breakfast inn shall be clearly incidental, related and subordinate to the primary operation of the winery as a production facility or the visitor serving use where the use is not a winery.
    - (1) The bed and breakfast inn shall be located on the same legal parcel as, and within 100 feet of, the existing conforming visitor serving use. A bed breakfast may be located farther from the existing conforming visitor serving use where the Review Authority make the following findings: (1) the site of the proposed use does not contain Class I, II or III soils; and (2) on-site access, visual concerns and grading or other environmental issues can be better addressed through a larger distance.

*The project is proposing an eight (8) room Bed and Breakfast Inn. All facilities with the exception of the common area / reception room are located in one structure. The architectural style of the Bed and Breakfast Inn is considered 'contemporary' and is consistent with many high end residences in the area. The Bed and Breakfast is incidental to and directly related to the existing and future production winery uses on the site. It will be marketed to winery visitors as an opportunity to stay overnight within a working vineyard and fully operational winery. The over-night guests will be able to observe and experience everyday farm life while also enjoying the picturesque views and environment. Guests will also be able to participate in winery tour where they will learn all components of the wine making process.*

*The actual Bed and Breakfast building is not located within 100 feet of the barrel storage building however the use (parking) areas are located within 100 feet of each other and the two uses are connected by landscape features including pathways and arbors. Neither site contains Class I, II, or III soils and the additional distance between the structures will minimize impacts to the existing oak trees and allows parking for the Bed and Breakfast guests to be shielded from Linne Road and thereby minimizes visual concerns that could present a problem if the parking / access improvements were moved east of their current location (between the building and Linne Road).*

- (2) A bed and breakfast inn authorized in compliance with Subsection A.1.a. may be allowed in addition to the number of dwellings allowed by Section 22.10.130.

*There are currently two permitted single family residences on the property. The Bed and Breakfast Inn would be in addition to the two single family residences allowed on the property however if the Bed and Breakfast use were discontinued in the future the structure could qualify as a farm support quarter.*

- (2) A bed and breakfast authorized in compliance with Subsection A.1.a shall only be subject to the provisions of Subsections B., D., E., and F. Additional operational standards shall be set through Conditional Use Permit approval.

*See Below*

- B. Limitation on size.** A bed and breakfast shall provide no more than the following number of guest rooms. Except for facilities proposed in compliance with Subsection A.1.a., the rest of the dwelling shall solely be used by the family in permanent residence. Where a bed and breakfast inn is proposed as provided for in Subsection A.1.a., a family does not need to be in permanent residence within the inn.

1. A bed and breakfast in the Agriculture, Rural Lands, Residential Rural and Residential Multi-Family categories may be approved with a maximum of eight guest rooms.

*The proposed project includes eight guest units.*

- D. Location.** Within the Residential Suburban land use category, no bed and breakfast facility shall be located within 500 feet of a parcel on which is located any other bed and breakfast facility. The site of a bed and breakfast inn established in compliance with Subsection A.1.a shall be located within 5 miles from an urban or village reserve line, on or within one mile of an arterial or collector, 200 feet from each property line and no closer than 400 feet to any existing residence outside the ownership of the applicant.

*The project site is located 4.13 miles from the Paso Robles Urban Reserve Line. The property fronts on Geneseo Road and Linne Road which are both identified as Collector Roads. The Bed and Breakfast Inn is located more than 1000 feet from the nearest residence and the nearest property line is 520 feet to the east.*

- F. Parking required.** Two spaces, plus one space per transient lodging unit. Bed and breakfast facilities shall not use on-street parking for the bed and breakfast operation or the resident family at any time. For the purpose of determining parking lot construction standards in compliance with Chapter 22.18, the parking lot turnover for a bed and breakfast facility is medium.

*Each of the eight units is provided with its own parking space and an additional two standard spaces plus ADA accessible space.*

## LUO Requirements for Limited Food Serving Facility (Section 22.30.570)

This application includes a request for a limited food facility within the existing tasting room, in order to provide expanded food service to tasting room visitors and guests staying at the B&B. The limited food facility will encompass 1,760 sq.ft. of the existing tasting room area, kitchen area and outdoor seating area.

In order to establish a limited food facility in the Agriculture land use category, the site and operation must meet a list of criteria. Below are the pertinent Land Use Ordinance requirements and a description of how the project is compliant with the standards.

### Visitor Use

- c. **A limited food service facility may be established in the Agriculture land use category where there is an existing conforming visitor-serving use (e.g.: winery, riding stable, health resort), and where the use is clearly incidental, related and subordinate in nature and size to the primary operation of the winery as a production facility or to the existing visitor-serving use where the use is not a winery. The limited food service facility shall be within the same structure as the wine tasting facility, or the winery facility where no tasting is proposed, or within the same structure as the visitor serving use where the use is not a winery.**

- 
- Must have an established visitor serving use (e.g. winery, riding stable, health resort)

*The established visitor serving use is the existing winery.*

- Limited food facility must be incidental, related and subordinate to size and operation of visitor serving use

*The proposed limited food facility will be incidental to the winery as it is a small accessory component to the main tasting room operation.*

### Site Area

- B. Minimum site area. 6,000 square feet in urban areas; one acre in rural areas.**

- 
- Site must be a minimum of 6,000sf

*The site 273 acres which far exceeds the minimum site area requirements.*

### Location

**C. Location and access.** In Residential categories, the site of a restaurant shall be located on a collector or arterial; the site of a store selling food or beverages for off-premise consumption shall be located at the intersection of two collectors, arterials or combination of both. Such uses may be sited on local streets in Recreation and Office and Professional categories. The site of a limited food service facility in the Agriculture category shall be located within 5 miles from an urban or village reserve line, and on or within one mile of an arterial or collector.

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- Limited food facility must be located within the same structure as the visitor serving use

*The limited food facility is located within the same structure as the winery.*

- Limited food facility must be located within 5 miles from an urban or village reserve line, and on or within one mile of an arterial or collector road.

*The limited food facility is located within 5 miles of the Paso Robles Urban Reserve Line (about 4.13 miles) and is located on Linne Road, a Collector Road.*

### Hours

**D. Hours of operation.** The conduct of retail business in residential or agricultural areas is limited to the hours between 7:00 a.m. and 9 p.m. daily. A limited food service facility in the Agriculture land use category is restricted to the hours the wine tasting facility, or the winery facility where no tasting is proposed, or the visitor serving use where the use is not a winery, is open to the public.

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*The operation plans to conduct business consistent with tasting room hours and the Bed and Breakfast operation.*

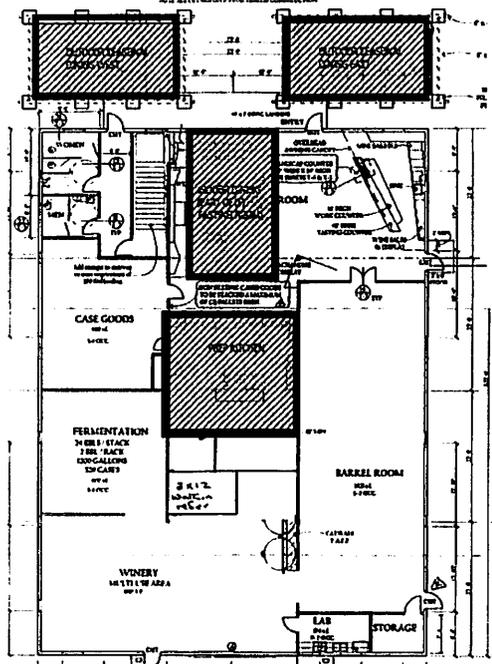
### Size

**E. Size of accessory restaurant.** The size of a limited food service facility in the Agriculture category shall contain no more than 800 square feet of kitchen and dining area, including any outdoor dining area.

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- Limited food facility (kitchen, dining and any outdoor dining) may not contain more than 800sf

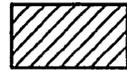
The application includes a modification to this standard as it is requesting the use area be increased from 800 sq.ft to 1,760 sq.ft. The modification to the floor area limitation is allowed through approval of a Conditional Use Permit. The modification is justified because no new construction is required and the use will occur with the existing winery/tasting room use areas that are currently used for the winery's food and wine pairing program.



**AREA SUMMARY:**

OUTDOOR SEASONAL DINING WEST - 390 SF  
 OUTDOOR SEASONAL DINING EAST - 390 SF  
 INDOOR DINING (PART OF (E) TASTING ROOM) - 476 SF  
 PREP KITCHEN - 504 SF

TOTAL - 1760 SF



LIMITED FOOD FACILITY

## ***LUO Requirements for Winery Use (Section 22.30.070)***

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Below is a detailed evaluation of how the project is consistent with LUO requirements provided in LUO Section 22.30.070.D

**22.30.070 - Ag Processing Uses:** Agricultural processing activities as defined by the Land Use Element, including but not limited to wineries, packing and processing plants and fertilizer plants, are allowable subject to the following:

- A. Permit requirements.** Table 2-2 requires a Conditional Use Permit for Ag Processing Facilities within the Rural Residential Land Use Category.
- B. Application content.**
  - (1) Public Notice.**
    - (a) Prior to application submittal.** The applicant shall submit evidence that the neighboring property owners and the applicable advisory group were notified of the request prior to the submission of the land use permit to the county. This notice shall be provided by the applicant sending a letter using the form provided by the Department of Planning and Building. The letter shall be mailed or delivered at least 10 days prior to application submittal to the applicable advisory group and to all owners of real property as shown on the latest equalized assessment roll within 1,000 feet of the subject site.

*A notice was sent to the neighbors on March 31, 2015. Please see attached notice sent to neighbors and 1,000 foot radius mailing list. A neighbor meeting / open house was offered in the neighbor notice, no RSVP's were received.*

- (b) Public hearing notice.** Public notice shall be provided to owners of property within a minimum of 1,000 feet of the exterior boundaries of the proposed AG processing site and to all property owners fronting any local roads that serve the facility back to an arterial or collector, instead of in the manner normally required for public hearings by Section 22.70.060. Public notice may be required to be provided to properties greater than 1,000 feet away for certain applications at the discretion of the Director of Planning and Building.
- 2. Description of Use.** Applications for agricultural processing uses are to include a description of all processes and equipment proposed for use on the

site, and a description of measures proposed to minimize the off-site effects of dust, odor or noise generated by the proposed operation. Such information is to be provided in addition to that specified in Article 6 (Land Use and Development Permit Procedures), in order to evaluate the conformity of a proposed use with the standards of Article 3 (Site Planning and General Project Design Standards).

*The winery currently implements standard winery best management practices which minimize dust, odor or noise associated with on-site wine making activities. The majority of the wine production activities occur indoors and when the new barrel storage building is built the existing agricultural roads will be upgraded to a DG surface therefore dust associated with the on-site roads will be reduced. Further the increase in case production and additional on-site storage space will allow for more of the grapes that are grown on the property to be processed on-site. This will reduce the number of larger trucks coming into the vineyard to delivery grapes for off-site production.*

*On-site wine production includes the following processes and equipment: crushing, fermenting, barrel aging, blending, bottling, and case goods storage.*

- C. Minimum site area.** No minimum required unless subsection D would otherwise require a minimum site area.

*Subsection is not applicable.*

- D. Standards for specific uses.**

- 1. Fertilizer plants.** The following are minimum requirements to enable consideration of a specific proposal. Greater separation between fertilizer plants and other uses may be required through land use permit approval.
  - (a) Location:** No closer than one-half mile from any residential category located within an urban or village reserve line; and no closer than 400 feet to any residence outside the ownership of the applicant.
  - (b) Setbacks:** 200 feet from each property line.
- 2. Wineries.** For the purposes of this section, a winery is defined as an agricultural processing facility used for the processing (fermentation when combined with any of the following: crushing, barrel aging, blending, and bottling) of juices into wine or the re-fermenting of still wine into sparkling wine. This definition does not include the storage of case goods in the absence of processing (included under Warehousing).

*This proposal is considered a winery because it currently processes and stores wine on site.*

- a. **Access location.** The principal access driveway to a winery with public tours, tasting, retail sales or special events held in compliance with subsection D.2.i. is to be located on or within one mile of an arterial or collector.

*The principal access driveway is located on Linne Road, a Collector Road.*

- b. **Solid waste disposal.** Pomace may be used as fertilizer or soil amendment, provided that such use or other disposal shall occur in accordance with applicable Health Department standards.

*The winery will utilize pomace as a soil amendment.*

- c. **Liquid waste disposal.** Standards will be set, where applicable, through Regional Water Quality Control Board discharge requirements developed pursuant to Section 22.10.180 (Water Quality).

*The original entitlement obtained a permit from the RWQCB and currently qualifies for a waiver from the individual permit requirements. This allowance will be updated with case production expansion through RWQCB and with the proposed increase of up to 10,000 cases it still qualifies for a waiver from the individual permit requirements.*

- d. **Setbacks.**
  - (1) **Rural areas.** All winery structures and outdoor use areas shall be a minimum of 100 feet from each property line and no closer than 200 feet to any *existing* residence outside of the ownership of the applicant. Where a winery has public tours, tasting, retail sales, or special events (in compliance with subsection D.2.i.), the setback shall be increased to 200 feet from each property line and no closer than 400 feet to any existing residence outside the ownership of the applicant. These setbacks can be modified through Minor Use Permit approval when Conditional Use Permit is not otherwise required by Subsection A. Approval may be granted only after the Review Authority first determines that the request satisfies any of the following findings: (1) there is no feasible way to meet the required setbacks without creating environmental impacts or impacting prime

agricultural land (SCS Class I, II and III); (2) the property fronts an arterial or collector street; (3) the setbacks are not practical or feasible due to existing topographic conditions or existing on-site vegetation or (4) is a legally constructed existing structure that was built prior to 1980 and it can be clearly demonstrated that the structure was intended for a legitimate agricultural or residential use.

*The project meets all of the required setbacks of 200 feet to the property line and is more than 400 feet from residences outside the owner's property; therefore it meets minimum setback requirements for a winery, with tasting, in a rural area.*

(2) **Urban and village areas.** As required by Section 22.10.140 et seq.

e. **Signing.** As provided by Section 22.20 (Signs) of this title.

*All signage will comply with Section 22.20 requirements*

f. **Parking.** Parking shall be provided in compliance with Section 22.18. (Parking and Loading Standards) Parking lot construction standards shall be provided in compliance with Section 22.18.060. The parking shall be located and/or landscaped so it is screened from public roads where topography or existing on-site vegetation (including vineyards) does not provide for adequate screening. No parking shall be allowed within any adjoining road right-of-way.

*Current parking will remain the same in addition to 28 spaces including three handicapped spaces is which meets the parking requirements described in Chapter 22.18.060 of the LUO. These additional spaces will be split with 11 spaces (10 standard 1 handicap) designated for the B&B and 17 (15 standard 2 handicap) for the Barell Storage Building.*

g. **Design standards.**

(1) **Exterior.** In the Agriculture, Rural Lands or Residential Rural land use categories, all structures associated with the winery (including production facilities) shall have an exterior design style that is agricultural or residential in nature using non-reflective siding and roofing materials. Structures shall not use an exterior design style typically associated with large industrial facilities unless the facility

is proposed in the Commercial Service or Industrial land use categories.

*The exterior design is Agrarian and residential in nature and will comply with agricultural/residential design standards suggested in the Land Use Ordinance.*

- (2) **Screening.** Any portion of the winery structures that are visible from public roads shall be screened where necessary to ensure the rural character of the area is unchanged unless screening is not practical, feasible or necessary due to existing topographic conditions or existing on-site vegetation (including vineyards). The screening may include such measures as landscape or existing vegetative screening, existing topography, and/or arrangement of the structures on the site to minimize bulky appearance. Any tank located outside of structures shall be screened 100 percent from public roads.

*The proposed structures will be visible from Geneseo Road and Linne Road however they are not located in a prominent location or on a hillside so they will not silhouette. The structures are located on the interior of the property amongst the existing vineyards, the vineyard will soften the views from public roads.*

- (3) **Height.** The maximum height of any structure associated with a winery facility shall be 35 feet. The height may be increase to 45 feet where a pitched roof of greater than 4 in 12 is proposed and at least 50 percent of the structure is at 35 feet in height or less.

*The maximum building height for the proposed winery is +/-32', consistent with the height requirements provided in the LUO of a maximum height of 35'.*

- (4) **Lighting.** All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off the project site. All lighting poles, fixtures, and hoods shall be dark colored. No exterior lighting shall be installed operated in a manner that would throw light, either reflected or directly, in an upward direction.

*Prior to issuance of building permits, the applicant will submit an exterior lighting proposal to the Planning Department. The lighting plan will conform to this section of the Land Use Ordinance.*

- h. **Tasting rooms.** Tasting rooms shall be clearly incidental, related and subordinate to the primary operation of the winery as a production facility.
- (1) **Permit requirement.** Minor Use Permit approval. Tasting rooms shall also meet all the standards for wineries set forth in Subsection D.2., in addition to the specific standards of this Subsection.
  - (2) **Location.** The tasting room shall be located within or no more than 200 feet from the winery facilities. This standard may be waived where site constraints, on-site access, visual concerns, grading or other environmental issues can be better addressed through an increased distance. A Minor Use Permit application may be used to modify this standard where an existing structure built prior to 1980 is being used as the tasting facility.
  - (3) **Number of tasting rooms allowed.** One tasting room is allowed for each winery. If more than one winery share production facilities or more than one winery is located on a site, only one tasting room is allowed. More than one winery facility may share a tasting room.

*The existing tasting area will remain as the only tasting room located within the existing winery facility. A member's lounge for wine club members and VIP guests will be provided in the new barrel storage building but it will not function as a tasting room*

- (i) **Special events.** For the purposes of this section special events are defined as any of the following events when there is the possibility that 50 people or more individuals will attend: concerts (with or without amplified sound), weddings, advertised events (including fund raising, but not including industry-wide events), and advertised winemaker dinners open to the general public. Does not include normal patronage of the tasting room or non-advertised events.

*The Conditional Use Permit application includes a request to increase Cass Winery's existing special event program from 6 annual events with up to 80 attendees to 20 annual events with up to 200 attendees. All special events will abide by the county winery noise ordinance section and will not have outdoor amplified music before 10am and after 5pm during these events.*

## Answers to Typical Winery Development Application Questions

1. Please describe all the stages of wine production that will be done on-site or off-site.

***All stages of wine production occur on-site. Production activities include crushing, fermenting, barrel aging, blending, bottling, and case goods storage.***

2. How much wine will be produced?

***The application includes a request to increase wine production from 5,000 cases to up to 10,000 cases.***

3. Based on your answers to No. 1 & 2 above, how much truck/equipment traffic will the winery generate? What are the peak times of the year for this traffic? Peak times of day? Any ideas about how much traffic the tasting room itself may generate?

***Traffic related to the processing of an additional 5,000 cases of wine and the construction of the new barrel storage building will be minimal. The expected increase in traffic related to the additional case production and the barrel storage facility is estimated to be 3-4 trips during peak crush time and up to 10 additional trip a week as the production traffic is already occurring with the existing winery operations.***

4. Describe the volume of waste disposal you will be handling on-site (liquid and solid waste/pomace). Describe this for both the existing winery and the expansion phases.

***A reclamation waste water system was installed under the original entitlement. All waste will go into a holding tank where the solids will settle and the liquids will be treated and used as irrigation and dust control. Ultimate case production at 10,000 cases will fall under a winery wastewater waiver with RWQCB.***

5. Describe the quantities of waste disposal that will occur on a typical day at the peak of production season. (Over 2,500 G.P.D. requires state Regional Water Quality Control Board approval.).

***Ultimate case production at 10,000 cases will generate an estimated 400 gpd during peak production and 250 gpd on average. Wastewater will be treated and re-used onsite for vineyard irrigation and dust control. The winery wastewater system is approved by RWQCB and currently has a waiver from the Winery Discharge Permit Requirements. The increase in case production of up to 10,000 cases will still qualify for a waiver and will be updated with RWQCB.***

6. How many employees will the winery employ (both existing winery and expansion phases.)

***It is anticipated that there could be up to 2 additional FTE associated with the additional production and barrel storage space.***

7. Will the tasting room sell food (food sales require Health Dept. permit).

***Food and wine pairing currently occurs as part of the normal tasting room operation. The existing commercial kitchen is permitted through the Co. Building Department and licensed with the Environmental Health Department. The project does include a land use permit request for a limited food serving facility which will allow the menu items to be expanded and will allow made to order food to be prepared in the kitchen and it will allow food to be served without requiring that it be paired with wine.***

8. Will the winery process grapes from other sites or rely on grapes grown on the site and adjacent parcels?

***The winery will process grapes from on-site vineyards, as well as other area vineyards.***

9. Will the project require the construction of water reservoirs for irrigation, wastewater treatment and/or fire safety?

***The existing fire suppression system will need to be upgraded. The existing irrigation reservoirs are used for fire protection services. It is expected that this use will continue to be allowed by Cal Fire. Additional water reservoirs are not proposed as part of the application.***

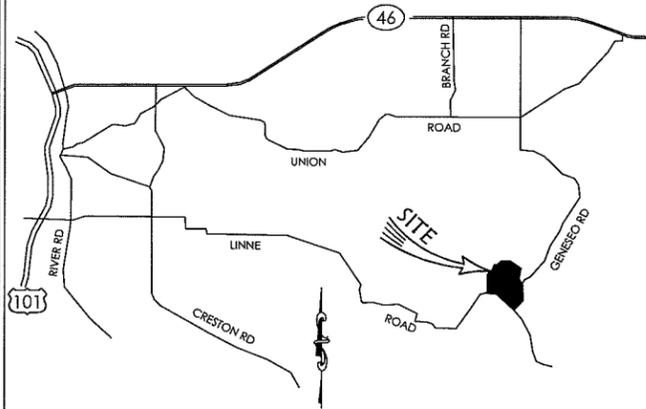
10. Do you plan to lease out the winery or tasting room facilities for any public events (parties, weddings), or to have ticket-paying concerts on-site? If yes, then how many events per year (also, what days & what time of day), how many people, and what types of events. Where will extra parking go?

***The Conditional Use Permit application includes a request to increase Cass Winery's existing special event program from 6 annual events with up to 80 attendees to 20 annual events with up to 200 attendees. The winery will continue to participate in periodic industry-wide events by holding open houses during the established event weekends and continue to host activities that are marketed solely to their wine club members. Guest parking for these events provided is currently provided by the existing winery building. There will be unimproved overflow parking provided for these events located adjacent to the new barrel storage facility.***



VICINITY MAP

Not to Scale

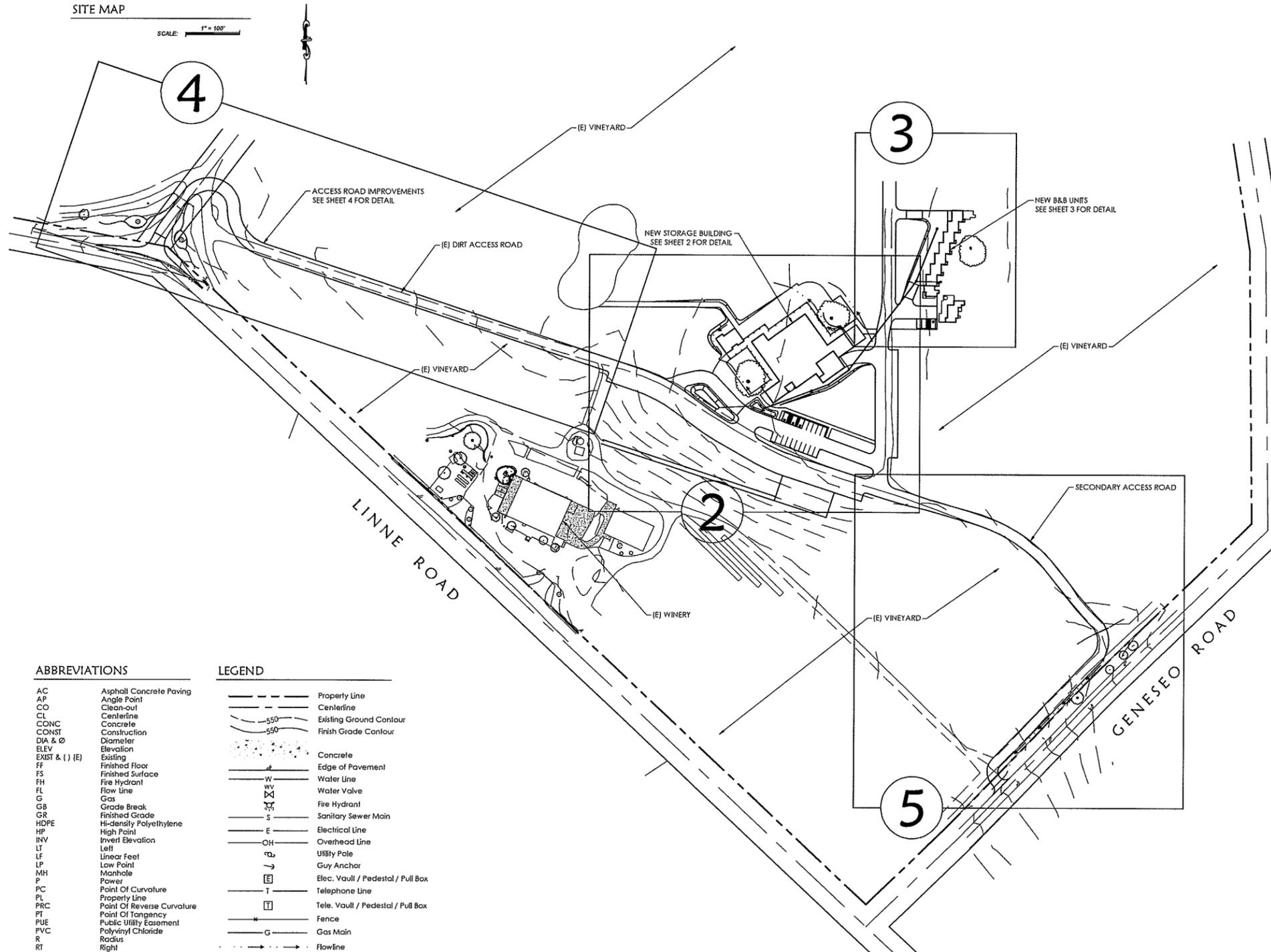


Cass Winery - 7350 Linne Road - Preliminary Grading & Drainage Plan

PROJECT DESCRIPTION: Winery storage expansion and B&B units.

SITE MAP

SCALE: 1" = 100'



LEGAL DESCRIPTION

PARCEL 6, FM COAL 99-0104  
APN 035-032-018

BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE SPIKE (CONTROL POINT #101) HAVING AN ELEVATION OF 900.43 BASED ON AN AERIAL SURVEY PREPARED BY VAUGHAN SURVEYS, INC AND GOLDEN STATE AERIAL SURVEYS, INC WITH A LAST REVISED DATE OF 10/21/99.

OWNER

Cass Winery  
7350 Linne Road  
Paso Robles, CA 93446

SURVEYOR

Dakos Land Surveys, Inc.  
7400 Morro Road  
Atascadero, CA 93422  
(805) 466-2445

APPLICABLE CODES

- 2013 Building Standards Codes
- California Building Code, Vols 1 & 2 (2012 IBC)
- California Residential Code (New) (2012 IRC)
- California Plumbing Code (2012 UPC)
- California Mechanical Code (2012 UMC)
- California Electrical Code (2011 NEC)
- California Energy Code (v.2008 until 7/1/2014)
- California Green Building Code
- California Fire Code (2012 IFC)
- California Reference Standards Code
- County Building and Construction Ordinance - Title 19
- County Coastal Zone Land Use Ordinance - Title 23
- County Fire Code Ordinance - Title 16
- County Land Use Ordinance - Title 22

PROJECT STATISTICS

Cut 3000 CY±, Fill 1500 CY±, Total 4500 CY±  
Max. cut = 5 ft, Max. fill = 3 ft  
Average slope < 10 %  
Area of site disturbance = 5.0 ac±  
Impervious area = 40,000 sf±

ABBREVIATIONS

AC	Asphalt Concrete Paving
AP	Angle Point
CO	Clean-out
CL	Centerline
CONC	Concrete
CONST	Construction
DIA & Ø	Diameter
ELEV	Elevation
EXIST & ( ) (E)	Existing
FF	Finished Floor
FS	Finished Surface
FH	Fire Hydrant
FL	Flow Line
G	Gas
GB	Grade Break
GR	Finished Grade
HDPE	Hi-density Polyethylene
HP	High Point
INV	Invert Elevation
LT	Left
LF	Linear Feet
LP	Low Point
MH	Manhole
P	Power
PC	Point Of Curvature
PL	Property Line
PRC	Point Of Reverse Curvature
PT	Point Of Tangency
PUE	Public Utility Easement
PVC	Polyvinyl Chloride
R	Radius
RT	Right
RP	Radius Point
RW	Right-of-way
S	Slope
SD	Storm Drain
SS	Sanitary Sewer
STA	Station
T	Telephone
TW	Top Of Wall
TYP	Typical
W	Water

LEGEND

	Property Line
	Centerline
	Existing Ground Contour
	Finish Grade Contour
	Concrete
	Edge of Pavement
	Water Line
	Water Valve
	Fire Hydrant
	Sanitary Sewer Main
	Electrical Line
	Overhead Line
	Utility Pole
	Guy Anchor
	Elec. Vault / Pedestal / Pull Box
	Telephone Line
	Tele. Vault / Pedestal / Pull Box
	Fence
	Gas Main
	Flowline
	Proposed Grade & Direction
	Construction Note Reference
	Spot Elevation
	Proposed Slope
	Retaining Wall
	Sill Fence

Roberts Engineering, Inc.  
Cass Winery - 7350 Linne Road  
Title Sheet & Site Map

County/Plan Checker	Approved for County Requirement
TR / JTM	Date
1/5-007	8/24/2015
County W.O. No.	Date
Colofone Coordinates (CCS&S Line J)	County/Sheet
N 2413800 E 5799700	5232

Record Drawings	Date
Roberts Engineering, Inc. 33388 map 09/09/15	
Revisions This Sheet:	
1	
2	
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4	

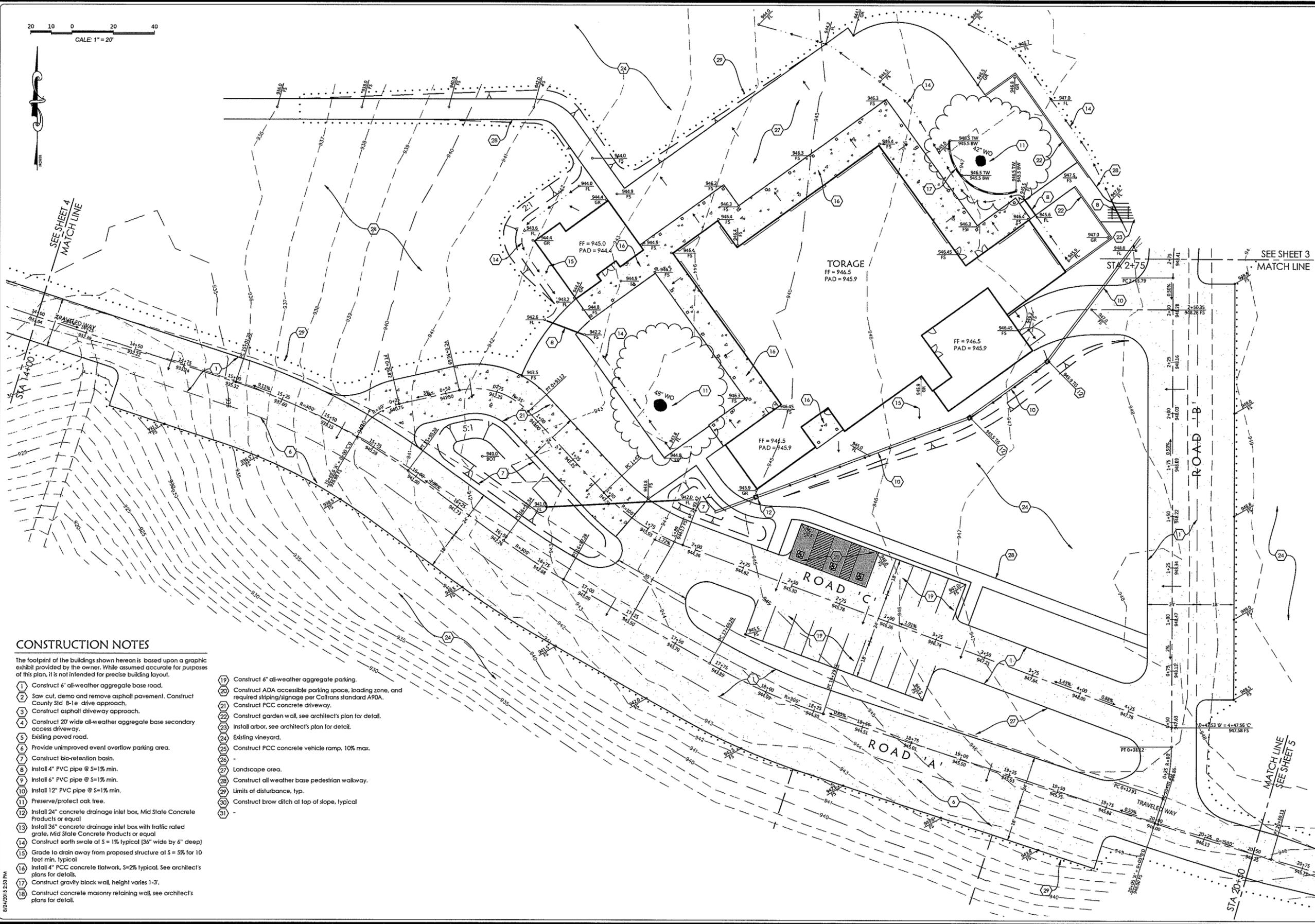
Roberts Engineering  
Timothy P. Roberts  
Civil Engineer - RCE 35366  
2015 Vista de la Vina  
Tempton, CA 93465  
Phone: (805) 299-0664  
Fax: (805) 288-6148  
Email: robertseng@starater.net



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C1  
of 5

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20 10 0 20 40  
SCALE 1" = 20'



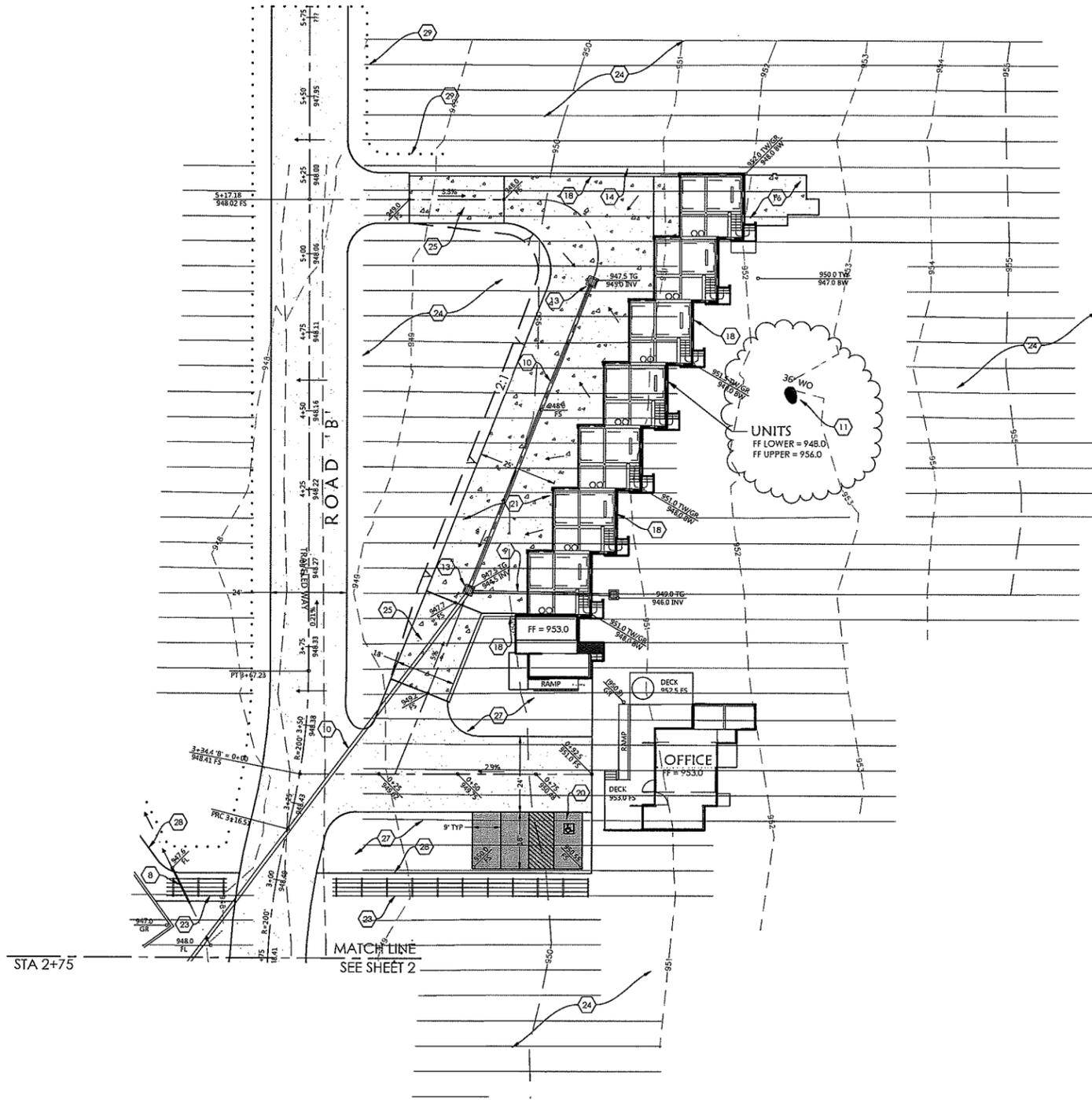
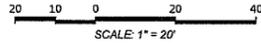
**CONSTRUCTION NOTES**

The footprint of the buildings shown hereon is based upon a graphic exhibit provided by the owner. While assumed accurate for purposes of this plan, it is not intended for precise building layout.

- 1 Construct 6" all-weather aggregate base road.
- 2 Saw cut, demo and remove asphalt pavement. Construct County Std B-1e drive approach.
- 3 Construct asphalt driveway approach.
- 4 Construct 20' wide all-weather aggregate base secondary access driveway.
- 5 Existing paved road.
- 6 Provide unimproved event overflow parking area.
- 7 Construct bio-retention basin.
- 8 Install 4" PVC pipe @ S=1% min.
- 9 Install 6" PVC pipe @ S=1% min.
- 10 Install 12" PVC pipe @ S=1% min.
- 11 Preserve/protect oak tree.
- 12 Install 24" concrete drainage inlet box, Mid State Concrete Products or equal
- 13 Install 36" concrete drainage inlet box with traffic rated grate, Mid State Concrete Products or equal
- 14 Construct earth swale at S = 1% typical [36" wide by 6" deep]
- 15 Grade to drain away from proposed structure at S = 5% for 10 feet min. typical
- 16 Install 4" PCC concrete flatwork, S=2% typical. See architect's plans for details.
- 17 Construct gravelly block wall, height varies 1-3.
- 18 Construct concrete masonry retaining wall, see architect's plans for detail.
- 19 Construct 6" all-weather aggregate parking.
- 20 Construct ADA accessible parking space, loading zone, and required striping/signage per Caltrans standard A90A.
- 21 Construct PCC concrete driveway.
- 22 Construct garden wall, see architect's plan for detail.
- 23 Install arbor, see architect's plan for detail.
- 24 Existing vineyard.
- 25 Construct PCC concrete vehicle ramp, 10% max.
- 26 -
- 27 Landscape area.
- 28 Construct all weather base pedestrian walkway.
- 29 Limits of disturbance, typ.
- 30 Construct brow ditch at top of slope, typical
- 31 -

<b>Roberts Engineering, Inc.</b>																											
Cass Winery - 7350 Linne Road																											
<b>Preliminary Grading &amp; Drainage Plan</b>																											
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">County Plan Checker</td> <td style="width: 50%;">Date</td> </tr> <tr> <td>Development Review Engineer</td> <td>8/24/2015</td> </tr> <tr> <td>County No.</td> <td>Date</td> </tr> <tr> <td>15-007</td> <td>8/24/2015</td> </tr> <tr> <td>Colleen Cooney, CCSB, Inc. J</td> <td>County No.</td> </tr> <tr> <td>N 2413800 E 5799700</td> <td>5232</td> </tr> </table>	County Plan Checker	Date	Development Review Engineer	8/24/2015	County No.	Date	15-007	8/24/2015	Colleen Cooney, CCSB, Inc. J	County No.	N 2413800 E 5799700	5232	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Record Drawings</td> <td style="width: 50%;">Date</td> </tr> <tr> <td>Timothy P. Roberts, CCSB, Inc. J</td> <td>Date</td> </tr> <tr> <td>Revised this sheet:</td> <td></td> </tr> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> <tr> <td>4</td> <td></td> </tr> </table>	Record Drawings	Date	Timothy P. Roberts, CCSB, Inc. J	Date	Revised this sheet:		1		2		3		4	
County Plan Checker	Date																										
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<p><b>Roberts Engineering</b> Timothy P. Roberts Civil Engineer - RCE 35366 2015 Vista de la Vina Tempton, CA 95465 Phone (925) 239-0664 Fax (925) 238-6148 Email: t.roberts@robtsenr.com</p>																											
<p style="font-size: 2em; font-weight: bold;">C2</p>																											

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STA 2+75

MATCH LINE  
SEE SHEET 2

### CONSTRUCTION NOTES

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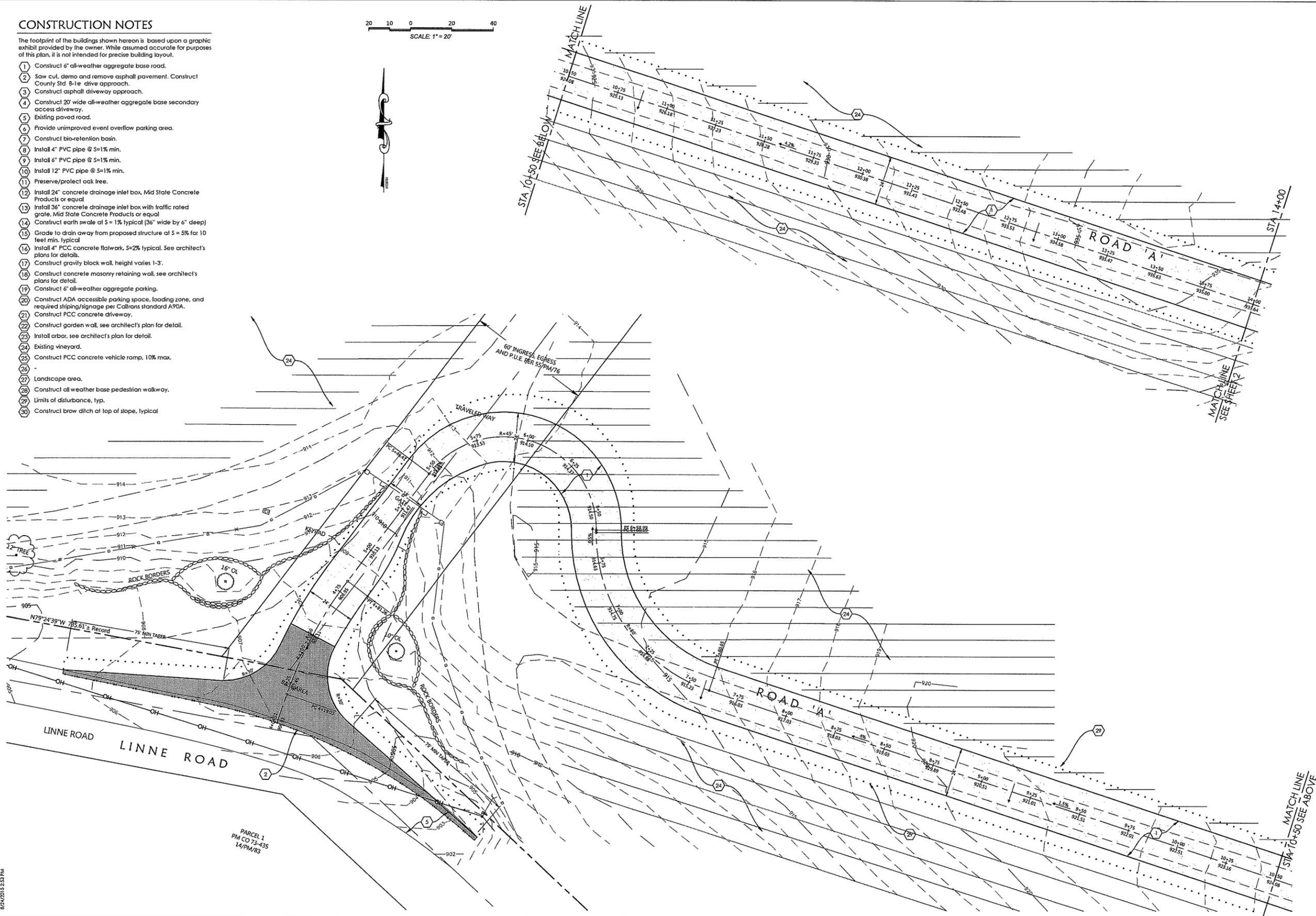
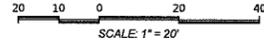
- 1 Construct 6' all-weather aggregate base road.
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- 3 Construct asphalt driveway approach.
- 4 Construct 20' wide all-weather aggregate base secondary access driveway.
- 5 Existing paved road.
- 6 Provide unimproved event overflow parking area.
- 7 Construct bio-retention basin.
- 8 Install 4" PVC pipe @ S=1% min.
- 9 Install 6" PVC pipe @ S=1% min.
- 10 Install 12" PVC pipe @ S=1% min.
- 11 Preserve/protect oak tree.
- 12 Install 24" concrete drainage inlet box, Mid Slate Concrete Products or equal
- 13 Install 36" concrete drainage inlet box with traffic rated grate, Mid Slate Concrete Products or equal
- 14 Construct earth swale at S = 1% typical (36" wide by 6" deep)
- 15 Grade to drain away from proposed structure at S = 5% for 10 feet min. typical
- 16 Install 4" PCC concrete flatwork, S=2% typical. See architect's plans for details.
- 17 Construct gravity block wall, height varies 1-3'.
- 18 Construct concrete masonry retaining wall, see architect's plans for detail.
- 19 Construct 6' all-weather aggregate parking.
- 20 Construct ADA accessible parking space, loading zone, and required striping/signage per Caltrans standard A90A.
- 21 Construct PCC concrete driveway.
- 22 Construct garden wall, see architect's plan for detail.
- 23 Install arbor, see architect's plan for detail.
- 24 Existing vineyard.
- 25 Construct PCC concrete vehicle ramp, 10% max.
- 26 -
- 27 Landscape area.
- 28 Construct all weather base pedestrian walkway.
- 29 Limits of disturbance, typ.
- 30 Construct brow ditch at top of slope, typical

<b>Roberts Engineering, Inc.</b>		Cass Winery - 7350 Linne Road	
Preliminary Grading & Drainage Plan			
Design/Drawn <b>TR / JTM</b>	County Plan Checker <b>TR / JTM</b>	Approved for County Requirements Development Services Engineer	DOB
ARB # <b>15-007</b>	County M.O. No.	Thomson P. Roberts, RCE 35366 exp 09/29/15	DOB
Colleen Covarrubias, LCC 86, Zone J	County Registrar	Thomson P. Roberts, RCE 35366 exp 09/29/15	DOB
<b>N 24138000 E 5739700</b>	<b>5232</b>		
Record Drawings			
Timothy P. Roberts, RCE 35366 exp 09/29/15		DOB	
Revisions (if any):			
1			
2			
3			
4			
5			
<b>Roberts Engineering</b> Timothy P. Roberts Civil Engineer - RCE 35366 2015 Vista de la Vina Tempton, CA 95465 Phone (951) 239-0664 Fax (951) 238-6148 Email: robertseng@shurter.net			
SHEET		<b>C3</b>	

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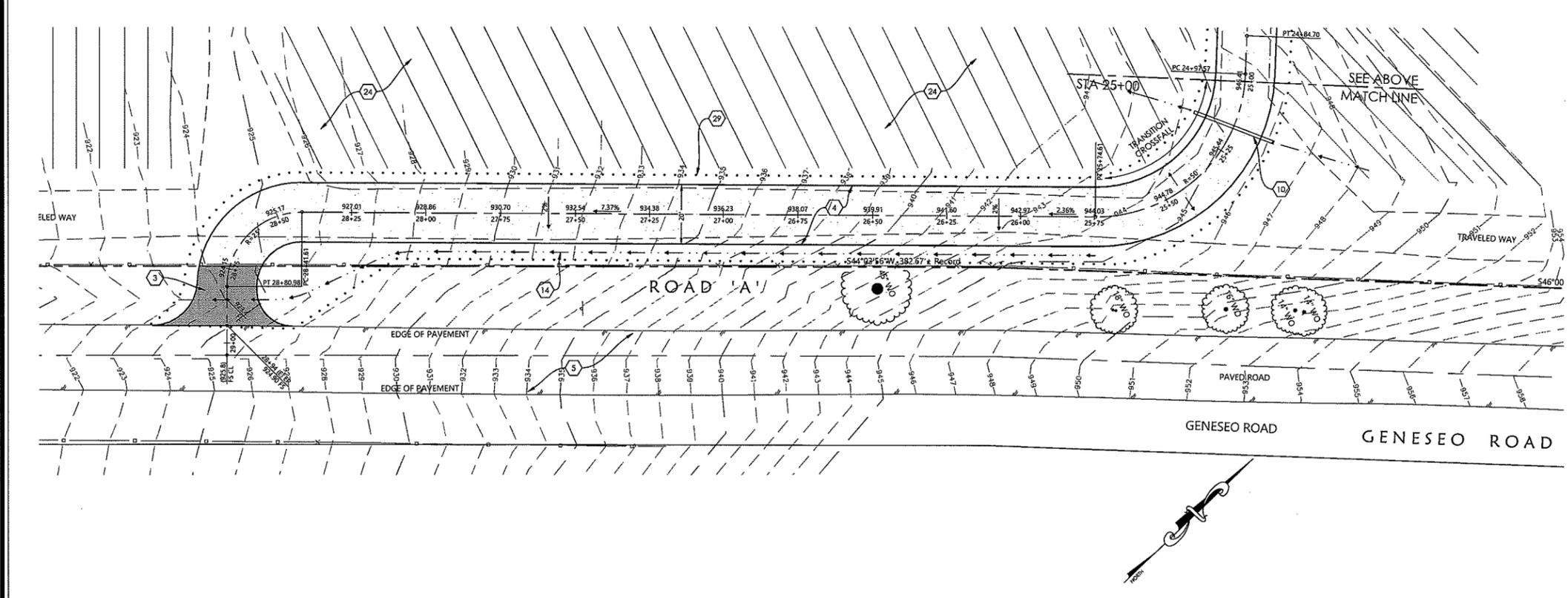
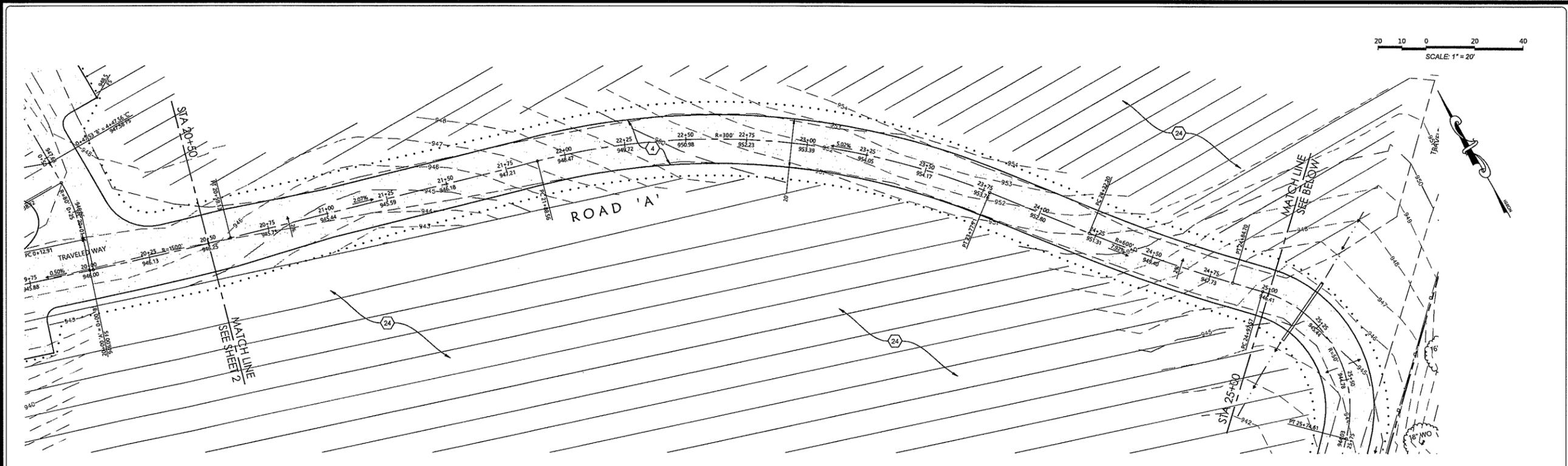
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- 7 Construct bio-retention basin.
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- 9 Install 6" PVC pipe @ S=1% min.
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- 11 Preserve/protect oak tree.
- 12 Install 24" concrete drainage inlet box, Mid State Concrete Products or equal
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- 14 Construct earth swale at S = 1% typical (36" wide by 6" deep)
- 15 Grade to drain away from proposed structure at S = 5% for 10 feet min. typical
- 16 Install 4" PCC concrete flatwork, S=2% typical. See architect's plans for details.
- 17 Construct gravity block wall, height varies 1-3'.
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<b>Roberts Engineering, Inc.</b> Cass Winery - 7350 Linne Road Preliminary Grading & Drainage Plan	
County No. Checker TR / JTM Date 8/24/2015	Approved for County Requirements Development Services Engineer Date 8/24/2015
County No. Wa. 15-007 Colone Coordinator (CCSB, Zone J) N 24138000 E 5729700	County No. 5332
<b>Record Drawings</b> Timothy P. Roberts, RCE 33366 exp 09/2015 Date Reviewer: This Sheet: 1 _____ 2 _____ 3 _____ 4 _____ 5 _____	
<b>Roberts Engineering</b> Timothy P. Roberts Civil Engineer - RCE 33366 2015 Vista de la Vina Tempton, CA 92465 Phone (805) 239-0664 Fax (805) 239-0148 Email: t.robertseng@charter.net	
SHEET <b>C4</b> of 5	

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PARCEL 1  
 PM CO 73-435  
 14/PM/83



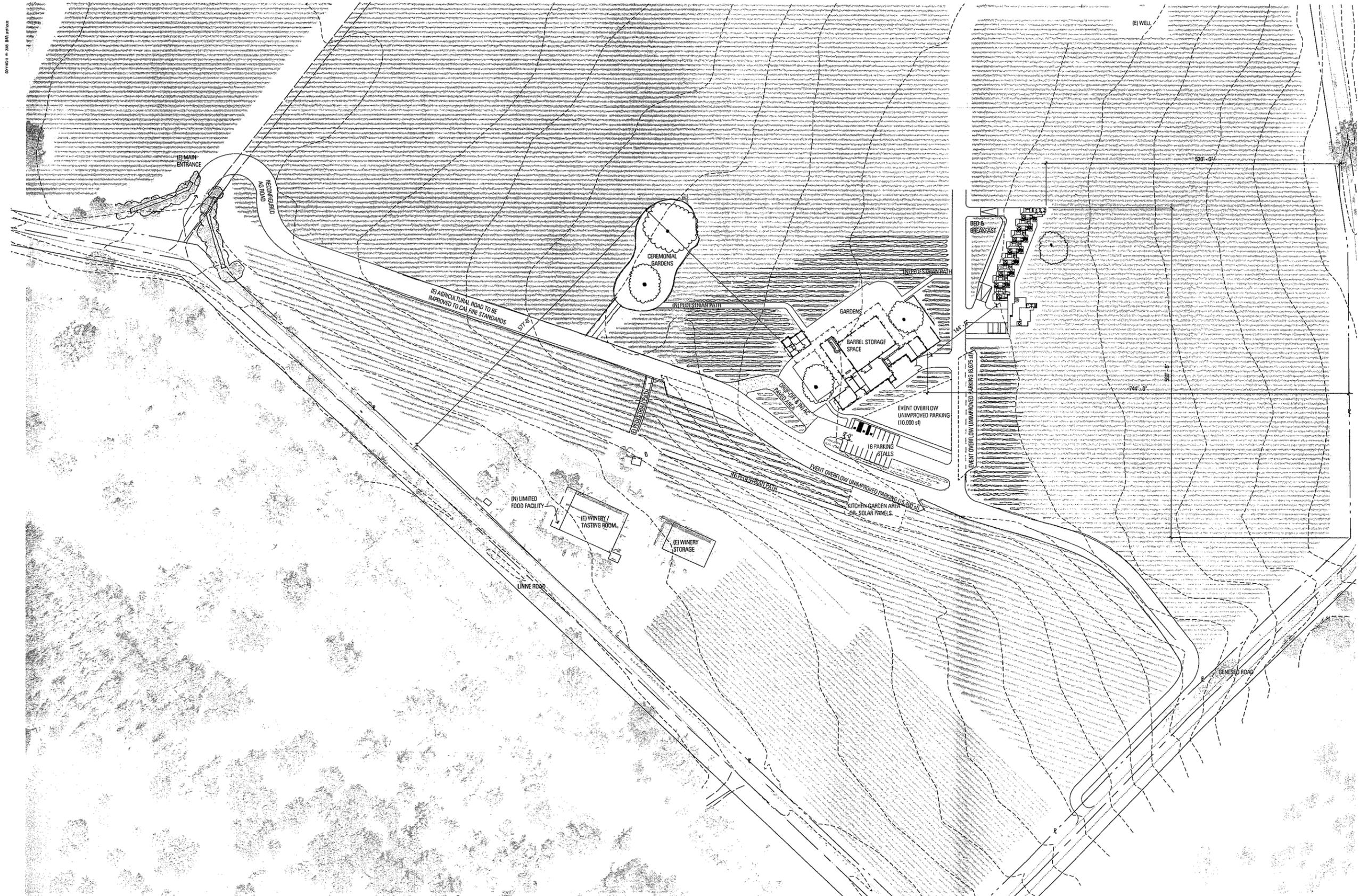
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<b>Roberts Engineering, Inc.</b> Cass Winery - 7350 Linne Road													
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; font-size: small;">           Approved for County Requirements            Development Services Engineer         </td> <td style="width: 50%; font-size: small;">           DATE            8/24/2015         </td> </tr> <tr> <td style="font-size: small;">           County/Plan Checker            TR / JTM         </td> <td style="font-size: small;">           County/NOA No.            15-007         </td> </tr> <tr> <td style="font-size: small;">           Design/Drawn            TR / JTM         </td> <td style="font-size: small;">           Date            1/5/07         </td> </tr> </table>	Approved for County Requirements Development Services Engineer	DATE 8/24/2015	County/Plan Checker TR / JTM	County/NOA No. 15-007	Design/Drawn TR / JTM	Date 1/5/07	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: small;">           Approved for County Requirements            Development Services Engineer            Timothy P. Roberts, REC 33366 exp 08/01/15         </td> <td style="font-size: small;">           DATE            8/24/2015         </td> </tr> <tr> <td style="font-size: small;">           County/Plan Checker            TR / JTM         </td> <td style="font-size: small;">           County/NOA No.            15-007         </td> </tr> <tr> <td style="font-size: small;">           Design/Drawn            TR / JTM         </td> <td style="font-size: small;">           Date            1/5/07         </td> </tr> </table>	Approved for County Requirements Development Services Engineer Timothy P. Roberts, REC 33366 exp 08/01/15	DATE 8/24/2015	County/Plan Checker TR / JTM	County/NOA No. 15-007	Design/Drawn TR / JTM	Date 1/5/07
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<b>Roberts Engineering</b> Timothy P. Roberts Civil Engineer - RCBE 35366 2015 Vista de la Vina Tempton, CA 94765 Phone (805) 299-0664 Fax (805) 298-6148 Email: robertsemg@charter.net													
SHEET <b>C5</b>													

8/24/2015 2:52 PM



CASS WINERY

PASO ROBLES, CA

SITE PLAN

PREPARED BY BAR ARCHITECTS FOR THE CLIENT. THIS PLAN IS THE PROPERTY OF BAR ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL RIGHTS RESERVED.

**BAR** architects

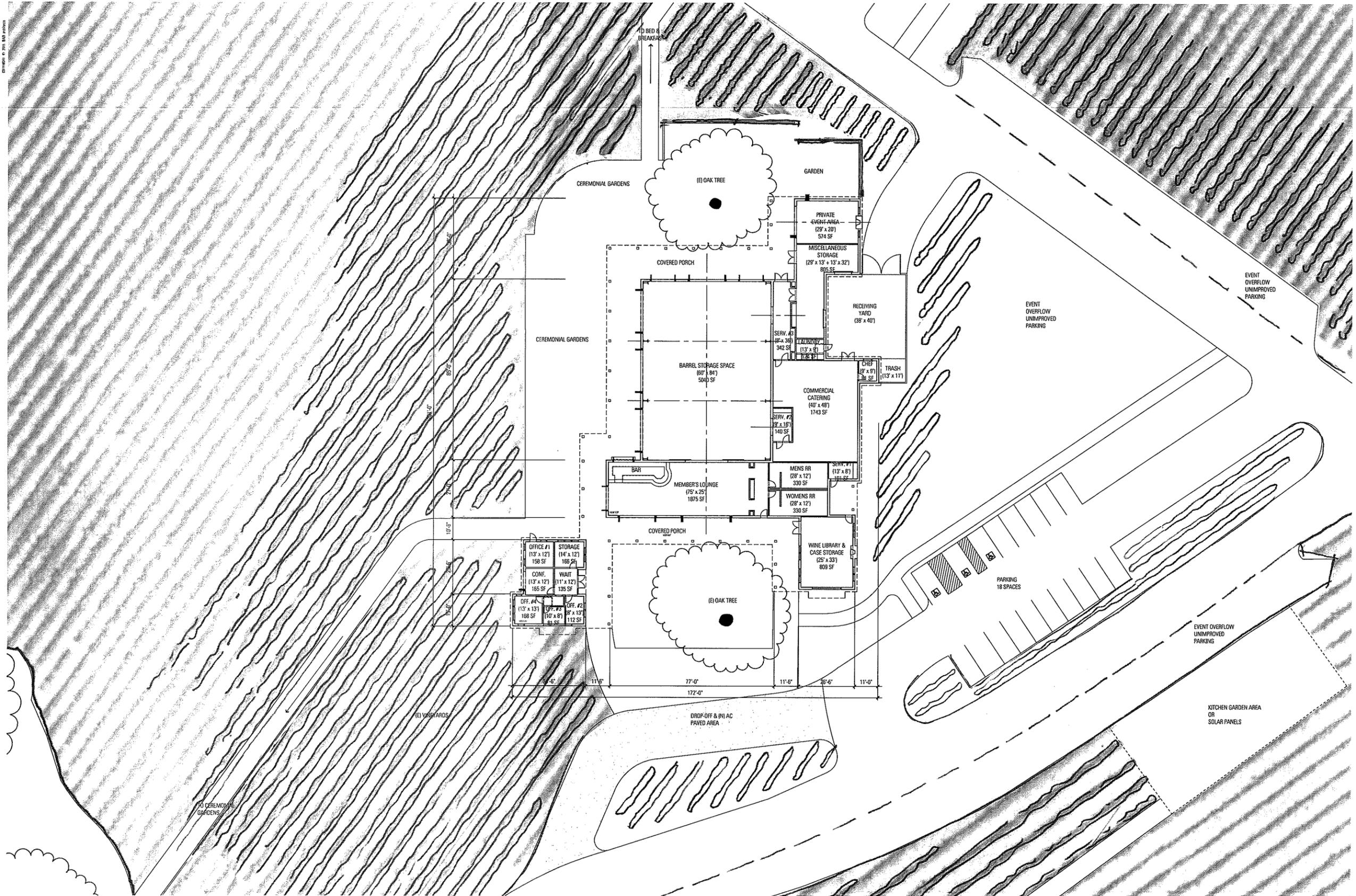
901 Battery Street, Suite 300 | San Francisco, CA 94111 | 415.293.5700 | www.bararch.com

14084

08.26.2015



A1



CASS WINERY

PASO ROBLES, CA

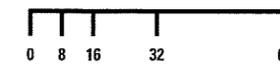
BARREL STORAGE FLOOR PLAN

**BAR**architects

901 Battery Street, Suite 300 | San Francisco, CA 94111 | 415 293 5700 | www.bararch.com

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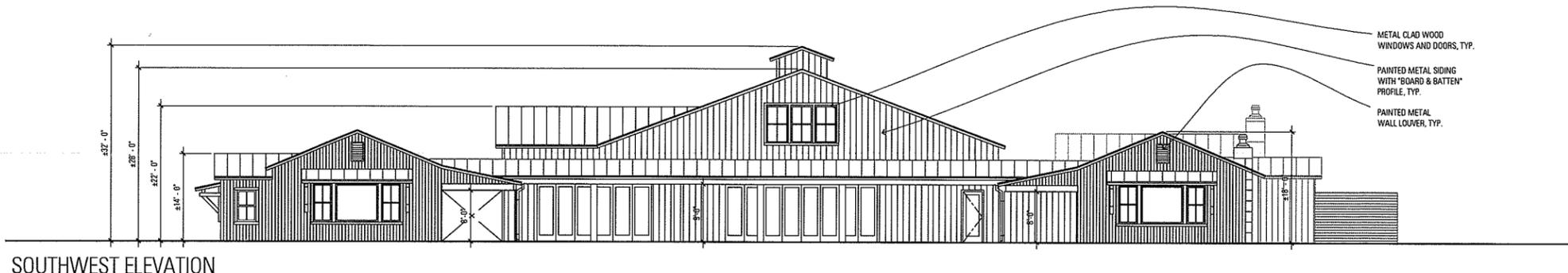
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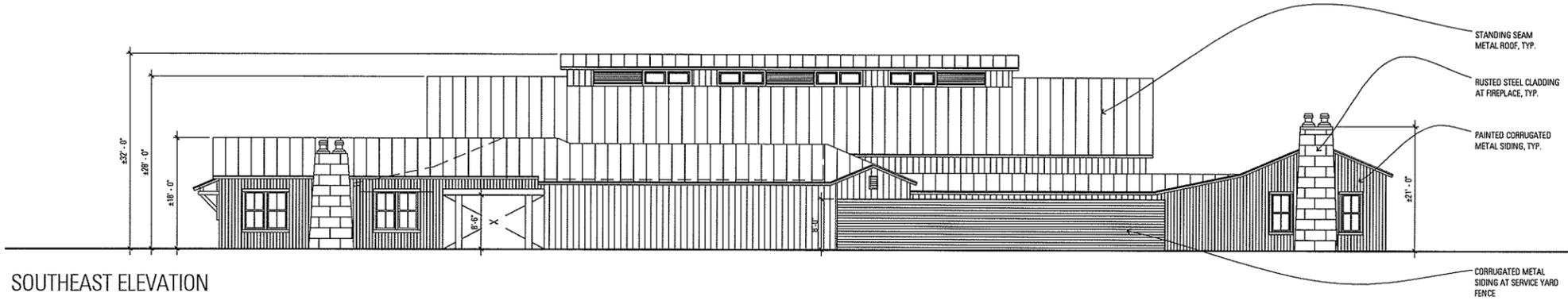
A2

FILE NAME: 20150826\_CASS WINERY BARREL STORAGE FLOOR PLAN.rvt | DATE: 08/26/15 | DRAWN BY: BAR | CHECKED BY: BAR | PROJECT: CASS WINERY | SHEET: A2 | SCALE: AS SHOWN | DATE PLOTTED: 08/26/15 10:00 AM | PLOTTER: HP DesignJet T1100e | PLOT SIZE: 36" x 48"

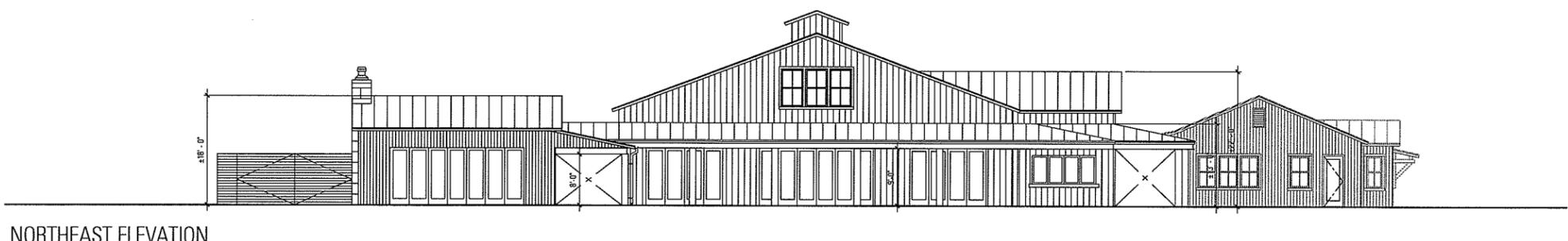
OPTION 1 - SEE ELEVATIONS



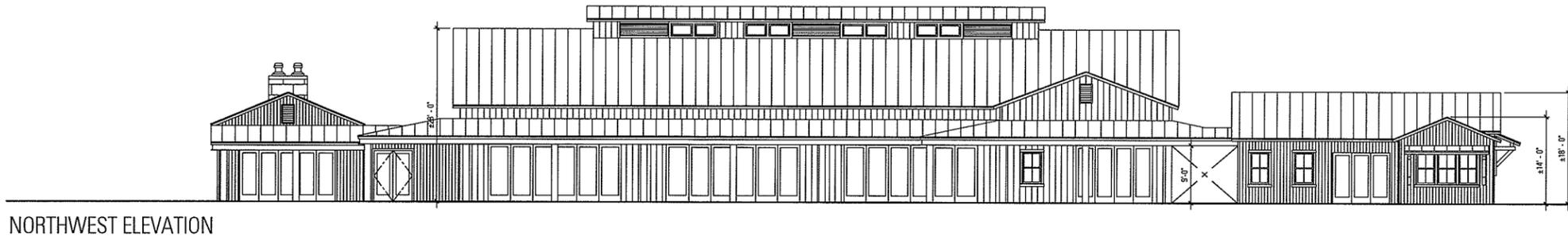
SOUTHWEST ELEVATION



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



NORTHWEST ELEVATION

CASS WINERY

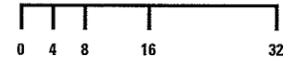
PASO ROBLES, CA

BARREL STORAGE BUILDING ELEVATIONS

**BAR**architects  
901 Battery Street, Suite 300 | San Francisco, CA 94111 | 415 293 5700 | www.bararch.com

14084

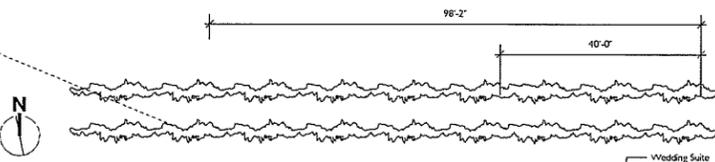
08.26.2015



A3

FILE NAME: P:\ARCHITECTURE\PROJECTS\CASS WINERY\BARREL STORAGE BUILDING\BARREL STORAGE BUILDING ELEVATIONS.dwg  
DATE PLOTTED: 08/26/2015 10:00:00 AM  
PLOT BY: J. B. BROWN

MONTAGE #2



Exit +0.00



VINEYARDS

Parking -3'-0"

ADA Accessible Unit

Entry +0.00

Guest Parking +0.00

Common Area

Hot Tub

VINEYARDS

ACCESS RD.

BARREL ROOM  
(Design by Others)

VINEYARDS

**ecotechdesign**

WALTER SCOTT PERRY ARCHITECT  
8834 HOLLYWOOD HILLS RD.  
LOS ANGELES, CA 90046

323-270-5502 ecotech@sbcgloabl.net

Project:

**SCHEMATIC DESIGN:**  
CASS WINERY  
BED & BREAKFAST SUITES

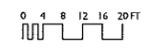
For:

Steve Cass  
Cass Winery  
7350 Linne Rd.  
Paso Robles, CA 93446

Drawing Title:

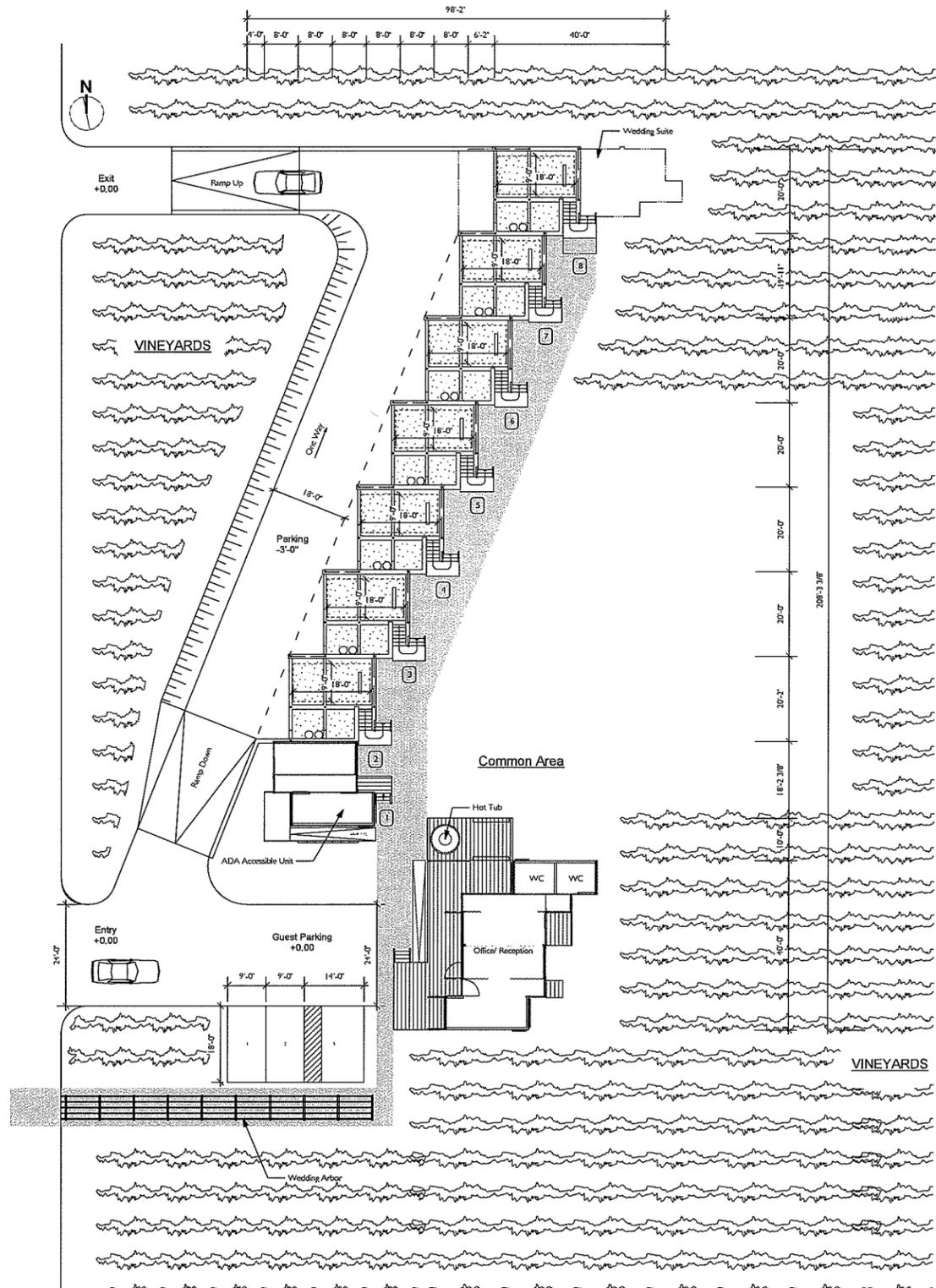
Winery Plan

5/20/15



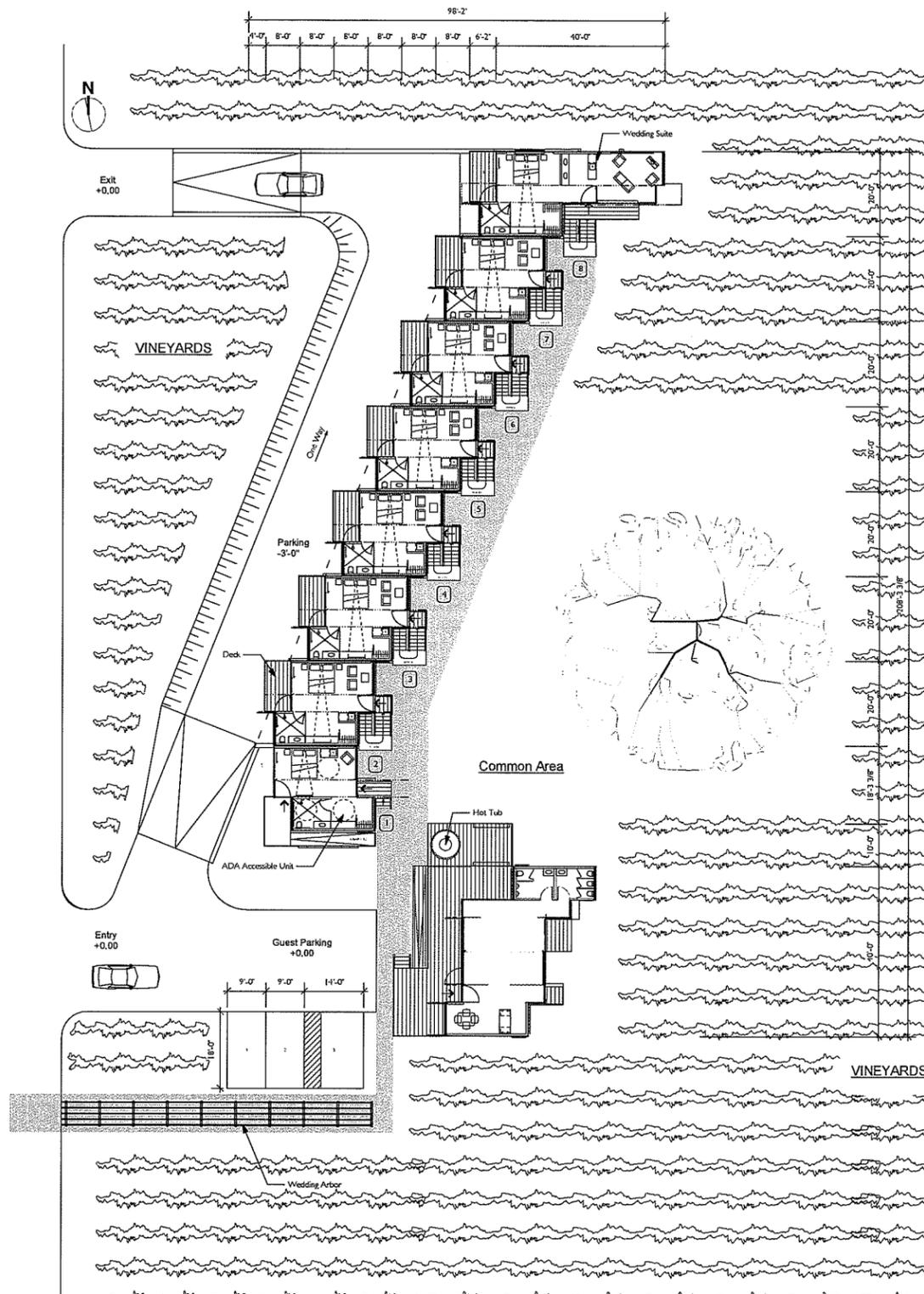
**B1**





PARKING LEVEL PLAN -3'-0"

1/16" = 1'-0"



GROUND LEVEL PLAN

1/16" = 1'-0"

1/16" = 1'-0"

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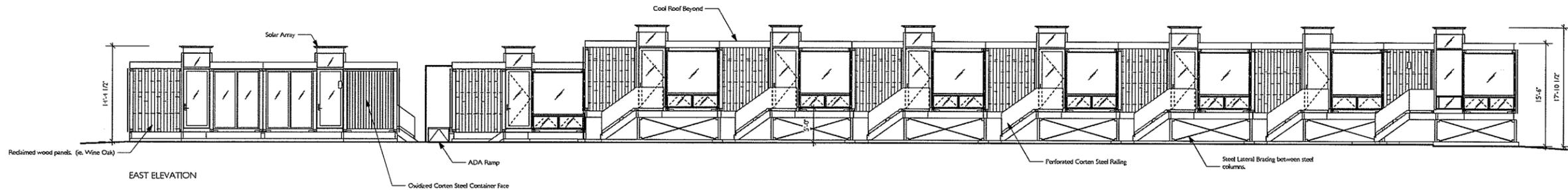
PARKING / UNIT LAYOUT

**B2**

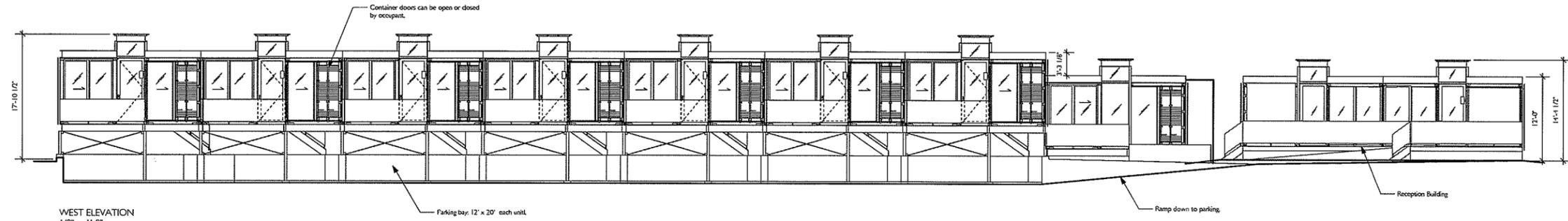
5/20/15

0 4 8 12 16 20 FT

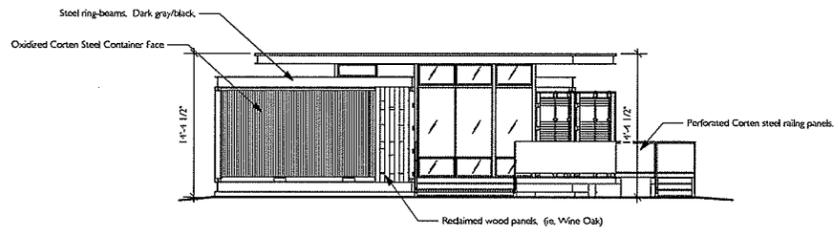




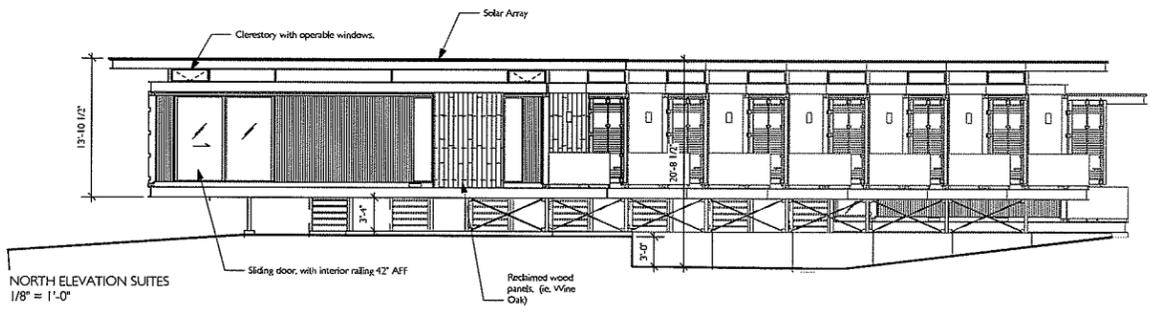
EAST ELEVATION



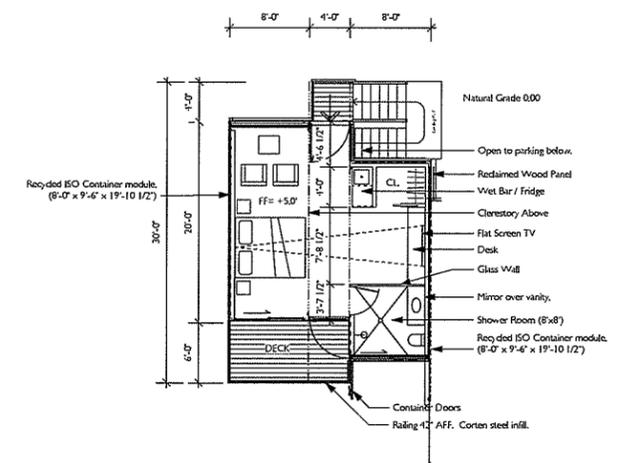
WEST ELEVATION  
1/8" = 1'-0"



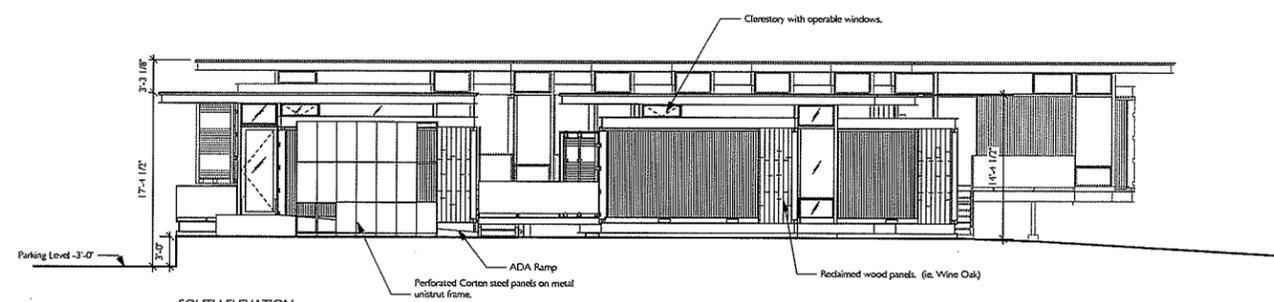
NORTH ELEVATION RECEPTION  
1/8" = 1'-0"



NORTH ELEVATION SUITES  
1/8" = 1'-0"



TYPICAL UNIT LAYOUT  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"

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Project:

SCHEMATIC DESIGN:  
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BED & BREAKFAST SUITES

For:

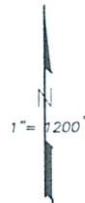
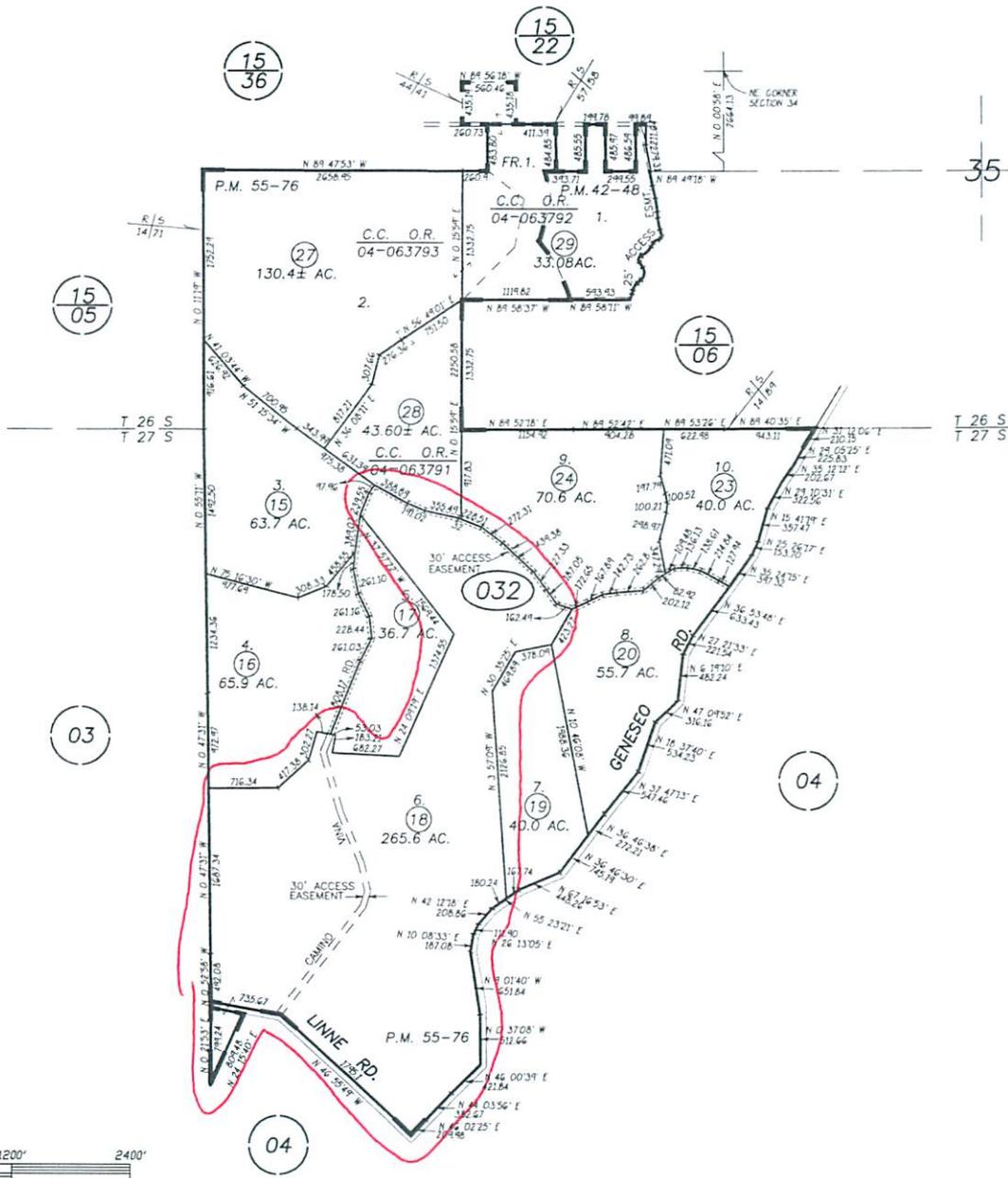
Steve Cass  
Cass Winery  
7350 Linne Rd.  
Paso Robles, CA 93446

Drawing Title:

ELEVATIONS TYP. UNIT LAYOUT **B3**

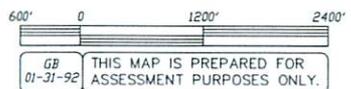
5/20/15

15-06; 15-22; 35-04



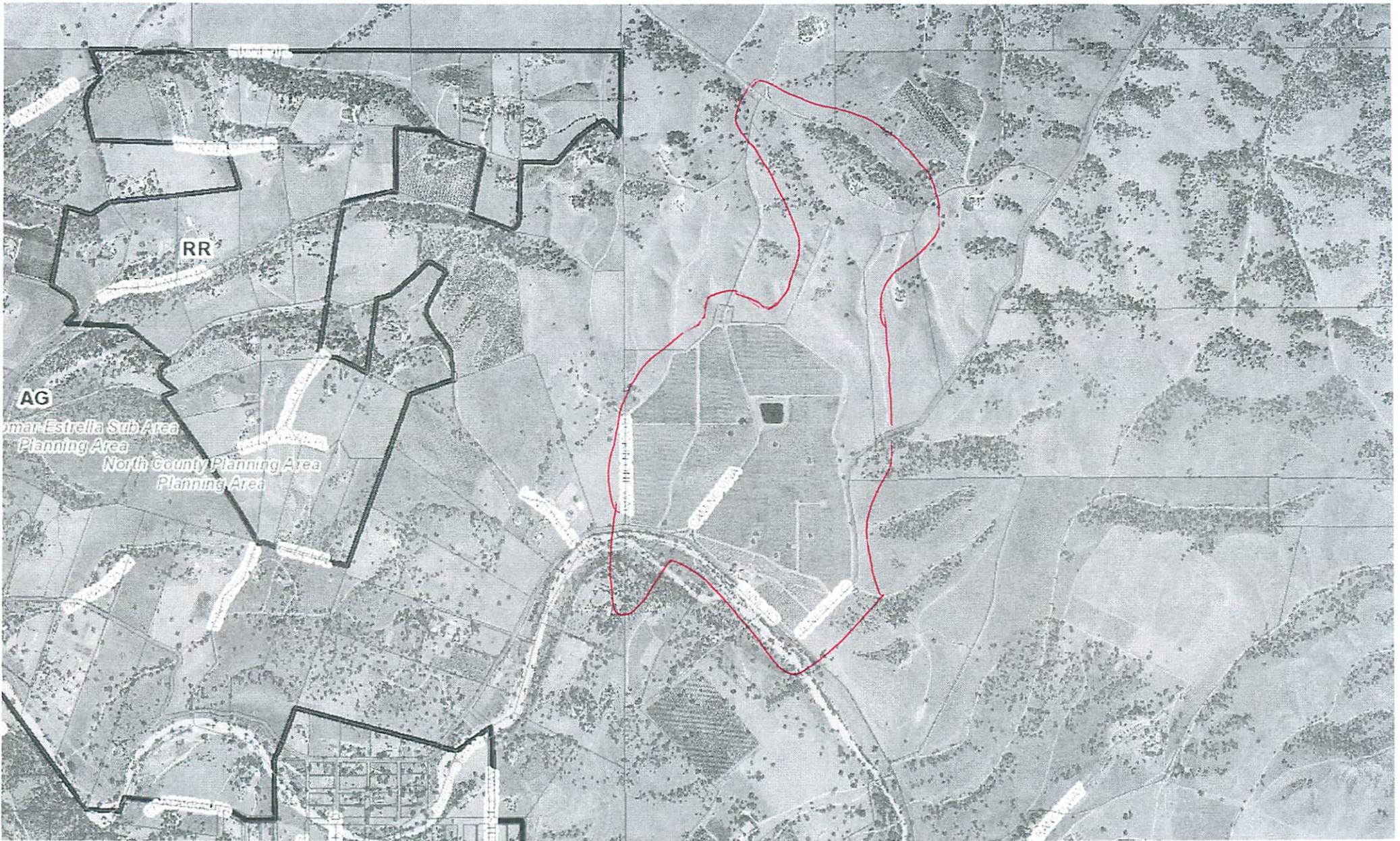
2 1  
E  
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N  
S

REVISIONS	
I.S.	DATE
05-252	12-27-04
05-252	12-28-04
NA	08-05-05



PTN. HUER HUERO RHO. AND ADJACENT LANDS; R.M. Bk. A, Pg. 110.

ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 035 PAGE 032





# Parcel Summary Report For Parcel # 035-032-018

9/8/2015  
10:49:13AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role   Name and Address

OWN   S & A VINEYARDS A LLC  
868 CAMINO VINA PASO ROBLES CA 93446-6366

### Address Information

<u>Status</u>	<u>Address</u>
P	00880 ROCKIN ONE WY NCELPO
P	07350 LINNE RD NCELPO
P	00868 CAMINO VINA NCELPO

### Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
COAL99-	104	0006	North Cty. Plan	North County I	AG	FH		Y		

### Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 55-76 PAR 6

### Notes

#### Tax Districts

PASO ROBLES JT(27,40) (SB1537)  
SAN LUIS OBISPO JT(27,40)  
PASO ROBLES PUBLIC  
NO. 01  
AREA NO. 21  
PASO ROBLES UNION (SB1537 BLO)



# Parcel Summary Report For Parcel # 035-032-018

9/8/2015  
10:49:13AM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### Case Information

**Case Number:**

**Case Status:**

A020005A REC Primary Parcel

**Description:**

ESTABLISH AG PRESERVE & ENTER INTO A LAND CONSERVATION CONTRACT

C1956 FNL Primary Parcel

**Description:**

SINGLE FAMILY DU W/ATT GARAGE

DRC2003-00003 CMP Primary Parcel

**Description:**

CONVERT EXISTING BARN TO WINERY AND TASTING ROOM

DRC2008-00020 APV Primary Parcel

**Description:**

CONSTRUCTION OF APPROX 4000 SF STORAGE BUILDING & 75' X 60' STEEL ROOF COVER OVER EXISTING CRUSH PAD.

DRC2015-00038 REC Primary Parcel

**Description:**

CONSTRUCTION OF A NEW 13,279 SF BARREL STORAGE BUILDING, 4,128 SF BED AND BREAKFAST INN, ALLOW UP TO 20 SPECIAL EVENTS WITH NO MORE THAN 200 ATTENDEES, USE OF THE EXISTING KITCHEN AS A LIMITED FOOD SERVING FACILITY, INCREASE IN CASE PRODUCTION OF UP TO 10,000 CASES

PMT2003-01612 FNL Primary Parcel

**Description:**

MOBILE HOME AS FARM SUPPORT QUARTERS/ WITH A FOUNDATION SYSTEM BY CENTRAL PIERS SPA 30-5F/ WITH A 8' X 30' DECK

PMT2004-01309 FNL Primary Parcel

**Description:**

CONVERT BARN TO WINERY, BARREL STORAGE, TASTING ROOM, EVENT DINING AND KITCHEN (PREVIOUS BARN PERMIT - #A9888). CONSTRUCT PUMP HOUSE(196SF). EXPANSION OF EXISTING LEACH FIELD, ADDITION OF GREASE TRAP AND ADDITION OF WINE PROCESS WASTE WATER TREATMENT SYSTEM. ADD 50X25 MECH/STORAGE -125LBS/FT- LOFT (NO OFFICE, DINING OR SALES ALLOWED). SPRINKLERED

PMT2004-02696 FNL Primary Parcel

**Description:**

FIRESPRINKLERS FOR WINERY AND TASTING ROOM PMT2004-01309 NFPA 13 1999 EDITION/ ORDINARY GROUP II HAZARD/ WITH FIRE PUMP/ REVISION TO PLANS

PMT2007-02507 FNL Primary Parcel

**Description:**

CARPORT - 16' X 25' - 400 SF - OK TO ISSUE PER STEVE HICKS

PMT2008-01992 FNL Primary Parcel

**Description:**



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WINE BARREL STORAGE 4,000 SF W/MINOR GRADING. NUCOR MTL BLDG. FHZ H. PV ARRAY NIC. SSC D. MTL BLDG LA CERTIFICATION # 1970.

PMT2009-00186 FNL Primary Parcel

**Description:**

FIRESPRINKLERS FOR WINERY, ORD HAZ GRP 2, CLASS III COMMODITIES- (SEE PMT2008-01992)

PMT2009-00631 FNL Primary Parcel

**Description:**

50KVA GRID TIED (GROUND MOUNT) PHOTOVOLATIC SOLAR SYSTEM FOR CASS WINERY

PMT2013-00197 FNL Primary Parcel

**Description:**

60 KW ADDITION OF 42 SOLAR PANELS TO EXISTING GROUND MOUNT PV SYSTEM (PMT2009-00631) FOR CASS WINERY

PMT2014-02820 ISS Primary Parcel

**Description:**

Install 2 new Tesla Wall Connectors for Car chargers.

PRE2007-00123 REC Primary Parcel

**Description:**

AT CASS WINERY IN PASO ROBLES

SEP2011-00787 ISS Primary Parcel

**Description:**

Septic Inspection

ZON2014-00193 APV Primary Parcel

**Description:**

VACATION RENTAL

87395 EXP Related Parcel

**Description:**

RESTORE AS BUILT GRADING

A9888 FNL Related Parcel

**Description:**

BARN AND GRADING

C1955 FNL Related Parcel

**Description:**

GRADING FOR RESIDENCE & DRIVEWAY & RET'G WALL C.SMITH,AIA/BUENA GETOECHNICAL/N.HALLIN,GE

C4081 FNL Related Parcel

**Description:**

FIRESPRINKLERS RESID.& GARAGE PIPING CPVC SPRLS VIKING MIRAGE,M-4,M-6,HORIZONTAL SIDEWALLS

C5238 FNL Related Parcel

**Description:**

GRADING FOR HORSE RIDING ARENA PLANS DRAWN BY OWNER



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G010020F CMP Related Parcel

**Description:**

LAFCO REFERRAL-GROUND SQUIRREL HOLLOW CSD

PMT2002-10203 EXP Related Parcel

**Description:**

AG EXEMPT BARN

PMT2002-17940 WIT Related Parcel

**Description:**

WITHDRAWN CONST SINGLE FAMILY DWELLING W/ATT GARAGE

PMT2002-17958 WIT Related Parcel

**Description:**

WITHDRAWN CONST SINGLE FAMILY DWELLING W/ATT GARAGE

PMT2002-17978 WIT Related Parcel

**Description:**

WITHDRAWN CONST SINGLE FAMILY DWELLING W/ATT GARAGE

PMT2002-17986 WIT Related Parcel

**Description:**

WITHDRAWN CONST SINGLE FAMILY DWELLING W/ATT GARAGE

PMT2002-21089 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2269

PMT2002-21090 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2271

PMT2002-21092 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2272

PMT2002-21098 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2273

PMT2002-21104 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2274

PMT2002-21169 WIT Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2268



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9/8/2015  
10:49:13AM

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San Luis Obispo, California 93408

Telephone: (805) 781-5600

PMT2002-21170      WIT      Related Parcel

**Description:**

WITHDRAWN CONST SFD DO# B2267

S000064N      APV      Related Parcel

**Description:**

CAMINO VINA

S800010C      RDD      Related Parcel

**Description:**

PROP 1 CERT OF COMP

S890089L      RDD      Related Parcel

**Description:**

LOT LINE ADJUSTMENT FOR 5 PARCELS

S950090L      RDD      Related Parcel

**Description:**

LOT LINE ADJUSTMENT OF 2 PARCELS

S950171N      CMP      Related Parcel

**Description:**

LUNAR RIDGE RD/LOT LINE ADJUSTMENT

S980306L      RDD      Related Parcel

**Description:**

10 LOT LINE ADJUSTMENT