



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 12/23/2015

TO: _____

FROM: AIRLIN SINGEWALD, 805-781-5198, ASingewald@co.slo.ca.us
NORTH COUNTY Team / Development Review

PROJECT DESCRIPTION: DRC2015-00060 MERRILL CUP FOR PROPOSED INSTALLATION OF 3 AMATEUR RADIO ANTENNA SUPPORT STRUCTURES: TOWER 1: APPROX 160 FOOT TALL GUYED LATTICE TOWER W/5 SETS OF ANTENNA; TOWER 2: APPROX 55 FOOT TALL CRANK-UP LATTICE TOWER W/1 SET OF ANTENNAS; TOWER 3: APPROX 90 FOOT TALL CRANKUP TOWER W/2 SETS OF ANTENNAS LOCATED AT 150 ROLLING RAND RD/5340 EL POMAR, TEMPLETON APN: 033-301-020

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

1. General APPLICATION form

San Luis Obispo County Department of Planning and Building

File No _____

MERRILL PAUL F
CONDITIONAL USE PERMIT/
DRC2015-00060
3 AMATEUR RADIO ANTENNA SUPPORT
STRUCTURES: TOWER 1: APPROX 160 FT
NCELPO/NCELPO
RR

APPLICATION TYPE CHECK ALL THAT APPLY

- Emergency Permit
- Zoning Clearance
- Conditional Use Permit/Development Plan
- Surface Mining/Reclamation Plan
- Other
- Tree Permit
- Site Plan
- Curb, Gutter & Sidewalk Waiver
- Modification to approved land use permit
- Plot Plan
- Minor Use Permit
- Variance

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Paul Merrill Daytime Phone 907-723-0393
 Mailing Address 150 Rolling Ranch Road/5340 El Pomar Templeton CA Zip 93465
 Email Address: _____

Applicant Name Paul Merrill Daytime Phone 907-723-0393
 Mailing Address 150 Rolling Ranch Road Templeton CA Zip 93465
 Email Address: _____

Agent Name Tricia Knight Daytime Phone (805) 448-4221
 Mailing Address 123 Seacliff Dr. Pismo Beach Zip 93449
 Email Address: triciaknight@charter.net

PROPERTY INFORMATION

Total Size of Site 10 acres Assessor Parcel Number(s): 033-301-020
 Legal Description: AG
 Address of the project (if known): 150 Rolling Ranch Road/5340 El Pomar Templeton CA
 Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: HWY 101 off ramp Vineyard Rd, right onto Vineyard Rd. road with continue onto El Pomar Rd right at Rolling Hill Rd

Describe current uses, existing structures, and other improvements and vegetation on the property:
Winery

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): (3) Amateur Radio Antenna Support Structures:
Tower 1: Approx 160 foot tall guyed lattice tower with 5 sets of antenna; Tower 2: Approx 55 foot tall
crank-up lattice tower with 1 set of antennas; Tower 3: Approx 90 foot tall crank-up tower with 2 sets of antennas.

LEGAL DECLARATION

I, the owner of record of this property have completed this form accurately and declare that all statement here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 10/29/15

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

2. LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building File No _____

Type of project: Commercial Industrial Residential
 Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): none

Describe existing and future access to the proposed project site: TBD

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site?: _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Open Space South: Open Space

East: Open Space West: Open Space

For all projects answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: n/a sq. feet _____ % Landscaping: n/a sq. feet _____ %

Paving: n/a sq. feet _____ % Other (specify) _____

Total area of all paving and structures: n/a sq. feet acres

Total area of grading or removal of ground cover: n/a sq. feet acres

Number of parking spaces proposed: n/a Height of tallest structure: _____

Number of trees to be removed: 0 Type: _____

Setbacks: Front _____ Right _____ Left _____ Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes If yes, please submit copy No

Proposed sewage disposal: Individual on-site system Other _____

Community System -List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes If yes, please submit copy No

Fire Agency: - List the agency responsible for fire protection: _____

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

3. ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

Answer ALL of the questions as accurately and completely as possible.

Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.

If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.

Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 10 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
3. Are there any flooding problems on the site or in the surrounding area Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
6. Has a grading plan been prepared? Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural: explain _____
 Commercial/Office: explain _____
 Industrial: explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes please attach _____
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No Chemical? Yes No
Physical? Yes No Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ GPM
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed? Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No
(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line?
 Yes No Distance to nearest sewer line: _____
Location of connection: _____
2. What is the amount of proposed flow? _____ g.p.d.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project? Domestic Industrial
 Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: _____
3. Where is the waste disposal storage in relation to buildings? _____
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: _____
2. Location of nearest police station: _____
3. Location of nearest fire station: _____
4. Location of nearest public transit stop: _____
5. Are services (grocery / other shopping) within walking distance of the project? Yes No
If yes, what is the distance? _____ feet / miles

Historic and Archeological Information

1. Please describe the historic use of the property: _____
n/a
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include **two** copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: 7 Hours of Operation: 24
2. How many people will this project employ? one / once a month
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift _____
4. Will this project produce any emissions (i.e. gasses, smoke, dust, odors, fumes, vapors,)?
 Yes No
If yes, please explain: _____
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: _____
(If loud equipment is proposed, please submit manufacturers estimate on noise output)
6. What type of industrial waste materials will result from the project? Explain in detail:

7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy
9. Please estimate the number of employees, customer and other project-related traffic trips to or from the project.
 Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees?
 Yes No If yes, please specify what you are proposing _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No
 If yes, please describe _____

Agricultural Information

Only complete this section: 1) within the Agricultural land use category or 2) your site is currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e. poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): none
2. Will the development occur in phases? Yes No
 If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No
 If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
 If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project*: none

* The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project: none proposed

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

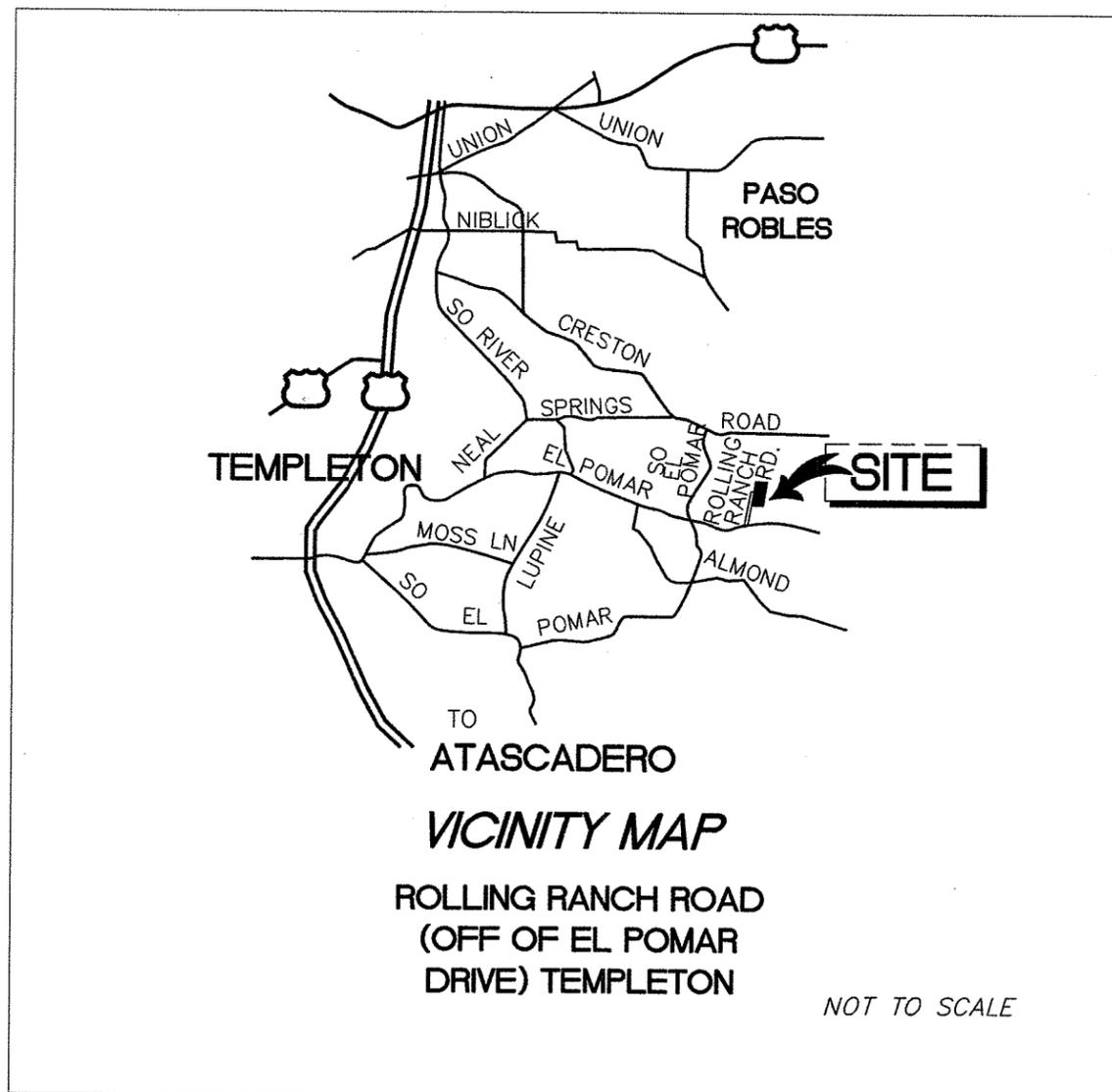
1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): building permit

(If you are unsure if additional permits are required from other agencies, please ask a member of department staff currently assigned in either current planning or the environmental division)

Paul Merrill

150 Rolling Ranch Road
 TEMPLETON, CA 93465

AMATEUR RADIO TOWER INSTALLATION



DRAWING LIST

15100-M-001D	Rev 0	VICINITY MAP AND DRAWING INDEX
15100-M-002D	Rev 0	GENERAL NOTES & STANDARD DETAILS
15100-G-001D	Rev 0	TOWER LOCATION PLAN AND ELEVATIONS
15100-G-002D	Rev 0	TOWER ARRANGEMENT PLAN AND ELEVATION
15100-G-003D	Rev 0	TOWER ARRANGEMENT PLAN AND ELEVATION
15100-G-004D	Rev 0	TOWER ARRANGEMENT PLAN AND ELEVATION
15100-F-001D	Rev 0	TOWER FOUNDATION PLAN AND SECTION
15100-F-002D	Rev 0	GUY ANCHOR FOUNDATION PLAN AND SECTION
15100-F-003D	Rev 0	TOWER FOUNDATION PLAN AND SECTION
15100-F-004D	Rev 0	TOWER FOUNDATION PLAN AND SECTION



10/18/15

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA VICINITY MAP AND DRAWING INDEX			LDG Loberg Design Group
DSN H Loberg DRN H Loberg CHK H Loberg APP H Loberg	1/15/15 1/15/15 1/15/15 1/15/15	SCALE NONE PROJ No. 15100	
DWG No. 15100-M-001D			ISS 0

GENERAL NOTES:

GENERAL:

- G1. GOVERNING CODE: 2013 CALIFORNIA BUILDING CODE CODE (CBC).
TA-222-G AS REFERENCED BY THE CBC.
- G2. SITE DESCRIPTION: EXISTING PROPERTY AT 150 ROLLING RANCH ROAD,
TEMPLETON, CALIFORNIA 93465.

DESIGN LOADS:

- D1. WIND LOAD
90 MPH (3-sec) BASIC WIND SPEED, EXPOSURE "C"
- D2. SEISMIC LOAD (30.556' N, 120.624' W)
ASCE 07-10, I=1.0, SITE CLASS "D"
Ss= 1.288; S1= 0.480
- D3. SOIL BEARING
CBC TABLE 1806.2, CLASS 5 SOIL
- D4. ANTENNA AREA
42SF @ 154'
27SF @ 138'
27SF @ 92'
42SF @ 75'
27SF @ 46'

ELECTRICAL (GROUNDING):

- E1. GROUNDING SHALL CONFORM TO MANUFACTURER'S
RECOMMENDATION AND THE PREVAILING ELECTRICAL CODE
WHICHEVER IS MORE RESTRICTIVE.

SPECIAL INSPECTIONS:

- 1. SPECIAL INSPECTIONS SHALL COMPLY WITH 2013 CBC
CHAPTER 17 SECTION 1705 TABLE 1705.3 AND OTHER
INSPECTIONS REQUIRED BY THE BUILDING OFFICIAL.
OWNER SHALL RETAIN PROFESSIONAL TESTING AND
INSPECTION FIRMS FOR THE FOLLOWING SPECIAL
INSPECTIONS:

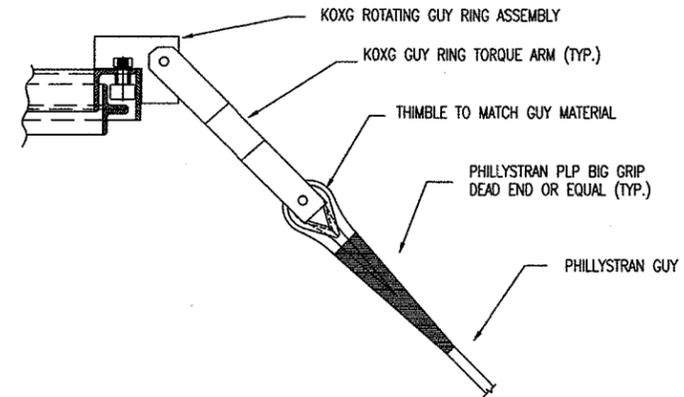
VERIFICATION AND INSPECTIONS	INSPECTION TYPE
NONE DEEMED REQUIRED	

STRUCTURAL AND MISCELLANEOUS STEEL

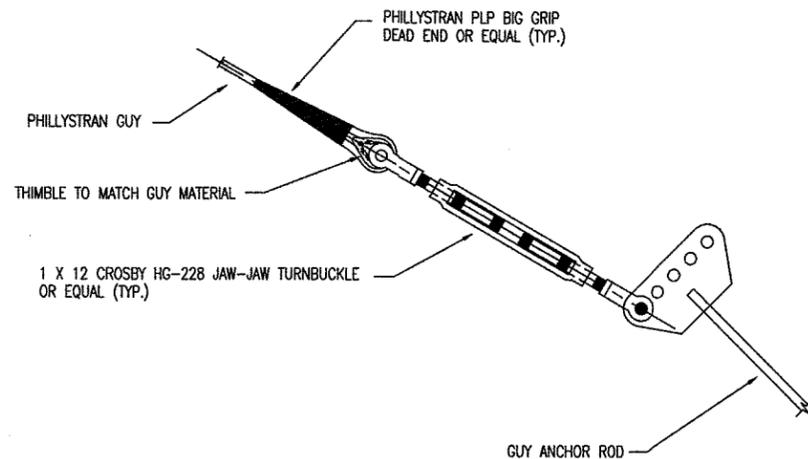
- S1. ALL STRUCTURAL AND MISCELLANEOUS STEEL SHALL
CONFORM TO ASTM A36 FOR BARS, SHAPES AND PLATES,
ASTM A500 GRADE B FOR TUBING, AND ASTM A53 GRADE
B TYPE E OR S FOR PIPE.
- S2. STRUCTURAL AND MISCELLANEOUS STEEL FABRICATIONS
SHALL BE DETAILED, FABRICATED, AND ERECTED PER AISC
SPECIFICATIONS AND THE MANUAL OF STEEL
CONSTRUCTION 14TH EDITION.
- S3. WELDING SHALL CONFORM TO AWS D1.1 UTILIZING
ELECTRODES CONFORMING TO AWS SPECIFICATION A.1 OR
A5.5 CLASS E70XX SERIES, UNLESS OTHERWISE
SPECIFIED. ONLY LOW HYDROGEN ELECTRODES SHALL BE
USED.

CONCRETE

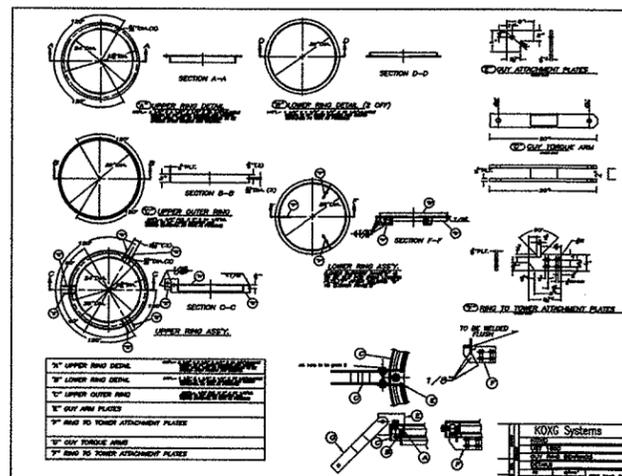
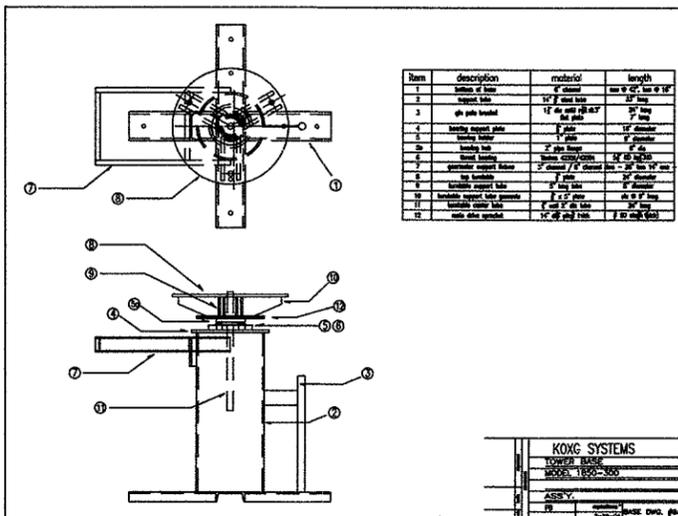
- C1. ALL CONCRETE SHALL COMPLY WITH THE REQUIREMENTS
OF ACI 318-11 AND SHALL DEVELOP 2,500 PSI MINIMUM
COMPRESSIVE STRENGTH AT 28 DAYS UNLESS NOTED
OTHERWISE. MAXIMUM WATER CONTENT 0.42.
- C2. REINFORCING STEEL BARS SHALL CONFORM TO ASTM
A615, DEFORMED BARS GRADE 60.
- C3. ALL REINFORCING LAP SPLICES SHALL BE A MINIMUM OF
40 BAR DIAMETERS, BUT NOT LESS THAN 12 INCHES,
UNLESS OTHERWISE NOTED. HOOKS SHALL BE ACI
STANDARD.
- C4. BOND NEW CONCRETE TO EXISTING CONCRETE WITH
"SIKADUR 32 HI-MOD" EPOXY BONDING AGENT AS
MANUFACTURED BY "SIKA CORPORATION" OR
"WELD-CRETE" BY "LARSON PRODUCTS CO." OR
APPROVED EQUIVALENT, INSTALLED STRICTLY IN
ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- C5. 3" MINIMUM COVER FOR REINFORCING SHALL BE
PROVIDED FOR CONCRETE CAST AGAINST EARTH AND 2"
MINIMUM COVER SHALL BE PROVIDED FOR REINFORCING
IN ALL OTHER CONCRETE UNLESS NOTED.



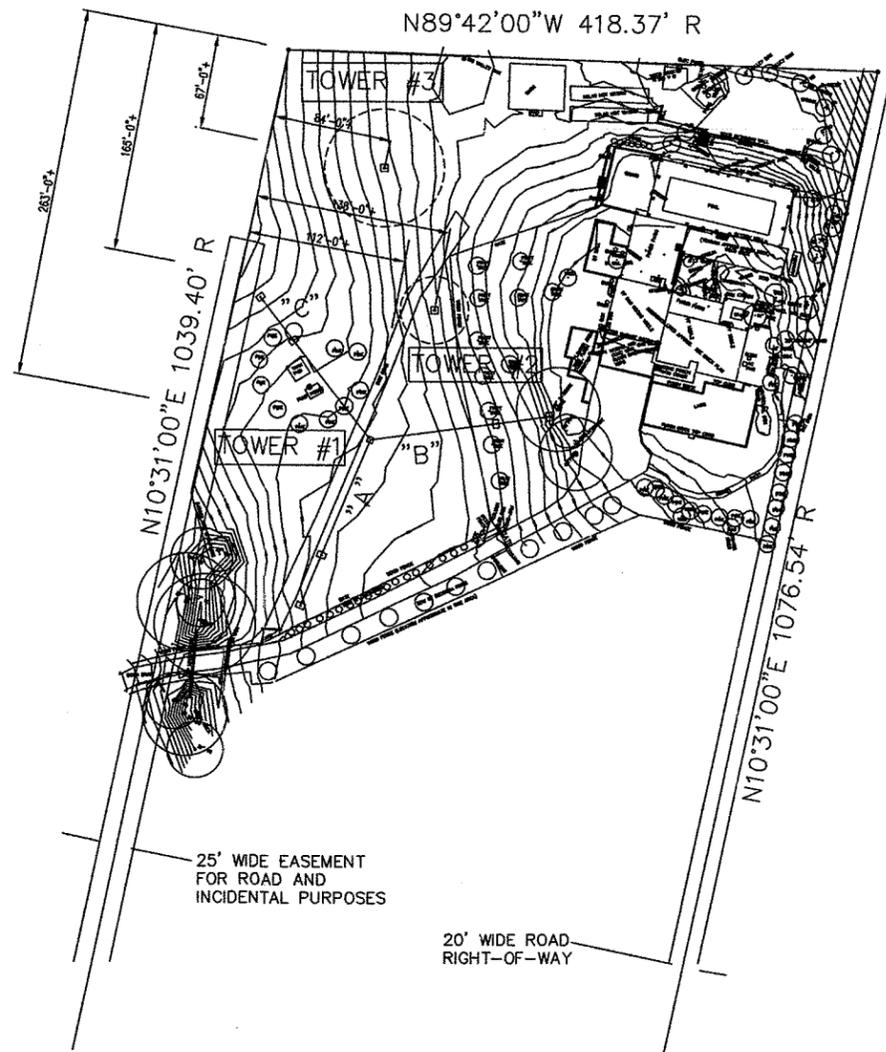
GUY TOP CONNECTION DETAIL



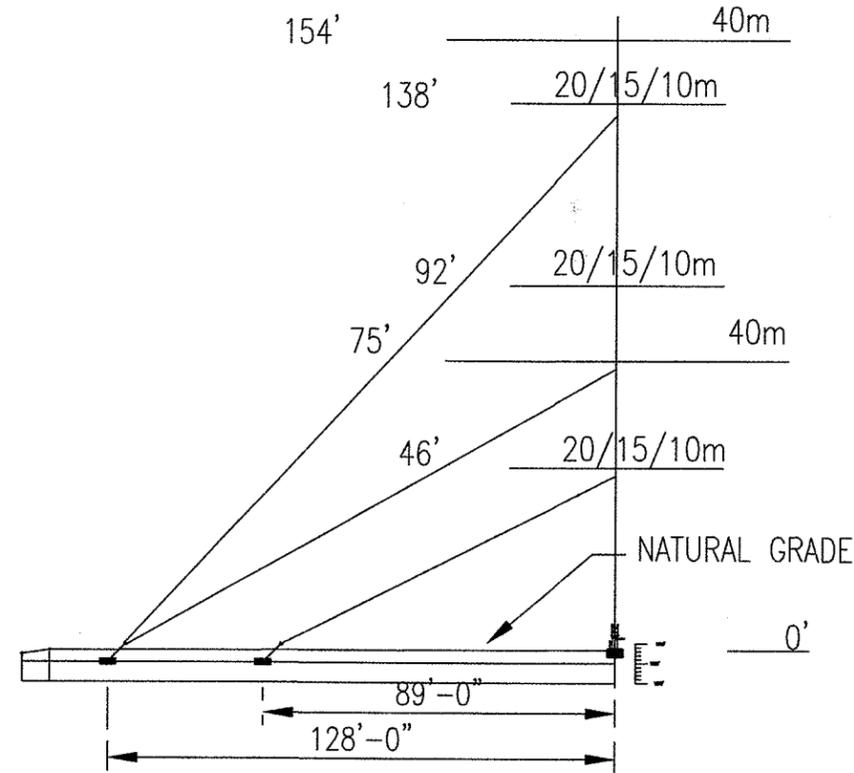
GUY BOTTOM CONNECTION DETAIL



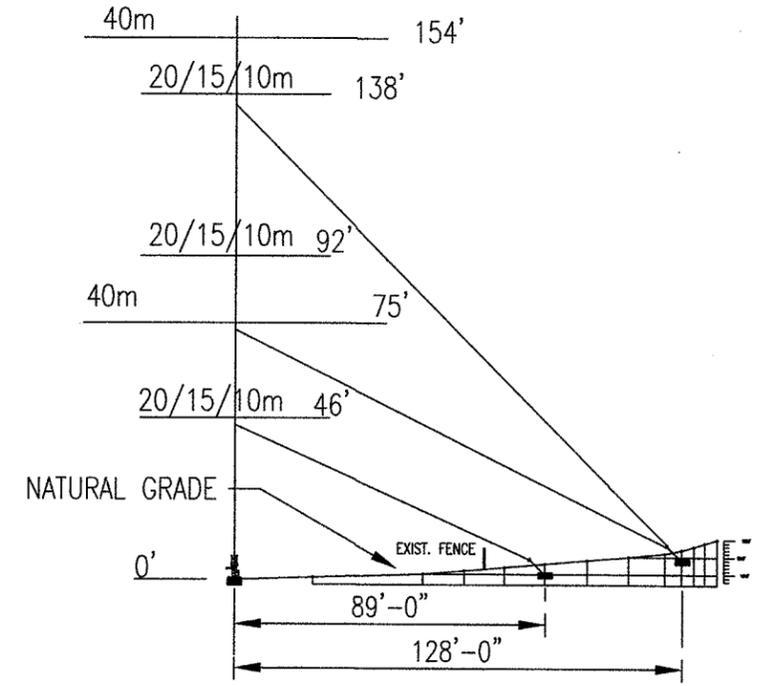
W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA GENERAL NOTES & STANDARD DETAILS		
DSN	H Lomborg	1/15/15
DRN	H Lomborg	1/15/15
CHK	H Lomborg	1/15/15
APP	H Lomborg	1/15/15
SCALE	NONE	PROJ No. 15100
DWG No. 15100-M-002D		ISS. 0



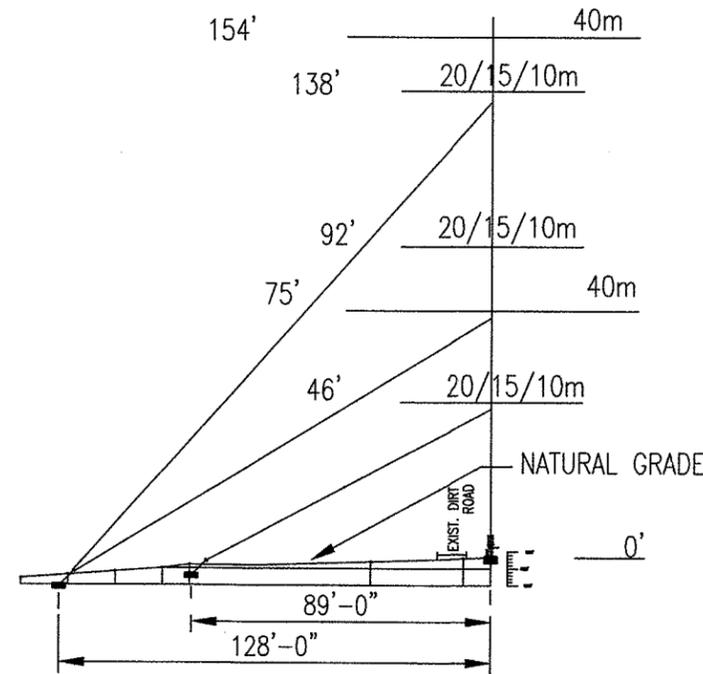
TOWER LOCATION PLAN



'' A ''



'' B ''



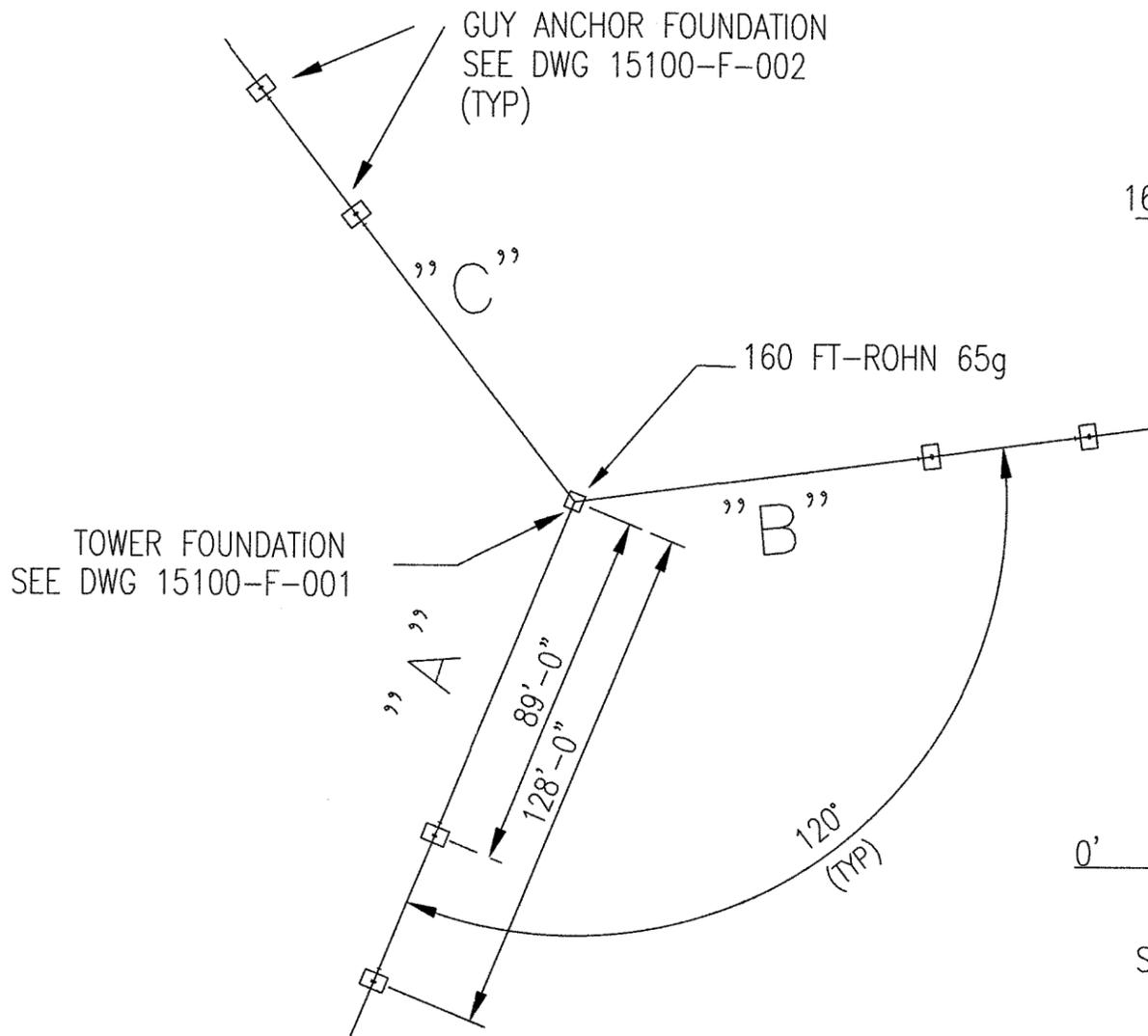
'' C ''

TOWER ELEVATIONS
TOWER #1

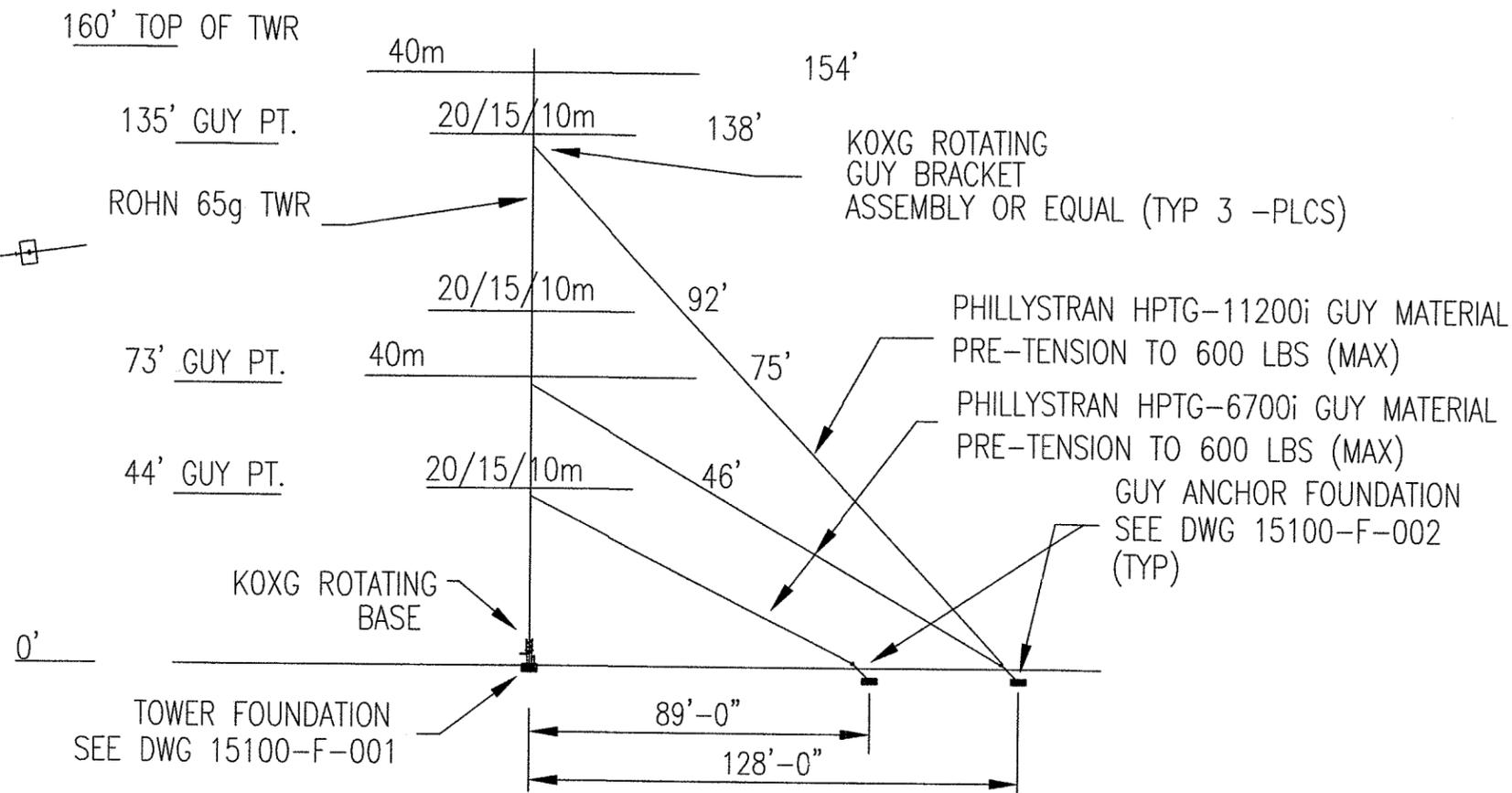


- NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER LOCATION PLAN & ELEVATIONS			LDG Lonberg Design Group
DSN	H. Lonberg	1/13/15	
DRN	H. Lonberg	1/13/15	ISS. 0
CHK	H. Lonberg	1/13/15	
APP	H. Lonberg	1/13/15	
SCALE	N.T.S.	PROJ No. 15100	DWG No. 15100-G-001D



TOWER PLAN
TOWER #1



TOWER ELEVATION
TOWER #1



10/18/15

NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER ARRANGEMENT PLAN & ELEVATION		
DSN	H Lomborg	1/13/15
DRN	H Lomborg	1/13/15
CHK	H Lomborg	1/13/15
APP	H Lomborg	1/13/15
SCALE	N.T.S.	
PROJ No.	15100	

LDG
Lomborg Design Group

DWG No. 15100-G-002D
ISS. 0

55' TOP OF TWR

4E YAGI
57'

HDX-555 TOWER

0'

TOWER FOUNDATION
SEE DWG 15100-F-003

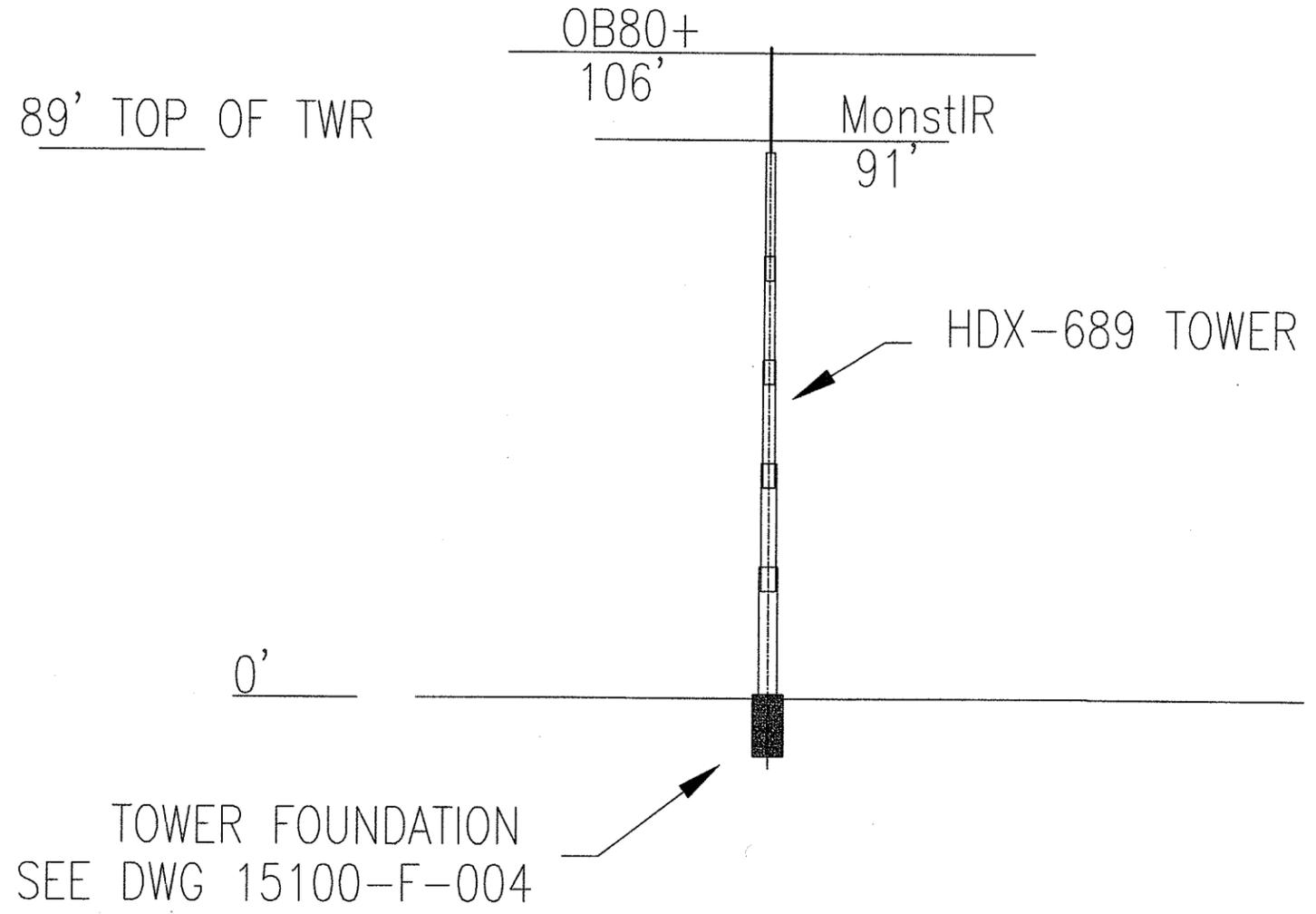
TOWER ELEVATION
TOWER #2



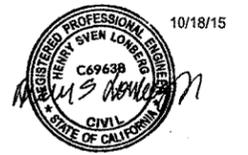
NOTES:

1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER ARRANGEMENT PLAN & ELEVATION			 Lomborg Design Group
DSN	H. Lomborg	1/13/15	
DRN	H. Lomborg	1/13/15	
CHK	H. Lomborg	1/13/15	
APP	H. Lomborg	1/13/15	
SCALE N.T.S.	PROJ No. 15100	DWG No. 15100-G-003D	ISS. 0

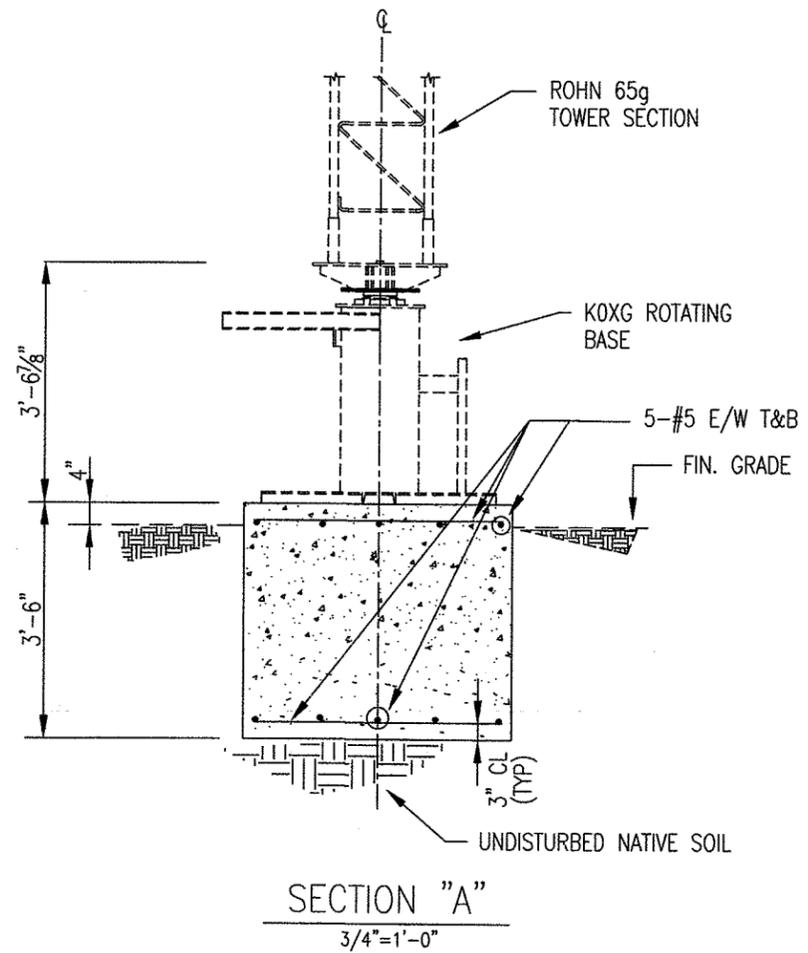
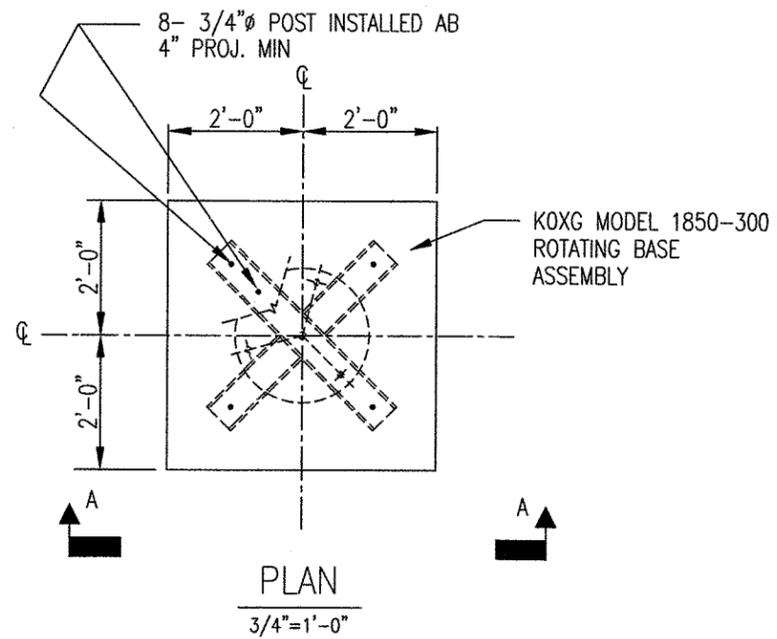


TOWER ELEVATION
TOWER #3



NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER ARRANGEMENT PLAN & ELEVATION			
DSN	H Lonberg	1/13/15	
DRN	H Lonberg	1/13/15	
CHK	H Lonberg	1/13/15	
APP	H Lonberg	1/13/15	
SCALE N.T.S.	PROJ No. 15100	DWG No. 15100-G-004D	SS. 0



TOWER #1 FOUNDATION



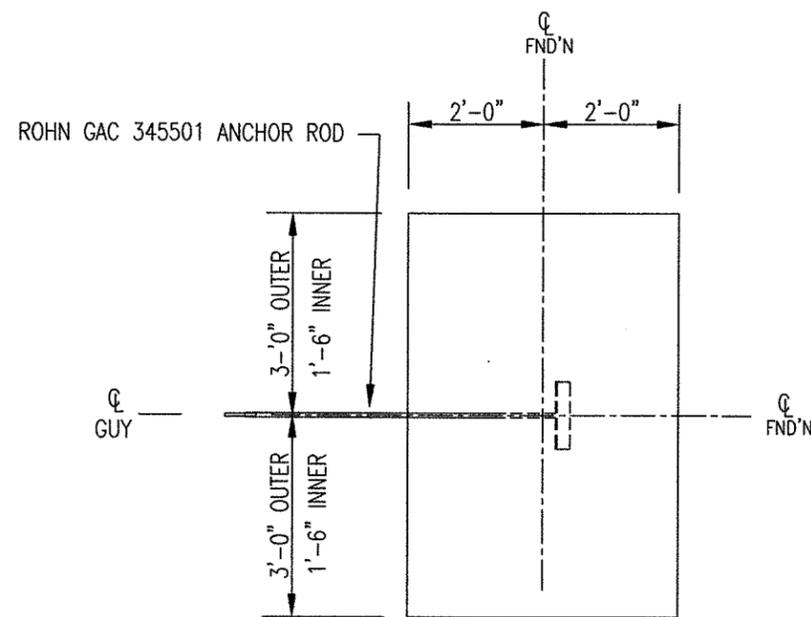
NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER FOUNDATION PLAN AND SECTION		
DSN	H. Lomborg	1/23/15
DRN	H. Lomborg	1/23/15
CHK	H. Lomborg	1/23/15
APP	H. Lomborg	1/23/15
SCALE	SEE PLAN	
PROJ No.	15100	

LDG
Lomborg Design Group

DWG No. 15100-F-001D

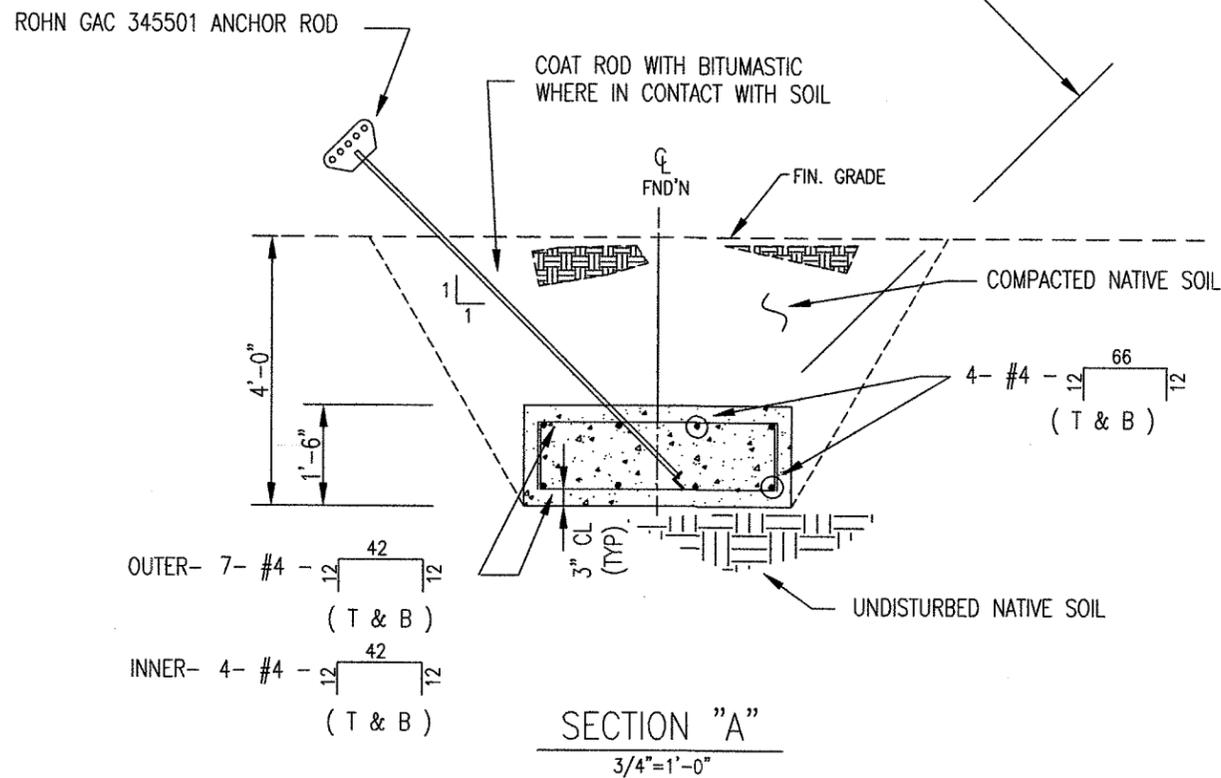
ISS. 0



PLAN

3/4"=1'-0"

NOTE: ALIGN FOUNDATION WITH GUY DIRECTION



SECTION "A"

3/4"=1'-0"

GUY ANCHOR FOUNDATION

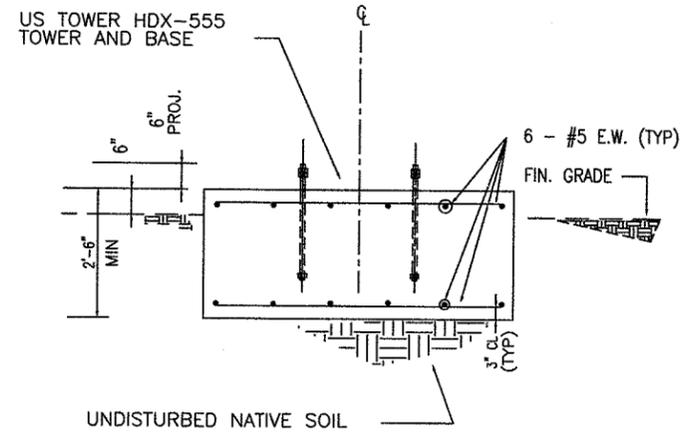


10/18/15

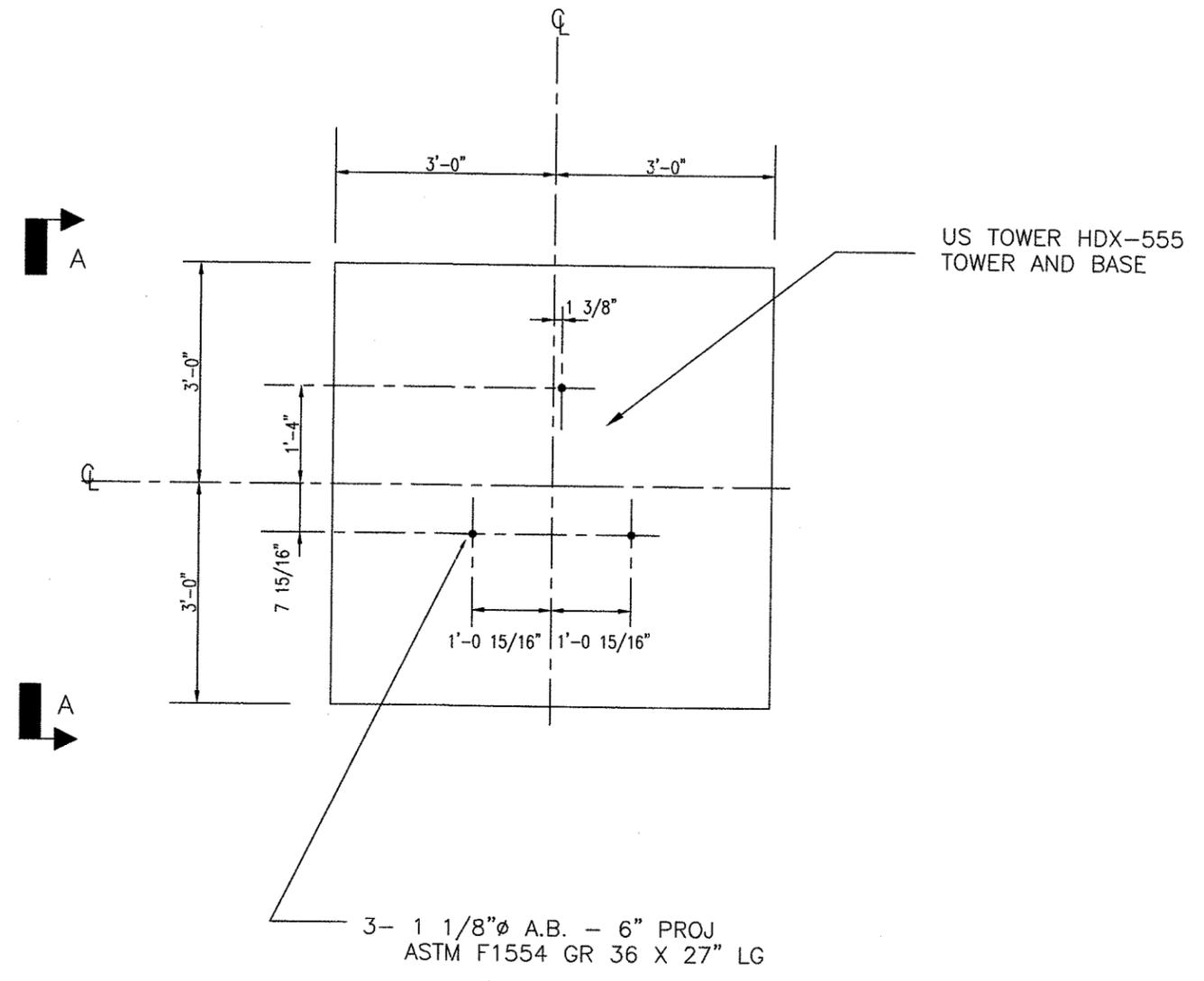
NOTES:

- 1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA GUY ANCHOR FOUNDATION PLAN & SECTION			LDG Lonberg Design Group
DSN	H Lonberg	1/23/15	
DRN	H Lonberg	1/23/15	ISS. 0
CHK	H Lonberg	1/23/15	
APP	H Lonberg	1/23/15	
SCALE	SEE PLAN	PROJ No. 15100	DWG No. 15100-F-002D



SECTION "A"
1/2"=1'-0"



3- 1 1/8" ϕ A.B. - 6" PROJ
ASTM F1554 GR 36 X 27" LG

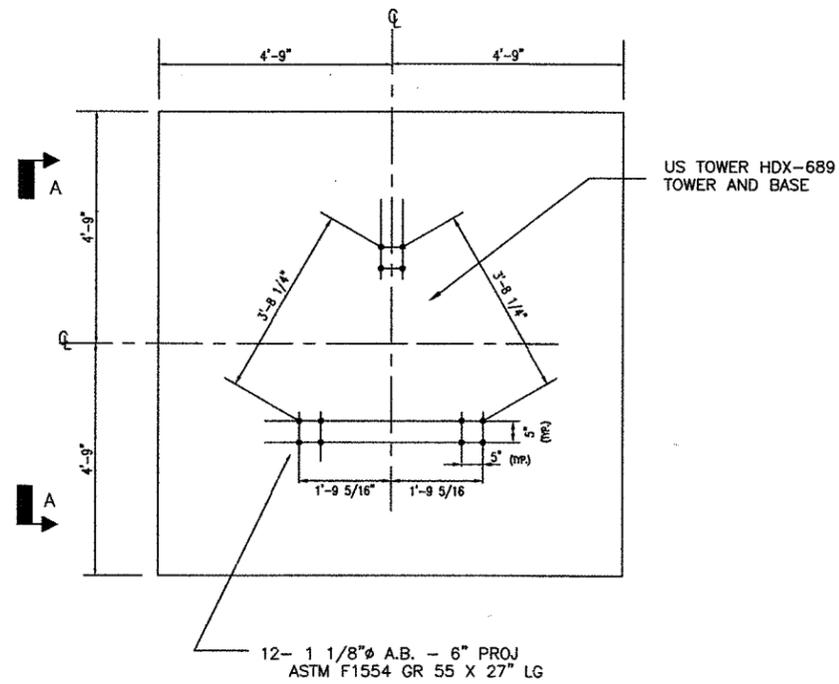
PLAN
1/2"=1'-0"

TOWER #2 FOUNDATION

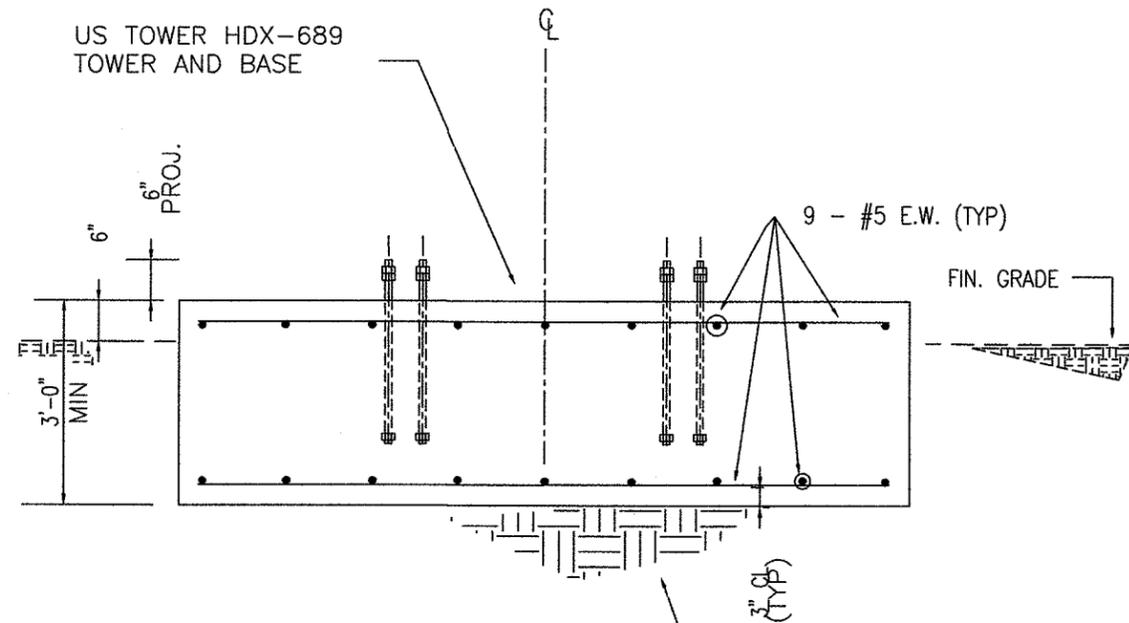


NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER FOUNDATION PLAN AND SECTION			 Lomborg Design Group
DSN	H Lomborg	1/23/15	
DRN	H Lomborg	1/23/15	DWG No. 15100-F-003D ISS: 0
CHK	H Lomborg	1/23/15	
APP	H Lomborg	1/23/15	
SCALE SEE PLAN		PROJ No. 15100	



PLAN
1/2"=1'-0"



SECTION "A"
1/2"=1'-0"

TOWER #3 FOUNDATION



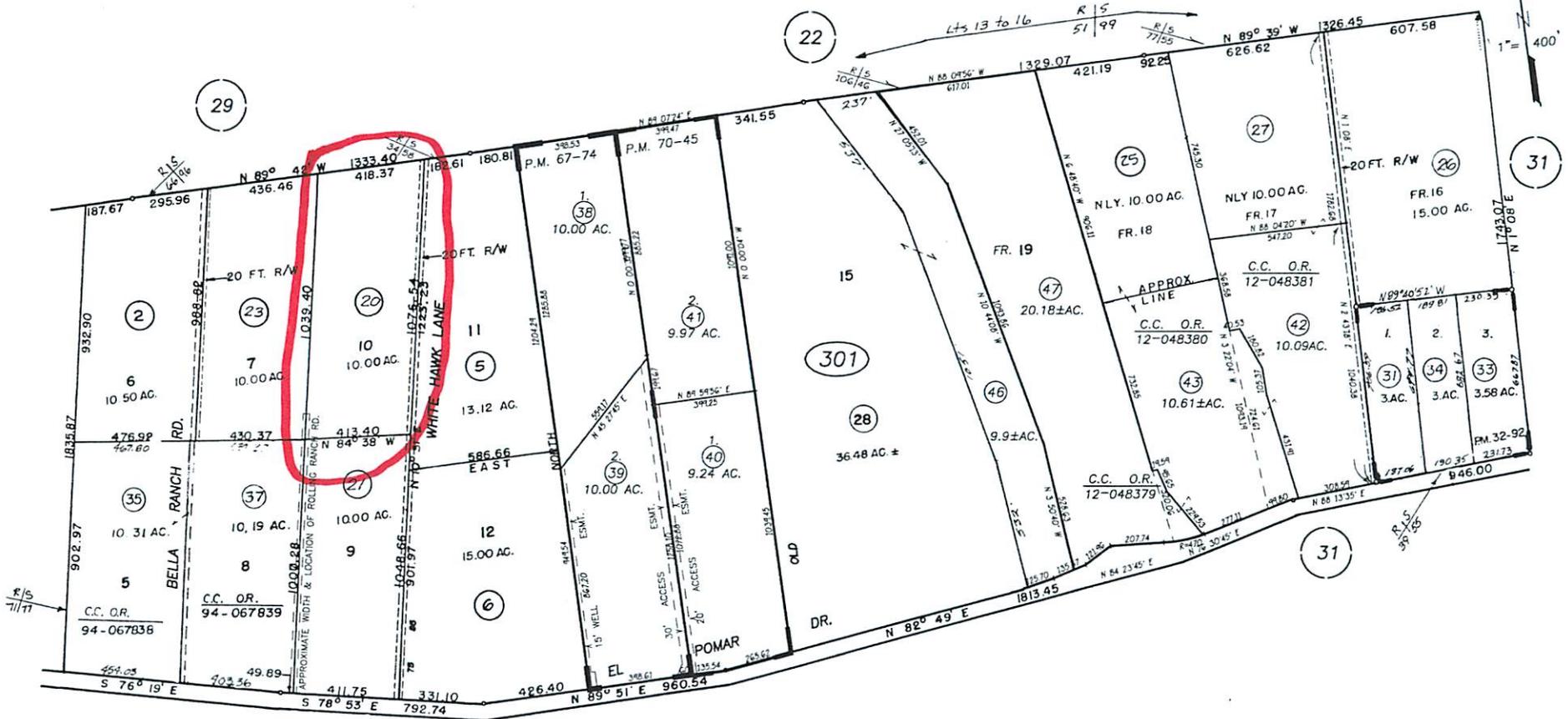
NOTES:
1.) FOR STRUCTURAL GENERAL NOTES SEE 15100-M-002D.

W7IV AMATEUR TOWER TEMPLETON, CALIFORNIA TOWER FOUNDATION PLAN AND SECTION		
DSN	H Lonberg	1/23/15
DRN	H Lonberg	1/23/15
CHK	H Lonberg	1/23/15
APP	H Lonberg	1/23/15
SCALE SEE PLAN	PROJ No. 15100	DWG No. 15100-F-004D

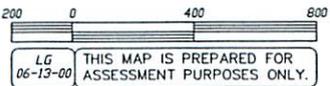
LDG
Lonberg Design Group

ISS. 0

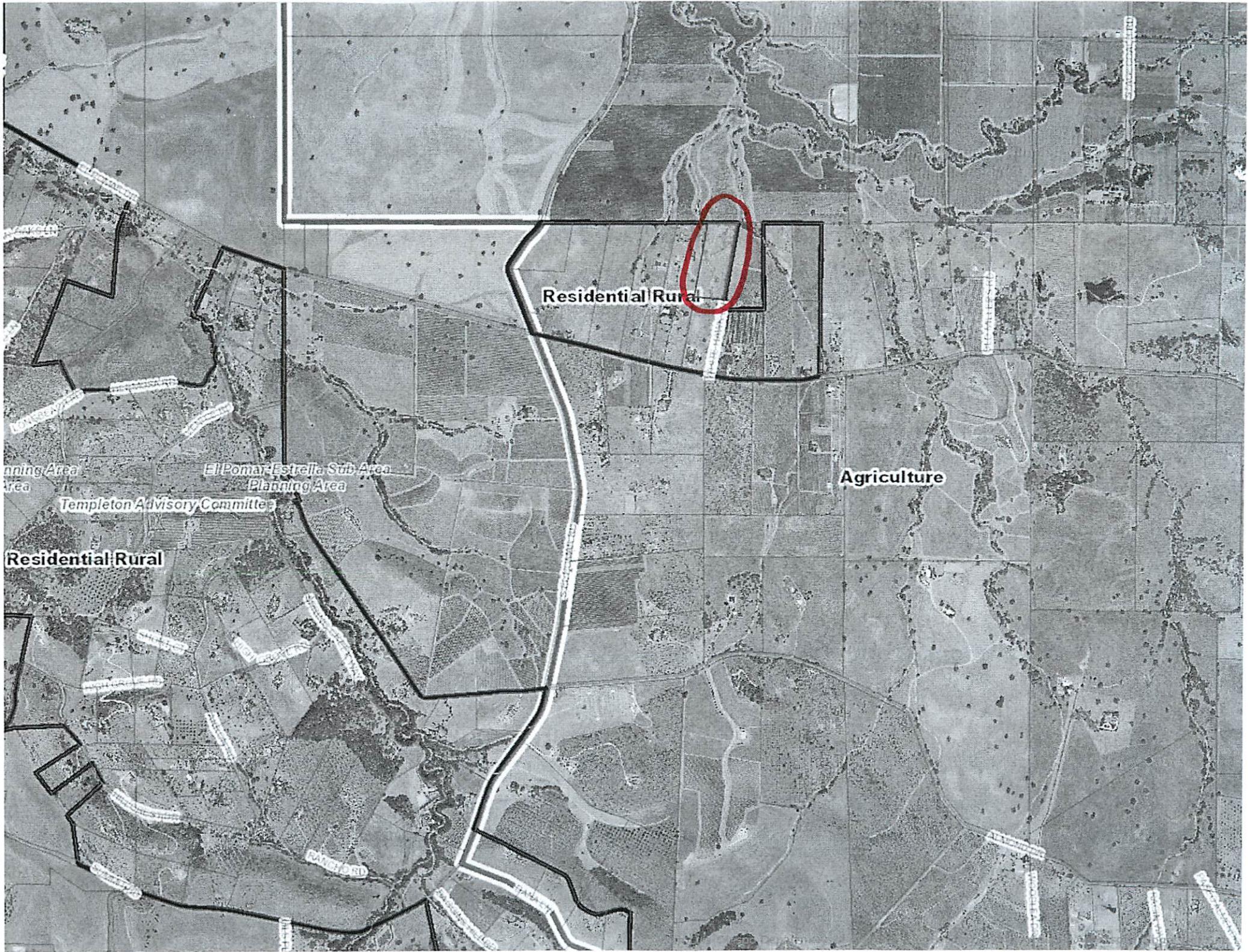
35
34



REVISIONS	
I.S.	DATE
07-267	12-11-06
08-375	02-01-08
13-150	03-28-13
14-169	03-18-14



29



Residential Rural

Agriculture

El Pomar-Estrella Sub Area
Planning Area
Templeton Advisory Committee

Residential Rural

CANTON



Parcel Summary Report For Parcel # 033-301-020

11/19/2015
10:24:38AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN MERRILL PAUL F
150 ROLLING RANCH RD TEMPLETON CA 93465-8338

Address Information

<u>Status</u>	<u>Address</u>
P	05340 EL POMAR DR NCELPO
P	00150 ROLLING RANCH RD NCELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
ALMRDOR5	0000	0010	North Cty. Plan	North County I RR				Y	RI	

Parcel Information

<u>Status</u>	<u>Description</u>
Active	ALM RDG ORCH 5 LT 10 LESS 50% MIN RTS

Notes

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 05
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 033-301-020

11/19/2015
10:24:38AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

81662 EXP Primary Parcel

Description:

CONST SWIMMING POOL

83834 FNL Primary Parcel

Description:

CONST PATIO COVER

DRC2015-00060 REC Primary Parcel

Description:

3 AMATEUR RADIO ANTENNA SUPPORT STRUCTURES: TOWER 1: APPROX 160 FT TALL GUYED LATTICE TOWER WITH 5 SETS OF ANTENNAS; TOWER 2: APPROX 55 FT TALL CRANK UP LATTICE TOWER WITH 1 SET OF ANTENNAS; TOWER 3: APPROX 90 FT TALL CRANK-UP TOWER WITH 2 SETS OF ANTENNAS.

PMT2012-01696 FNL Primary Parcel

Description:

CONDITIONED SPACE ADDITION (748 SF) (BATH, HAM RADIO ROOM / SHOP & HALLWAY) & INTERIOR REMODEL (702 SF) CONVERTING STORAGE AREA TO CONDITIONED LIVING SPACE (CRAFTS ROOM / REC ROOM). WUI NR.

PMT2014-02255 ISS Primary Parcel

Description:

REMODEL - KITCHEN AND INTERIOR DINING/LIVING ROOM (995 SF)

PMT2014-03033 FNL Primary Parcel

Description:

GRID TIED/GROUND MOUNTED 6.12KW PV SYSTEM.

PRE2014-00054 REC Primary Parcel

Description:

PROPOSED CELL SITE