



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

DATE: 1/20/2015

TO: _____

FROM: JAMES CARUSO, 805-781-5702, JCaruso@co.slo.ca.us
North County Team / Development Review

PROJECT DESCRIPTION: DRC2015-00068 THOMAS MUP, PROPOSED GRADING OVER ONE ACRE FOR DRIVEWAY AND PADS FOR TWO SFR's (2500SF & 1200SF). SITE DISTURBANCE FROM DRIVEWAY CONSTRUCTION AND BLDG PADS IS EST. TO BE 63,210SF, LOCATED AT ON PEACHY CYN RD APROX. ¼ MILE BEYOND CITY LIMIT OF PASO ROBLES, APN: 018-191-005

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00068

THOMAS

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

MINOR USE PERMIT

TWO SINGLE-FAMILY RESIDENCES (2,500 & 1,200 SF) ACCESSED BY A NEW PAVED NCSAL/ NCSAL RR

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Betty Thomas Daytime Phone 310-890-5460
Mailing Address 8383 Wilshire Blvd, Suite 1000, Beverly Hills, CA Zip Code 90211
Email Address: _____

Applicant Name Pults & Assoc. c/o Andres Eulate Daytime Phone 805-541-5604
Mailing Address 3592 Sacramento Drive, Suite 140, SLO, CA Zip Code 93401
Email Address: aeulate@pults.com

Agent Name _____ Daytime Phone _____
Mailing Address _____ Zip Code _____
Email Address: _____

PROPERTY INFORMATION

Total Size of Site: 20.15 acres Assessor Parcel Number(s): 018-191-005

Legal Description: RHO PR PTN V LT 84 LESS PTN MIN RTS

Address of the project (if known): N/A

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: From the City of Paso Robles, head east on 6th Street until it turns into Pacific Avenue, then turns into Peachy Canyon Road. Site is approximately 1/4 mile beyond city limit.

Describe current uses, existing structures, and other improvements and vegetation on the property: Empty lot with grassy hillside, no existing structures

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): The proposed project consists of two single-family residences (2,500 sf & 1,200 sf) accessed by a new paved driveway. Site disturbance from driveway construction and building pads is estimated to be 63,610 sf.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature 

Date 12-15-2015

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Existing site is an empty lot. Proposed access to the new residences will be via a new paved 1,300 ft driveway.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: residential South: residential
East: residential West: residential

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 3,700 sq. feet .42 % Landscaping: ±5,000 sq. feet .52 %

Paving: 26,000 sq. feet 3 %

Other (specify) _____

Total area of all paving and structures: 29,700 sq. feet acres

Total area of grading or removal of ground cover: 63,610 sq. feet acres

Number of parking spaces proposed: 4 Height of tallest structure: 30'

Number of trees to be removed: 2 Type: almond

Setbacks: Front 25 ft req'd Right 30 ft req'd Left 30 ft req'd Back 30 ft req'd
655 ft proposed 255 ft proposed 300 ft proposed 520 ft proposed

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: _____ sq. feet acres

Total floor area of all structures including upper stories: _____ sq. feet

For residential projects, answer the following:

Number of residential units: 2 Number of bedrooms per unit: 1 each

Total floor area of all structures including upper stories, but not garages and carports: 3,700 sf

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: .07 acres
Moderate slopes of 10-30%: 7.91 acres
Steep slopes over 30%: 12.20 acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Peachy Canyon Road

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain _____
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? 250 + feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: _____
- 3. Where is the waste disposal storage in relation to buildings? east of main residence near parking area
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Paso Robles Union
- 2. Location of nearest police station: Paso Robles Police Department at 900 Park Street
- 3. Location of nearest fire station: Paso Robles Fire Department at 900 Park Street
- 4. Location of nearest public transit stop: 4th Street & Spring Street
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Almond orchard and open space
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No
If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: [Initial construction of main residence followed by guest residence 1 year later](#)
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No
If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: [Passive solar design, high mass walls to reduce cooling loads, vegetated roof on guest house](#)

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
[The project proposed two single-story residences tucked into the hillside. To further minimize the visual impact the guest house will have a vegetated roof.](#)

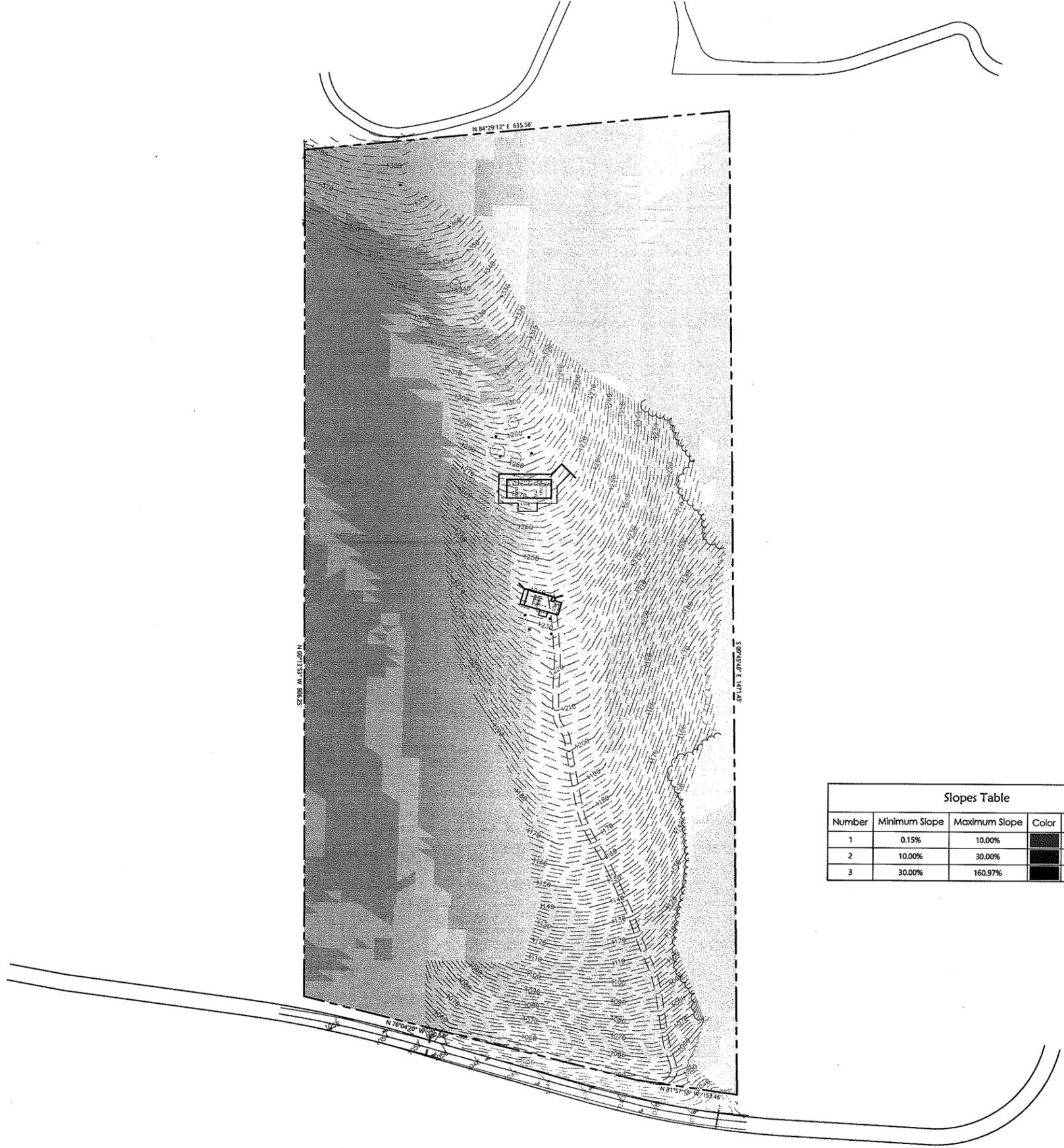
2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: _____
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

12/17/2015 8:40 AM



Slopes Table

Number	Minimum Slope	Maximum Slope	Color	Area (Acres)
1	0.15%	10.00%		0.07
2	10.00%	30.00%		7.91
3	30.00%	160.97%		12.20



Roberts Engineering
 Timothy P. Roberts
 Civil Engineer - RCE 35366
 2015 Villa de la Vina
 Tempeleton, CA 94665
 Phone: (916) 239-1664
 Fax: (916) 239-1664
 Email: robertseng@charter.net

Record Drawings

Revision No.	Description	Date
1	Timothy P. Roberts, RCE 35366 exp 09/30/15	
2	Revision This Sheet:	
3		
4		
5		

Designation: TR / JTM
 Job # 15-014
 California Coordinates (CCSR Zone 5)
 N 2423620 E 5755710

County Plan Checker: Approved for County Requirements
 Development Services Engineer

Date	Date
12/17/2015	

Roberts Engineering, Inc.
 Thomas - Peachy Canyon Road
 Slope Map

THOMAS RESIDENCES

PASO ROBLES, CA

Project:

THOMAS RESIDENCES

PEACHY CANYON ROAD
PASO ROBLES
CA 93445

Client:

BETTY THOMAS

8383 WILSHIRE BLVD.
STE. 1000
BEVERLY HILLS
CA 90211
(310) 890-5480

Sheet Contents:

TITLE SHEET



Date: 18 DEC 2015

Revised:

Job No:

1523

Sheet:

T - 1

VICINITY MAP



SYMBOLS

- ① DIMENSIONAL GRID LINE
- ⊙ DOOR MARK
REFER TO DOOR SCHEDULE
- ⊙ WINDOW MARK
REFER TO WINDOW SCHEDULE
- ⊙ WINDOW ABOVE
REFER TO WINDOW SCHEDULE
- REFERENCE NOTE
- ⊙ DETAIL NUMBER
SHEET SHOWN ON
- ⊙ SECTION
SHEET SHOWN ON

DIRECTORY

- ARCHITECT**
PULTS & ASSOCIATES, LLP
670 ANDRES ECLATE
3942 SACRAMENTO DRIVE, SUITE 140
SAN LUIS OBISPO, CA 93401
(805) 941-9604
- SOILS ENGINEER**
BEACON GEOTECHNICAL, INC.
670 ANDRES ECLATE
P.O. BOX 4014
PASO ROBLES, CA 93441
(805) 234-4451
- ARCHAEOLOGY**
HERITAGE DISCOVERIES INC
670 THOR CONWAY
838 HISSON STREET
SAN LUIS OBISPO, CA 93405
(805) 945-0124
- SURVEYOR**
DANLOS LAND SURVEYS
670 MARG DANLOS
7600 MONROE ROAD
ATASCADERO, CA 93422
(805) 488-2445
- CIVIL ENGINEER - GRADING**
ROBERTS ENGINEERING
670 THOR CONWAY
2015 VISTA DE LA VNA
TEMPLETON, CA 93465
(805) 234-0684

GENERAL NOTES

- The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
- All work shall comply with all current codes, ordinances & regulations of applicable administrative authorities.
2015 California Building Standards Code Administrative Code
2015 California Building Code (2004 CBC with CA amendments)
2015 California Residential Code (2004 IRC with CA amendments)
2015 California Electrical Code (2008 NEC with CA amendments)
2015 California Reference Code (2004 APFD JMG with CA amendments)
2015 California Plumbing Code (2004 APC with CA amendments)
2015 California Energy Code
2015 California Green Building Standards Code (CalGreen)
2015 California Fire Code
County of San Luis Obispo Municipal Code
County Ordinance(s) Title 14, 22, 23 & Appendix Chapter 33, 1441 VBC
- The 2010 Building Energy Efficiency Standards for residential and non-residential buildings have been reviewed, and the building described on these pages is in substantial conformance.
- The building described on the following pages is equipped with a fire sprinkler system. Shop drawings shall be submitted and approved by the County Building and Fire Departments prior to fabrication and installation of the system. System design shall meet all requirements of State Fire Marshal, NFPA, and county regulations. Sprinkler system shall depict dual-signal remote supervisory service capability.
- Special inspectors shall be a qualified person who shall demonstrate competence, to the satisfaction of the Building Official. Names and qualifications shall be submitted to Building Department for approval.
- Prior to approval of roof rafter inspection, the applicant shall provide the building inspector with documentation that gives the height reference, the allowable height and the actual height of the structure. Refer to project summary for height calculation. This certification shall be prepared by a licensed surveyor or civil engineer.
- No hazardous materials will be stored or used within the building, which exceed the quantities listed in CBC Table 301.17.1(a) & 301.17.2.

PROJECT SUMMARY

DESCRIPTION:	EMPTY LOT LOCATED APPROXIMATELY 25 MILES WEST OF PASO ROBLES ON PEACHY CANYON ROAD	
LEGAL:	R40 PK PTN VLT B4 LESS PTN HN RTS	
ZONING:	RURAL RESIDENTIAL	
APN:	018-141-005	
SITE:	20.15 ACRES	
BUILDING:		PROPOSED
MAIN RESIDENCE	2,900 SQ. FT.	
SECONDARY RESIDENCE	1,170 SQ. FT.	
TOTAL BUILDING AREA	3,970 SQ. FT.	
		BUILDING HEIGHT
		20 FT.
PARKING:	REQUIRED	PROPOSED
	2 PER RESIDENCE	4 SPACES
CONDT TYPE:	V-N	
MAX HEIGHT:	35 FT.	
OCCUPANCY:	R-3	
SPRINKLERS:	YES, PER NFPA 13K	

SHEET INDEX

T - 1	TITLE SHEET	
CIVIL		
1 OF 5	PROJECT DATA & NOTES	
2 OF 5	DRIVEWAY PLAN AND PROFILE	
3 OF 5	DRIVEWAY PLAN AND PROFILE	
4 OF 5	SEPTIC PLAN	
5 OF 5	EROSION CONTROL PLAN	
ARCHITECTURAL		
A - 1	MAIN HOUSE FLOOR PLAN	
A - 2	MAIN HOUSE ELEVATIONS	
A - 3	GUEST HOUSE FLOOR PLAN & ELEVATIONS	
		TOTAL 4 SHEETS

PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF TWO RESIDENCES. A PRIMARY RESIDENCE OF 2,900 SQUARE FEET AND A SECONDARY RESIDENCE OF 1,170 SQUARE FEET. BOTH RESIDENCES WILL BE ACCESSED BY A NEW DRIVEWAY APPROXIMATELY 150 FT IN LENGTH. SITE DISTURBANCE WILL BE MAINLY FROM THE CONSTRUCTION OF THE DRIVEWAY AND THE TWO BUILDING PADS.

THOMAS - GRADING, DRAINAGE AND EROSION CONTROL PLAN

PEACHY CANYON ROAD COUNTY OF SAN LUIS OBISPO, CA

OWNER
BETTY THOMAS

PROJECT DATA:
APR. 08-19-02
RESUBMITTAL
SURVEYOR
DANCE LAND SURVEYS
1000 S. GARDNER
ATASCADERO, CALIFORNIA
93428-2442

LEGAL DESCRIPTION
RND PR P29 W 17 84 LES 578 875

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THE SURVEY WORK IS A GRID NORTH
BASED FROM INFORMATION SOURCES BASED ON NGS24 DATUM.

BASIS OF ELEVATION:
THE ELEVATION FOR THIS SURVEY IS THE CENTER OF PENDENT NEAR
THE SURFACE CORNER OF THE PRICED, HAVING AN ELEVATION OF
1033.07 SCALED FROM INFORMATION SOURCES BASED ON NAVD83 DATUM.

SITE DISTURBANCE:
63,500 SF.

EARTHWORK QUANTITIES:
CUT: 3800 CY

PLEASE NOTE: EXACT SURFACE, COORDINATION AND
ELEVATION FACTORS AND LOSSES DUE TO CLEARING OPERATIONS
BASED ON THE FIELD, ESTIMATED EARTHWORK QUANTITIES ARE
BASED ON THE LATEST SURVEY DATA, AND SHALL BE SUBJECT TO
CHECKING AND A REPORT DURING THE CONSTRUCTION PERIOD.

SCOPE OF WORK:

1. EXCAVATION FOR (2) - 1 BEDROOM SFR AND DRIVEWAY
2. CUT & FILL AREA OF DISTURBANCE FOR ALL IMPROVEMENTS AS SHOWN
- FURTHER CONSTRUCTION REQUIREMENTS (P. 2, 3, 4)
3. 14" MAXIMUM CUT / 8.5" MAXIMUM FILL

GENERAL DRAINAGE SCOPE
1. FILL RETAINING WALL FOR DRIVEWAY (BY OTHERS)
2. FILL RETAINING WALL FOR SFR (BY OTHERS)

SEWERAGE SCOPE
1. SEWER TREATMENT AND DRAINAGE
2. INFILTRATION BARRIERS TO SATISFY PER (2) AND (3)

SCOPE OF UTILITIES
1. UTILITIES PROPOSED WITH THIS PROJECT
2. UTILITIES SHOWN FOR SCHEMATIC/COORDINATION PURPOSES ONLY

SCOPE OF PUBLIC IMPROVEMENTS
1. N/A

SEWER COLLECTION PLAN NOTES
1. EXISTING SEWER MAIN

(ACTUAL EXISTING COVERS SHALL BE FOR THE PROVIDED SUPPLY).

APPLICABLE CODES:

- 2013 CALIFORNIA DRAINAGE CODE
- 2013 CALIFORNIA BUILDING CODE, VOLS. 1 & 2 (2013 CBC)
- 2013 CALIFORNIA ELECTRICAL CODE (2013 NEC)
- 2013 CALIFORNIA FIRE CODE (2013 FIC)
- 2013 CALIFORNIA GROUND BLENDED CODE (GBC)
- 2013 CALIFORNIA MECHANICAL CODE (2013 IMC)
- 2013 CALIFORNIA PLUMBING CODE (2013 UPC)
- 2013 CALIFORNIA REFERENCED STANDARDS CODE
- 2013 CALIFORNIA REMEDIATION CODE (2013 RMC)
- COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19
- COUNTY ZONING AND LAND USE ORDINANCE - TITLE 23
- COUNTY FIRE CODE ORDINANCE - TITLE 26
- COUNTY LAND USE ORDINANCE - TITLE 27

ABBREVIATIONS

- AC Asphalt Concrete Paving
- AD Angle Point
- CD Corner
- CL Centerline
- CONC Concrete
- CONST Construction
- DM & B Dam & Bridge
- DTL Detail
- EX Existing Grade
- DIR Direction
- EXIST () Existing
- FF Finished Floor
- FS Finished Surface
- FFV Fire Hydrant
- FL Flow Line
- G Gas
- GB Grade Break
- GR Finished Grade
- HPC High-density Polyethylene
- HP High Point
- INT Invert Elevation
- LI Lift
- LF Linear Foot
- LP Low Point
- M Manhole
- P Power
- PC Point of Curvature
- PL Property Line
- PLC Point of Reverse Curvature
- PP Point of Tangency
- PUC Public Utility Connection
- PVC Polyvinyl Chloride
- R Road
- RT Right
- RP Right-of-Way Point
- RTW Right-of-Way
- S Stone
- SD Storm Drain
- SS Sanitary Sewer
- ST Street
- STA Station
- T Top of Bed
- TV Topography
- W Water

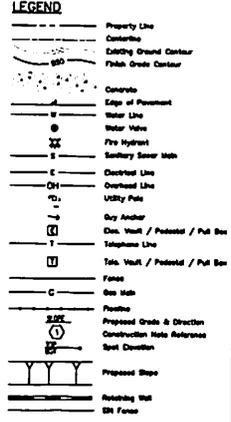
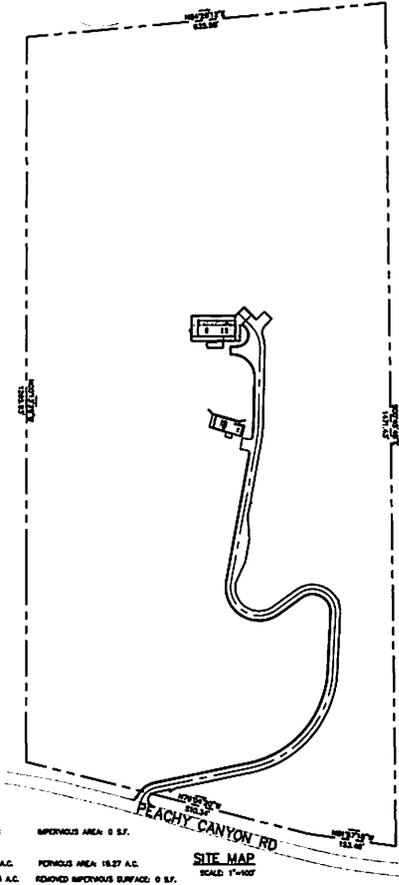


TABLE 3-7: PR1 MANDATORY SITE DESIGN MEASURES *

MANDATORY SITE DESIGN MEASURES (SELECT AT LEAST ONE)	SELECTED	REASON IF NOT SELECTED	HANDBOOK SECTION
a. Leaf runoff directed into drainage or rain barrel	yes	At owner's discretion	8.2.1
b. Leaf runoff directed into vegetated areas (away from building foundations and hardscapes)	yes		8.2.2
c. Street Runoff (curbside, sidewalk, and/or gutter) directed into vegetated areas (away from building foundations and hardscapes)	yes		8.2.3
d. Runoff from driveway and/or unsewered parking into vegetated areas (away from building foundations and hardscapes)	yes		8.2.4
e. Groundwater flow, drainage, unsewered parking into vegetated areas	N/A		8.2.5

EXISTING PROJECT
TOTAL PROJECT AREA: 324 A.C.
TOTAL IMPERVIOUS AREA: 0.73 A.C.
NEW IMPERVIOUS SURFACE: 0.73 A.C.
REPLACED IMPERVIOUS SURFACE: 0 S.F.
TOTAL SITE DISTURBANCE: 63,500 S.F.

PROPOSED PROJECT
TOTAL PROJECT AREA: 324 A.C.
TOTAL IMPERVIOUS AREA: 18.27 A.C.
NEW IMPERVIOUS SURFACE: 0 S.F.
REPLACED IMPERVIOUS SURFACE: 0 S.F.
TOTAL SITE DISTURBANCE: 63,500 S.F.



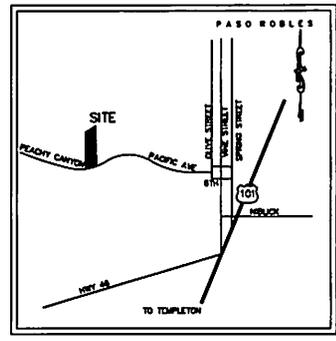
SITE MAP
SCALE: 1"=100'

GRADING NOTES

1. ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER APPLICABLE CODES/REQUIREMENTS.
2. THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONSTRUCTION SHALL BE SCHEDULED TO BEGIN WITHIN 30 DAYS FROM THE DATE OF ANY WORK BEING PERFORMED, AND AVOIDANCE FOR INSPECTION.
3. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT BY BRADY CONSULTING, INC. DATED NOVEMBER 11, 2015 (P-101268).
4. ESTIMATED EARTH QUANTITIES:
CUT: 3800 CY FILL: 8800 CY
5. WORK: EXACT SURFACE, COORDINATION, AND ELEVATION FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD BE ADJUSTED TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BE RESPONSIBLE FOR ANY ADJUSTMENTS.
6. SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SOIL REPORT FOLLOWING PROGRESS AND/OR CONSTRUCTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REQUIRES PAID CERTIFICATION SHALL BE PROVIDED. WHEN APPLICABLE THE ENGINEER SHALL DESIGN THE GRADING OPERATIONS AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED CONSTRUCTION REPORTS AND A REPORT DURING THE CONSTRUCTION PERIOD HAS BEEN OBTAINED AND IS IN COMPLIANCE WITH THE USE AND COUNTY ORDINANCES.
7. NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1) UNLESS AS NOTED OR AUTHORIZED BY SECTION 8.04 OF THE SOILS REPORT.
8. SOFT CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
9. AREAS OF FILL SHALL BE GRADED, BROADCAST AND RECOMPACTED PRIOR TO REPLACING FILL AND DESIGNED BY A SOIL OR CIVIL ENGINEER.
10. FILL MATERIAL SHALL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY.
11. REMOVE ANY EXISTING MATERIAL DISCONTINUED BEFORE PLACING FILL.
12. ALL DISTURBED AREAS SHALL BE VEGETATED OR PLANTED WITH APPROVED SPECIES OF NATIVE PLANTS AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE.
13. MINIMUM SETBACK TO CREEKS AND SLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES SHALL BE MAINTAINED FOR ALL GRADING.
14. MINIMUM SETBACK FROM BUILDINGS SHALL BE 36 FEET FOR THE FIRST TEN FEET AROUND PERIMETER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SURVEY MARKERS OR BENCHMARKS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
16. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND SHALL OBTAIN AN ENCROACHMENT PERMIT.
17. DRAINAGE REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.

SHEET INDEX

- SHEET 1 - TITLE SHEET
- SHEET 2 - DRIVEWAY PLAN AND PROFILE
- SHEET 3 - DRIVEWAY PLAN AND PROFILE
- SHEET 4 - SEPTIC PLAN
- SHEET 5 - EROSION CONTROL PLAN



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO STARTING CONSTRUCTION AND OF THE LOCATION OF THE CONSTRUCTION. ANY CONSTRUCTION NOT APPROVED BY THE BUILDING DEPARTMENT WILL BE APPROVED PLANS OR PLANS APPROVED BY THE BUILDING DEPARTMENT WILL BE APPROVED BY THE CONTRACTOR'S OWNERS RISK.
2. FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS FOR THE PROJECT, THE BUILDING DEPARTMENT MAY REMOVE ALL ACTIVE PERMITS AND REVOKE THAT COUNTY CODE ENFORCEMENT FINANCE. A 30-DAY NOTICE OF STOP WORK ORDER IN ACCORDANCE WITH SECTION 23.81-140 (23) OF THE LAND USE ORDINANCE.
3. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT EDITION OF SAN LUIS OBISPO PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
4. THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING ALL EXISTING UTILITIES AND RECORDS. POTENTIAL HAZARDS HAVE BEEN IDENTIFIED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN IDENTIFIED, TO ALL EXISTING UTILITIES LOCATED IN THE VICINITY OF WORK.
5. ON-SITE HAZARD TO PUBLIC SAFETY SHALL BE IDENTIFIED BY CONSTRUCTION FINISHED. FINISHED SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH THAT THE PROJECT IS COMPLETED AND OCCUPANCY. POTENTIAL HAZARDS HAVE BEEN IDENTIFIED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN IDENTIFIED, TO ALL EXISTING UTILITIES LOCATED IN THE VICINITY OF WORK.
6. SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 8.3.3. ALL TESTS MUST BE MADE WITHIN 10 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
7. ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, EXISTING BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SOIL TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE HOT MIX ASPHALT.
8. SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% (100% FOR ALL MATERIAL IN FILL EXCEPTS BELOW THE ZONE MENTIONED ABOVE) SHALL BE COMPACTED TO THE RELATIVE COMPACTION FACTOR.
9. A REPRESENTATIVE ONE (1) DAY INSPECTION WITH THE BUILDING DEPARTMENT SHALL BE ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR THE BUILDING DEPARTMENT SHALL BE PROVIDED PRIOR TO THE FINAL INSPECTION. IF COMPLETE, THE CIVIL ENGINEER CERTIFYING THE IMPROVEMENTS AND PREPARING THESE PLANS SHALL BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
10. AN ENGINEER OF WORK AGREEMENT AND AN ENGINEER CERTIFIED AND INSPECTION AGREEMENT ARE REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE BUILDING DEPARTMENT SHALL BE NOTIFIED IN WRITING OF ANY CHANGES TO THE ENGINEER OF WORK AGREEMENT. CONSTRUCTION SHALL PROCEED WITHOUT AN ENGINEER OF WORK.
11. ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
12. A COUNTY ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT SHALL INCLUDE ADDITIONAL CONSTRUCTION, UTILITY AND SURVEY CONTROL REQUIREMENTS.
13. THE COUNTY INSPECTOR ACTING ON BEHALF OF THE COUNTY BUILDING DEPARTMENT MAY REQUIRE REVISIONS TO THE PLANS TO CORRECT UNAPPROVED FEATURES THAT ARE NOT IN ACCORDANCE WITH THE PLANS. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
14. THE STRUCTURAL SECTION SHALL BE BASED ON THE 8'-WALLS DETERMINED BY THE TESTS MADE AT THE TIME OF CONSTRUCTION AND A SURVEY RECORDED BY THE BUILDING DEPARTMENT. THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
15. VEGETATION OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITHIN 90 DAYS OF CONSTRUCTION ON ALL DISTURBED SURFACES (OTHER THAN FIELDS OR GRASS SURFACES) PRIOR TO THE FINAL INSPECTION.
16. FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE COUNTY OF SAN LUIS OBISPO, THE COUNTY PUBLIC IMPROVEMENT STANDARDS SHALL BE APPLIED. THE BUILDING DEPARTMENT OF THE COUNTY OF SAN LUIS OBISPO SHALL BE NOTIFIED IN WRITING OF ANY CHANGES TO THE COUNTY BUILDING DEPARTMENT OR, IF SOUGHT THAT THE REGULATORY AGENCIES DETERMINED THAT THIS PROJECT IS NOT REQUIRED PRIOR TO ACCEPTANCE OF THE COMPLETED IMPROVEMENTS FOR COUNTY MAINTENANCE AND RELEASE OF IMPROVED SECURITY. ANY REVISIONS REQUIRED BY SAN JOSE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
17. WHEN THE PROJECT SITE EARTHWORK IS NOT EXTENDED TO BALANCE WITH A SEPARATE DRAINAGE PERMIT FOR THE REMOVAL OR REDUCTION PROPERTY THAT IS REQUIRED, A COPY OF THE PERMIT'S OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

UNDERGROUND UTILITY NOTES

1. AN EFFORT HAS BEEN MADE TO REVEAL THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION SHOULD BE REVEALED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MARKING ALL EXISTING UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
2. ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF CONSTRUCTION AND SHALL VERIFY THE LOCATION OF ANY EXISTING UTILITIES AND SERVICES OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING CONSTRUCTION.



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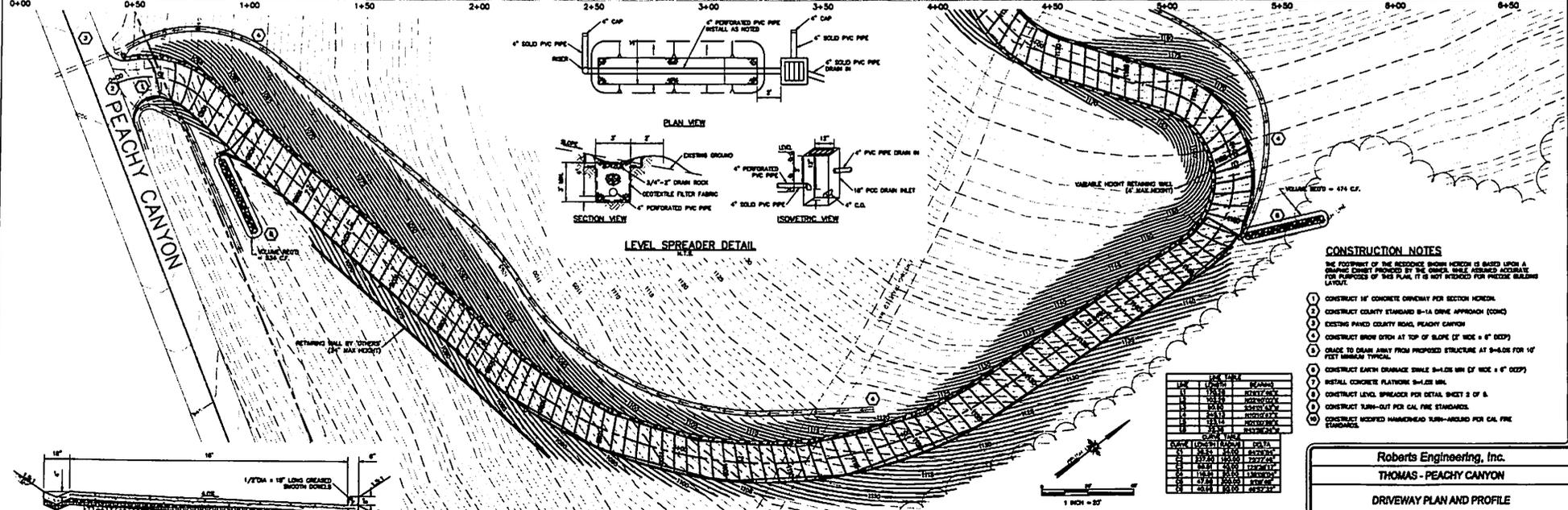
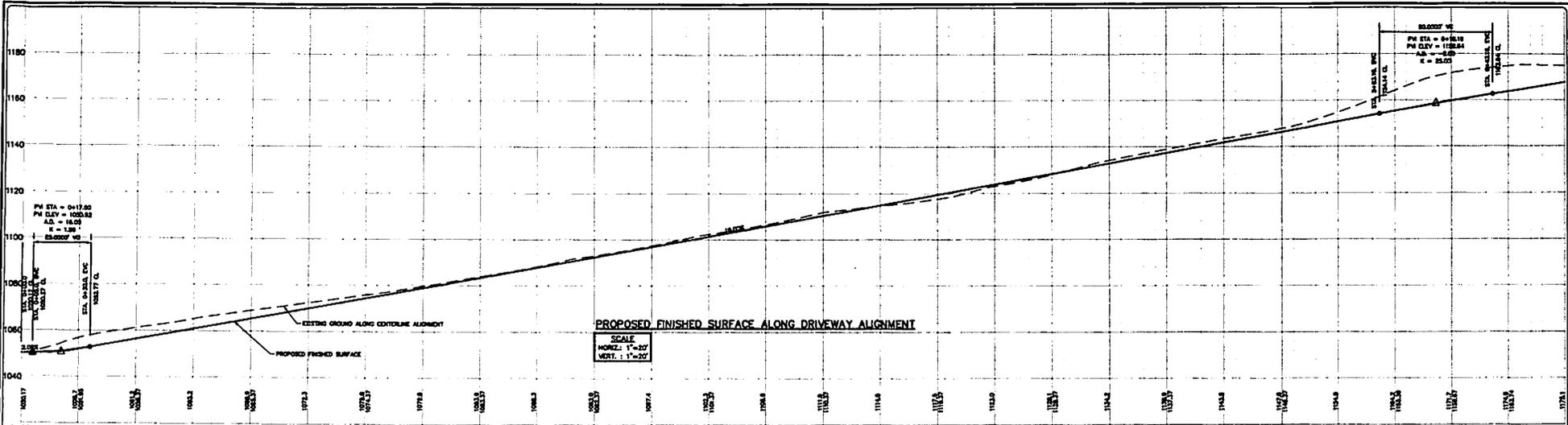


Roberts Engineering, Inc.
THOMAS - PEACHY CANYON

TITLE SHEET

Project/Draw	City/Plan/Order	Approved By/Date/Signature
TR/MD	API	Paula Marie Director
Job #	Issue Date	11/18/2015
Contract/Commission/CS&AL/Zone #	Project/Plan/Reference/35366/MD/02/25/17	

1
of 5

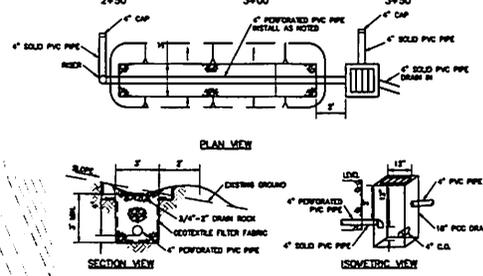


1. 8-1/2" BACK CURB
 2. EXPANSION JOINTS AT 30-FOOT MAXIMUM, 8" & 12"
 3. REINFORCED PLANE JOINTS AT 10-FOOT MAXIMUM INTERVAL

IF PORTLAND CEMENT CONCRETE DRIV. OVER 4" CLASS 1 AGG. BASE, OVER 1" SUBGRADE COMPACTED TO 95% RELATIVE COMPACTION

STA. 7+15.00 TO STA. 8+07.00 AND V-SHED
 STA. 8+02.00 TO STA. 12+07.00 AND V-SHED
 STA. 30+70.00 TO STA. 7+00.00 (DRAINABLE BY RETAINING WALL - BY OTHERS)

TYPICAL DRIVEWAY SECTION
 S.L.S.



ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE DRIVEWAY	10,000	SQ. YD.
2	CONCRETE STANDARD 8-1/2\"/>		

- CONSTRUCTION NOTES**
- THE FOOTPRINT OF THE RETAINING WALLS HEREIN IS BASED UPON A GRADE COMPUTED BY THE OWNER. WHILE ASSUMED ACCURATE FOR PURPOSES OF THIS PLAN, IT IS NOT INTENDED FOR PRECISE BUILDING LAYOUT.
- CONSTRUCT 18\"/>



Roberts Engineering
 Timothy P. Roberts
 Civil Engineer - RCE 35368

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 Fax (925) 238-8148
 Email robertseng@charter.net

Record Drawings

Author	Checker	Date
Timothy P. Roberts	RCE 35368	08/25/15
Review	See Book	

Roberts Engineering, Inc.
THOMAS - PEACHY CANYON

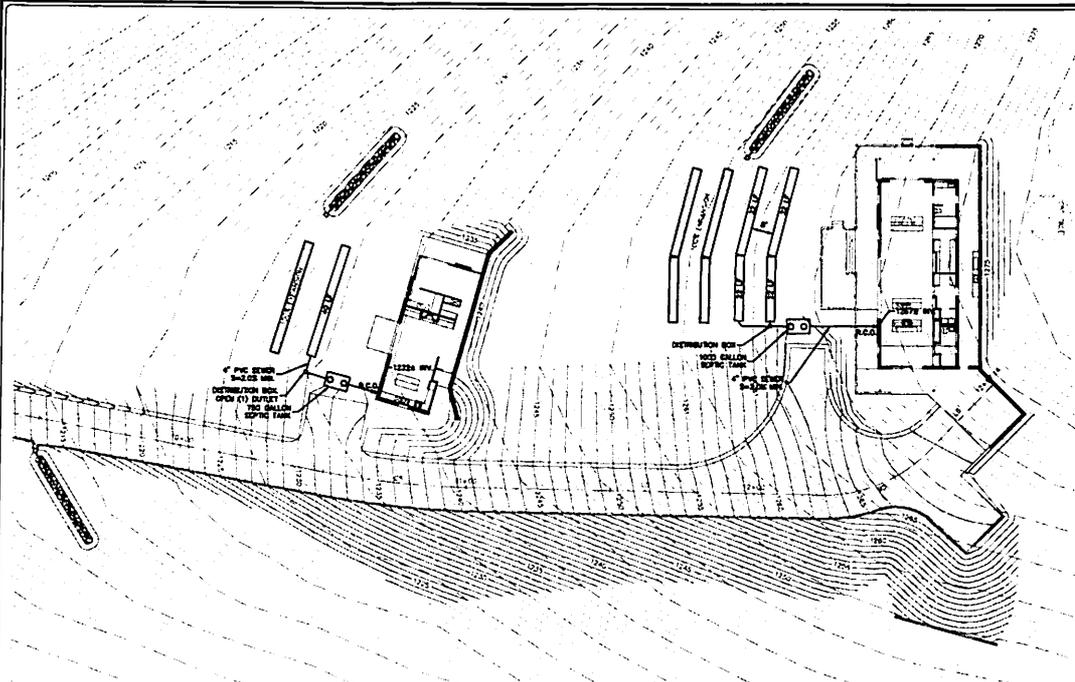
DRIVEWAY PLAN AND PROFILE

Drawn/Rev: TR/LMD
 Date: 11/18/2015

Checked/Rev: (SEEAL) SWS
 Date: 02/25/17

11/18/2015

2

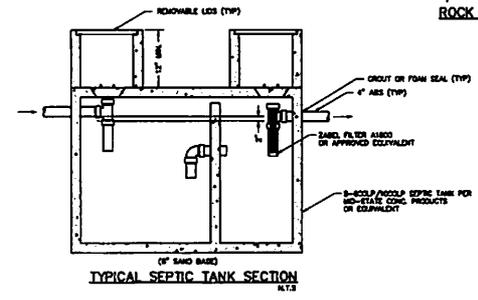
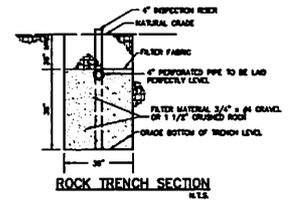


SEPTIC TANK NOTES

1. THE SEPTIC TANK SHALL BE CONSTRUCTED OF CONCRETE OR PRECASTES AND SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN APPROX. 1, SECTION 15 OF THE CALIFORNIA PLUMBING CODE.
2. SEPTIC TANKS INSTALLED UNDER CONCRETE OR ASPHALT CONCRETE FINISH SHALL BE THE REQUIRED MANHOLES ACCESSIBLE BY EXTENDING THE MANHOLE OPENING TO GRADE BY MEANS OF AN ACCESS BLOCK.
3. SEPTIC TANKS SHOULD BE INSPECTED EVERY 2 TO 3 YEARS AND PUMPED UNLESS THE BOTTOM OF THE SOLID LAYER IS WITHIN 3" OF THE TOP OF TANK, OR SLUDGE IS WITHIN 18" OF THE SOLID AND SLUDGE EXCEEDS ONE THIRD THE EFFECTIVE DEPTH OF THE SEPTIC TANK.

ONSITE WASTE WATER DISPOSAL SYSTEM

1. REFER TO SEPTIC SYSTEM DESIGN LETTER DATED NOVEMBER 23, 2014

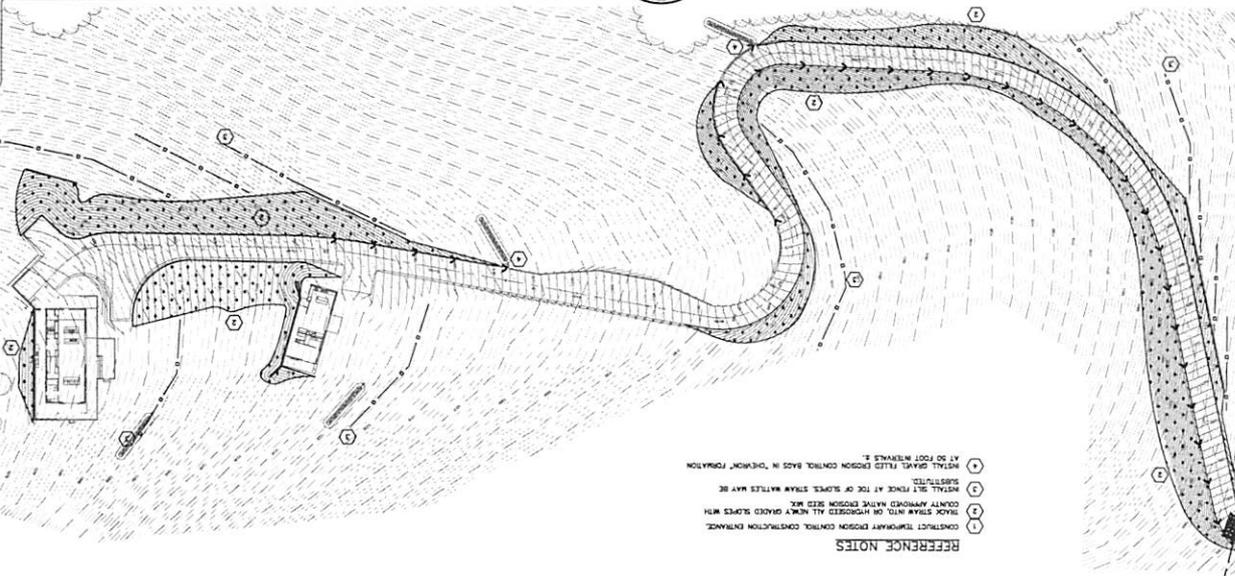


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Record Drawings	
Drawn By	Date
Timothy P. Roberts, RCE 35366	08/25/15

Roberts Engineering, Inc.			
THOMAS - PEACHY CANYON			
SEPTIC PLAN			
Design/Drawn	City Plan Checker	Approved for City Requirements	
TR/MD	NA	Public Works Director	Date
Job #	Issue Date	Timothy P. Roberts, RCE 35366	11/23/2015
Contract Description (CS&AL, Zone 1)			08/25/15
			4
			of 5

- EROSION CONTROL NOTES**
1. THE SITE SHALL BE MAINTAINED TO PREVENT EROSION FROM OCCURRING AT ANY TIME.
 2. ALL AREAS EXPOSED TO EROSION SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.
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 15. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.



REFERENCE NOTES

1. LOCAL STATEMENT OF WORK SHALL BE PROVIDED TO THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION.

Hydr seeding



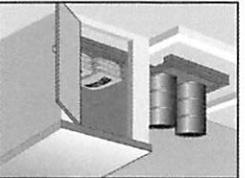
- Targeted Constituents**
- EC - Concrete
 - EC - Cement
 - EC - Mortar
 - EC - Grout
 - EC - Plaster
 - EC - Stucco
 - EC - Brick
 - EC - Block
 - EC - Tile
 - EC - Glass
 - EC - Metal
 - EC - Plastic
 - EC - Wood
 - EC - Paper
 - EC - Fabric
 - EC - Rubber
 - EC - Leather
 - EC - Glass
 - EC - Metal
 - EC - Plastic
 - EC - Wood
 - EC - Paper
 - EC - Fabric
 - EC - Rubber
 - EC - Leather

Description and Purpose

Hydr seeding is a method of applying a mixture of seed, fertilizer, and mulch to a bare soil surface. It is used to prevent erosion and promote vegetation growth on slopes and disturbed areas.

- Suitable Applications**
- Erosion control on slopes and disturbed areas.
 - Vegetation establishment on bare soil.
 - Soil stabilization and erosion control.
 - Slope stabilization and erosion control.
 - Erosion control on roadsides and embankments.
 - Erosion control on construction sites.
 - Erosion control on agricultural fields.
 - Erosion control on golf courses.
 - Erosion control on parks and recreation areas.
 - Erosion control on residential lawns.
 - Erosion control on commercial lawns.
 - Erosion control on industrial lawns.
 - Erosion control on utility sites.
 - Erosion control on military sites.
 - Erosion control on government sites.
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 - Erosion control on scientific sites.
 - Erosion control on research sites.
 - Erosion control on testing sites.
 - Erosion control on training sites.
 - Erosion control on recreation sites.
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Material Delivery and Storage



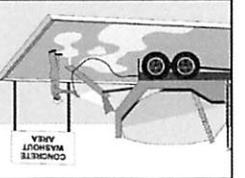
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 - EC - Wood
 - EC - Paper
 - EC - Fabric
 - EC - Rubber
 - EC - Leather

Description and Purpose

Material delivery and storage is a method of transporting and storing materials on a construction site. It is used to ensure that materials are available when needed and to prevent damage to materials during transport and storage.

- Suitable Applications**
- Material delivery and storage on construction sites.
 - Material delivery and storage on industrial sites.
 - Material delivery and storage on commercial sites.
 - Material delivery and storage on residential sites.
 - Material delivery and storage on utility sites.
 - Material delivery and storage on military sites.
 - Material delivery and storage on government sites.
 - Material delivery and storage on educational sites.
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Concrete Waste Management



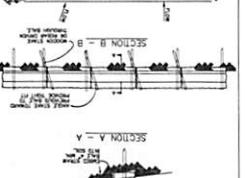
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 - EC - Leather
 - EC - Glass
 - EC - Metal
 - EC - Plastic
 - EC - Wood
 - EC - Paper
 - EC - Fabric
 - EC - Rubber
 - EC - Leather

Description and Purpose

Concrete waste management is a method of collecting and disposing of concrete waste on a construction site. It is used to prevent concrete waste from being a source of pollution and to ensure that concrete waste is disposed of in an environmentally sound manner.

- Suitable Applications**
- Concrete waste management on construction sites.
 - Concrete waste management on industrial sites.
 - Concrete waste management on commercial sites.
 - Concrete waste management on residential sites.
 - Concrete waste management on utility sites.
 - Concrete waste management on military sites.
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Straw Bale



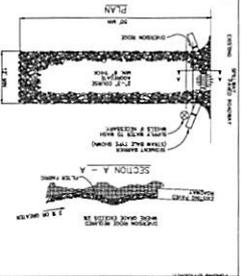
Description and Purpose

Straw bale erosion control is a method of using straw bales to prevent erosion on a slope. It is used to stabilize the soil and prevent erosion from occurring.

- Suitable Applications**
- Straw bale erosion control on slopes and disturbed areas.
 - Straw bale erosion control on roadsides and embankments.
 - Straw bale erosion control on construction sites.
 - Straw bale erosion control on agricultural fields.
 - Straw bale erosion control on golf courses.
 - Straw bale erosion control on parks and recreation areas.
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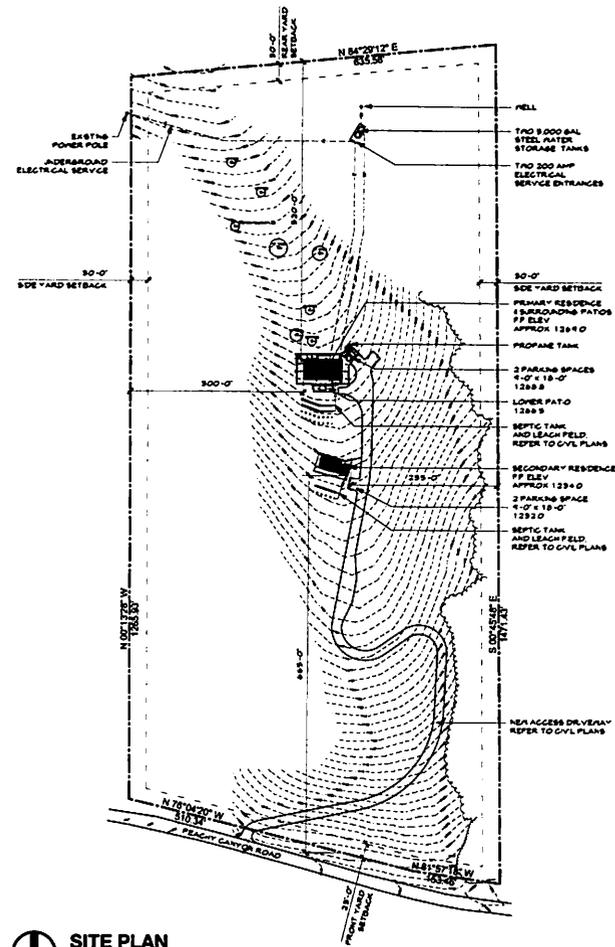
FIBER ROLLS

EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.



TEMPORARY CONSTRUCTION ENTRANCE/EXIT

EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE REPAIRED OR REPLACED AS NECESSARY.



SITE PLAN
1" = 100' - 0"

SITE GENERAL NOTES

- The owner/contractor shall be responsible for field verifying all existing conditions. All discrepancies shall be brought to the immediate attention of the ARCHITECT.
- All work done in the right of way shall require a separate encroachment permit. This includes all bridge improvements including grading, pavement and drainage.
- All paved areas, concrete sidewalks, footings, and retaining walls shall be per state report recommendations by Bascon geotechnical, inc. (The job # is P-101238-0004 11/11/15)
- Minimum 8% drainage for 12'-0" minimum away from building foundation is required in unshaded areas (CBC 1804-3)
- Dust control is to be maintained at all times.
- Permit No 2A108C encroachments shall be on site during construction per CPC Standard 10-1
- Provide approved street address numbers in a position to be plainly visible from the road, minimum 6' high.

SITE UTILITY NOTES

- All utilities shall be underground. All underground construction shall be completed and approved by the COUNTY and the PUBLIC UTILITIES COMPANIES.
- Provide water pressure regulator as required by the local authority.
- Verify location of PACE, CATV, and Telephone underground service boxes.



Architecture, Planning & Graphics
3151 Sacramento Dr. Suite 140
San Jose, California 95131
408/431-5604 www

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Project

THOMAS RESIDENCES

PEACHY CANYON ROAD
PASO ROBLES
CA 92345

Client

BETTY THOMAS

6383 WILSHIRE BLVD.
SITE 1000
BEVERLY HILLS
CA 90211
(310) 690 - 5400

Sheet Contents

SITE PLAN

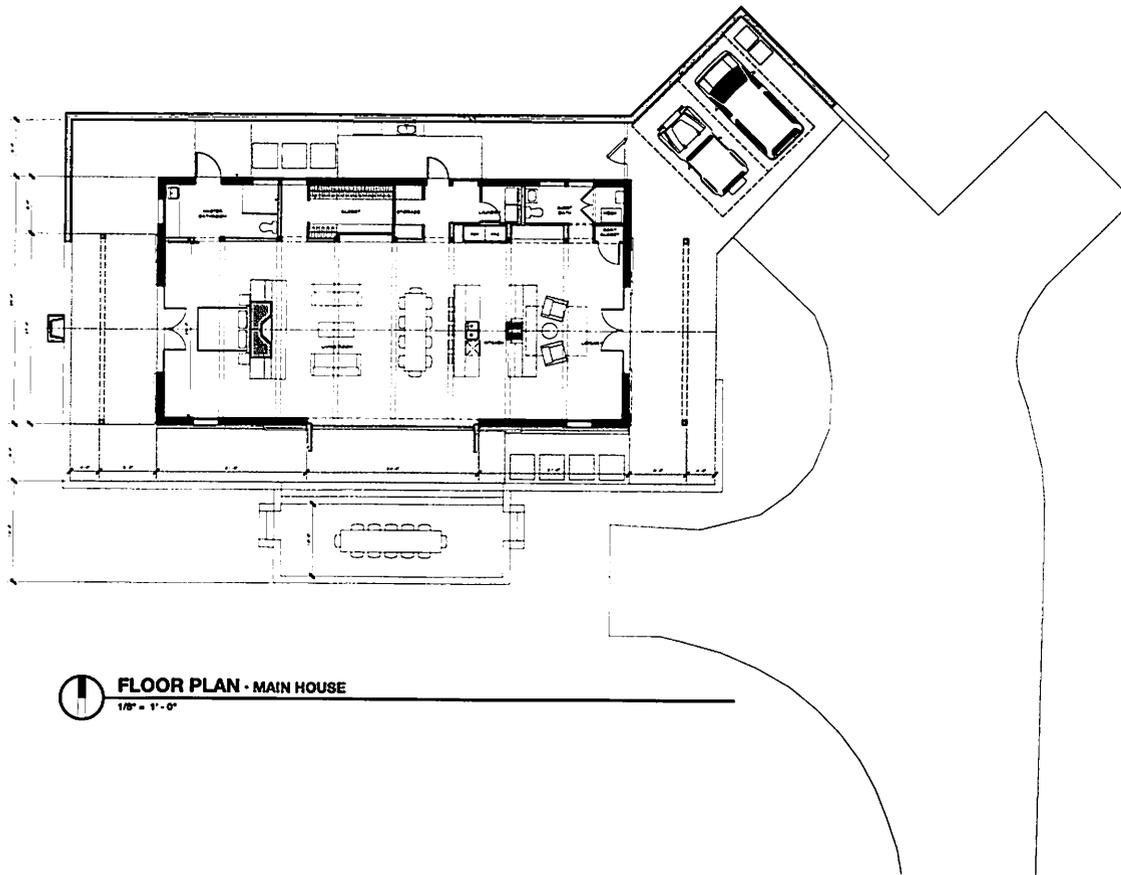


Date: 18 DEC 2019
Revised:

Job No: 1823

Sheet:

AC-1



FLOOR PLAN - MAIN HOUSE
1/8" = 1'-0"

PULLITS
Steven D. Pullits, AIA & Associates, LLP

Architecture, Planning & Graphics
3553 Saratoga Dr., Suite 100
San Jose, California 95051
831.541.5604 voice

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Project:

**THOMAS
RESIDENCES**

PEACHY CANYON ROAD
PASO ROBLES
CA 93445

Client:

BETTY THOMAS

8383 WILSHIRE BLVD.
STE. 1000
BEVERLY HILLS
CA 90211
(310) 890 - 5400

Sheet Contents:

FLOOR PLAN



Date: 18 DEC 2018
Revised:

Job No: 1823

Sheet: **A - 1**

Project:

THOMAS RESIDENCES

PEACHY CANYON ROAD
PASO ROBLES
CA 93445

Client:

BETTY THOMAS

8383 WILSHIRE BLVD.
STE. 1000
BEVERLY HILLS
CA 90211
(310) 890 - 5480

Sheet Contents:

EXTERIOR ELEVATIONS

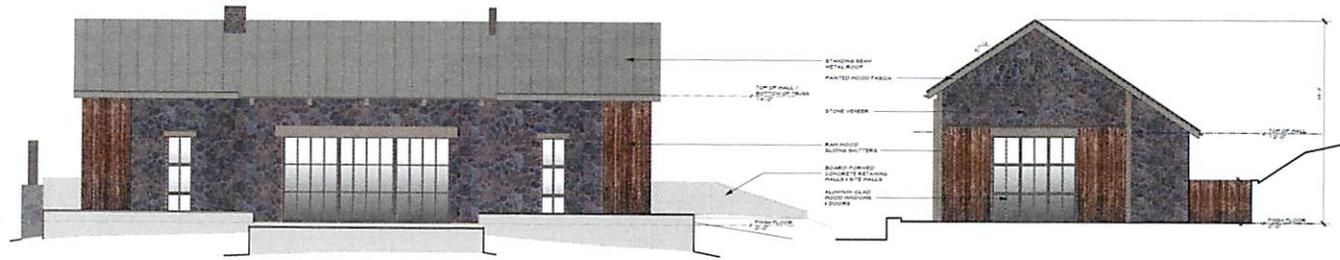


Date: **18 DEC 2015**
Revised:

Job No: **1523**

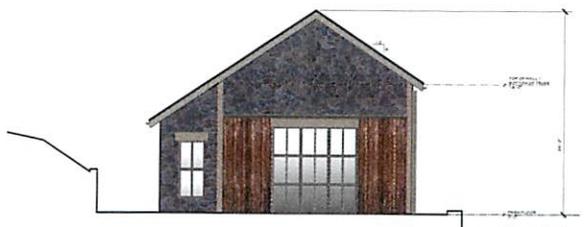
Sheet:

A - 2



SOUTH ELEVATION - MAIN HOUSE
1/8" = 1' - 0"

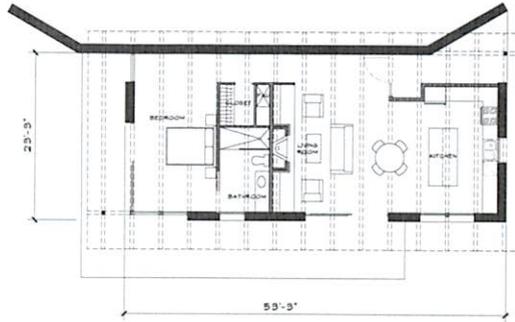
EAST ELEVATION - MAIN HOUSE
1/8" = 1' - 0"



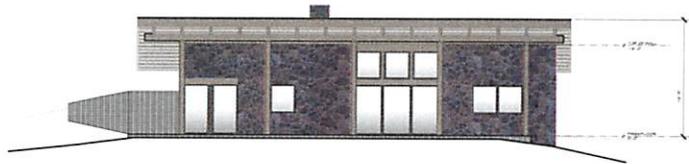
WEST ELEVATION - MAIN HOUSE
1/8" = 1' - 0"



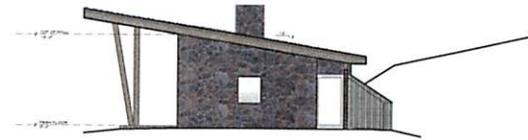
NORTH ELEVATION - MAIN HOUSE
1/8" = 1' - 0"



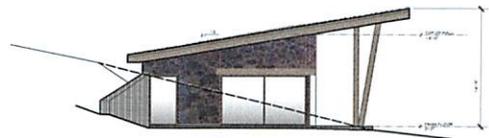
GUEST HOUSE PLAN
1/8" = 1'-0"



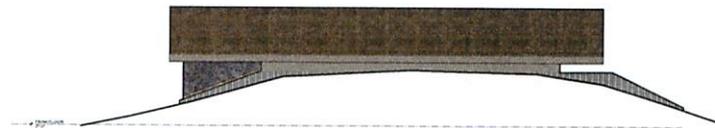
SOUTH ELEVATION - GUEST HOUSE
1/8" = 1'-0"



EAST ELEVATION - GUEST HOUSE
1/8" = 1'-0"



WEST ELEVATION - GUEST HOUSE
1/8" = 1'-0"



NORTH ELEVATION - GUEST HOUSE
1/8" = 1'-0"

THOMAS RESIDENCES

PEACHY CANYON ROAD
PASO ROBLES
CA 93445

Client:

BETTY THOMAS

8383 WILSHIRE BLVD
STE. 1000
BEVERLY HILLS
CA 90211
(310) 890-5460

Sheet Contents:

EXTERIOR
ELEVATIONS



Date: 18 DEC 2015

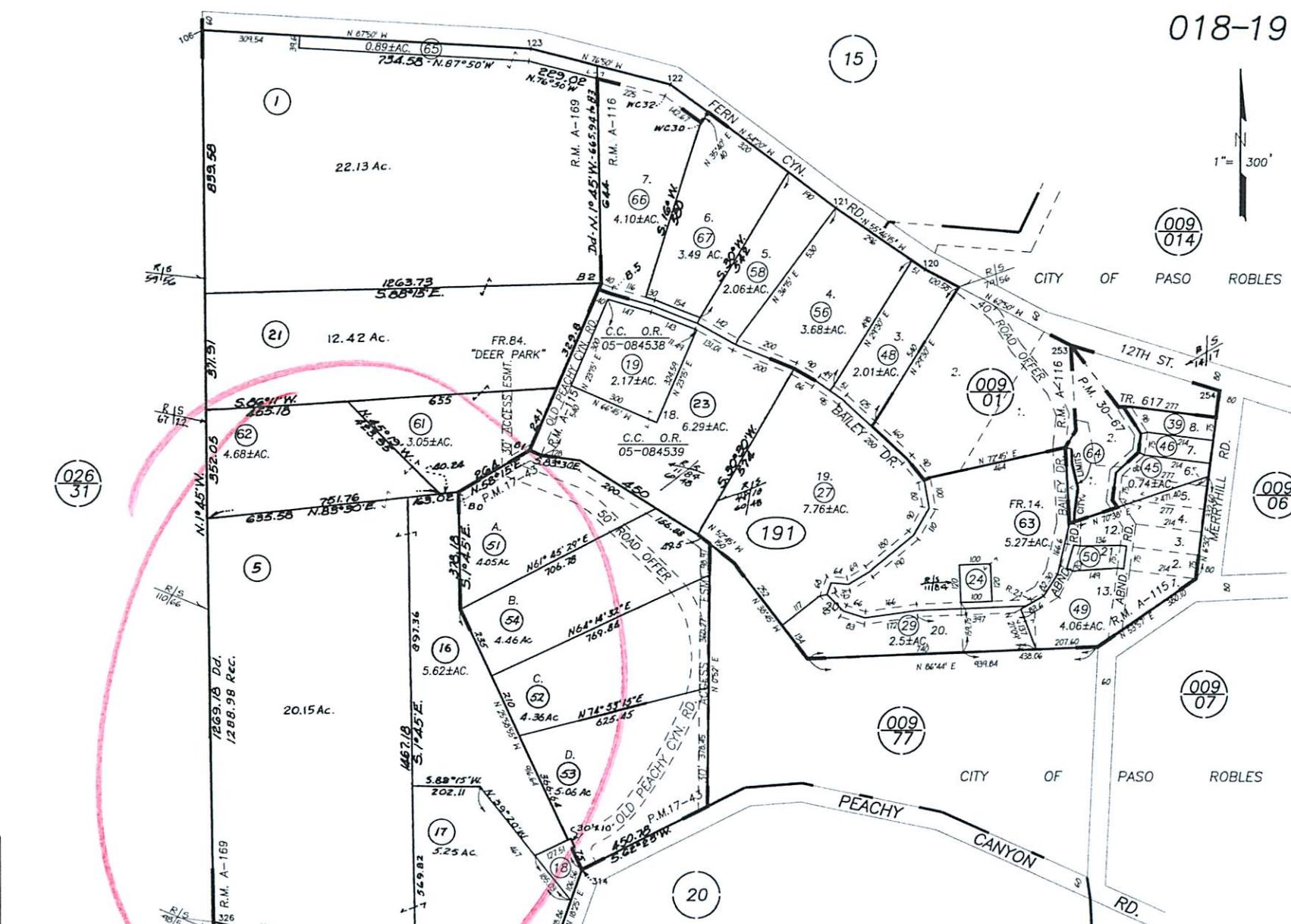
Revised:

Job No:

1523

Sheet:

A - 3



REVISIONS	
I.S.	DATE
05-409	05-09-05
NA	02-09-09
NA	03-30-10
NA	01-07-13

150' 0 300' 600'

JAV 09-11-00 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

RE-SUB. OF B. & B's. DEER PARK, R.M. Bk. A, Pg. 116. PASO ROBLES VICINITY
 BENNETT & BAILEY'S SUB.; DEER PARK, R.M. Bk. A, Pg. 115. ASSESSOR'S MAP, COUNTY OF
 CITY OF EL PASO DE ROBLES & ADJOINING SUBDIVISIONS, R.M. Bk. A, Pg. 169. SAN LUIS OBISPO, CA.
 BOOK 018 PAGE 191



Residential Suburban

Salinas River
Planning Area

Residential Rural

North County
Planning Area

Agriculture

ture



Parcel Summary Report For Parcel # 018-191-005

12/28/2015
9:01:01AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PEYROT ANTHONY G
 8383 WILSHIRE BLVD STE 1000 BEVERLY HILLS CA 90211-
OWN JACKIE RICO TRUST

Address Information

Status Address

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
VLT	0000	84P	North Cty. Plan	North County I RR				Y		

Parcel Information

Status Description

Active RHO PR PTN V LT 84 LESS PTN MIN RTS

Notes

APN IS ONE LEGAL PARCEL PER DEED 70 OR 321-322. JSM 2/24/15 MODERATE LANDSLIDE SO GEO REPORT NOT REQUIRED KNALL 10/29/15

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)



Parcel Summary Report For Parcel # 018-191-005

12/28/2015
9:01:01AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

DRC2015-00068

Case Status:

REC

Primary Parcel

Description:

MUP TO GRADE OVER ONE ACRE FOR DRIVEWAY AND PADS FOR TWO SINGLE-FAMILY RESIDENCES (2,500 & 1,200 SF). SITE DISTURBANCE FROM DRIVEWAY CONSTRUCTION AND BUILDING PADS IS ESTIMATED TO BE 63,610 SF.



Parcel Summary Report For Parcel # 018-191-005

12/28/2015
10:45:20AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN PEYROT ANTHONY G
 8383 WILSHIRE BLVD STE 1000 BEVERLY HILLS CA 90211-
OWN JACKIE RICO TRUST

Address Information

Status Address

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
VLT	0000	84P	North Cty. Plan	North County I RR				Y		

Parcel Information

Status Description

Active RHO PR PTN V LT 84 LESS PTN MIN RTS

Notes

APN IS ONE LEGAL PARCEL PER DEED 70 OR 321-322. JSM 2/24/15 MODERATE LANDSLIDE SO GEO REPORT NOT REQUIRED KNALL 10/29/15

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)



Parcel Summary Report For Parcel # 018-191-005

12/28/2015
10:45:21AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

DRC2015-00068

Case Status:

REC

Primary Parcel

Description:

MUP TO GRADE OVER ONE ACRE FOR DRIVEWAY AND PADS FOR TWO SINGLE-FAMILY RESIDENCES (2,500 & 1,200 SF). SITE DISTURBANCE FROM DRIVEWAY CONSTRUCTION AND BUILDING PADS IS ESTIMATED TO BE 63,610 SF.