



# DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

DATE: 12/28/2015

TO: \_\_\_\_\_

FROM: BRANDI CUMMINGS, 805-781-1006, bcummings@co.slo.ca.us  
NORTH COUNTY Team / Development Review

**PROJECT DESCRIPTION:** DRC2015-00069 FERRARA MUP, PROPOSED CONSTRUCTION OF A WINE PRODUCTION BUILDING W/COVERED CRUSH PAD, WINE STORAGE BUILDING W/ COVERED CRUSH PAD AND CONVERSION OF AN EXISTING BARN THAT WILL INCLUDE A TASTING ROOM AND COMMERCIAL KITCHEN AT FINAL BUILDOUT. EXISTING ACCESS ROAD TO BE IMPROVED AND PAVED. PROPERTY LOCATION IS 1875 TEMPLETON ROAD, TEMPLETON. APN: 034-131-038

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Phone

# GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00069

FERRARA JOSEP

## APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit  Tree Permit  Minor Use Permit  
 Conditional Use Permit/Development Plan  Plot Plan  
 Curb, Gutter & Sidewalk Waiver  Other  Site Plan  
 Surface Mining/Reclamation Plan  Zoning Clearance  
 Amendment to approved land use permit  Variance

MINOR USE PERMIT

3 PHASE DEVELOPMENT WINERY BIAGIO  
WINES CO.  
NCELPO/ NCELPO  
AG EX1 FH

## APPLICANT INFORMATION

 Check box for contact person assigned to this project

Landowner Name Joseph Ferrara / Chris Ferrara Daytime Phone 559-592-9393  
Mailing Address \_\_\_\_\_ Zip Code \_\_\_\_\_  
Email Address: \_\_\_\_\_

Applicant Name Christopher Ferrara Daytime Phone (805) 748-2779  
Mailing Address 1877 Templeton Road, Templeton, CA 93465 Zip Code 93401  
Email Address: biagiowines@yahoo.com

Agent Name Kirk Consulting / Francisco Vargas Daytime Phone (805) 461-5765  
Mailing Address 8830 Morro Rd. Atascadero, CA Zip Code 93422  
Email Address: francisco@kirk-consulting.net

## PROPERTY INFORMATION

Total Size of Site: 29.95 acres Assessor Parcel Number(s): 034-131-038

Legal Description: PM 24/84 PAR B

Address of the project (if known): 1875 Templeton Road, Templeton, CA 93465

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Templeton Road provides primary access to the site. Templeton Road is accessible off of (East) Highway 41. See plans for more details

Describe current uses, existing structures, and other improvements and vegetation on the property:  
Agricultural farming, two residences and a barn

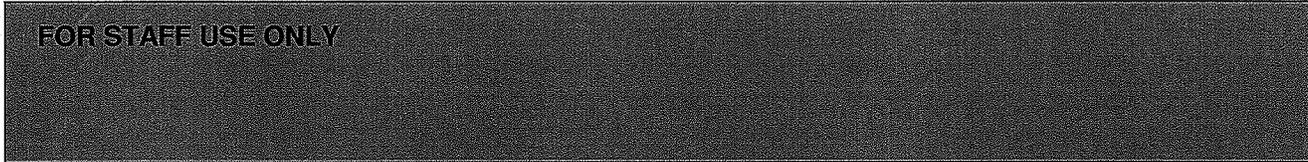
## PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Refer to the attached detailed project description.

## LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 12/11/15



# LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

Type of project:  Commercial  Industrial  Residential  Recreational  Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): Setback modification (please refer to the attached detailed project description for more information)

Describe existing and future access to the proposed project site: The site is accessible off of Templeton Road, improvements are proposed to the existing driveway to meet the projects requirements.

Surrounding parcel ownership: Do you own adjacent property?  Yes  No  
If yes, what is the acreage of all property you own that surrounds the project site? \_\_\_\_\_

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Residential Rural South: Salinas River  
East: Agriculture West: Agriculture

### For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 7500 sq. feet \_\_\_\_\_ % Landscaping: \_\_\_\_\_ sq. feet \_\_\_\_\_ %

Paving: 2500 sq. feet \_\_\_\_\_ % Other (specify) \_\_\_\_\_

Total area of all paving and structures: 10,000 (2 new Structures)  sq. feet  acres

Total area of grading or removal of ground cover: 1.5  sq. feet  acres

Number of parking spaces proposed: 9 Height of tallest structure: 29' 8"

Number of trees to be removed: 5 Type: Oak Trees

Setbacks: Front 1,880' Right 1,300' Left 1,150' Back 330'

Proposed water source:  On-site well  Shared well  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for provision: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Proposed sewage disposal:  Individual on-site system  Other \_\_\_\_\_  
 Community System - List the agency or company responsible for sewage disposal: \_\_\_\_\_  
Do you have a valid will-serve letter?  Yes  No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire. Nearest Station: Templeton Fire Dep.

### For commercial/industrial projects answer the following:

Total outdoor use area: 2,500 (2-1,250 covered crush pads)  sq. feet  acres

Total floor area of all structures including upper stories: 8,282 (two new structures) sq. feet

### For residential projects, answer the following:

Number of residential units: N/A Number of bedrooms per unit: N/A

Total floor area of all structures including upper stories, but not garages and carports: N/A

Total of area of the lot(s) minus building footprint and parking spaces: N/A

# ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No \_\_\_\_\_

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

**To ensure that your environmental review is completed as quickly as possible, please remember to:**

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

## Physical Site Characteristic Information

**Your site plan will also need to show the information requested here:**

- Describe the topography of the site:  
Level to gently rolling, 0-10% slopes: 30 acres  
Moderate slopes of 10-30%: \_\_\_\_\_ acres  
Steep slopes over 30%: \_\_\_\_\_ acres
- Are there any springs, streams, lakes or marshes on or near the site?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Are there any flooding problems on the site or in the surrounding area?  Yes  No  
If yes, please describe: \_\_\_\_\_
- Has a drainage plan been prepared?  Yes  No  
If yes, please include with application.
- Has there been any grading or earthwork on the project site?  Yes  No  
If yes, please explain: \_\_\_\_\_
- Has a grading plan been prepared?  Yes  No  
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project?  Yes  No
- Is a railroad or highway within 300 feet of your project site?  Yes  No
- Can the proposed project be seen from surrounding public roads?  Yes  No  
If yes, please list: \_\_\_\_\_

**Water Supply Information**

1. What type of water supply is proposed?  
 Individual well     Shared well     Community water system
2. What is the proposed use of the water?  
 Residential     Agricultural - Explain Irrigation of Vineyards  
 Commercial/Office - Explain Production and tasting room  
 Industrial - Explain \_\_\_\_\_
3. What is the expected daily water demand associated with the project? 1750 gallons
4. How many service connections will be required? Existing connection through two residences
5. Do operable water facilities exist on the site?  
 Yes     No    If yes, please describe: Two Water Well
6. Has there been a sustained yield test on proposed or existing wells?  
 Yes     No    If yes, please attach.
7. Does water meet the Health Agency's quality requirements?  
 Bacteriological?     Yes     No  
 Chemical?     Yes     No  
 Physical     Yes     No  
 Water analysis report submitted?     Yes     No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.  
 Well Driller's Letter     Water Quality Analysis     OK or     Problems  
 Will Serve Letter     Pump Test <sup>4</sup> \_\_\_\_\_ Hours <sup>190</sup> \_\_\_\_\_ G.P.M.  
 Surrounding Well Logs     Hydrologic Study     Other \_\_\_\_\_

**Please attach any letters or documents to verify that water is available for the proposed project.**

**Sewage Disposal Information**

**If an on-site (individual) subsurface sewage disposal system will be used:**

1. Has an engineered percolation test been accomplished?  
 Yes     No    If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? approx. 375 feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?  
 Yes     No
4. Has a piezometer test been completed?  
 Yes     No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?  
 Yes     No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

**If a community sewage disposal system is to be used:**

1. Is this project to be connected to an existing sewer line?     Yes     No  
 Distance to nearest sewer line: \_\_\_\_\_ Location of connection: \_\_\_\_\_
2. What is the amount of proposed flow? \_\_\_\_\_ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow?     Yes     No

**Solid Waste Information**

- 1. What type of solid waste will be generated by the project?  
 Domestic     Industrial     Agricultural     Other, please explain? \_\_\_\_\_
- 2. Name of Solid Waste Disposal Company: On site / Compost back into vineyard
- 3. Where is the waste disposal storage in relation to buildings? Vineyard
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?  
 Yes     No

**Community Service Information**

- 1. Name of School District: Templeton Unified School District
- 2. Location of nearest police station: 101 Duncan Rd, Templeton, CA 93465
- 3. Location of nearest fire station: 206 5th St. Templeton, CA 93465
- 4. Location of nearest public transit stop: El Camino Real at Atalaya
- 5. Are services (grocery/other shopping) within walking distance of the project?     Yes     No  
 If yes, what is the distance? \_\_\_\_\_ feet/miles

**Historic and Archeological Information**

- 1. Please describe the historic use of the property:  
Residences and some farming.
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity?     Yes     No  
 If yes, please describe: \_\_\_\_\_
- 3. Has an archaeological surface survey been done for the project site?     Yes     No  
 If yes, please include two copies of the report with the application.

**Commercial/Industrial Project Information**

**Only complete this section if you are proposing a commercial or industrial project or zoning change.**

- 1. Days of Operation: Monday - Sunday    Hours of Operation: 11:00 - 5:00
- 2. How many people will this project employ? 4-8
- 3. Will employees work in shifts?     Yes     No  
 If yes, please identify the shift times and number of employees for each shift \_\_\_\_\_
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?  
 Yes     No    If yes, please explain: \_\_\_\_\_
- 5. Will this project increase the noise level in the immediate vicinity?     Yes     No  
 If yes, please explain: \_\_\_\_\_  
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: Grape  
pommace recycles into compost to vineyard
- 7. Will hazardous products be used or stored on-site?     Yes     No  
 If yes, please describe in detail: \_\_\_\_\_
- 8. Has a traffic study been prepared?     Yes     No    If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 0 Between 4:00 to 6:00 p.m. 5
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees  Yes  No  
If yes, please specify what you are proposing: \_\_\_\_\_
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?  
 Yes  No If yes, please describe: \_\_\_\_\_

**Agricultural Information**

**Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.**

1. Is the site currently in Agricultural Preserve (Williamson Act)?  Yes  No
2. If yes, is the site currently under land conservation contract?  Yes  No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: \_\_\_\_\_

**Special Project Information**

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases?  Yes  No  
If yes describe: 3 phased project, please see attached detailed project description.
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal?  Yes  No If yes, explain: \_\_\_\_\_
4. Are there any proposed or existing deed restrictions?  Yes  No  
If yes, please describe: \_\_\_\_\_

**Energy Conservation Information**

1. Describe any special energy conservation measures or building materials that will be incorporated into your project \*: \_\_\_\_\_

\*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

**Environmental Information**

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site?     Yes     No  
If yes, please list: \_\_\_\_\_
3. Are you aware of any previous environmental determinations for all or portions of this property?     Yes     No  
If yes, please describe and provide "ED" number(s): \_\_\_\_\_

**Other Related Permits**

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): \_\_\_\_\_

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



BIAGIO WINES CO.  
SUPPLEMENTAL DEVELOPMENT STATEMENT  
1875 Templeton Road Templeton, CA 93465  
APN 043-131-038

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**General Description:**

This project site is a +/- 30 acre parcel located at 1875 Templeton Road, Templeton, CA (APN 034-131-038). The site is zoned Agriculture and is located outside the Paso Robles Ground Water Basin area. The property has two existing residences (C3159 and PMT2011-01944) and a barn (Ag Exempt PMT2004-00962). Joseph Ferrara acquired the property this year and his son's family Chris and Adrienne Ferrara are the driving force behind Biagio Wines Co. The company, started in 2004 focusing on Italian varietal wines grown and produced on the Central Coast. The Ferrara family would like to grow, produce and process independently on their new property.

The project includes requesting approval of a Minor Use Permit for the phased construction of a wine production building with covered crush pad, wine storage building with a covered crush pad and the conversion of an existing barn that will include a tasting room and commercial kitchen at final buildout. The proposed winery facility's point of access will remain off Templeton Road, a collector road. The existing approach will be improved and paved to meet a commercial driveway county standard B1-e. Future planting will include a vineyard with the following varietals, which he currently produces offsite: Dolcetto, Sangiovese, Barbera, Malvasia Bianca, Montepulciano, Aglianico, Cabernet Sauvignon.

**Phased Project Description**

The project will be phased as follows:

**Phase 1: New 4,532 Sq.Ft. Wine Production Building with a Tasting Room**

The construction of a new two story wine production building (Building #1). Use areas within the building include a tasting room, lab, restrooms, wine production areas, case good storage and administrative office. Total square footage of the building is 4,532 Sq.Ft. The first level includes the tasting room, lab, restrooms, wine processing, storage and a 1,250 Sq. Ft. Outdoor Crush Pad. The second level will be used for administrative offices.

Use Area Summary:

Tasting Room: 688 Sq.Ft.  
Admin: 704 Sq.Ft.  
Indoor Processing Area: 1,449 Sq.Ft.  
Outdoor Processing Area: 1,250 Sq.Ft.  
Wine / Case Storage: 1,250 Sq.Ft.  
Storage / Restrooms: 254 Sq.Ft.

**Maximum Case Production:** 10,000 Cases

Site improvements include improvement of the existing driveway to meet Cal Fire commercial access requirements and improvement of the existing driveway encroachment to a B1e Public Works standard. The area of disturbance per phase are as followed: Phase 1 - 1.19 acres, Phase 2 - 0.19 acres and Phase 3 - 0.09 acres. The total area of disturbance is 1.47 acres.

Utilities include the connection to existing dry utilities and the installation of a new domestic water and septic system, a new fire protection suppression system, and a new winery wastewater process system.

**Phase 2: New 3,750 Sq.Ft. Wine Storage Building, Adaptive Re-Use of Existing Barn, Redistribution of Use Areas in Phase 1 Wine Production Building**

The construction of a new 3,750 Sq.Ft. wine storage building (Building #2), including a 1,250 Sq. Ft. covered outdoor crush pad. The conversion of existing 2,500 Sq. Ft. Barn (Building #3), for use of additional wine storage. Redistribution of use areas in to the Building #1 to include the expansion of the existing tasting room 1,225 Sq.Ft. and the wine processing area to 2,046 Sq. Ft. No proposed changes to the second level.

Use Area Summary:

Tasting Room: 1,225 Sq.Ft.  
Admin: 704 Sq.Ft.  
Indoor Processing Area: 2,120 Sq.Ft.  
Outdoor Processing Area: 2,500 Sq.Ft.  
Wine / Case Storage: 6,250 Sq.Ft.  
Storage / Restrooms: 254 Sq.Ft.

**Maximum Case Production:** 15,000 Cases

Upgrades to existing utilities as necessary.

**Special Events:** The project is not proposing a special event program but intends to participate in activities during the Wine Industry Weekends and other

marketing activities that are not defined as special events (non-advertised wine club activities, activities with under 50 attendees, etc).

**Phase 3: Redistribution of Use Areas within the existing buildings. Final use areas are as follows:**

**Building 1: 4,532 Sq. Ft.**

Tasting Room: 0 Sq.Ft.

Admin: 704 Sq.Ft.

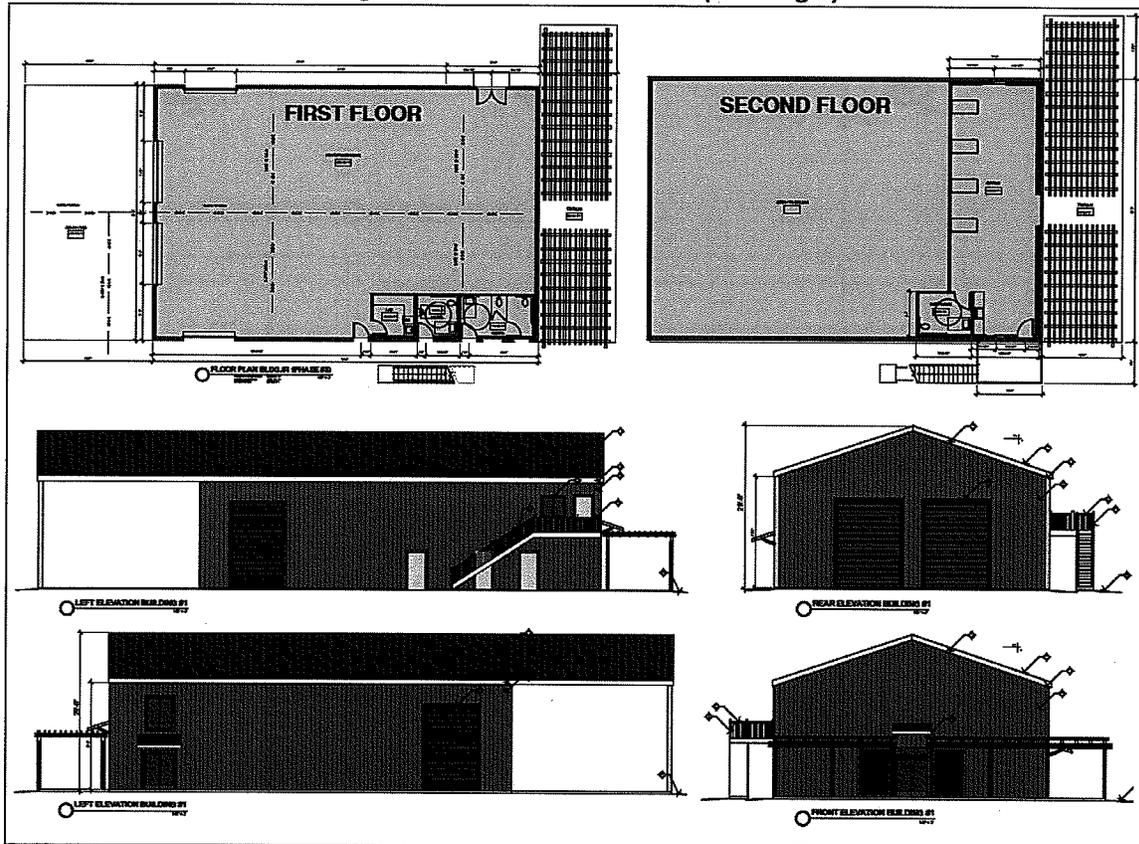
Indoor Processing Area: 3,399 Sq.Ft.

Outdoor Processing Area: 1,250 Sq.Ft.

Wine / Case Storage: 0 Sq.Ft.

Storage / Restrooms: 254 Sq.Ft.

**Figure 1 – Production Building Floor Plans and Elevations (Building 1)**



**Building 2: 3,600 Sq. Ft. (Envelope 3,750 Sq. Ft.)**

Tasting Room: 0 Sq.Ft.

Admin: 0 Sq.Ft.

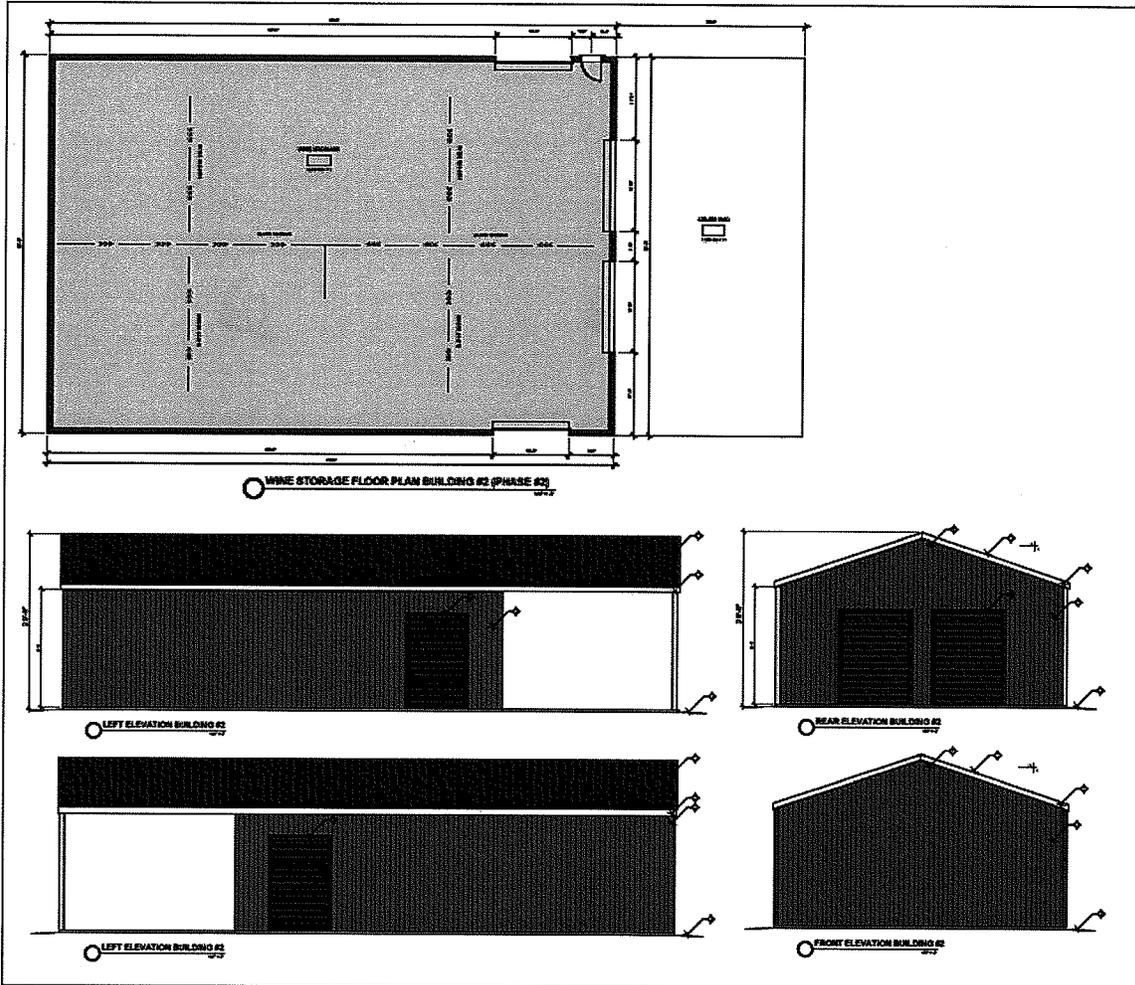
Indoor Processing Area: 0 Sq.Ft.

Outdoor Processing Area: 1,250 Sq.Ft.

Wine / Case Storage: 3,600 Sq.Ft.

Storage / Restrooms: 0 Sq.Ft.

**Figure 2 – Wine Storage Building Floor Plan and Elevations (Building 2)**



**Building 3: 2,374 Sq.Ft. (Envelope 2,500 Sq. Ft.)**

Tasting Room: 1,578 Sq.Ft.

Admin: 0 Sq.Ft.

Indoor Processing Area: 0 Sq.Ft.

Outdoor Processing Area: 0 Sq.Ft.

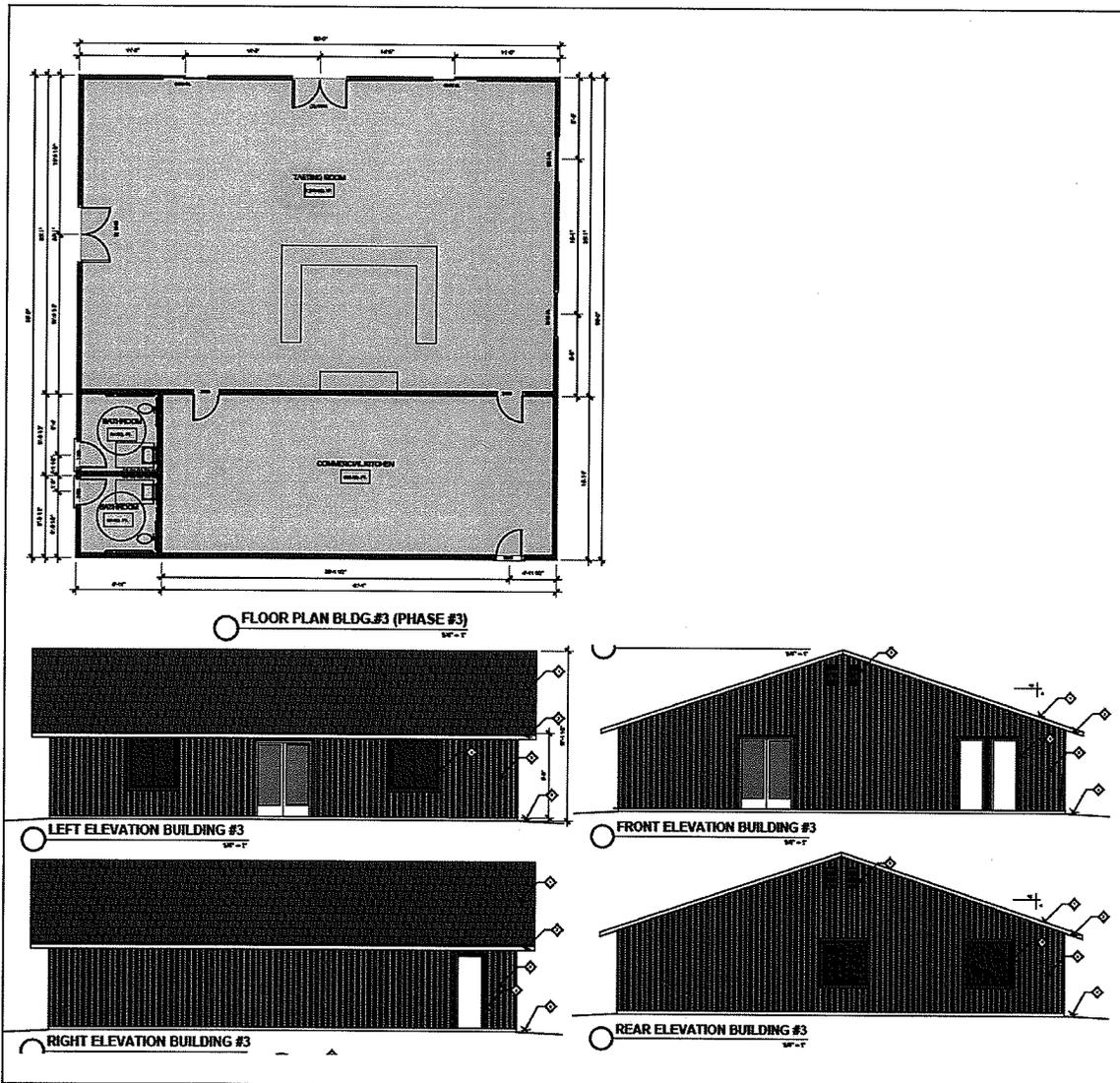
Wine / Case Storage: 0 Sq.Ft.

Storage / Restrooms: 128 Sq.Ft.

Commercial Kitchen: 668 Sq.Ft.

Upgrades to existing utilities as necessary.

**Figure 3 – Barn Conversion Floor Plan and Elevations (Building 3)**



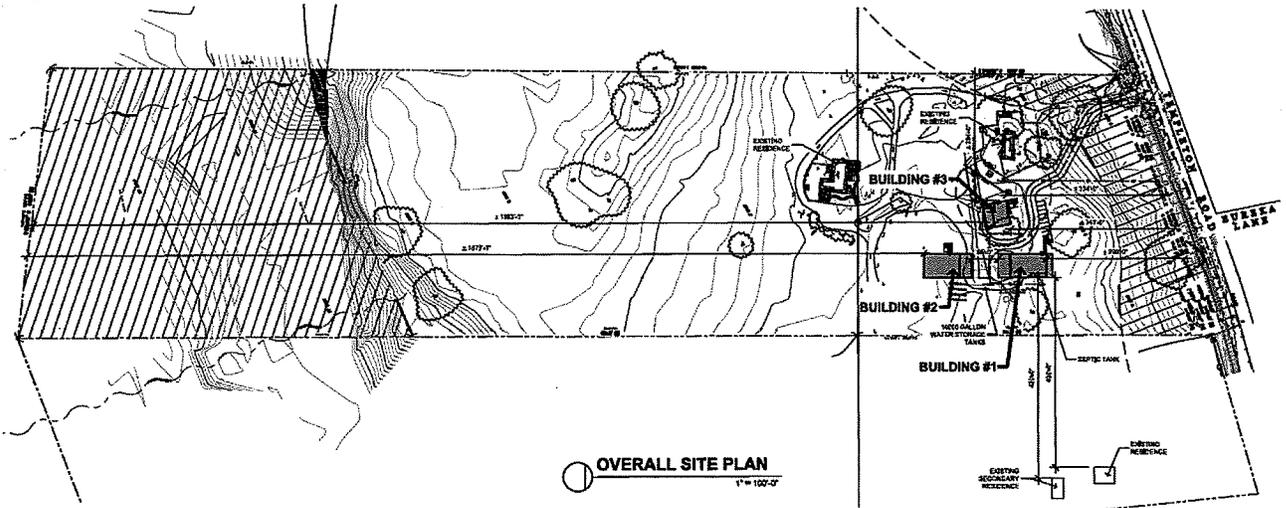
**Total Winery Building Area at Buildout: 10,331 Sq.Ft.**

Hospitality: 2,374 Sq.Ft.

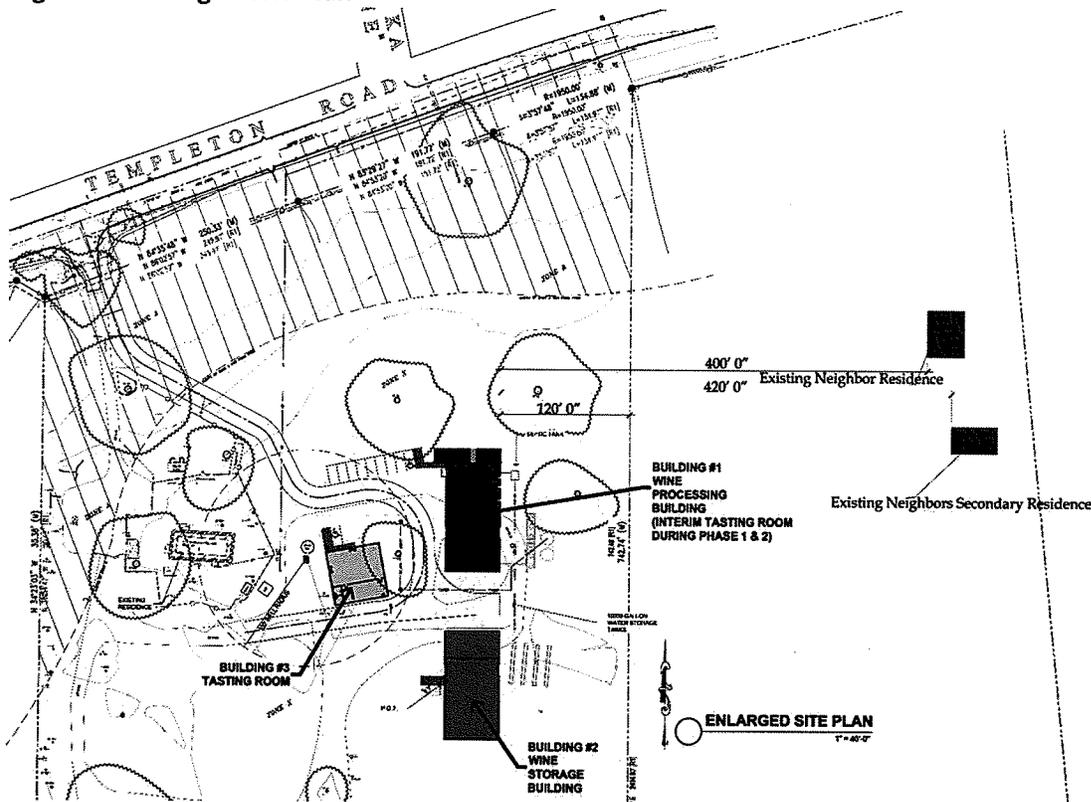
Winery Operations: 7,957 Sq.Ft.

Outdoor Use Area: 2,500 Sq.Ft.

**Figure 4 – Overall Site Plan**



**Figure 5 – Enlarged Site Plan**



**Siting:**

The buildings for the new facilities being proposed is located within a previous disturbed area and is at least 400 feet away from the nearest neighboring residence. Reference Figure 5 above.

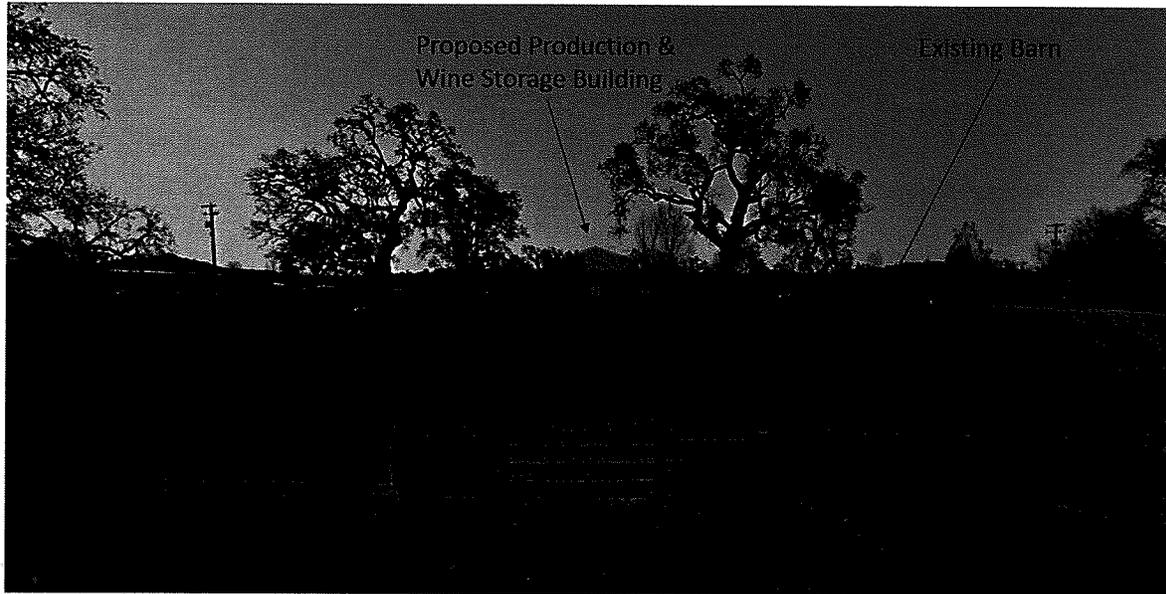
**Setback Modification:**

The project includes a request for an exception to the 200 foot setback from property line required for wineries with public tasting. Proposed Building 1 includes a small tasting room during the initial project phases (Phase 1 and Phase 2). Building 1 is located 120 feet from the southern property line, therefore a setback modification to the property line setback is required (the project complies with the 400 foot setback requirements to adjacent residences). The required findings of approval for the property line setback modification can be as the site fronts Templeton Road, a Collector Road. Ultimately, the existing ag exempt barn built in 2004 (PMT2004-00962) will be converted for use of the permanent tasting room and commercial kitchen. This building is located more than 200 feet from all property lines therefore at complete build out of the project the project will comply with the LUO requirements and a setback modification will not be required.

**Visual:**

The new production building will be located on the Northeast portion of the property set back between two large oak trees and the wine storage building lined up just south of the production building minimizing visual impact as it will be visible from Templeton Road. Existing and proposed landscaping will screen and soften the appearance of the structures. The agrarian style of the existing and proposed buildings provide visual relief because it is consistent with other buildings that are indicative of the rural landscape.

**Figure 6 – Proposed View from Templeton Road**



***Water:***

There are two existing wells (domestic and Ag) and water storage on this parcel which currently services the two residences and agricultural operations. The project is located outside of the Paso Robles Groundwater Basin therefore not required to mitigate offsets.

***Waste Water:***

Wastewater will be treated and land applied under provisions of the Regional Water Quality Control Board (RWQCB) winery wastewater waiver for phase 1. The increase in case production from 10,000 cases per year to 15,000 cases per year after phase 2 will require an updated NOI permit.

***Biological Impacts:***

Implementation of the project will result in new construction of a proposed production building and wine storage buildings. Both proposed buildings are sited to be located in a previously disturbed area. The project will require the removal of 3-5 oak trees of various sizes, for improvements to the existing driveway approach for commercial use. Tree replacement plantings will be provided at a 4:1 ratio and the trees surrounding the proposed buildings will be protected during construction activities.

## Ordinance Evaluation of the Winery

Below is a detailed evaluation of how the project is consistent with LUO requirements provided in LUO Section 22.30.070.D

**22.30.070 - Ag Processing Uses:** Agricultural processing activities as defined by the Land Use Element, including but not limited to wineries, packing and processing plants and fertilizer plants, are allowable subject to the following:

**A. Permit requirements.** Table 2-2 requires a Conditional Use Permit for Ag Processing Facilities within the Rural Residential Land Use Category.

**B. Application content.**

**(1) Public Notice.**

**(a) Prior to application submittal.** The applicant shall submit evidence that the neighboring property owners and the applicable advisory group were notified of the request prior to the submission of the land use permit to the county. This notice shall be provided by the applicant sending a letter using the form provided by the Department of Planning and Building. The letter shall be mailed or delivered at least 10 days prior to application submittal to the applicable advisory group and to all owners of real property as shown on the latest equalized assessment roll within 1,000 feet of the subject site.

*A notice was sent to the neighbors on 11/24/15. Please see the attached notice sent to neighbors, 1,000 foot radius mailing list and map.*

**(b) Public hearing notice.** Public notice shall be provided to owners of property within a minimum of 1,000 feet of the exterior boundaries of the proposed AG processing site and to all property owners fronting any local roads that serve the facility back to an arterial or collector, instead of in the manner normally required for public hearings by Section 22.70.060. Public notice may be required to be provided to properties greater than 1,000 feet away for certain applications at the discretion of the Director of Planning and Building.

**2. Description of Use.** Applications for agricultural processing uses are to include a description of all processes and equipment proposed for use on the site, and a description of measures proposed to minimize the off-site effects of dust, odor or noise generated by the proposed operation. Such information is to be provided in addition to that

specified in Article 6 (Land Use and Development Permit Procedures), in order to evaluate the conformity of a proposed use with the standards of Article 3 (Site Planning and General Project Design Standards).

*Noise levels will abide by County standards.*

- C. Minimum site area.** No minimum required unless subsection D would otherwise require a minimum site area.

*Subsection is not applicable.*

**D. Standards for specific uses.**

1. **Fertilizer plants.** The following are minimum requirements to enable consideration of a specific proposal. Greater separation between fertilizer plants and other uses may be required through land use permit approval.
  - (a) **Location:** No closer than one-half mile from any residential category located within an urban or village reserve line; and no closer than 400 feet to any residence outside the ownership of the applicant.
  - (b) **Setbacks:** 200 feet from each property line.
2. **Wineries.** For the purposes of this section, a winery is defined as an agricultural processing facility used for the processing (fermentation when combined with any of the following: crushing, barrel aging, blending, and bottling) of juices into wine or the re-fermenting of still wine into sparkling wine. This definition does not include the storage of case goods in the absence of processing (included under Warehousing).

*This proposal is considered a winery because it intends to process and store wine on site.*

- a. **Access location.** The principal access driveway to a winery with public tours, tasting, retail sales or special events held in compliance with subsection D.2.i. is to be located on or within one mile of an arterial or collector.

*The principal access driveway is located on Templeton Road which is a designated collector road.*

- b. **Solid waste disposal.** Pomace may be used as fertilizer or soil amendment, provided that such use or other disposal

shall occur in accordance with applicable Health Department standards.

*The winery will utilize pomace as a soil amendment.*

- c. Liquid waste disposal.** Standards will be set, where applicable, through Regional Water Quality Control Board discharge requirements developed pursuant to Section 22.10.180 (Water Quality).

*Initial case production of 10,000 cases qualifies for a waiver from the individual permit requirements from the RWQCB. This allowance will be updated with case production expansion through RWQCB in phase 2 with the increase to 15,000.*

**d. Setbacks.**

- (1) Rural areas.** All winery structures and outdoor use areas shall be a minimum of 100 feet from each property line and no closer than 200 feet to any existing residence outside of the ownership of the applicant. Where a winery has public tours, tasting, retail sales, or special events (in compliance with subsection D.2.i.), the setback shall be increased to 200 feet from each property line and no closer than 400 feet to any existing residence outside the ownership of the applicant. These setbacks can be modified through Minor Use Permit approval when Conditional Use Permit is not otherwise required by Subsection A. Approval may be granted only after the Review Authority first determines that the request satisfies any of the following findings: (1) there is no feasible way to meet the required setbacks without creating environmental impacts or impacting prime agricultural land (SCS Class I, II and III); (2) the property fronts an arterial or collector street; (3) the setbacks are not practical or feasible due to existing topographic conditions or existing on-site vegetation or (4) is a legally constructed existing structure that was built prior to 1980 and it can be clearly demonstrated that the structure was intended for a legitimate agricultural or residential use.

*The project at full build out will ultimately meet all of the required setbacks of 200 feet to the property line and is at least 400 feet from residences outside the owner's property; therefore it meets minimum setback requirements for a winery, with tasting, in a rural area. A setback modification is required for Building 1 during Phase 1 and 2 of the project. The required findings of approval can be*

made as the project fronts Templeton Road, a collector road. Further if the buildings were shifted north it would result in the removal of up to three large oak trees.

**(2) Urban and village areas.** As required by Section 22.10.140 et seq.

**e. Signing.** As provided by Section 22.20 (Signs) of this title.

*All signage will comply with Section 22.20 requirements*

**f. Parking.** Parking shall be provided in compliance with Section 22.18. (Parking and Loading Standards) Parking lot construction standards shall be provided in compliance with Section 22.18.060. The parking shall be located and/or landscaped so it is screened from public roads where topography or existing on-site vegetation (including vineyards) does not provide for adequate screening. No parking shall be allowed within any adjoining road right-of-way.

*Proposed parking area has 9 spaces and 3 handicapped spaces is which meets the parking requirements described in Chapter 22.18.060 of the LUO. All parking spaces are screened by a combination of existing vineyards and ornamental landscaping/trees.*

**g. Design standards.**

**(1) Exterior.** In the Agriculture, Rural Lands or Residential Rural land use categories, all structures associated with the winery (including production facilities) shall have an exterior design style that is agricultural or residential in nature using non-reflective siding and roofing materials. Structures shall not use an exterior design style typically associated with large industrial facilities unless the facility is proposed in the Commercial Service or Industrial land use categories.

*The exterior design is Agrarian and will comply with agricultural/residential design standards suggested in the Land Use Ordinance*

**(2) Screening.** Any portion of the winery structures that are visible from public roads shall be screened where necessary to ensure the rural character of the area is unchanged unless screening is not practical, feasible or necessary due to existing topographic conditions or existing on-site vegetation (including vineyards). The screening may include such measures as

landscape or existing vegetative screening, existing topography, and/or arrangement of the structures on the site to minimize bulky appearance. Any tank located outside of structures shall be screened 100 percent from public roads.

*The proposed winery facilities will be screened by existing large oak trees as well as new landscaping.*

- (3) **Height.** The maximum height of any structure associated with a winery facility shall be 35 feet. The height may be increase to 45 feet where a pitched roof of greater than 4 in 12 is proposed and at least 50 percent of the structure is at 35 feet in height or less.

*The maximum building height for the proposed winery is 29-feet 8-inches, consistent with the height requirements provided in the LUO.*

- (4) **Lighting.** All lighting fixtures shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off the project site. All lighting poles, fixtures, and hoods shall be dark colored. No exterior lighting shall be installed operated in a manner that would throw light, either reflected or directly, in an upward direction.

*Prior to issuance of building permits, the applicant will submit an exterior lighting proposal to the Planning Department. The lighting plan will conform to this section of the Land Use Ordinance.*

- h. **Tasting rooms.** Tasting rooms shall be clearly incidental, related and subordinate to the primary operation of the winery as a production facility.
- (1) **Permit requirement.** Minor Use Permit approval. Tasting rooms shall also meet all the standards for wineries set forth in Subsection D.2., in addition to the specific standards of this Subsection.
- (2) **Location.** The tasting room shall be located within or no more than 200 feet from the winery facilities. This standard may be waived where site constraints, on-site access, visual concerns, grading or other environmental issues can be better addressed through an increased distance. A Minor Use Permit application may be used to modify this standard

where an existing structure built prior to 1980 is being used as the tasting facility.

- (3) Number of tasting rooms allowed.** One tasting room is allowed for each winery. If more than one winery share production facilities or more than one winery is located on a site, only one tasting room is allowed. More than one winery facility may share a tasting room.

*The proposed tasting area is small and located within the production building in Phase 1 and will be expanded eliminating the case storage in Phase 2. In Phase 3 the existing tasting room will be converted to production and will be relocated into the existing barn.*

- (i) Special events.** For the purposes of this section special events are defined as any of the following events when there is the possibility that 50 people or more individuals will attend: concerts (with or without amplified sound), weddings, advertised events (including fund raising, but not including industry-wide events), and advertised winemaker dinners open to the general public. Does not include normal patronage of the tasting room or non-advertised events.

*No special events program is being proposed at this time.*

## Answers to Typical Winery Development Application Questions

1. Please describe all the stages of wine production that will be done on-site or off-site.

*There will be on-site: Crushing, fermenting, barrel aging, blending, bottling, and case goods storage.*

2. How much wine will be produced?

*Up to 10,000 cases of wine are estimated to be produced annually onsite for phase 1. Up to 15,000 cases of wine are estimated to be produced annually after phase 2. No further increase is proposed beyond phase 2 of development.*

3. Based on your answers to No. 1 & 2 above, how much truck/equipment traffic will the winery generate? What are the peak times of the year for this traffic? Peak times of day? Any ideas about how much traffic the tasting room itself may generate?

*Traffic related to the processing of ultimate 15,000 cases of wine is expected to have up to 20 trips during harvest. Other winery related trips in the off season will be minimal, 3-4 day. The tasting room will generate 5 peak hour trips a day.*

4. Describe the volume of waste disposal you will be handling on-site (liquid and solid waste/pomace). Describe this for both the existing winery and the expansion phases.

*A reclamation waste water system will be installed under with the approval of this entitlement. All waste will go into a holding tank where the solids will settle and the liquids will be treated and used as irrigation and dust control. Ultimate case production at 15,000 cases will fall under a Winery Wastewater Discharge Permit with RWQCB.*

5. Describe the quantities of waste disposal that will occur on a typical day at the peak of production season. (Over 2,500 G.P.D. requires state Regional Water Quality Control Board approval.)

*Ultimate case production at 15,000 cases will generate an estimated 600 gpd during peak production and 400 gpd on average. Wastewater will be treated and re-used onsite for vineyard irrigation and dust control. The winery wastewater system will be submitted to RWQCB for a Winery Discharge Permit.*

6. How many employees will the winery employ (both existing winery and expansion phases.)

*The two owners currently manage the daily operations of Biagio Wines Co. With the proposed facilities will require up to four additional employees, in total 6 employees.*

7. Will the tasting room sell food (food sales require Health Dept. permit).

*Food pairing may occur as normal operation of the tasting room. A commercial kitchen is proposed in phase 3 of the development which will require a food facility permit through the Environmental Health Department.*

8. Will the winery process grapes from other sites or rely on grapes grown on the site and adjacent parcels?

*The winery will process grapes from on-site vineyards, as well as other area vineyards.*

9. Will the project require the construction of water reservoirs for irrigation, wastewater treatment and/or fire safety?

*No reservoirs are proposed at this time.*

10. Do you plan to lease out the winery or tasting room facilities for any public events (parties, weddings), or to have ticket-paying concerts on-site? If yes, then how many events per year (also, what days & what time of day), how many people, and what types of events. Where will extra parking go?

*No special event program is proposed. The applicant currently participates in industry-wide events such as winemaker dinners and/or open houses during the established event weekend. They plan to continue participation at the new proposed winery Facility. Guest parking for these events provided in the open area behind the existing house.*

# ARCHITECTURAL & CONCEPTUAL PLANS FOR BIAGIO WINE CO. MINOR USE PERMIT

**PHASED PROJECT DESCRIPTION**  
 THE PROPOSED PROJECT IS A NEW WINE PRODUCTION FACILITY WITH A TASTING ROOM AND ADMINISTRATIVE AREAS FOR THE WINERY OPERATIONS. THE SITE IS ACCESSIBLE BY AN EXISTING ROADWAY APPROXIMATELY OFF TEMPLETON ROAD. THE PROJECT WILL BE PHASED AS FOLLOWS:

**PHASE 1: NEW 4,932 SQ. FT. WINE PRODUCTION BUILDING WITH A TASTING ROOM**  
 THE CONSTRUCTION OF A NEW TWO STORY WINE PRODUCTION BUILDING (BUILDING #1). USE AREAS WITHIN THE BUILDING INCLUDE A TASTING ROOM, RESTROOMS, WINE PROCESSING AREAS, CASE GOODS STORAGE AND ADMINISTRATIVE OFFICE. TOTAL SQUARE FOOTAGE OF THE BUILDING IS 4,532 SQ. FT.

THE FIRST LEVEL INCLUDES THE TASTING ROOM, LAB, RESTROOMS, WINE PROCESSING, STORAGE AREA, 1,350 SQ. FT. OUTDOOR CRUSH PAD. THE SECOND LEVEL WILL BE USED FOR ADMINISTRATIVE OFFICES.

**USE AREA SUMMARY:**  
 TASTING ROOM: 688 SQ. FT.  
 ADMIN: 784 SQ. FT.  
 INDOOR PROCESSING AREA: 1,449 SQ. FT.  
 OUTDOOR PROCESSING AREA: 3,150 SQ. FT.  
 WINE / CASE STORAGE: 2,350 SQ. FT.  
 STORAGE / RESTROOMS: 254 SQ. FT.

**MAXIMUM CASE PRODUCTION: 10,000 CASES**  
 SITE IMPROVEMENTS INCLUDE IMPROVEMENT OF THE EXISTING DRIVEWAY TO MEET CAL FIRE COMMERCIAL ACCESS REQUIREMENTS AND IMPROVEMENT OF THE EXISTING DRIVEWAY ENCROACHMENT TO A 24' PUBLIC WORKS STRAIGHT.

UTILITIES INCLUDE THE CONNECTION TO EXISTING DRY UTILITIES AND THE INSTALLATION OF A NEW DOMESTIC WATER AND SEPTIC SYSTEM, A NEW FIRE PROTECTION SUPPRESSION SYSTEM, AND A NEW WISKEY WASTEWATER PROCESS SYSTEM.

**PHASE 2: NEW 3,750 SQ. FT. WINE STORAGE BUILDING, ADAPTIVE RE-USE OF EXISTING BARN, REDISTRIBUTION OF USE AREAS IN PHASE 1 WINE PRODUCTION BUILDING**  
 THE CONSTRUCTION OF A NEW ONE STORY WINE STORAGE BUILDING (BUILDING #2) INCLUDING 3,250 SQ. FT. COVERED OUTDOOR CRUSH PAD. THE CONVERSION OF EXISTING 2,500 SQ. FT. BARN (BUILDING #3) FOR USE OF ADDITIONAL WINE STORAGE. REDISTRIBUTION OF USE AREAS TO THE BUILDING #1 TO INCLUDE THE EXPANSION OF THE EXISTING TASTING ROOM TO 1,250 SQ. FT. AND THE WINE PROCESSING AREA TO 2,246 SQ. FT. NO PROPOSED CHANGES TO THE SECOND LEVEL.

**USE AREA SUMMARY:**  
 TASTING ROOM: 1,250 SQ. FT.  
 ADMIN: 784 SQ. FT.  
 INDOOR PROCESSING AREA: 2,120 SQ. FT.  
 OUTDOOR PROCESSING AREA: 2,500 SQ. FT.  
 WINE / CASE STORAGE: 8,250 SQ. FT.  
 STORAGE / RESTROOMS: 254 SQ. FT.

**MAXIMUM CASE PRODUCTION: 15,000 CASES**  
 UPDATES TO EXISTING UTILITIES AS NECESSARY.

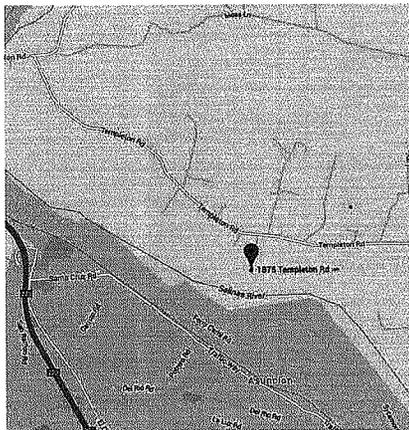
**PHASE 3: REDISTRIBUTION OF USE AREAS WITHIN THE EXISTING BUILDINGS. FINAL USE AREAS ARE AS FOLLOWS:**

<b>BUILDING 1 (4,932 SQ. FT.)</b>	<b>BUILDING 2 (3,250 SQ. FT.)</b>
TASTING ROOM: 688 SQ. FT.	TASTING ROOM: 1,250 SQ. FT.
ADMIN: 784 SQ. FT.	ADMIN: 0 SQ. FT.
INDOOR PROCESSING AREA: 3,399 SQ. FT.	INDOOR PROCESSING AREA: 0 SQ. FT.
OUTDOOR PROCESSING AREA: 1,250 SQ. FT.	OUTDOOR PROCESSING AREA: 0 SQ. FT.
WINE / CASE STORAGE: 2,350 SQ. FT.	WINE / CASE STORAGE: 9,500 SQ. FT.
STORAGE / RESTROOMS: 254 SQ. FT.	STORAGE / RESTROOMS: 254 SQ. FT.
COMMERCIAL KITCHEN: 668 SQ. FT.	COMMERCIAL KITCHEN: 668 SQ. FT.

**BUILDING 3 (2,500 SQ. FT.)**  
 TASTING ROOM: 0 SQ. FT.  
 ADMIN: 0 SQ. FT.  
 INDOOR PROCESSING AREA: 0 SQ. FT.  
 OUTDOOR PROCESSING AREA: 1,250 SQ. FT.  
 WINE / CASE STORAGE: 3,000 SQ. FT.  
 STORAGE / RESTROOMS: 0 SQ. FT.

**USE AREA SUMMARY:**  
 TASTING ROOM: 1,250 SQ. FT.  
 ADMIN: 0 SQ. FT.  
 INDOOR PROCESSING AREA: 0 SQ. FT.  
 OUTDOOR PROCESSING AREA: 1,250 SQ. FT.  
 WINE / CASE STORAGE: 3,000 SQ. FT.  
 STORAGE / RESTROOMS: 0 SQ. FT.

**TOTAL WINERY USE AREAS AT RUNDOWN: 19,782 SQ. FT.**  
 HOUSING UTILITY: 2,374 SQ. FT.  
 WINEVEY OPERATIONS (INCLUDING OUTDOOR USES): 10,407 SQ. FT.



VICINITY MAP

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A-2.1	LOWER FLOOR PLAN PHASE #1
A-2.2	UPPER FLOOR PLAN PHASE #1
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L-1.2	LANDSCAPE PLAN

**PARKING REQUIREMENTS:**

PHASE #1	ACTIVE USE AREA:	1153 SQ. FT. / 2000	1.07
	STORAGE AREA:	1250 SQ. FT. / 5000	0.25
	TASTING AREA:	68 SQ. FT. / 200	3.44
	REQUIRED SPACES:		0.78

PHASE #2	ACTIVE USE AREA:	2824 SQ. FT. / 2000	1.41
	STORAGE AREA: <td>3000 SQ. FT. / 5000</td> <td>0.72</td>	3000 SQ. FT. / 5000	0.72
	TASTING AREA: <td>1225 SQ. FT. / 200</td> <td>6.125</td>	1225 SQ. FT. / 200	6.125
	REQUIRED SPACES: <td></td> <td>6.28</td>		6.28

PHASE #3	ACTIVE USE AREA:	4771 SQ. FT. / 2000	2.38
	STORAGE AREA: <td>3000 SQ. FT. / 5000</td> <td>0.72</td>	3000 SQ. FT. / 5000	0.72
	TASTING AREA: <td>1225 SQ. FT. / 200</td> <td>6.125</td>	1225 SQ. FT. / 200	6.125
	REQUIRED SPACES: <td></td> <td>9.225</td>		9.225

**AIR QUALITY CONTROL**

DURING CONSTRUCTION AND DISTURBING ACTIVITIES, THE FOLLOWING PARTICULATE (DUST) CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR OR BUILDER SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THEIR CONTACT INFORMATION SHALL BE PRESENTED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1. REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE
2. USE OF WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY WOULD BE REQUIRED WHENEVER WIND SPEEDS EXCEED 15 MPH. RECLAIMED, NONPOTABLE WATER SHOULD BE USED WHENEVER POSSIBLE.
3. ALL DIRT STOCK-PILE AREAS SHOULD BE SPRAVED DAILY AS NEEDED.
4. ALL ROADWAYS, DRIVEWAYS, SIDEWALKS, ETC. TO BE PAVED SHALL BE COMPLETED AS SOON AS POSSIBLE, AND
5. BUILDING PADS SHALL BE LAD AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.

DURING INITIAL GRADING/SCAFFOLDING, BURNING SHALL NOT BE ALLOWED, OR IF NO ALTERNATIVE IS AVAILABLE, THE APPLICANT SHALL OBTAIN A BURN PERMIT FROM THE APCD AND COUNTY FIRE/AUTOMOBILE DEPARTMENT OF FORESTRY, AND COMPLY WITH ALL CONDITIONS REQUIRED BY THESE AGENCIES.

**BUILDING AREAS BY PHASE**

PHASE 1	PHASE 2	PHASE 3
<b>MAIN WINE BUILDING #1 (4,932 SQ. FT.)</b>	<b>MAIN WINE BUILDING #2 (3,250 SQ. FT.)</b>	<b>MAIN WINE BUILDING #3 (2,500 SQ. FT.)</b>
FIRST FLOOR: 3,750 SQ. FT.	FIRST FLOOR: 3,750 SQ. FT.	FIRST FLOOR: 2,500 SQ. FT.
TASTING ROOM 688 SQ. FT.	TASTING ROOM 1,250 SQ. FT.	TASTING ROOM 0 SQ. FT.
WINE PROCESSING 1,350 SQ. FT.	TASTING ROOM 1,250 SQ. FT.	COMMERCIAL KITCHEN 668 SQ. FT.
WINE STORAGE 1,250 SQ. FT.	WINE PROCESSING 2,046 SQ. FT.	RESTROOMS 318 SQ. FT.
RESTROOMS 276 SQ. FT.	RESTROOMS 376 SQ. FT.	RESTROOMS 376 SQ. FT.
LAB 76 SQ. FT.	LAB 76 SQ. FT.	LAB 76 SQ. FT.
OUTDOOR CRUSH PAD 1,250 SQ. FT.	OUTDOOR CRUSH PAD 1,250 SQ. FT.	OUTDOOR CRUSH PAD 1,250 SQ. FT.
SECOND FLOOR 784 SQ. FT.	OFFICE 784 SQ. FT.	OFFICE 784 SQ. FT.
OFFICE 784 SQ. FT.	OFFICE 784 SQ. FT.	OFFICE 784 SQ. FT.
WINE STORAGE BUILDING #2 (3,250 SQ. FT.)	EXISTING BARN BUILDING #3 (2,500 SQ. FT.)	
WINE STORAGE 3,250 SQ. FT.	TASTING ROOM 1,250 SQ. FT.	
LAB 76 SQ. FT.	COMMERCIAL KITCHEN 668 SQ. FT.	
RESTROOMS 276 SQ. FT.	RESTROOMS 318 SQ. FT.	
LAB 76 SQ. FT.	LAB 76 SQ. FT.	
OUTDOOR CRUSH PAD 1,250 SQ. FT.	OUTDOOR CRUSH PAD 1,250 SQ. FT.	
SECOND FLOOR 784 SQ. FT.	OFFICE 784 SQ. FT.	
OFFICE 784 SQ. FT.	OFFICE 784 SQ. FT.	
WINE STORAGE BUILDING #3 (2,500 SQ. FT.)		
WINE STORAGE 3,000 SQ. FT.		
OUTDOOR CRUSH PAD 1,250 SQ. FT.		
EXISTING BARN BUILDING #3 (2,500 SQ. FT.)		
WINE STORAGE 2,500 SQ. FT.		

**PROJECT INFORMATION**

OWNER	BIAGIO WINE CO.
PROJECT ADDRESS	1875 TEMPLETON ROAD TEMPLETON, CA 93465 054-17-026
APN	
LOT SIZE	30 ACRES

**REVISION LOG**

REV.	DESCRIPTION	DATE

**KEY PERSONNEL**

ROLE	NAME	ADDRESS
LAND USE / ZONING / PERMITS CONSULTING	JEFFREY PRODMAN	224 10TH STREET PASO ROBLES, CA 93446
DESIGN / ARCHITECTURE	J.B. DEATYNG & DESIGN	610 10TH ST. STE. 107 PASO ROBLES, CA 93446

**SCOPE OF WORK**

CONSTRUCT NEW WINEVEY IN THREE PHASES

**GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM WITH THE 2010 CBC (2007 IBC AND CALIFORNIA AMENDMENTS) 2010 CRC (2009 IRC AND CALIFORNIA AMENDMENTS) 2010 CDC (2008 IFC AND CALIFORNIA AMENDMENTS) 2010 CAC (2009 IBC AND CALIFORNIA AMENDMENTS) 2010 CFC (2009 UPC AND CALIFORNIA AMENDMENTS) 2010 CEC AND 7-24 2010 GREEN BUILDING CODE
2. THESE NOTES SHALL APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS. ALL DIMENSIONS OR COMPLETE BETWEEN VERTICAL ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INDICATED.
3. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER

RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO BE REMOVED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH THE APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS: TRUSS CALCULATIONS SHALL INCLUDE THE CONTRACTOR'S AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION, THEY SHALL INCLUDE ON THE COVER SHEET A WELL-SIGNED STATEMENT FROM THE PROJECTS DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THESE AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION (RFI).

VERIFY LOCATION OF ALL UTILITY TIES AT STREET AND POINT OF CONNECTIONS AT BUILDING PRIOR TO CONSTRUCTION.

A COPY OF SOIL REPORT SHALL BE ON SITE DURING FOUNDATION INSPECTION.

ALL PROPERTY CORNERS SHOULD BE ESTABLISHED AT THE TIME OF FOUNDATION INSPECTION WITH THE MARK OF A LICENSED SURVEYOR.

CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION SHALL BE OBTAINED FROM CONTINUED AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SERVICES SHALL BE PROVIDED TO THE CONTRACTOR FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THE CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.

ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO BE REMOVED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

THIS SET OF PLANS TO BE ON SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM DETERMINING THE CORRECTNESS OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. (CBC 109)

ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS.

UNLESS NOTED OTHERWISE, ALL VESTIBULES, COLUMNS, COLUMNS, PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES WHICH THEY OCCUR.

CONSTRUCTION OF THE PROJECT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE ANY EXCESS MATERIAL FROM PROJECT SITE.

THIS SET OF PLANS TO BE ON SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM DETERMINING THE CORRECTNESS OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. (CBC 109)

ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS.

UNLESS NOTED OTHERWISE, ALL VESTIBULES, COLUMNS, COLUMNS, PROJECTIONS, RECESSES, OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES WHICH THEY OCCUR.

CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS, AND BUILDING PAD PRIOR TO CONSTRUCTION.

TRUSS CALCULATIONS FOR APPROVED PROJECTS ARE REQUIRED TO BE ON THE JOB SITE AT TIME OF FRAMING INSPECTION WITH THE APPROPRIATE REQUIRED SIGNATURES AND STATEMENT AS FOLLOWS: TRUSS CALCULATIONS SHALL INCLUDE THE CONTRACTOR'S AND SIGNATURE OF THE TRUSS DESIGN ENGINEER. IN ADDITION, THEY SHALL INCLUDE ON THE COVER SHEET A WELL-SIGNED STATEMENT FROM THE PROJECTS DESIGN ENGINEER THAT TRUSS CALCULATIONS AND LAYOUTS ARE IN SUBSTANTIAL CONFORMANCE WITH THE STRUCTURAL DESIGN AND INTENT OF THE STRUCTURE. FAILURE TO PROVIDE THESE AS STATED WILL RESULT IN A CORRECTION AND A FAILURE TO PASS FRAMING INSPECTION (RFI).

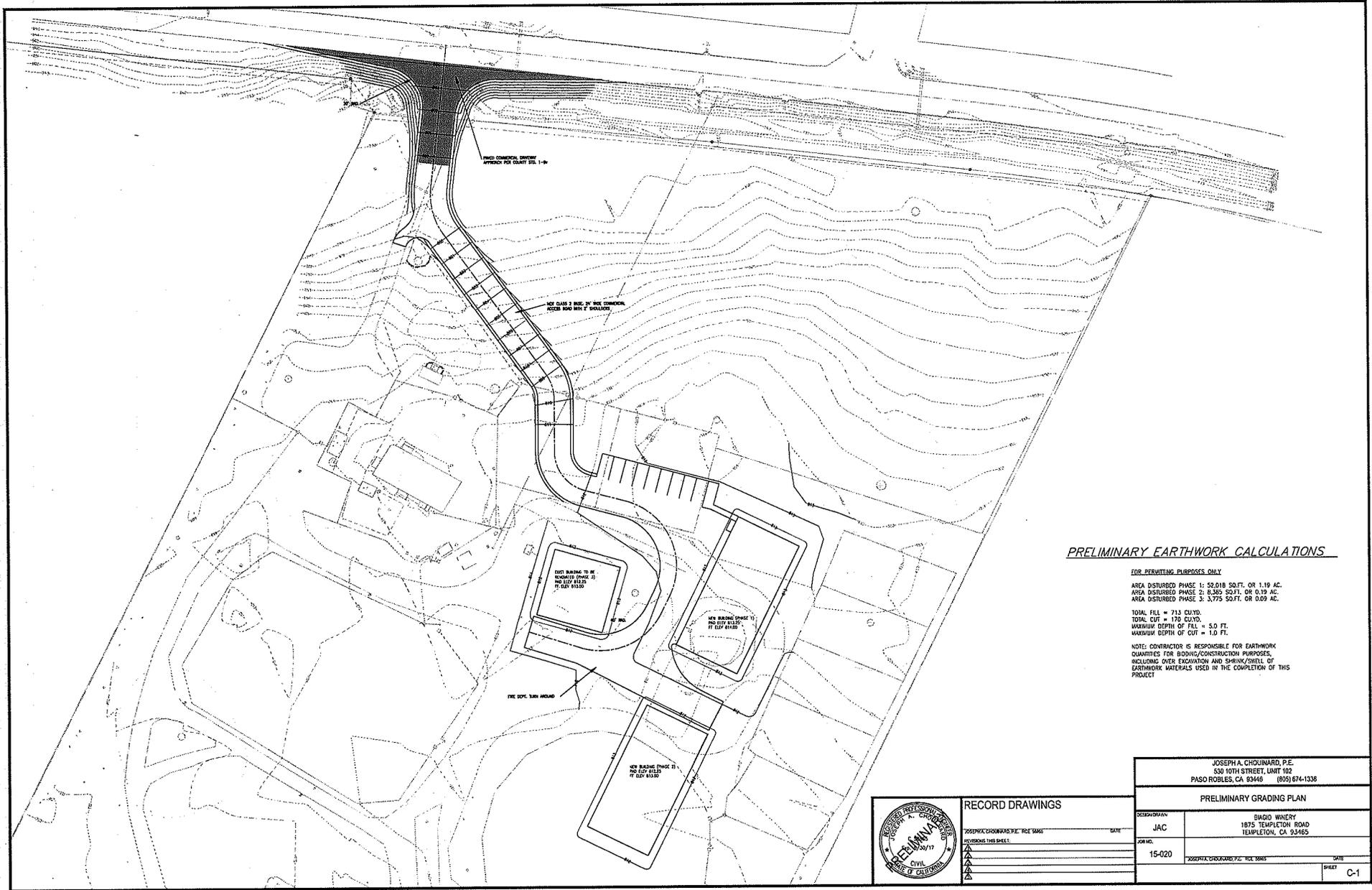
VERIFY LOCATION OF ALL UTILITY TIES AT STREET AND POINT OF CONNECTIONS AT BUILDING PRIOR TO CONSTRUCTION.

A COPY OF SOIL REPORT SHALL BE ON SITE DURING FOUNDATION INSPECTION.

ALL PROPERTY CORNERS SHOULD BE ESTABLISHED AT THE TIME OF FOUNDATION INSPECTION WITH THE MARK OF A LICENSED SURVEYOR.

PLAN PREPARED FOR:  
 BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465





PRELIMINARY EARTHWORK CALCULATIONS

FOR PERMITTING PURPOSES ONLY

AREA DISTURBED PHASE 1: 52,018 SQ.FT. OR 1.19 AC.  
 AREA DISTURBED PHASE 2: 8,385 SQ.FT. OR 0.19 AC.  
 AREA DISTURBED PHASE 3: 3,775 SQ.FT. OR 0.09 AC.

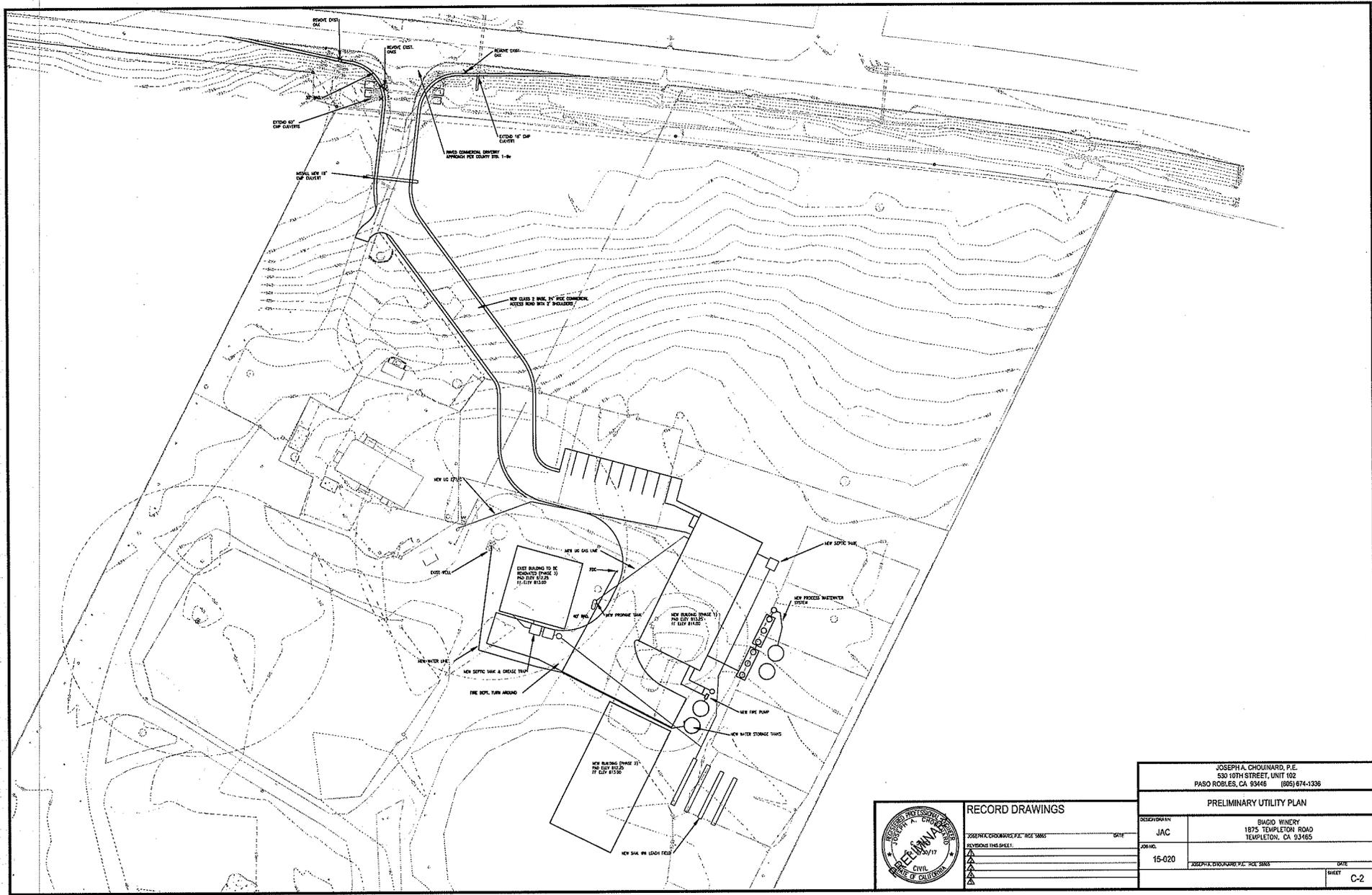
TOTAL FILL = 713 CU.YD.  
 TOTAL CUT = 170 CU.YD.  
 MAXIMUM DEPTH OF FILL = 5.0 FT.  
 MAXIMUM DEPTH OF CUT = 1.0 FT.

NOTE: CONTRACTOR IS RESPONSIBLE FOR EARTHWORK QUANTITIES FOR BIDDING/CONSTRUCTION PURPOSES, INCLUDING OVER EXCAVATION AND SHRINK/SWELL OF EARTHWORK MATERIALS USED IN THE COMPLETION OF THIS PROJECT



RECORD DRAWINGS	
DESIGNED BY: JOSEPH A. CHOUINARD, P.E. DATE: 09/17	
CHECKED BY: _____	
DATE: _____	

JOSEPH A. CHOUINARD, P.E. 530 10TH STREET, SUITE 102 PASO ROBLES, CA 93449 (805) 674-1338	
PRELIMINARY GRADING PLAN	
DESIGNER: JAC	SINGO WINEERY 1875 TEMPLETON ROAD TEMPLETON, CA 93465
JOB NO.: 15-020	DATE: _____
SHEET C-1	



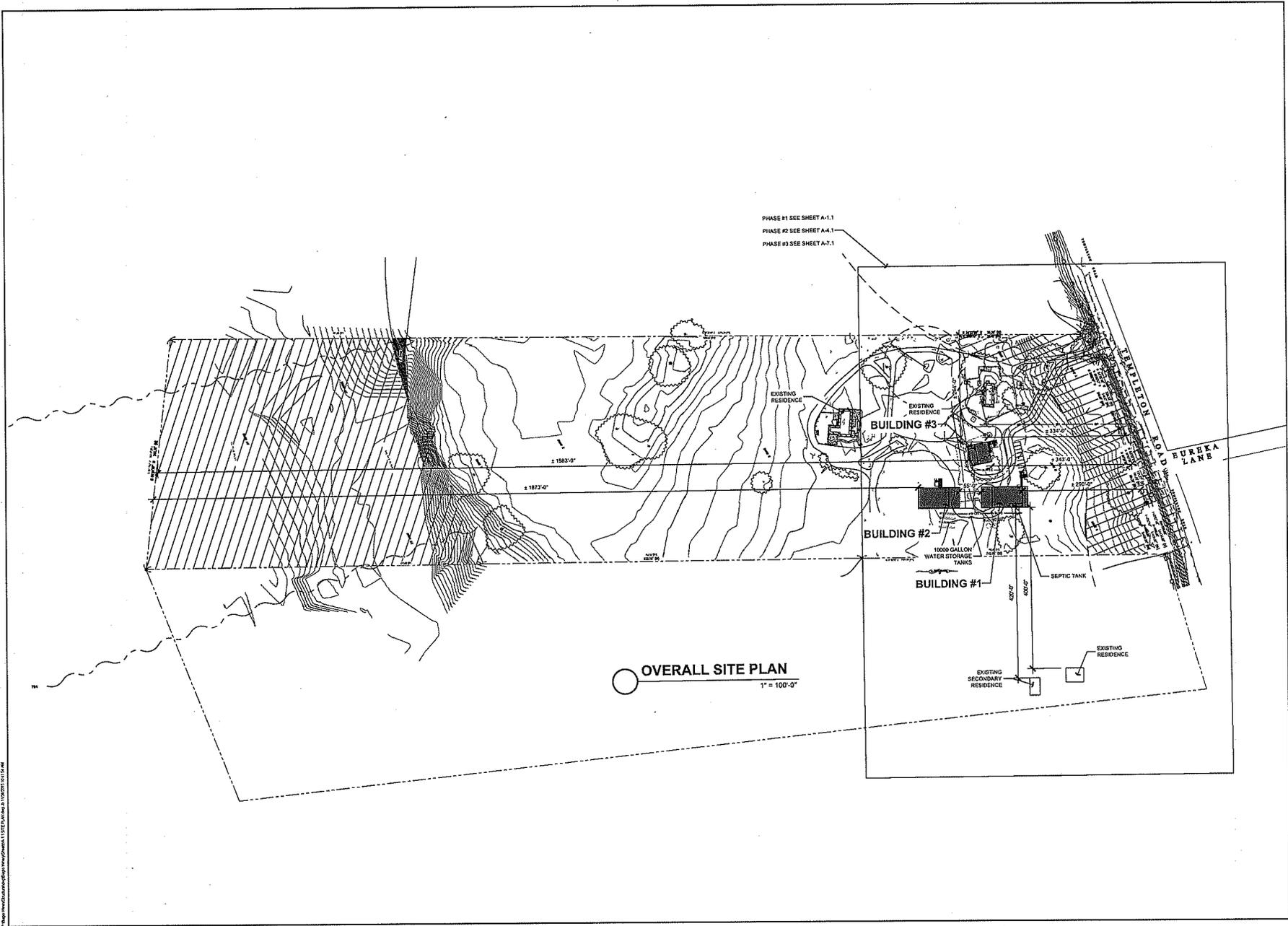
RECORD DRAWINGS	
DESIGNER	JAC
DATE	02/17
REVISIONS THIS SHEET	
NO.	
DATE	
BY	
DATE	

JOSEPH A. CHOUINARD, P.E. 530 10TH STREET, UNIT 102 PASO ROBLES, CA 93446 (805) 674-1336	
PRELIMINARY UTILITY PLAN	
DESIGNER	JAC
DATE	02/17
PROJECT	BACCO WINERY 1875 TEMPLETON ROAD TEMPLETON, CA 93465
NO.	15-020
DATE	
BY	
DATE	
SHEET	C-2



DRAFTING & DESIGN

CAD DESIGN - AS BUILTS  
RESIDENTIAL PLANS  
810 10TH ST. SUITE 101  
PASO ROBLES, CA  
93448  
BUS # (805) 237-0850  
FAX # (805) 237-0480



PHASE #1 SEE SHEET A-1.1  
PHASE #2 SEE SHEET A-4.1  
PHASE #3 SEE SHEET A-7.1

OVERALL SITE PLAN  
1" = 100'-0"

PLAN PREPARED FOR:

BIAGIO WINE CO.  
1875 TEMPLETON RD.  
TEMPLETON, CA 93465

REVISION LOG

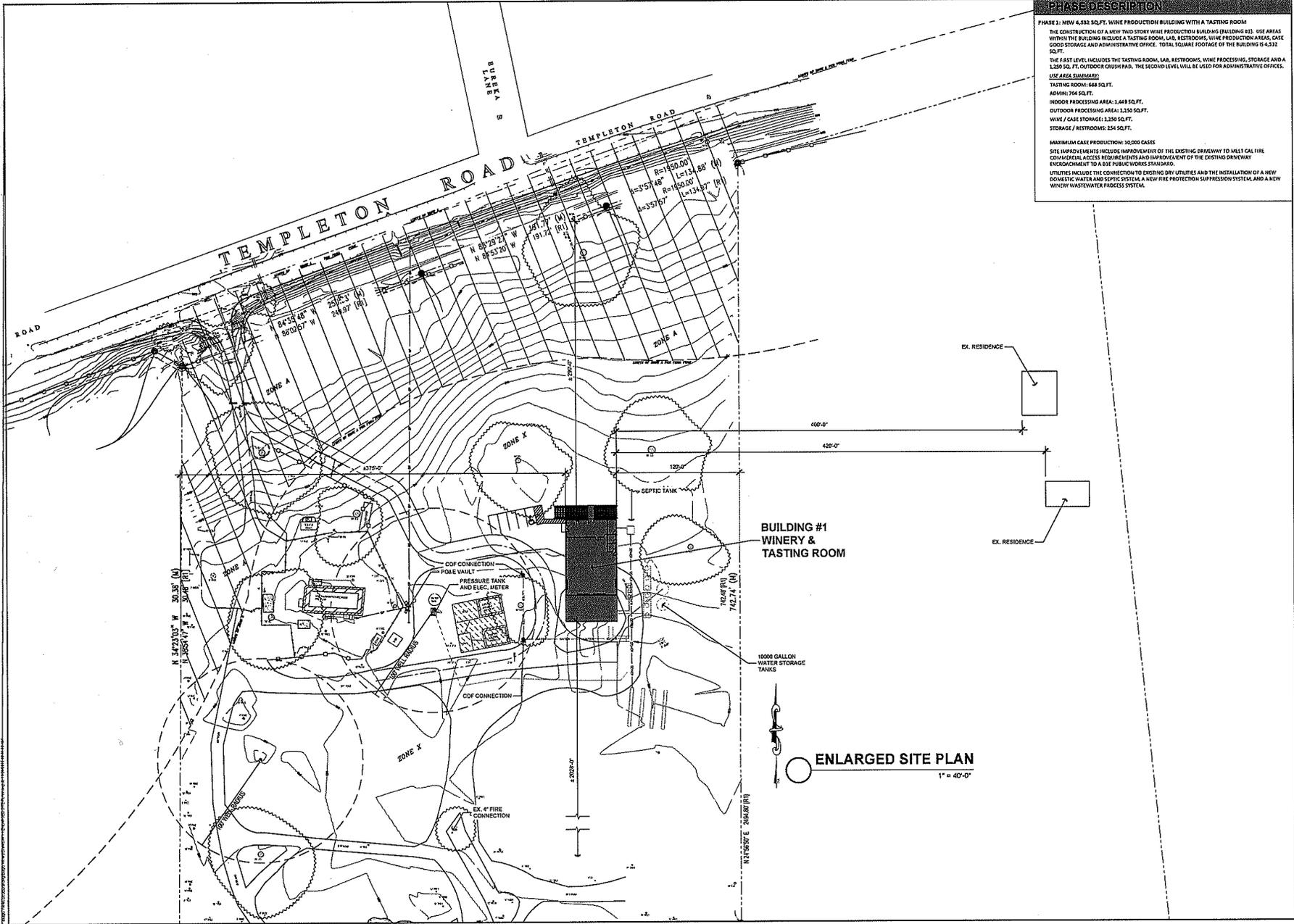
REV.	DESCRIPTION	DATE

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PROJECT NO. =  
FILENAME = ALLITERAINDWG  
DRAWN BY JMS & C.D.  
DATE 12/10/16 4:59 PM

SHEET TITLE:  
OVERALL SITE PLAN

SHEET NUMBER:  
A-1.0



**PHASE DESCRIPTION**

PHASE 1: NEW 4,532 SQ.FT. WINE PRODUCTION BUILDING WITH A TASTING ROOM

THE CONSTRUCTION OF A NEW TWO STORY WINE PRODUCTION BUILDING (BUILDING #1). USE AREAS WITHIN THE BUILDING INCLUDE A TASTING ROOM, LAB, RESTROOMS, WINE PRODUCTION AREA, CASE FOOD STORAGE AND ADMINISTRATIVE OFFICE. TOTAL SQUARE FOOTAGE OF THE BUILDING IS 4,532 SQ.FT.

THE FIRST LEVEL INCLUDES THE TASTING ROOM, LAB, RESTROOMS, WINE PROCESSING, STORAGE AND A 1,250 SQ. FT. OUTDOOR CRUSH PAD. THE SECOND LEVEL WILL BE USED FOR ADMINISTRATIVE OFFICES.

**USE AREA SUMMARY:**

TASTING ROOM: 648 SQ.FT.  
 ADMIN: 704 SQ.FT.  
 INDOOR PROCESSING AREA: 1,449 SQ.FT.  
 OUTDOOR PROCESSING AREA: 1,250 SQ.FT.  
 WINE / CASE STORAGE: 1,250 SQ.FT.  
 STORAGE / RESTROOMS: 254 SQ.FT.

**MAXIMUM CASE PRODUCTION: 30,000 CASES**

SITE IMPROVEMENTS INCLUDE IMPROVEMENT OF THE EXISTING DRIVEWAY TO MEET CAL FIRE COMMERCIAL ACCESS REQUIREMENTS AND IMPROVEMENT OF THE EXISTING DRIVEWAY ENCROACHMENT TO A BEE PUBLIC WORKS STANDINGS.

UTILITIES INCLUDE THE CONNECTION TO EXISTING DRY UTILITIES AND THE INSTALLATION OF A NEW DOMESTIC WATER AND SEPTIC SYSTEM, A NEW FIRE PROTECTION SUPPRESSION SYSTEM, AND A NEW WINERY WASTEWATER PROCESS SYSTEM.

**JB**  
 DRAFTING & DESIGN  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 810 10TH ST., SUITE 107  
 PASO ROBLES, CA 93446  
 TEL.# (805)237-0850  
 FAX # (805)237-0480

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

**ENLARGED SITE PLAN**  
 1" = 40'-0"

REVISION LOG

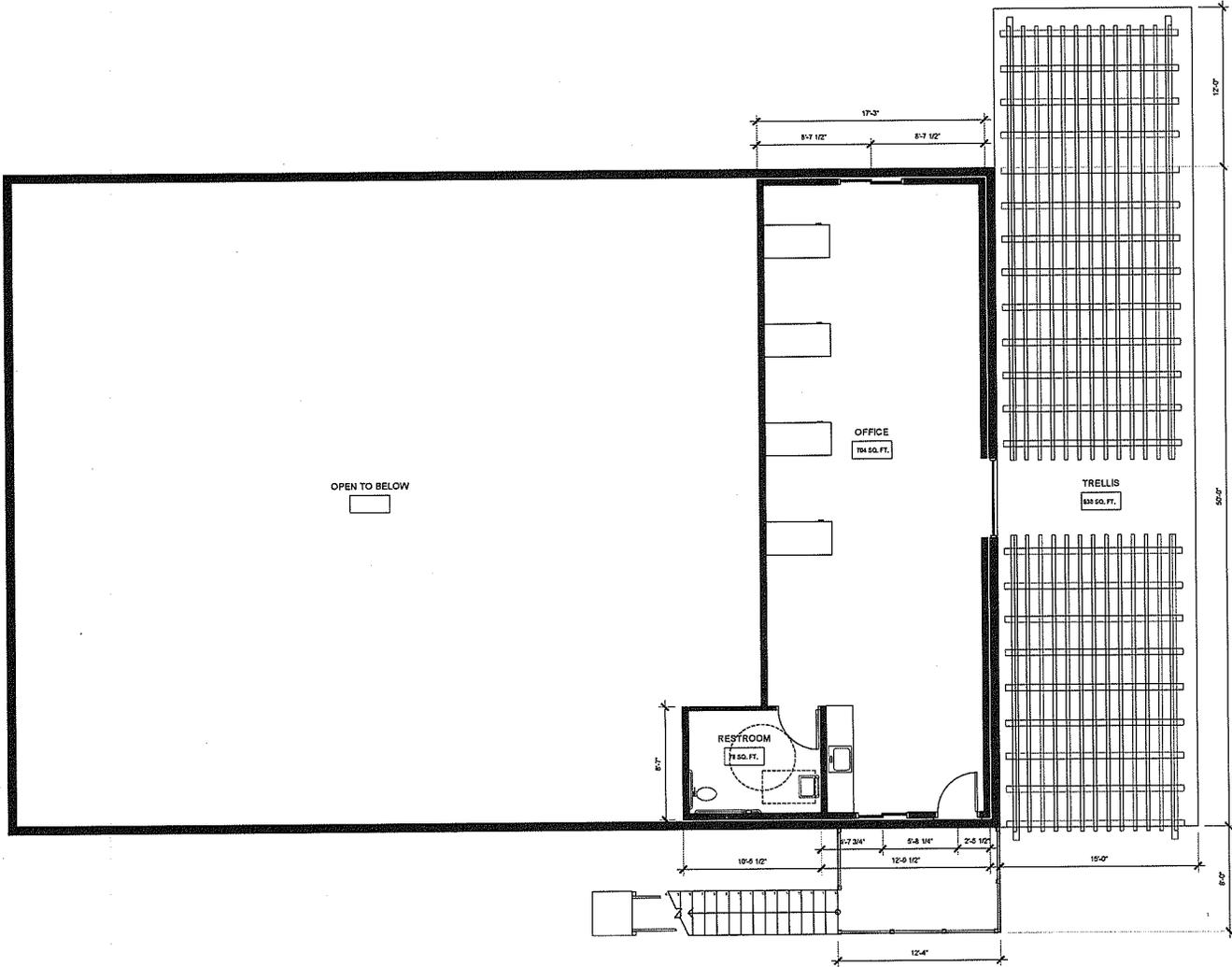
REV.	DESCRIPTION	DATE

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PROJECT NO. \_\_\_\_\_  
 FILE NAME ALL DRAFTING THE FURNISHING  
 DRAWN BY JUB & C.D.  
 DATE 12/12/2018 4:59 PM  
 SHEET TITLE: **SITE PLAN PHASE #1**

SHEET NUMBER:  
**A-1.1**





**PHASE DESCRIPTION**

PHASE 1: NEW 4,532 SQ.FT. WINE PRODUCTION BUILDING WITH A TASTING ROOM

THE CONSTRUCTION OF A NEW TWO STORY WINE PRODUCTION BUILDING (BUILDING #1). USE AREAS WITHIN THE BUILDING INCLUDE A TASTING ROOM, LAB, RESTROOMS, WINE PRODUCTION AREAS, CASE GOOD STORAGE AND ADMINISTRATIVE OFFICE. TOTAL SQUARE FOOTAGE OF THE BUILDING IS 4,532 SQ.FT.

THE FIRST LEVEL INCLUDES THE TASTING ROOM, LAB, RESTROOMS, WINE PROCESSING, STORAGE AND A 1,250 SQ. FT. OUTDOOR CALIPHAN. THE SECOND LEVEL WILL BE USED FOR ADMINISTRATIVE OFFICES.

**USE AREA SUMMARY:**

TASTING ROOM: 688 SQ.FT.  
 ADMIN: 704 SQ.FT.  
 INDOOR PROCESSING AREA: 1,049 SQ.FT.  
 OUTDOOR PROCESSING AREA: 1,250 SQ.FT.  
 WINE / CASE STORAGE: 1,250 SQ.FT.  
 STORAGE / RESTROOMS: 254 SQ.FT.

MAXIMUM CASE PRODUCTION: 10,000 CASES

SITE IMPROVEMENTS INCLUDE IMPROVEMENT OF THE EXISTING DRIVEWAY TO MEET CAL FIRE COMMERCIAL ACCESS REQUIREMENTS AND IMPROVEMENT OF THE EXISTING DRIVEWAY ENGAGEMENT TO A BIE PUBLIC WORKS STANDARD.

UTILITIES INCLUDE THE CONNECTION TO EXISTING DRY UTILITIES AND THE INSTALLATION OF A NEW DOMESTIC WATER AND SEWIC SYSTEM, A NEW FIRE PROTECTION SUPPRESSION SYSTEM, AND A NEW WINERY WASTEWATER PROCESS SYSTEM.

**JB**  
 DRAFTING & DESIGN  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST. SUITE 'D'  
 PASO ROBLES, CA  
 93445  
 BUS # (805) 237-0850  
 FAX # (805) 237-0480

PLAN PREPARED FOR:  
 BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

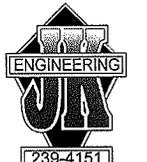
REV.	DESCRIPTION	DATE

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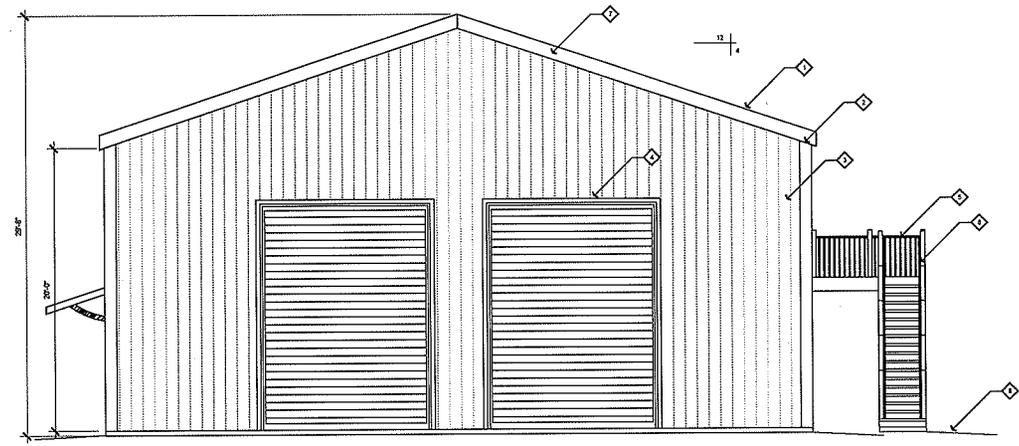
PROJECT NO. —  
 FILE NAME: A22496R0106R01060  
 DRAWN BY: JMB R.C.D.  
 DATE: 11/20/2018 5:03 PM  
 SHEET TITLE:  
 UPPER FLOOR  
 PLAN PHASE #1

SHEET NUMBER:  
 A-2.2

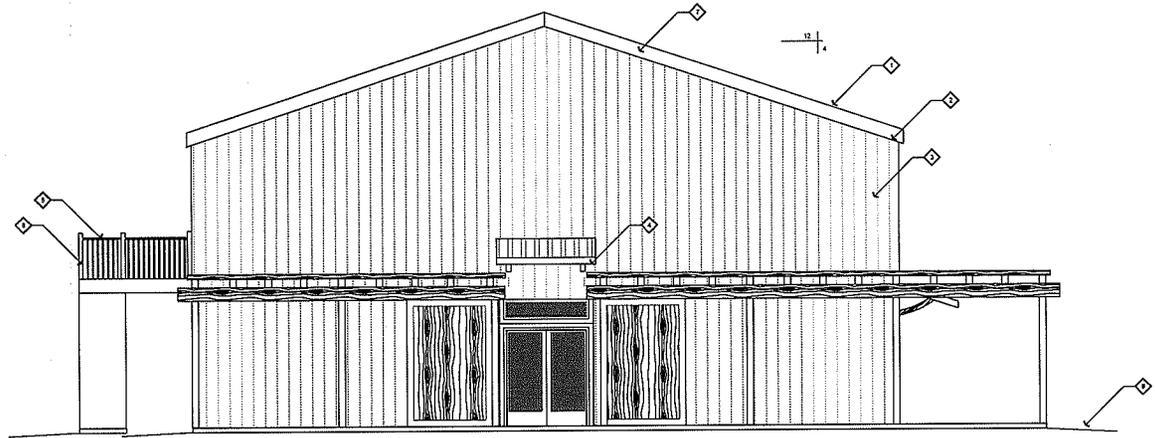
- ELEVATION NOTES**
1. METAL ROOF OVER 3/8" MINIMUM ROOFING FELT (TYP)
  2. 2 X 4 HEM FIR FASCIA (TYP)
  3. VERTICAL SIDING OVER APPROVED MOISTURE BARRIER
  4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
  5. GUARD @ 42" ABOVE FINISHED FLOOR, PROVIDE 2X PICKETS SPACED PER CBC 1013.2
  6. HANDRAILS PER CBC 1008.10 AND 1012. TOP OF HANDRAILS SHALL BE MOUNTED 34" ABOVE THE TOP OF STAIRS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS AND EXTEND 12" BEYOND TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN HORIZONTAL SAFETY TERMINALS. HANDRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION.
  7. NO ATTIC SPACE THEREFORE NO VENTILATION REQUIRED.
  8. SLOPE AWAY FROM BUILDING 3/4" FOR 10'-0" MINIMUM (TYP)



**John A. Kudla**  
 Civil Engineering &  
 Structural Design  
 R.C.E. #50652  
 610 10th ST. UNIT #1 PASO  
 ROBLES, CA.



**REAR ELEVATION BUILDING #1**  
 1/4" = 1'



**FRONT ELEVATION BUILDING #1**  
 1/4" = 1'

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

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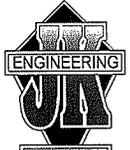
PROJECT NO. —  
 FILENAME ALL15EW0002.DWG  
 DRAWN BY JMB R.C.D.  
 DATE 11/23/2016 4:03 PM  
 SHEET TITLE  
**ELEVATIONS  
 PHASE #1**

SHEET NUMBER  
**A-3.1**

P:\Drawings\2016\11\15\15110002.dwg (11/23/2016 4:03 PM)

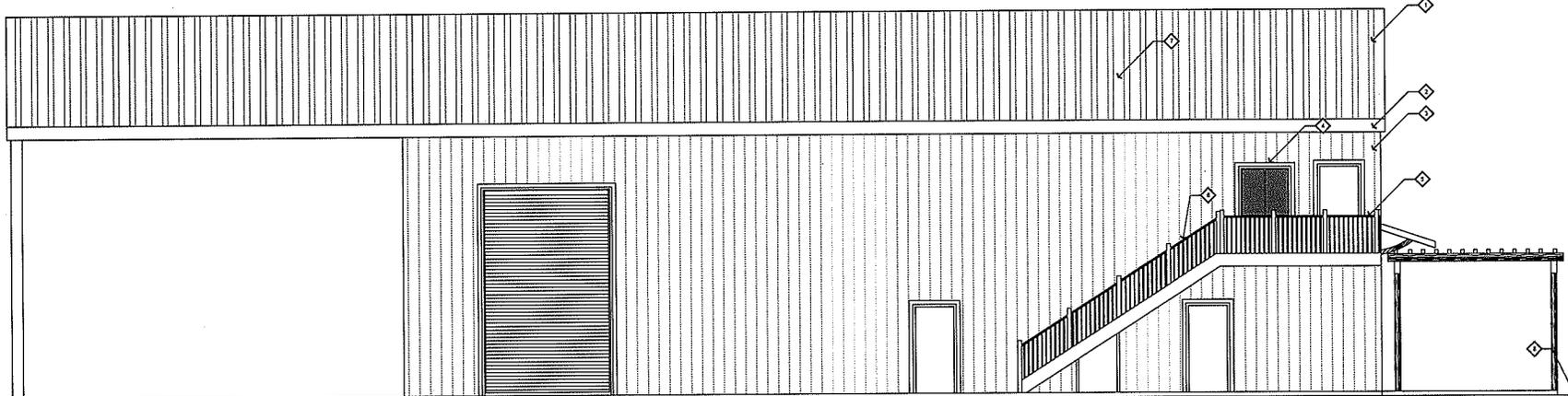
**ELEVATION DETAILS**

1. METAL ROOF OVER OVER 5/8" MINIMUM ROOFING FELT (TYP)
2. 2 X 4 HEM FER FASCIA (TYP)
3. VERTICAL BRIM OVER APPROVED MOISTURE BARRIER
4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
5. GUARD @ 42" ABOVE FINISHED FLOOR. PROVIDE 3/8" PICKETS SPACED PER CBC 1912.3.
6. HANDRAILS PER CBC 1008.10 AND 1012. TOP OF HANDRAILS SHALL BE MOUNTED 34" ABOVE THE FINISH OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS AND EXTEND 12" BEYOND TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAIL PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION.
7. NO ATTIC SPACE THEREFORE NO VENTILATION REQUIRED.
8. SLOPE AWAY FROM BUILDING 5/8" FOR 10'-0" MINIMUM (TYP)

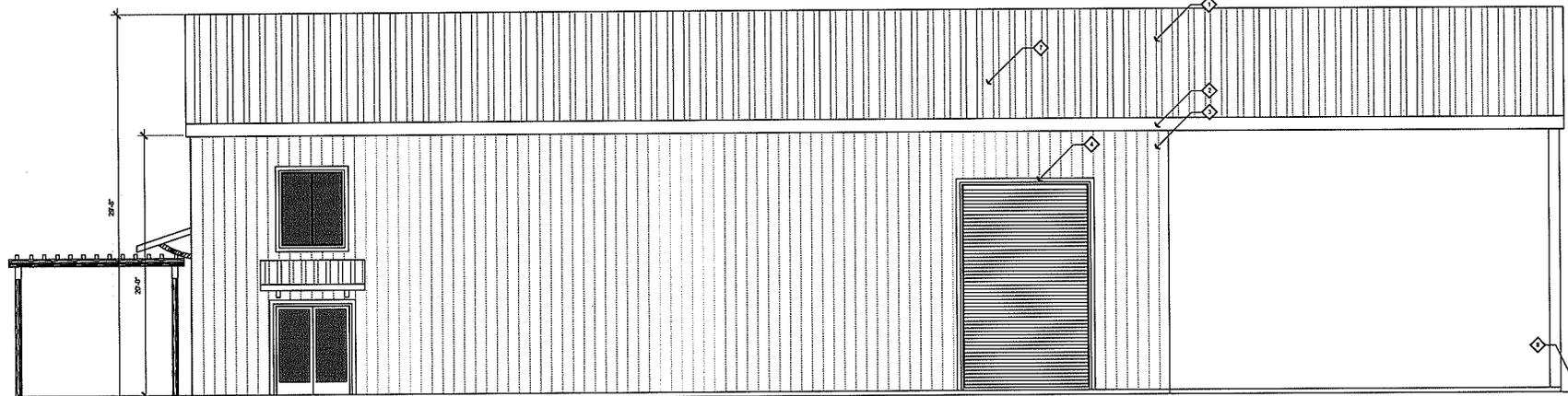


239-4151

John A. Kudla  
 Civil Engineering &  
 Structural Design  
 R.C.E. #50652  
 610 10th ST. UNIT 'A' PASO  
 ROBLES, CA.



LEFT ELEVATION BUILDING #1  
 1/4" = 1'



LEFT ELEVATION BUILDING #1  
 1/4" = 1'

PLAN PREPARED FOR:

BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

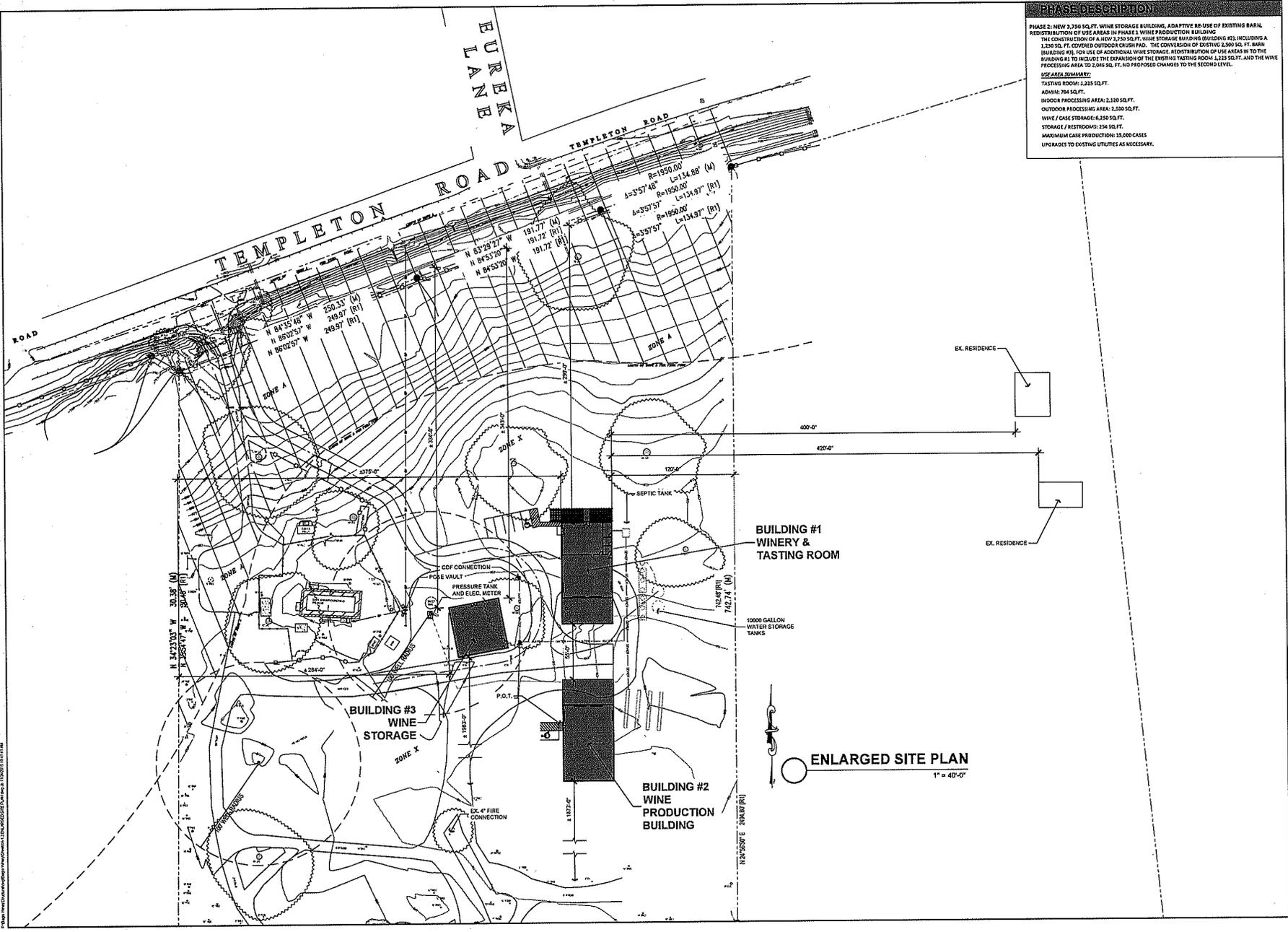
REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ---  
 FILENAME A33ELEVATIONS  
 DRAWN BY JAB & C.O.  
 DATE 11/20/2015 09:09 PM  
 SHEET TITLE:  
**ELEVATIONS  
 PHASE #1**

SHEET NUMBER:  
**A-3.2**



**PHASE DESCRIPTION**  
 PHASE 2: NEW 3,750 SQ.FT. WINE STORAGE BUILDING, ADAPTIVE RE-USE OF EXISTING BARN, REDISTRIBUTION OF USE AREAS IN PHASE 1 WINE PRODUCTION BUILDING, THE CONSTRUCTION OF A NEW 3,750 SQ.FT. WINE STORAGE BUILDING (INCLUDING A 1,200 SQ. FT. COVERED OUTDOOR CHAMP PAD). THE CONVERSION OF EXISTING 2,500 SQ. FT. BARN BUILDING #3, FOR USE OF ADDITIONAL WINE STORAGE, REDISTRIBUTION OF USE AREAS IN TO THE BUILDING #1 TO INCLUDE THE EXPANSION OF THE EXISTING TASTING ROOM 1,225 SQ.FT. AND THE WINE PROCESSING AREA TO 2,000 SQ. FT. NO PROPOSED CHANGES TO THE SECOND LEVEL.

**USE AREA SUMMARY:**  
 TASTING ROOM: 1,225 SQ.FT.  
 ADMIN: 704 SQ.FT.  
 WINE PROCESSING AREA: 2,100 SQ.FT.  
 OUTDOOR PROCESSING AREA: 1,200 SQ.FT.  
 WINE / CASE STORAGE: 6,250 SQ.FT.  
 STORAGE / RESTROOMS: 254 SQ.FT.  
 MAXIMUM CASE PRODUCTION: 13,000 CASES  
 UPGRADES TO EXISTING UTILITIES AS NECESSARY.

**JB**  
 DRAFTING & DESIGN  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST. SUITE 'D'  
 PASO ROBLES, CA  
 93448  
 BUS # (805) 237-0850  
 FAX # (805) 237-0480

PLAN PREPARED FOR:  
 BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

**ENLARGED SITE PLAN**  
 1" = 40'-0"

REVISION LOG

REV.	DESCRIPTION	DATE

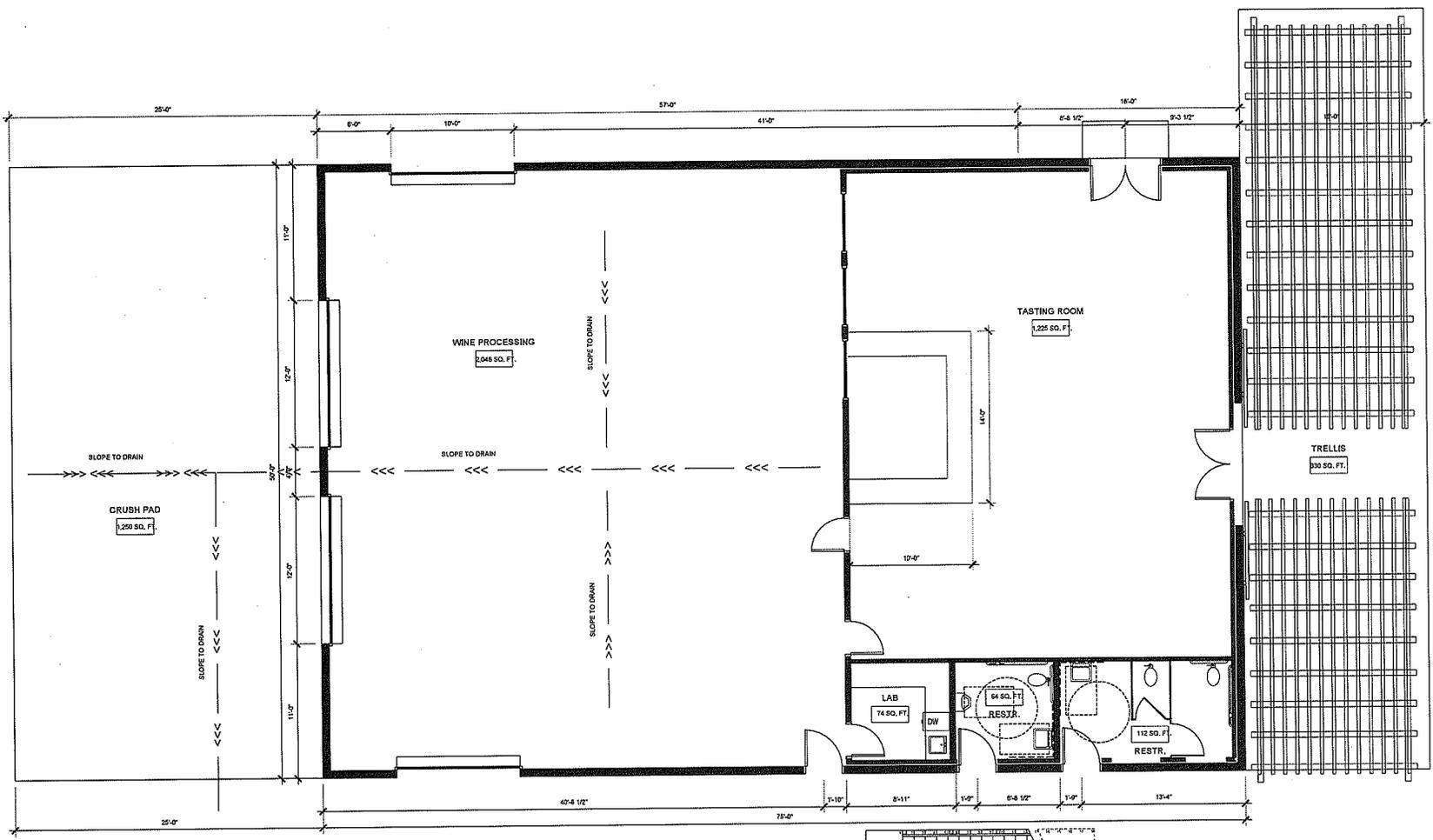
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PROJECT NO. ---  
 FILENAME: A12041603-07E-FUNDRING  
 DRAWN BY: JMB B.C.D.  
 DATE: 12/12/05 4:58 PM  
 SHEET TITLE:  
**SITE PLAN  
 PHASE #2**

SHEET NUMBER:  
**A-4.1**

**PHASE DESCRIPTION**  
 PHASE 2: NEW 3,750 SQ. FT. WINE STORAGE BUILDING, ADAPTIVE RE-USE OF EXISTING BARN, REDISTRIBUTION OF USE AREAS IN PHASE 1 WINE PRODUCTION BUILDING.  
 THE CONSTRUCTION OF A NEW 3,750 SQ. FT. WINE STORAGE BUILDING (BUILDING #2) INCLUDING A 1,250 SQ. FT. COVERED OUTDOOR CRUSH PAD, THE CONVERSION OF EXISTING 2,500 SQ. FT. BARN BUILDING #3L FOR USE OF ADDITIONAL WINE STORAGE, REDISTRIBUTION OF USE AREAS IN TO THE BUILDING #1 TO INCLUDE THE EXPANSION OF THE EXISTING TASTING ROOM 3,225 SQ. FT. AND THE WINE PROCESSING AREA TO 2,048 SQ. FT. (NO PROPOSED CHANGES TO THE EXISTING LEVEL).  
**USE AREA SUMMARY:**  
 TASTING ROOM: 3,225 SQ. FT.  
 ADMIN: 704 SQ. FT.  
 INDOOR PROCESSING AREA: 2,130 SQ. FT.  
 OUTDOOR PROCESSING AREA: 2,500 SQ. FT.  
 WINE / CASE STORAGE: 6,350 SQ. FT.  
 STORAGE / RESTROOMS: 54 SQ. FT.  
 MAXIMUM CASE PRODUCTION: 15,000 CASES  
 UPGRADES TO EXISTING UTILITIES AS NECESSARY.

**JB**  
**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILT  
 RESIDENTIAL PLANS  
 610 10TH ST. SUITE "D"  
 PASO ROBLES, CA  
 92445  
 BUS # (805)237-0850  
 FAX # (805)237-0480



**FLOOR PLAN BLDG.#1 (PHASE #2)**  
 LOWER TOTAL BUILDING: 3,750 SQ. FT.  
 LOWER CRUSH PAD: 1,250 SQ. FT.  
 LOWER TRELIS: 350 SQ. FT.  
 1/4" = 1'

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

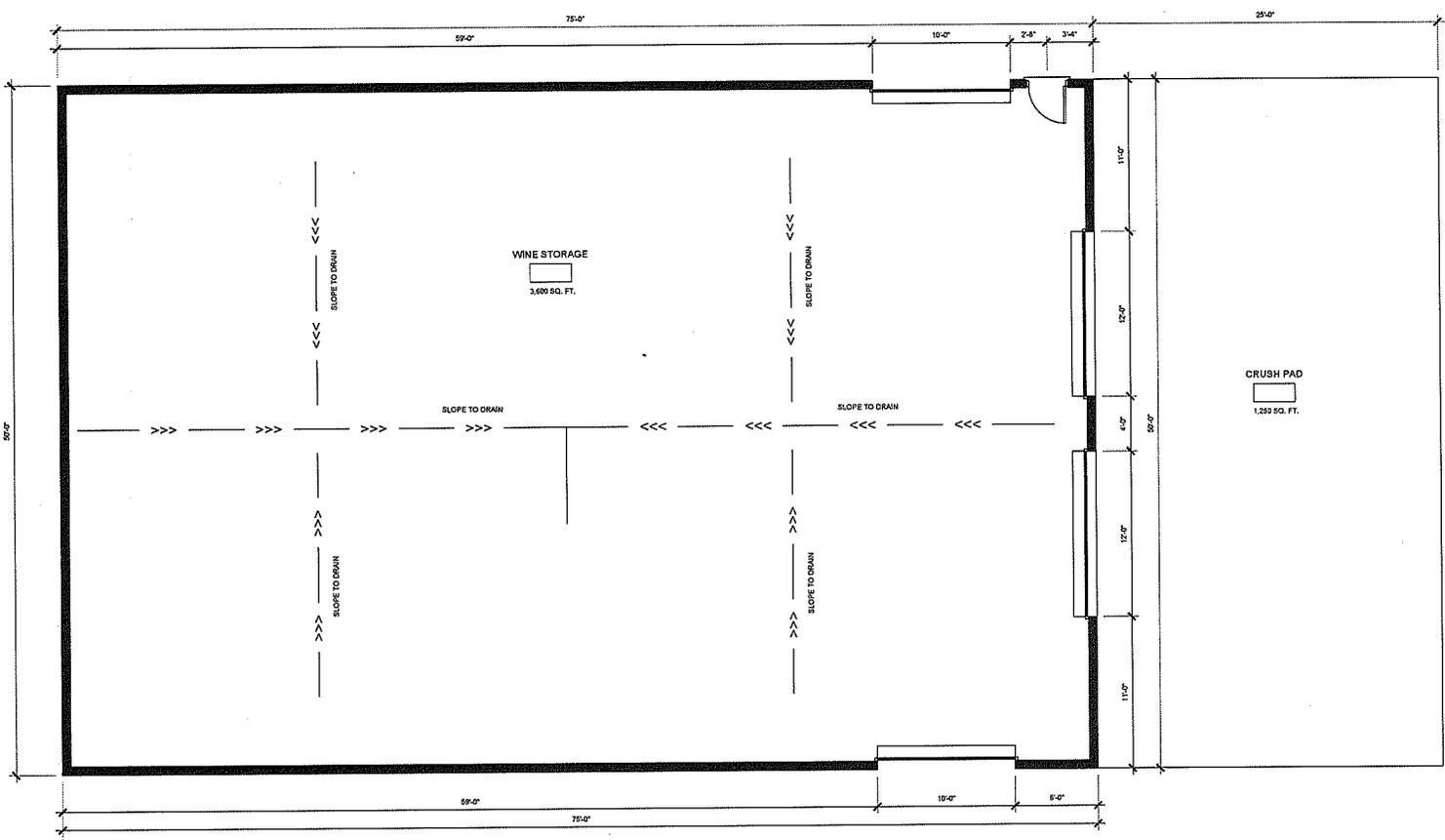
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 PROJECT NO. \_\_\_\_\_  
 FILE NAME: ALL LINED FLOOR PLANS PHASE 2  
 DRAWN BY: JAS H.C.O.  
 DATE: 11/23/2015 5:03 PM  
 SHEET TITLE:  
**LOWER FLOOR PLAN PHASE #2**

SHEET NUMBER:  
**A-5.1**

**SCOPE OF WORK**  
 1. CONSTRUCT NEW 3,750 SQ. FT. BUILDING WITH 1,250 SQ. FT. CRUSH PAD.  
 2. PROPOSED NEW PARKING PER SHEET A-3.1



**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 810 10TH ST. SUITE 107  
 PASO ROBLES, CA  
 93448  
 BUS # (805) 237-0850  
 FAX # (805) 237-0480



**WINE STORAGE FLOOR PLAN BUILDING #2 (PHASE #2)**  
 1/4" = 1'

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

**REVISION LOG**

REV.	DESCRIPTION	DATE

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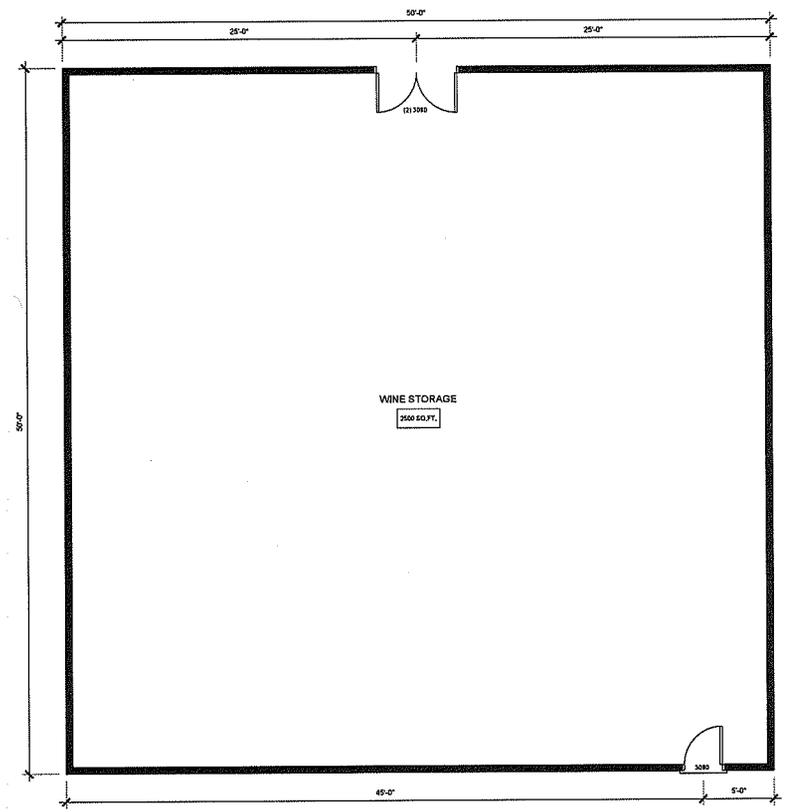
PROJECT NO. —  
 FILE NAME: A-5.2 WINE STORAGE PHASE #2.DWG  
 DRAWN BY: J.B. B.C.D.  
 DATE: 11/23/11 5:03 PM  
 SHEET TITLE:  
**WINE STORAGE  
 PHASE #2**

SHEET NUMBER:  
**A-5.2**

**SCOPE OF WORK**  
 1. CONVERT EXISTING BARN TO WINE TASTING AND COMMERCIAL KITCHEN, BUILDING #3



**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST. SUITE "D"  
 PASO ROBLES, CA  
 93446  
 BUS # (805) 237-0550  
 FAX # (805) 237-0460



**WINE STORAGE BUILDING #3 (PHASE #2)**  
 BUILDING #3  
 1/4" = 1'

PLAN PREPARED FOR:

**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ---  
 FILE NAME: A5-3 WINE STORAGE PHASE 2.DWG  
 DRAWN BY: J.B.C.  
 DATE: 11/02/2015 5:09 PM  
 SHEET TITLE:  
**WINE STORAGE #2 PHASE #2**

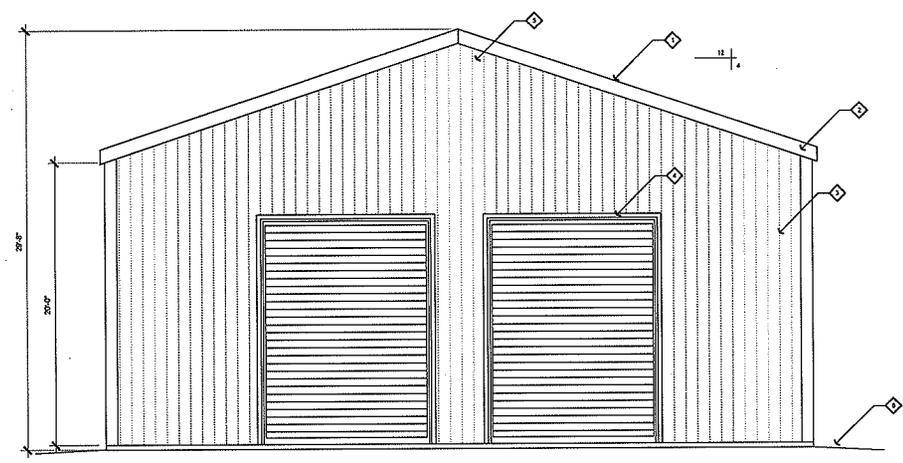
SHEET NUMBER:  
**A-5.3**

2015

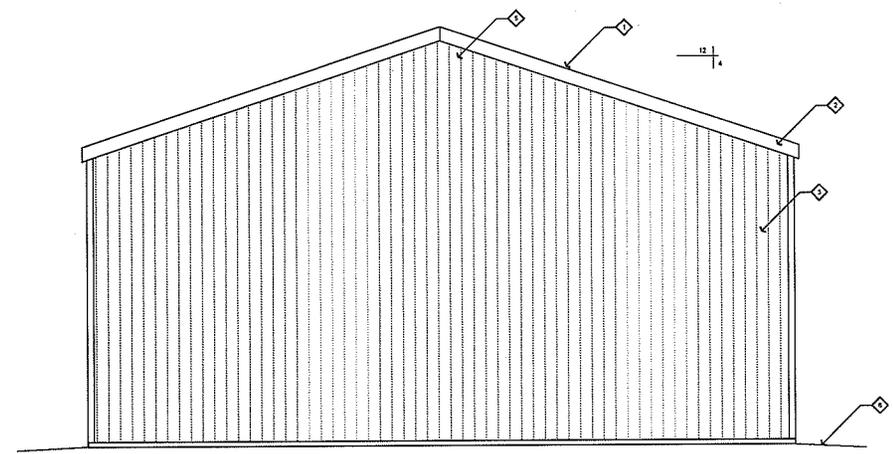
- ELEVATION CALLOUTS**
1. METAL ROOF OVER OVER 30# MINIMUM ROOFING FELT (TYP)
  2. 2 X 4 HORIZONTAL FASCIA (TYP)
  3. VERTICAL SIDING OVER APPROVED MOISTURE BARRIER
  4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
  5. NO ATTIC SPACE THEREFORE NO VENTILATION REQUIRED.
  6. SLOPE AWAY FROM BUILDING 3% FOR 10'-0" MINIMUM (TYP)



**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 810 10TH ST. SUITE 101  
 PASO ROBLES, CA  
 93448  
 BUS # (805) 237-0850  
 FAX # (805) 237-0480



REAR ELEVATION BUILDING #2  
 1/4" = 1'



FRONT ELEVATION BUILDING #2  
 1/4" = 1'

PLAN PREPARED FOR:

BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. —  
 FILENAME: A-112-DRAWING-ELEVATIONS  
 DRAWN BY: JMB & C.D.  
 DATE: 11/25/2015 1:03 PM  
 SHEET TITLE:  
**ELEVATIONS  
 PHASE #2**

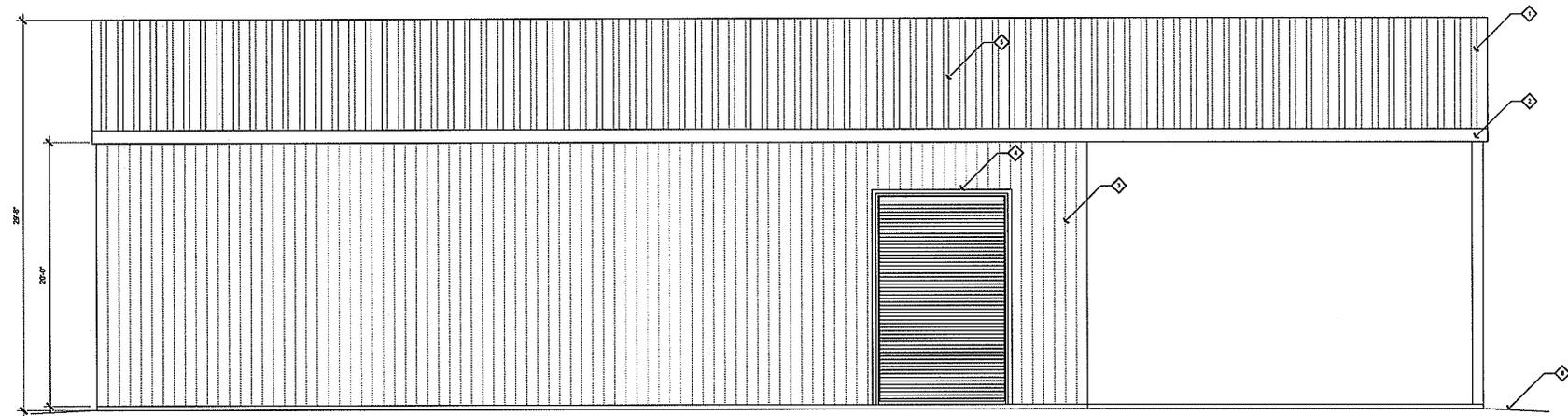
SHEET NUMBER:  
**A-6.1**

Plot: A-6.1.dwg on 11/25/2015 1:03 PM

1/2" = 1'

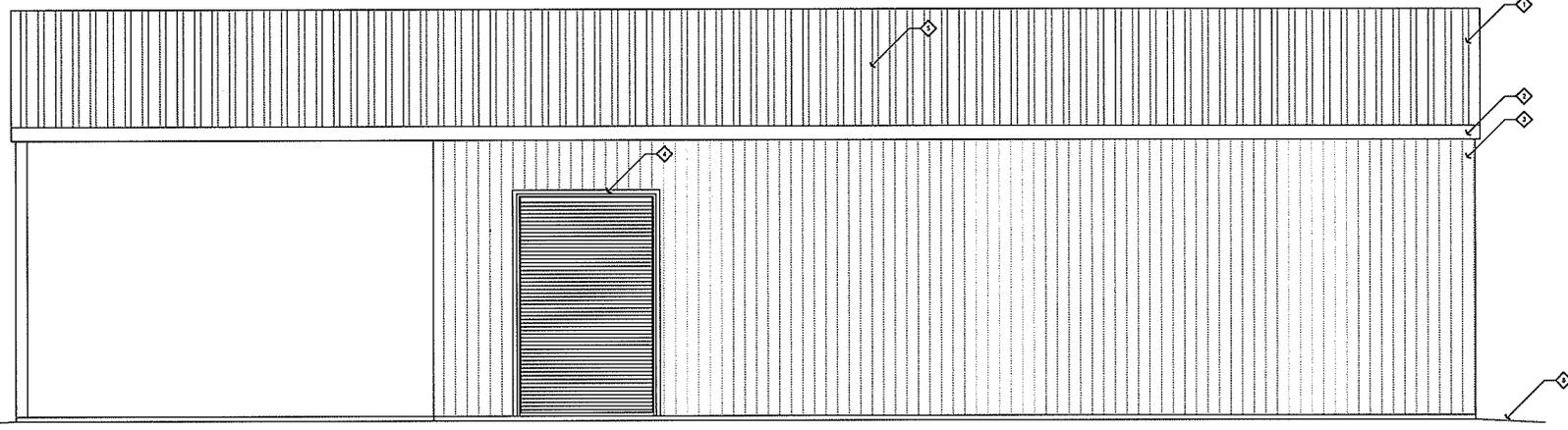
- ELEVATION CALLOUTS**
1. METAL ROOF OVER OVER 300 MINIMUM ROOFING FELT (TYP)
  2. 2 X 8 FISH BAR FASCIA (TYP)
  3. VERTICAL SIDING OVER APPROVED MOISTURE BARRIER
  4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
  5. NO ATTIC SPACE THEREFORE NO VENTILATION REQUIRED.
  6. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)

**JB**  
**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST. SUITE 101  
 PASO ROBLES, CA  
 93448  
 BUS. # (805) 237-0850  
 FAX # (805) 237-0480



LEFT ELEVATION BUILDING #2  
 1/4" = 1'

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465



LEFT ELEVATION BUILDING #2  
 1/4" = 1'

REVISION LOG

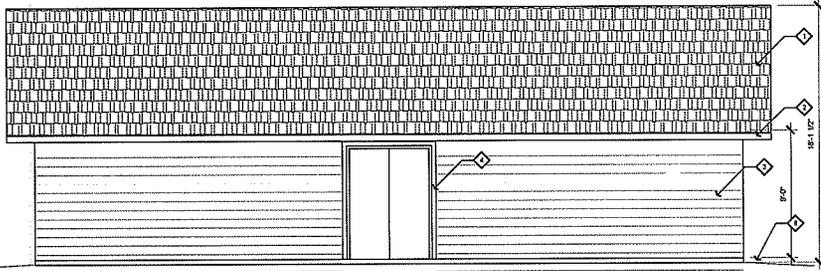
REV.	DESCRIPTION	DATE

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PROJECT NO. \_\_\_\_\_  
 FILE NAME: A-6-2 (11/22/2015 5:03 PM)  
 DRAWN BY: JAE B.C.D.  
 DATE: 11/22/2015 5:03 PM  
 SHEET TITLE:  
**ELEVATIONS  
 PHASE #2**

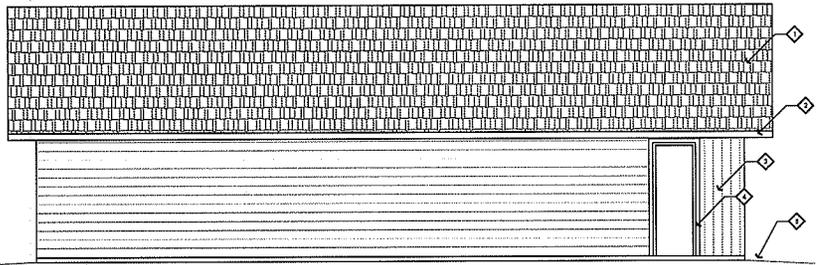
SHEET NUMBER:  
**A-6.2**

Plot: A-6-2.dwg, Date: 11/22/2015 5:03 PM, User: jae



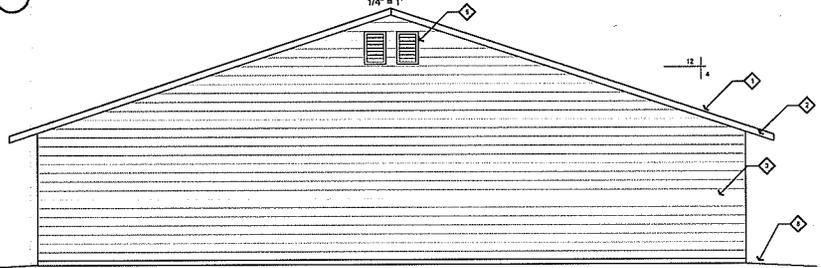
LEFT ELEVATION STORAGE BLDG #3

1/4" = 1'



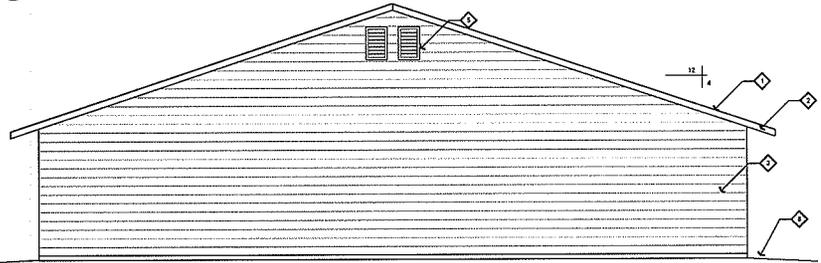
RIGHT ELEVATION STORAGE BLDG #3

1/4" = 1'



FRONT ELEVATION STORAGE BLDG #3

1/4" = 1'



REAR ELEVATION STORAGE BLDG #3

1/4" = 1'

- ELEVATION DETAILS**
1. COMPOSITION SHINGLE ROOFING OF MIN OF CLASS A OVER 30 LB MINIMUM ROOFING FELT (TYP)
  2. 2" x 4 HEM-FR FASCIA (TYP)
  3. HORIZONTAL SIDING OVER APPROVED MOISTURE BARRIERS
  4. 3X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
  5. ATTIC VENTILATION CALCULATIONS: HOUSE ATTIC AREA = 2500 SQ. FT. REQUIRED ATTIC VENTILATION = 2500 / 200 = 12.5 SQ. FT. = 12 SQ. FT. USE (4) 14" x 24" GABLE END VENTS (RVA = 100) = 600 SQ. IN. USE (1) 22" x 31" UNDER EAVE VENTS (RVA = 45) = 45 SQ. IN. USE VULCAN VENTS OR APPROVED EQUAL TO RESIST INTRUSION OF FLAME & ENTER INTO ATTIC AREA.
  6. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)



**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST., SUITE 107  
 PASO ROBLES, CA  
 93446  
 BUS. # (805) 237-0850  
 FAX # (805) 237-0480

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

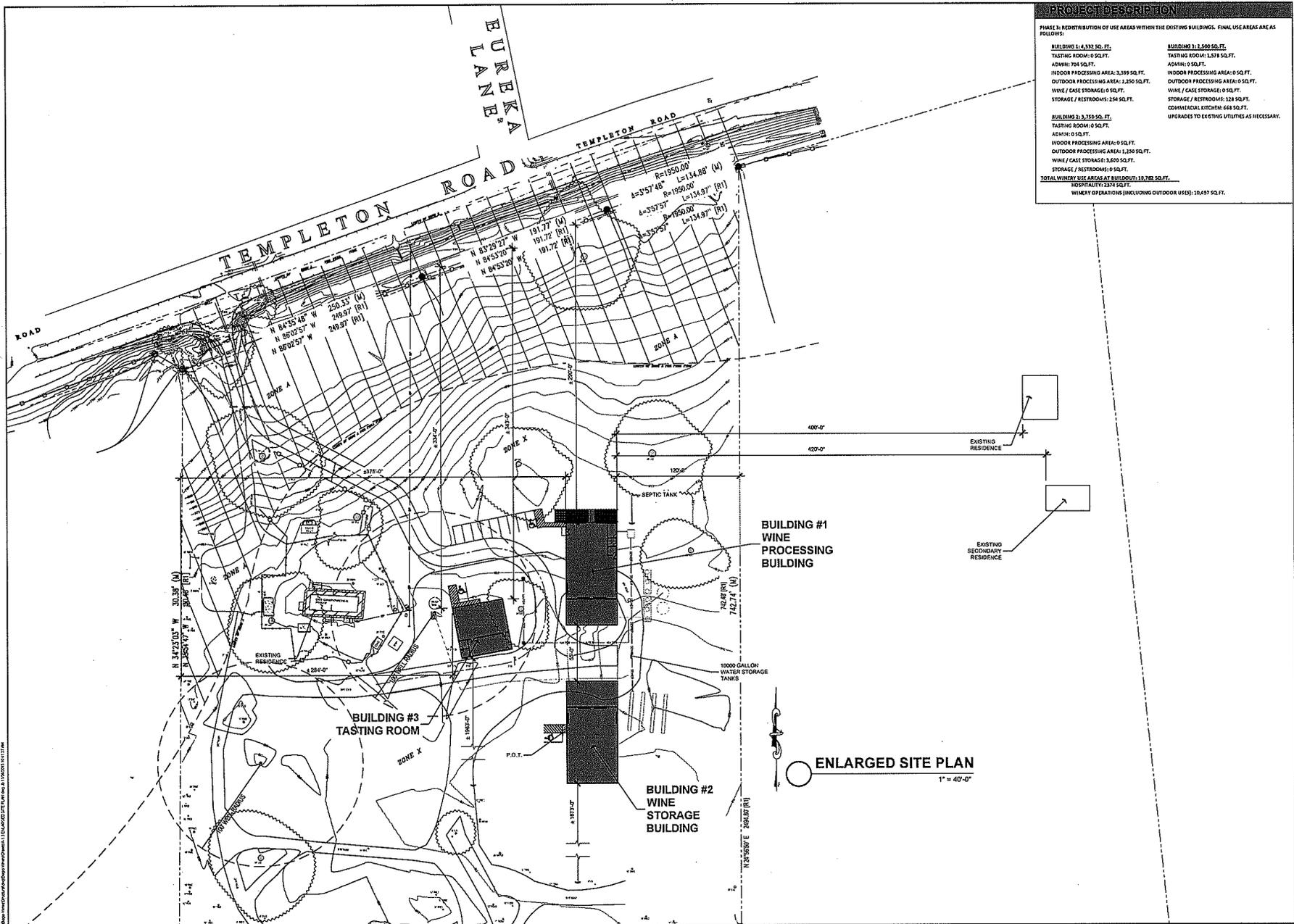
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PROJECT NO. \_\_\_\_\_  
 FILE NAME: 11252018 030626.DWG  
 DRAWN BY: JWB  
 DATE: 11/25/2018 5:03 PM

SHEET TITLE:  
**ELEVATIONS  
 STORAGE  
 BLDG #2**

SHEET NUMBER:  
**A-6.3**

P:\Projects\2018\11252018 030626.DWG (11/25/2018 5:03 PM)



**PROJECT DESCRIPTION**

PHASE 3: REDISTRIBUTION OF USE AREAS WITHIN THE EXISTING BUILDINGS. FINAL USE AREAS ARE AS FOLLOWS:

<b>BUILDING 1: 1,613.92 SQ. FT.</b>	<b>BUILDING 2: 2,009 SQ. FT.</b>
TASTING ROOM: 0 SQ. FT.	TASTING ROOM: 1,519 SQ. FT.
ADMIN: 704 SQ. FT.	ADMIN: 0 SQ. FT.
INDOOR PROCESSING AREA: 3,399 SQ. FT.	INDOOR PROCESSING AREA: 0 SQ. FT.
OUTDOOR PROCESSING AREA: 1,250 SQ. FT.	OUTDOOR PROCESSING AREA: 0 SQ. FT.
WINE / CASE STORAGE: 0 SQ. FT.	WINE / CASE STORAGE: 0 SQ. FT.
STORAGE / RESTROOMS: 254 SQ. FT.	STORAGE / RESTROOMS: 324 SQ. FT.
	COMMERCIAL KITCHEN: 644 SQ. FT.
	UPGRADES TO EXISTING UTILITIES AS NECESSARY.
<b>BUILDING 3: 3,750 SQ. FT.</b>	
TASTING ROOM: 0 SQ. FT.	
ADMIN: 0 SQ. FT.	
INDOOR PROCESSING AREA: 0 SQ. FT.	
OUTDOOR PROCESSING AREA: 1,250 SQ. FT.	
WINE / CASE STORAGE: 3,000 SQ. FT.	
STORAGE / RESTROOMS: 0 SQ. FT.	
<b>TOTAL WINERY USE AREAS AT BUILDING: 10,782 SQ. FT.</b>	
<b>HOSPITALITY: 2873 SQ. FT.</b>	
<b>WINERY OPERATIONS (INCLUDING OUTDOOR USES): 10,497 SQ. FT.</b>	

**JB**  
**DRAFTING & DESIGN**  
 CAD DESIGN - AS BUILTS  
 RESIDENTIAL PLANS  
 610 10TH ST., SUITE 101  
 PASO ROBLES, CA  
 93448  
 BUS. # (805) 231-0850  
 FAX # (805) 237-0480

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

**REVISION LOG**

REV.	DESCRIPTION	DATE

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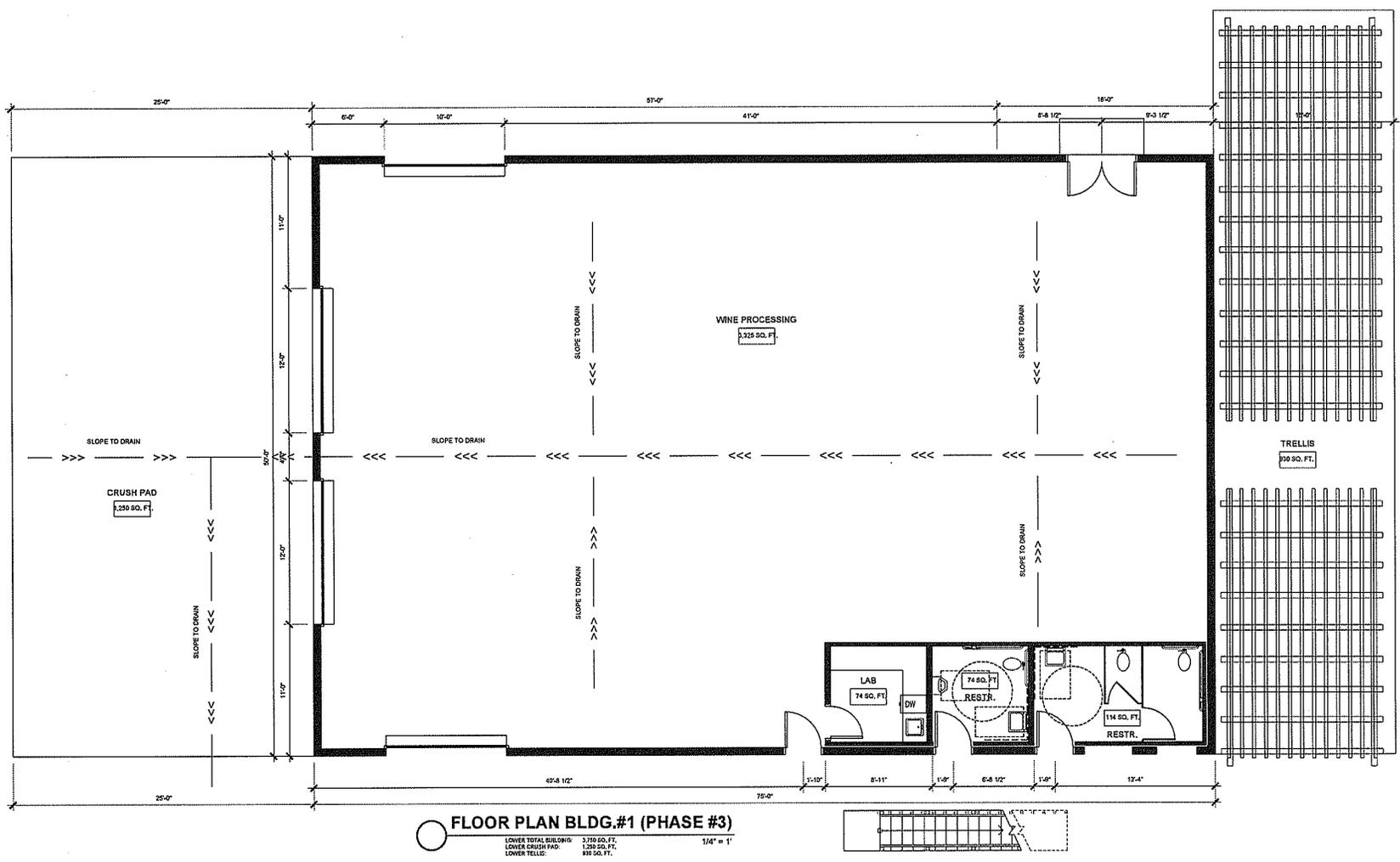
PROJECT NO. —  
 FILE NAME: A-335147-03-REVISED  
 DRAWN BY: JES S.C.O.  
 DATE: 12/11/2014 4:59 PM  
 SHEET TITLE:  
**SITE PLAN  
 PHASE #3**

SHEET NUMBER:  
**A-7.1**

11/17/14

**SCOPE OF WORK**  
1. CONVERT WINE TASTING ROOM TO WINE PROCESSING.

**JB**  
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CAD DESIGN - AS BUILTS  
RESIDENTIAL PLANS  
610 10TH ST. SUITE 101  
PASO ROBLES, CA  
93446  
BUS #805237-0550  
FAX #805237-0460



**FLOOR PLAN BLDG.#1 (PHASE #3)**  
LOWER TOTAL BUILDING: 5,769 SQ. FT.  
LOWER CRUSH PAD: 2,230 SQ. FT.  
LOWER TRELLIS: 300 SQ. FT.  
1/4" = 1'

PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
1875 TEMPLETON RD.  
TEMPLETON, CA 93465

REVISION LOG

REV.	DESCRIPTION	DATE

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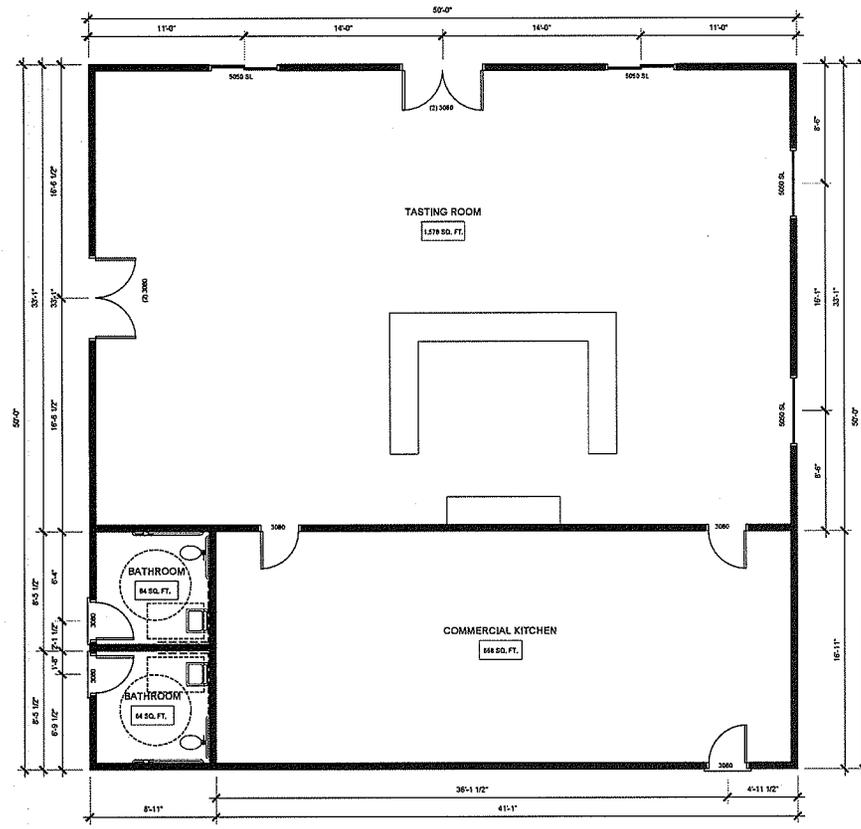
PROJECT NO. \_\_\_\_\_  
FILE NAME: 11/25/2015 FLOOR PHASE  
DRAWN BY: JLD  
DATE: 11/25/2015 5:03 PM  
SHEET TITLE:  
**LOWER FLOOR  
PLAN PHASE #3**

SHEET NUMBER:  
**A-8.1**

**SCOPE OF WORK BUILDING #3**  
 1. CONVERT WINE STORAGE TO 1,578 TASTING ROOM AND 668 SQ. FT. COMMERCIAL KITCHEN.



**DRAFTING + DESIGN**  
 CAD DESIGN - AS BUILTS  
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**FLOOR PLAN BLDG.#3 (PHASE #3)**  
 1/4" = 1'

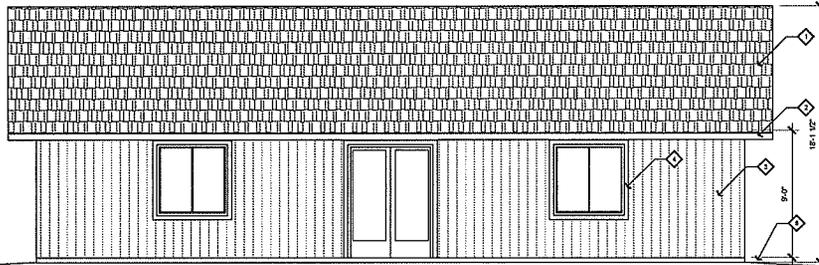
PLAN PREPARED FOR:  
**BIAGIO WINE CO.**  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

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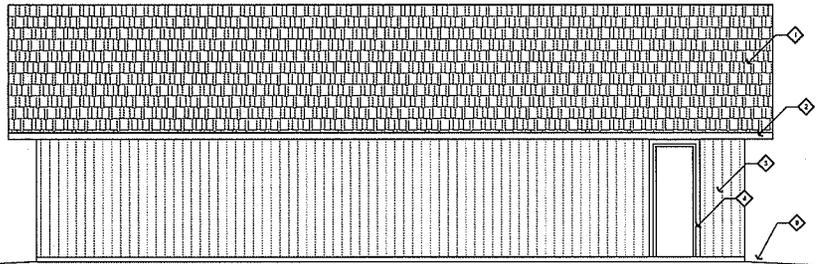
PROJECT NO. —  
 FILE NAME: ALL CONSTRUCTION DRAWINGS  
 DRAWN BY: J.B. D.C.  
 DATE: 11/23/2016 6:03 PM  
 SHEET TITLE:  
**COMMERCIAL KITCHEN PHASE #3**

SHEET NUMBER:  
**A-8.2**



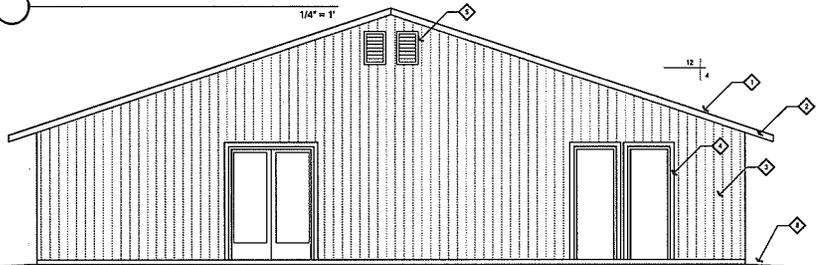
LEFT ELEVATION BUILDING #3

1/4" = 1'



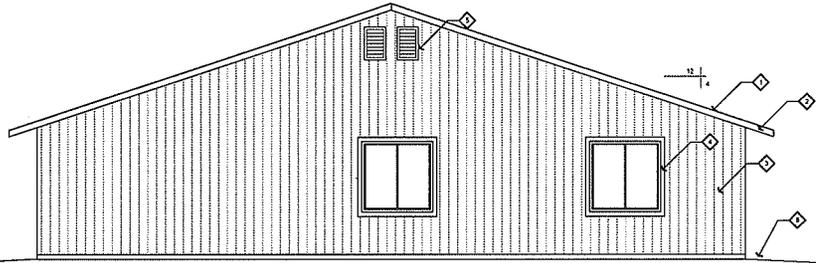
RIGHT ELEVATION BUILDING #3

1/4" = 1'



FRONT ELEVATION BUILDING #3

1/4" = 1'



REAR ELEVATION BUILDING #3

1/4" = 1'

- ELEVATION DETAILS**
1. COMPOSITION SHINGLE ROOFING OF MIN OF CLASS A OVER 30 LB MINIMUM ROOFING FELT (TYP)
  2. 2X 8 HEM-FR FASCIA (TYP)
  3. HORIZONTAL SIDING OVER APPROVED ADJUSTER BARRIER
  4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
  5. ATTIC VENTILATION CALCULATIONS: HOUSE ATTIC AREA = 2500 SQ FT  
REQUIRED ATTIC VENTILATION = 2500 / 300 = 8.33 SQ. FT. = 1000 SQ. IN.  
USE (6) 14" X 24" GABLE END VENTS (N/A X 150) = 600 SQ. IN.  
USE (15) 22X32" UNDER EAVE VENTS (N/A X 45) = 675 SQ. IN.  
USE VULCAN VENTS OR APPROVED EQUAL TO RESIST INTRUSION OF FLAME & EMER INTO ATTIC AREA.
  6. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)



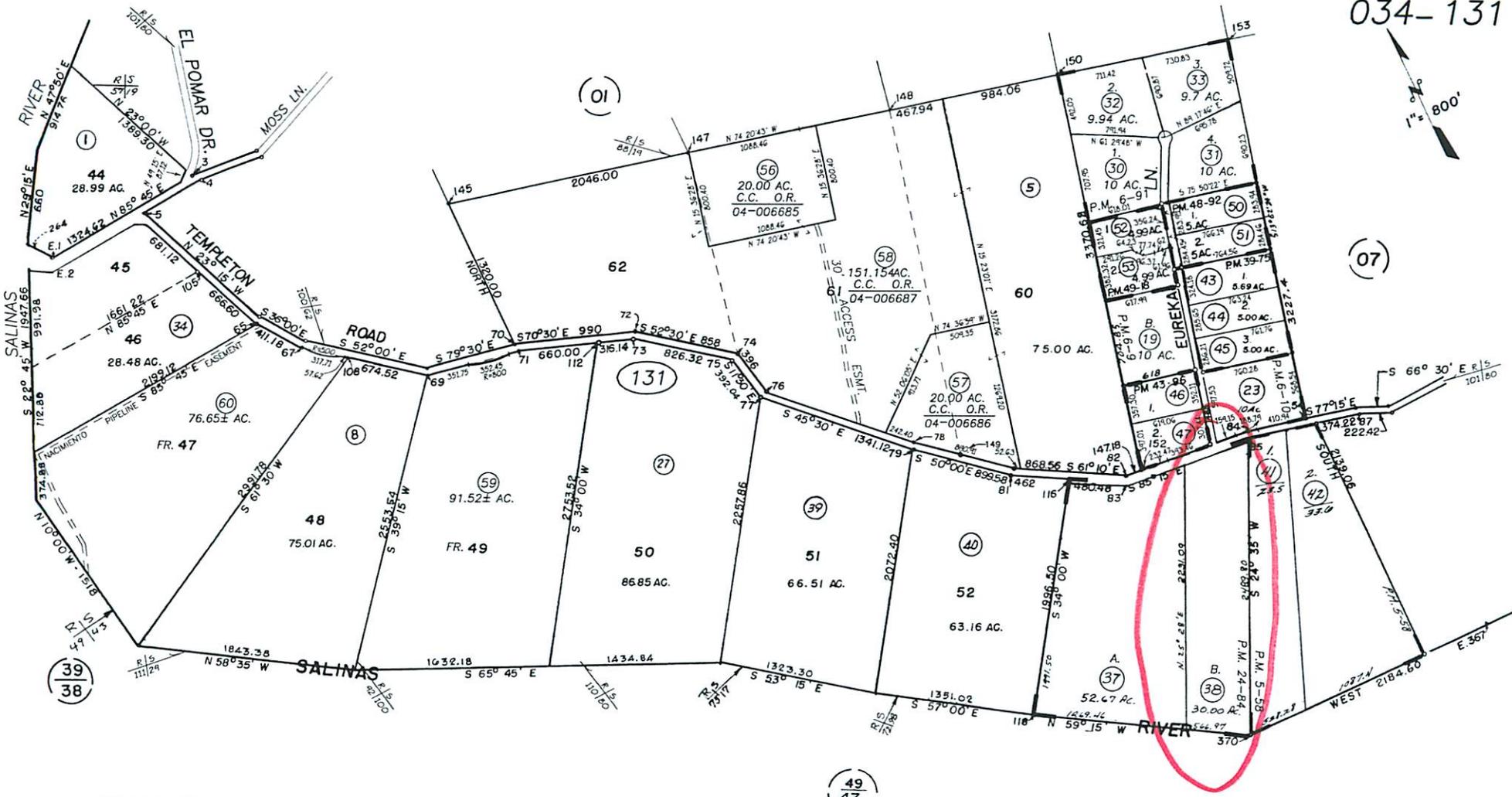
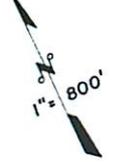
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PLAN PREPARED FOR:  
 BIAGIO WINE CO.  
 1875 TEMPLETON RD.  
 TEMPLETON, CA 93465

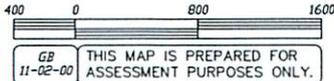
REVISION LOG		
REV.	DESCRIPTION	DATE

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PROJECT NO. \_\_\_\_\_  
 FILE NAME: A-9-1 ELEVATIONS PHASE #3  
 DRAWN BY: J.B.D.  
 DATE: 11/20/18 10:30 AM  
 SHEET TITLE:  
**ELEVATIONS  
 PHASE #3**  
 SHEET NUMBER:  
**A-9.1**

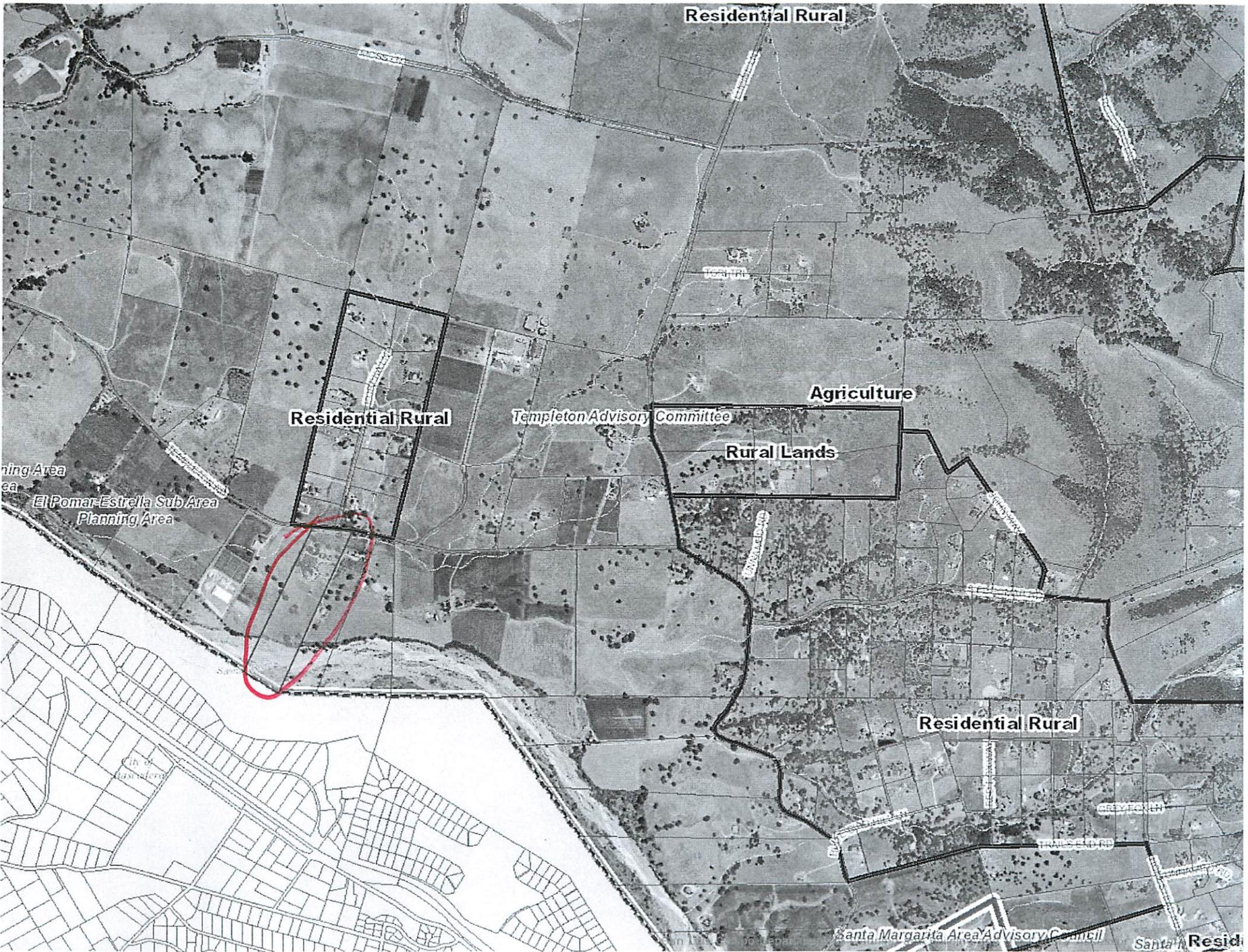


REVISIONS	
LS.	DATE
NA	03-10-04
05-017	06-02-04
08-346	01-14-08
11-030	08-20-10



EUREKA RANCHO, A SUBDIVISION OF:  
 RANCHO LA ASUNSION AND ADJACENT LANDS, R.M. Bk. A , Pg. 91.

ASSESSOR'S MAP, COUNTY OF  
 SAN LUIS OBISPO, CA.  
 BOOK 034 PAGE 131



Residential Rural

Residential Rural

Agriculture

Templeton Advisory Committee

Rural Lands

ning Area  
ea  
El Pomar-Estrella Sub Area  
Planning Area

Residential Rural

Santa Margarita Area Advisory Council

Santa Resid



# Parcel Summary Report For Parcel # 034-131-038

12/21/2015  
3:45:56PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

### People Information

#### Role    Name and Address

OWN    FERRARA JOSEPH E  
           3305 N GILL RD EXETER CA 93221-9618

OWN    FERRARA ADRIENNE L

OWN    FERRARA CHRISTOPHER J

OWN    FERRARA FAMILY REVOCABLE TRUST

OWN    FERRARA MARY L

### Address Information

<u>Status</u>	<u>Address</u>
P	01875 TEMPLETON RD NCELPO
P	01877 TEMPLETON RD NCELPO

### Lot Information:

<u>Tract / Twshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO76-	505	B	North Cty. Plan	North County I AG	FH	EX1	Y			A950004A

### Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 24/84 PAR B

### Notes

### Tax Districts

TEMPLETON



# Parcel Summary Report For Parcel # 034-131-038

12/21/2015  
3:45:56PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SAN LUIS OBISPO JT(27,40)  
TEMPLETON PUBLIC  
NO. 05  
AREA NO. 21

### Case Information

**Case Number:**

**Case Status:**

91214 FNL Primary Parcel

**Description:**

ELECTRICAL HOOK-UP TO NEW WELL W/15HP PUMP

A950004A AGC Primary Parcel

**Description:**

AG PRESERVE CONTRACT (EL POMAR #59)

C0462 FNL Primary Parcel

**Description:**

PERMANENT FOUNDATION UNDER MOBILE HOME

C3159 FNL Primary Parcel

**Description:**

SINGLE FAMILY RESIDENCE (SECOND PRIMARY) ENGR: GARY MIYAMOTO, C-20484 (466-4506)

DRC2015-00069 REC Primary Parcel

**Description:**

3 PHASE DEVELOPMENT WINERY BIAGIO WINES CO.

PMT2004-00962 CMP Primary Parcel

**Description:**

AG EXEMPT POLE BARN 48 FT X 46 FT/ MUST MAINTAIN 46' BETWEEN THIS BARN AND EXISTING BARN/ 300' MIN. FRONT SETBACK FOR FLOOD HAZARD

PMT2011-00456 FNL Primary Parcel

**Description:**

DEMO MOBILE HOME (1440 SF) (PERMIT #34268)

PMT2011-01944 FNL Primary Parcel

**Description:**

REPLACEMENT MOBILE HOME (1596 SF) (PERMIT 34268) 2012 CLAYTON HOME 27' X 59' ON A SPA 86-1F FOUNDATION BY KARSTEN (OWNERS OF MH SCATTINI) - DEMO (1440 SF MOBILE HOME) (PMT2011-00456) EXISTING SEPTIC SYSTEM

SEP2011-00170 ISS Primary Parcel

**Description:**

Septic Inspection



# Parcel Summary Report For Parcel # 034-131-038

12/21/2015  
3:45:56PM

## San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

A860018A

APV

Related Parcel

**Description:**

ESTABLISH AG PRESERVE (EL POMAR # 59)