



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

DATE: 1/21/2016

TO: _____

FROM: Cody Scheel, 805-781-5157, CScheel@co.slo.ca.us
North CountyTeam / Development Review

PROJECT DESCRIPTION: DRC2015-00077 GOLDFARB SITE PLAN, REQUEST FOR SITE PLAN FOR EXISTING FARM QUARTERS (960 SF), COVERED PORCH (1195 SF), STORAGE (130 SF) LOCATED AT: 555 CALF CANYON HWY, CRESTON APN: 037-391-039 & -026

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00077

GOLDFARB BARR

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
- Conditional Use Permit/Development Plan Plot Plan
- Curb, Gutter & Sidewalk Waiver Other Site Plan
- Surface Mining/Reclamation Plan Zoning Clearance
- Amendment to approved land use permit Variance

SITE PLAN

FARM SUPPORT QUARTERS

NCSHCA/ NCSHCA

AG RL

APPLICANT INFORMATION

Check box for contact person assigned to this project

Landowner Name Barry Goldfarb Daytime Phone 310-472-5733
Mailing Address 555 Calf Canyon Carson Zip Code 93422
Email Address: _____

Applicant Name Barry Goldfarb Calf Canyon LLC Daytime Phone 310-472-5733
Mailing Address 555 Calf Canyon Pl Zip Code 93422
Email Address: _____

Agent Name Margaret Heely Holstein Daytime Phone 805-550-3552
Mailing Address 1225 Spanish Camp Passables Zip Code 93446
Email Address: MARGARET.HEELY@gmail.com

PROPERTY INFORMATION

Total Size of Site: 89 acres 159 acres Assessor Parcel Number(s): ~~310-472-5733~~
037-391-039
037-391-026

Legal Description: _____

Address of the project (if known): 555 Calf Canyon Road

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Santa Margarita to Hwy 58
Calf Canyon Canyon

Describe current uses, existing structures, and other improvements and vegetation on the property:
GRAPES, DRY FARMING

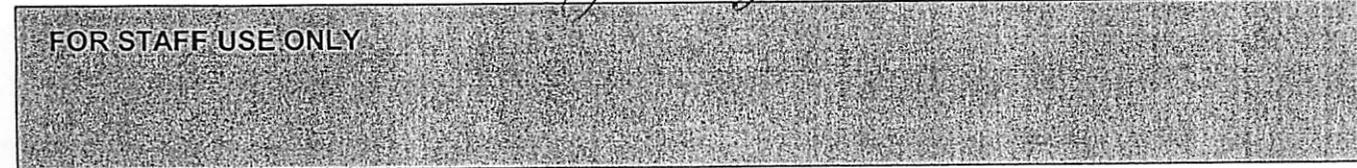
PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Farm Support Quarters

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature Agent Margaret Heely Holstein Date _____



Explain and document the need for farm support quarters:

Ranch - Farm - Help Run farm
GRAPES, Dry farm - Duck, Chicken,
GOATS, Owner - Absent - NEED HELP
To Run his farm.

Describe the magnitude of existing agricultural operations to be supported with the farm support quarters:

GRAPES - Dry farm
89 ACRES 159 ACRES

How many employees are required for the agricultural operations?:

2 Employees : family

WILDLAND URBAN INTERFACE - WUI

RESIDENTIAL AND COMMERCIAL PROJECTS BASED ON THE '10 CRC AND THE '10 CBC
THESE REQUIREMENTS APPLY ONLY TO **NEW BUILDINGS**. THESE REQUIREMENTS **DO NOT APPLY** TO:

- ADDITIONS TO EXISTING BUILDINGS UNLESS: THE EXISTING BUILDING WAS REQUIRED TO BE BUILT TO WUI STANDARDS (APPLICATION DATE ON OR AFTER JANUARY 1, 2008).
- A 120 SF MAX U OCCUPANCY $\geq 30'$ FROM A BUILDING REQUIRED TO BE WUI COMPLIANT.
- ANY OTHER U OCCUPANCIES OF ANY SIZE $\geq 50'$ FROM A BUILDING REQUIRED TO BE WUI COMPLIANT.
- REMODELS OF BUILDINGS ORIGINALLY CONSTRUCTED PRIOR TO THE APPLICABLE APPLICATION DATE OF JANUARY 1, 2008.
- DETACHED ACCESSORY STRUCTURES SUCH AS CARPORTS, PATIO COVERS OR TRELLISES WHICH ARE LESS THAN 50' FROM A STRUCTURE REQUIRED TO BE WUI COMPLIANT, UNLESS REQUIRED BY THE ENFORCING AGENCY.

DEFINITIONS
HEAVY TIMBER: HEAVY TIMBER SHALL BE SAWN LUMBER OR GLU LAMINATED WOOD WITH THE SMALLEST MINIMUM NOMINAL DIMENSIONS OF 4 INCHES. HEAVY TIMBER WALLS OR FLOORS SHALL BE SAWN OR GLUE LAMINATED PLANKS SPLINED, TONGUE AND GROOVE, OR SET CLOSE TOGETHER AND WELL SPIKED.
IGNITION RESISTANT CONSTRUCTION: "IGNITION RESISTANT CONSTRUCTION" INCLUDES NONCOMBUSTIBLE MATERIALS, FIRE RETARDANT TREATED WOOD IDENTIFIED FOR EXTERIOR USE, AND FIRE RETARDANT TREATED WOOD SHAKES AND SHINGLES LISTED FOR USE AS A CLASS B ROOF COVERING USED AS A WALL COVERING WHEN INSTALLED OVER SOLID SHEATHING OR ANY MATERIAL LISTED ON OSFM WEBSITE AS BEING IGNITION RESISTANT: (WWW.OSFM.FIRE.CA.GOV/STRUCTUREENGINEERING/PRODUCTS/PDF) **LOG WALL CONSTRUCTION:** A TYPE OF CONSTRUCTION IN WHICH EXTERIOR WALLS ARE CONSTRUCTED OF SOLID WOOD MEMBERS AND WHERE THE SMALLEST HORIZONTAL DIMENSION OF EACH SOLID WOOD MEMBER IS AT LEAST 6 INCHES.
ROOF EAVE: ROOF EAVES MAY BE EITHER "OPEN" OR "ENCLOSED." OPEN ROOF EAVES HAVE EXPOSED RAFTER TAILS AND AN UNENCLOSED SPACE ON THE UNDERSIDE OF THE ROOF DECK.

NOTE: IN ALL OF THE FOLLOWING CATEGORIES, THE USE OF PAINTS, COATINGS, STAINS OR OTHER SURFACE TREATMENTS ARE NOT AN APPROVED METHOD OF PROTECTION.

- ROOFING**
- ROOF COVERINGS IN VERY HIGH FIRE HAZARDS SEVERITY ZONES SHALL BE FIRE RETARDANT "CLASS A" MINIMUM. THIS INCLUDES FIRE RETARDANT WOOD SHAKES AND SHINGLES UNLESS NOT ALLOWED BY THE FIRE AUTHORITY HAVING JURISDICTION.
 - ROOF COVERINGS IN HIGH FIRE SEVERITY ZONES IN STATE RESPONSIBILITY AREAS SHALL BE "CLASS B" MINIMUM. THIS INCLUDES FIRE RETARDANT WOOD SHAKES AND SHINGLES UNLESS NOT ALLOWED BY THE FIRE AUTHORITY HAVING JURISDICTION.
 - ROOF COVERINGS IN MODERATE FIRE HAZARD SEVERITY ZONES AND ALL OTHER AREAS SHALL BE FIRE RETARDANT "CLASS C" MINIMUM, UNLESS PROHIBITED BY THE LOCAL FIRE AGENCY.
 - WHERE THERE IS AN OPENING BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE OPENING MUST BE FIRE STOPPED, CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS OR HAVE ONE LAYER 72# MINERAL CAP SHEET UNDER THE OPENINGS TO PROTECT THE ROOF DECK.
 - EXPOSED ROOF VALLEYS ARE TO BE 26 GA MIN METAL AND 36" WIDE, 72LB CAP SHEET UNDER.
 - ASPHALT SHINGLES OVERLAPPING THE VALLEY ARE AN ACCEPTABLE ALTERNATIVE.
 - GUTTERS ARE TO BE DESIGNED TO PREVENT THE ACCUMULATION OF DEBRIS.

- VENTS**
- ANY UNDERFLOOR OR ATTIC VENT (EXCEPT FOR VENTS LOCATED ON THE UNDERSIDE OF EAVES) NEED ONLY BE NONCOMBUSTIBLE, CORROSION RESISTANT AND HAVE $\frac{1}{8}$ " - $\frac{1}{4}$ " MAX OPENINGS.
 - VENTS LOCATED UNDER THE ROOF COVERINGS OR ALONG THE RIDGE NEED NOT BE NONCOMBUSTIBLE (FOR EXAMPLE SMART VENTS).
 - EAVE AND CORNICE VENTS.
 - NONCOMBUSTIBLE, CORROSION RESISTANT VENTS HAVING $\frac{1}{16}$ " - $\frac{1}{8}$ " MAX OPENINGS CAN BE USED IN THE UNDER SIDE OF EAVES IF:
 - THE ATTIC IS FULLY SPRINKLERED WITH A FULL 13 SYSTEM OR
 - THE VENTS IS MORE THAN 12' ABOVE GRADE OR WALKING SURFACE AND THE WALL COVERING AND EXPOSED UNDERSIDE OF THE EAVE AREA OF IGNITION RESISTANT CONSTRUCTION.

OTHERWISE, EAVE AND CORNICE VENTS MUST BE DESIGNED TO PREVENT THE INTRUSION OF FLAMES & BURNING EMBERS.

- EXTERIOR COVERINGS**
WALLS AND THE EXPOSED UNDERSIDE OF OPEN CLOSED EAVE OVERHANGS, SOFFITS, PORCH CEILINGS, FLOOR PROJECTIONS AND UNDERFLOOR AREAS NEED ONLY BE:
- COVERED WITH IGNITION RESISTANT MATERIALS (SEE ABOVE), CONSTRUCTED OF HEAVY TIMBERS OR LOG WALLS, OR
 - INSTALL ONE LAYER OF $\frac{1}{2}$ " TYPE X ON THE EXPOSED SIDE UNDER ANY TYPE OF WALL COVERING, OR
 - HAVE THE EXPOSED SIDE COVERED BY THE EXTERIOR PORTION OF A 1 HR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY AS FOUND IN THE GYPSUM ASSOCIATION FIRE RESISTANT DESIGN MANUAL.

- NOTE:** THE FOLLOWING ARE **EXEMPTED AND NEED NOT COMPLY**:
- 2X NOMINAL WOOD RAFTER TAILS OR THE BLOCKING BETWEEN THEM.
 - FASCIA, ARCHITECTURAL TRIM, GUTTERS.
 - ROOF PROJECTIONS FROM GABLE ENDS OR CORNICES.
 - HEAVY-TIMBER STRUCTURAL COLUMNS AND BEAMS.

- EXTERIOR WINDOWS AND DOORS**
ALL EXTERIOR GLAZING INCLUDING SKYLIGHTS IS TO COMPLY WITH THE FOLLOWING:
- ONE PANE OF A MULTIPANE WINDOW TO BE TEMPERED, OR
 - GLASS BLOCK, OR
 - 20 MINUTE RATED, OR
 - ANY APPROVED WINDOW LISTED ON OSFM WEBSITE.

NOTE: STRUCTURAL GLASS VENEER NEED NOT COMPLY AS LONG AS THERE IS AN APPROVED WALL ASSEMBLY BEHIND THE GLASS MEETING THE REQUIREMENTS FOR EXTERIOR WALL COVERINGS.
NOTE: WINDOW SASH, STILE, AND FRAMES MAY BE OF WOOD, ALUMINUM, VINYL, OR FIBERGLASS MATERIAL. (OSFM INTERPRETATION 10-013)

- EXTERIOR DOORS ARE TO COMPLY WITH THE FOLLOWING:**
- THE EXTERIOR SUBSTRATE OR CLADDING SHALL BE OF IGNITION RESISTANT OR NON-COMBUSTIBLE MATERIAL, OR
 - 20 MINUTE RATED, OR
 - 1-3/8" SOLID CORE WOOD OR PANEL DOORS. RAISED PANELS ARE TO BE 1-1/4" THICK MINIMUM TAPERING TO NOT LESS THAN $\frac{1}{8}$ " THICK.

- DECKING**
THE WALKING SURFACE (ONLY) OF DECKS, BALCONIES, PORCHES AND STAIRS WITHIN 10' OF A BUILDING REQUIRED TO BE WUI COMPLIANT SHALL BE OF THE FOLLOWING MATERIALS:
- IGNITION RESISTANT (SEE ABOVE), EXTERIOR FIRE RETARDANT TREATED WOOD OR,
 - SOLID WOOD DECKING (REDWOOD OR CEDAR $\frac{3}{4}$ " THICK NOMINAL 6" WIDE) OVER 2X8 MIN DF JOISTS 24" OR LESS ON CENTER OR,
 - ANY OTHER DECKING MATERIALS LISTED ON OSFM WEBSITE.

DEX-O-TEX WATERPROOF MEMBRANE FOR IMPERMEABLE DECKS IS "CLASS A" AND AN APPROVED COVERING. THE FOLLOWING ARE EXAMPLES OF COMPLIANT "TREX" DECKING:

- "TREX ACCENTS: FIRE DEFENSE" WOOD AND POLYETHYLENE COMPOSITE DECK BOARD, NOMINAL $\frac{3}{4}$ " THICK X 5-1/2" WIDTH.
- "TREX ESCAPES" CELLULAR PVC COMPOSITE DECK BOARD, NOMINAL 1" THICK X 5-1/2" WIDTH.

GUARDS AND DECK STRUCTURAL MEMBER NEED NOT BE WUI COMPLIANT.

- ACCESSORY STRUCTURES**
- ATTACHED TRELLISES, ARBORS, PATIOS, CARPORTS, AND GAZEBOOS OR SIMILAR STRUCTURES ATTACHED TO APPLICABLE BUILDINGS ARE REQUIRED TO BE OF IGNITION RESISTANT CONSTRUCTION.
 - APPLICABLE BUILDINGS ARE BUILDINGS THAT WERE APPLIED FOR AFTER JANUARY 1, 2008.

- APPROVED EAVE VENTS**
- VULCAN TECHNOLOGIES
 - BRANDGUARD
 - O'HAGINS (FIRE RESISTANT ROOF DECK VENTS. MAY NOT WORK IN UNDER EAVE APPLICATION. CHECK WITH MANUFACTURER.)
 - VIVICO "FIRE GUARD VENT"
 - "SMART VENTS" BY DCI PRODUCTS

LIGHTING NOTES

THE REQUIREMENTS APPLY ONLY TO PERMANENTLY INSTALLED LUMINAIRES, I.E., LUMINAIRES THAT ARE PART OF THE HOUSE, AS OPPOSED TO PORTABLE LUMINAIRES SUCH AS TORCHIERES OR TABLE LAMPS THAT ARE PROVIDED BY THE OCCUPANT. PERMANENTLY INSTALLED LUMINAIRES INCLUDE CEILING LUMINAIRES, CHANDELIERS, VANITY LAMPS, WALL SCONCES AND ANY OTHER TYPE OF LUMINAIRE THAT IS A PERMANENT PART OF THE HOUSE.

THE NEW REQUIREMENTS MAY BE SUMMARIZED AS FOLLOWS:

- KITCHENS: AT LEAST HALF THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.
- LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
- OTHER ROOMS: ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
- OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRE OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- COMMON AREAS OF MULTIFAMILY BUILDINGS: ALL LUMINAIRES IN THE COMMON AREAS OF MULTIFAMILY BUILDINGS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.

LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT ("IC-RATED") SO THAT INSULATION CAN BE PLACED OVER THEM. THE HOUSING OF THE LUMINAIRE SHALL BE AIRTIGHT TO PREVENT CONDITIONED AIR ESCAPING INTO THE CEILING CAVITY OR ATTIC, UNCONDITIONED AIR INFILTRATING FROM THE CEILING OR ATTIC INTO THE CONDITIONED SPACE. AN ADDITIONAL SET OF REQUIREMENTS APPLY TO PARKING LOTS OR GARAGES WITH SPACE FOR EIGHT OR MORE CARS, WHICH ARE TYPICALLY FOR MULTIFAMILY BUILDINGS. THE NONRESIDENTIAL STANDARDS FOR PARKING LOTS AND/OR GARAGES APPLY IN THESE CASES (§132, §147).

6.2 HIGH EFFICACY LUMINAIRES
A LUMINAIRE IS THE LIGHTING INDUSTRY'S TERM FOR LIGHT FIXTURE. A LUMINAIRE CONSISTS OF THE HOUSING, POWER SUPPLY (BALLAST), LAMP, REFLECTOR, AND IN SOME CASES A LENS. A LAMP IS THE LIGHTING INDUSTRY'S TERM FOR A LIGHT BULB. LUMINAIRES CAN BE DESIGNED TO BE RECESSED INTO THE CEILING, SUSPENDED BY A ROD OR CHAIN, OR SURFACE MOUNTED ON THE WALL OR CEILING.

A HIGH EFFICACY LUMINAIRE IS ONE THAT CONTAINS ONLY HIGH EFFICACY LAMPS AND MUST NOT CONTAIN A CONVENTIONAL (MEDIUM SCREW-BASED SOCKET, TYPICALLY, HIGH EFFICACY LUMINAIRES CONTAIN PIN-BASED SOCKETS, LIKE COMPACT OR LINEAR FLUORESCENT LAMP SOCKETS, THOUGH OTHER TYPES SUCH AS SCREW SOCKETS SPECIFICALLY RATED FOR HIGH INTENSITY DISCHARGE LAMPS (LIKE METAL HALIDE LAMPS) MAY ALSO BE "LIGIBLE FOR EXTERIOR USE. LUMINAIRES WITH MODULAR COMPONENTS THAT ALLOW CONVERSION BETWEEN SCREW-BASED AND PIN-BASED SOCKETS WITHOUT CHANGING THE LUMINAIRE HOUSING OR WIRING SHALL NOT BE CLASSIFIED AS HIGH EFFICACY LUMINAIRES. THESE REQUIREMENTS PREVENT LOW EFFICACY LAMPS BEING RETROFITTED IN HIGH EFFICACY LUMINAIRES. ALSO, COMPACT FLUORESCENT LUMINAIRES WITH PERMANENTLY INSTALLED BALLASTS THAT ARE CAPABLE OF OPERATING A RANGE OF LAMP WATTAGES, THE HIGHEST OPERATING INPUT WATTAGE OF THE RATED LAMP/BALLAST COMBINATION MUST BE USED FOR DETERMINING THE LUMINAIRE WATTAGE.

THERE ARE TWO QUALIFYING REQUIREMENTS FOR A HIGH EFFICACY LUMINAIRE: THAT THE LUMENS PER WATT FOR THE LAMP BE ABOVE A SPECIFIED THRESHOLD AND THAT ELECTRONIC BALLASTS BE USED IN CERTAIN APPLICATIONS.

6.2.1 LUMENS PER WATT

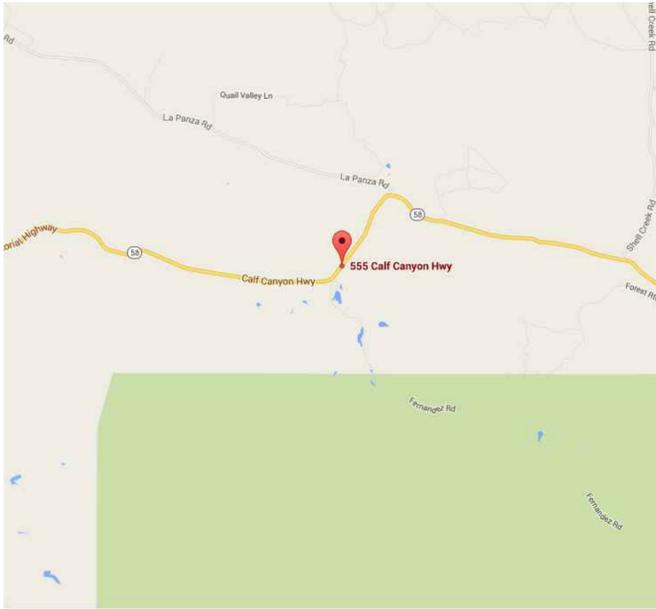
THE LUMEN IS THE UNIT OF VISIBLE LIGHT. TO BE RATED AS HIGH EFFICACY, A LAMP MUST PRODUCE A CERTAIN NUMBER OF LUMENS FOR EACH WATT OF ELECTRICAL POWER IT CONSUMES. EFFICACY IS THEREFORE MEASURED IN LUMENS PER WATT. ALMOST ALL FLUORESCENT LAMPS EQUIPPED WITH ELECTRONIC BALLASTS QUALIFY AS HIGH EFFICACY LIGHT SOURCES; INCANDESCENT LAMPS (INCLUDING ANY SCREW-IN INCANDESCENT LAMPS, LIKE REGULAR 'A' OR REFLECTOR LAMPS, OR QUARTZ HALOGEN LAMPS, OR LOW VOLTAGE LAMPS, LIKE HALOGEN MR LAMPS) DO NOT. TO BE CLASSIFIED AS HIGH EFFICACY, A LAMP MUST MEET THE REQUIREMENTS LISTED IN TABLE 6-1. (DOCUMENTED IN TABLE 150-C OF THE STANDARDS)

FOR SIMPLICITY, THE POWER USED BY THE BALLAST IS IGNORED WHEN DETERMINING THE LUMENS PER WATT FOR PURPOSES OF COMPLIANCE WITH THE RESIDENTIAL LIGHTING REQUIREMENTS.

LAMP POWER	REQUIRED LAMP EFFICACY
< 15 W	40 LMW
15-40 W	50 LMW
>40 W	60 LMW

NOTE: THE WATTAGE OF THE BALLAST IS NOT INCLUDED WHEN DETERMINING LAMP EFFICACY. MERCURY VAPOR LAMPS DO NOT USUALLY MEET THE REQUIREMENTS; METAL HALIDE OR COMPACT FLUORESCENT LAMPS (CFLS) ARE GOOD REPLACEMENTS. FOR OTHER LAMP TYPES SUCH AS LEDS YOU SHOULD CHECK WITH THE LAMP MANUFACTURER AND PROVIDE DOCUMENTS SHOWING THAT THE LAMP MEETS THE REQUIREMENTS. TO CALCULATE THE EFFICACY OF A LAMP, FIND OUT FROM THE MANUFACTURER HOW MANY LUMENS IT PRODUCES, THEN DIVIDE THIS NUMBER BY THE RATED WATTAGE OF THE LAMP. DO NOT INCLUDE ANY WATTS CONSUMED BY THE BALLAST.

ARCHITECTURAL & STRUCTURAL PLANS FOR GOLDFARB FARM SUPPORT QUARTERS



VICINITY MAP

SHEET INDEX

- T-1.1 TITLE SHEET
- A-1.1 SITE PLAN
- A-2.1 FLOOR PLAN
- A-3.1 ELEVATIONS
- GC-1 RESIDENTIAL MANDATORY MEASURES
- ASP-1 ARCHITECTURAL SPECIFICATIONS PAGE
- S-1.1 FOUNDATION PLAN
- S-2.1 ROOF FRAMING PLAN
- D-1.1 STANDARD DETAILS

PROJECT INFORMATION

OWNER: BARRY GOLDFARB
PROJECT ADDRESS: 555 CALF CANYON HWY, CRESTON, CA 93432
APN NUMBER: 037-391-026
PHONE:

PROJECT STATISTICS

LOT SIZE	98.65 ACRES
AREA OF DISTURBANCE	840 SQ. FT.
GRADING NEEDED	0 CUBIC YARDS CUT/ 0 CUBIC YARDS FILL
OCCUPANCY TYPE	R-3
CONSTRUCTION TYPE	VB
BUILDING HEIGHT	±14'-3"
FIRE SPRINKLERS	YES
AS-BUILT FARM SUPPORT	960 SQ. FT.
AS-BUILT STORAGE	130 SQ. FT.
AS-BUILT COVERED PORCH	1,195 SQ. FT.

PROJECT DESCRIPTION

PROPOSED AS-BUILT FARM SUPPORT QUARTERS WITH COVERED PORCH TO BE PERMITTED AS PER PLANS ATTACHED.

FIXTURE FLOW RATE REQUIREMENTS:

THE FOLLOWING FIXTURES SHALL BE OF WATER CONSERVATION:
RESIDENTIAL:
WATER CLOSETS: 1.28 GALLON PER FLUSH MAXIMUM
SHOWER HEAD FLOW: 2.0 GALLON PER MINUTE AT 80 PSI
LAVATORY / SINK FIXTURE: 2.2 GALLON PER MINUTE AT 60 PSI
KITCHEN FAUCETS: 1.5 GALLON PER MINUTE AT 60 PSI

NON COMPLIANT FIXTURES MEANS ANY OF THE FOLLOWING:
RESIDENTIAL:
ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GAL OF WATER PER FLUSH.
ANY SHOWERHEAD MANUFACTURED WITH 2.5 GALLONS PER MINUTE.
ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS PER MINUTE.

CONSULTANTS

STRUCTURAL & CIVIL ENGINEER
JK ENGINEERING
610 10TH ST., STE A
PASO ROBLES, CA 93446
805.423.3077

DRAFTSMAN
JB DRAFTING
610 10TH ST., STE D
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805.237.0850



DRAFTING & DESIGN

CAD DESIGN - AS BUILTS
RESIDENTIAL PLANS
610 10TH ST. SUITE "D"
PASO ROBLES, CA
93446
BUS. # (805) 237-0850
FAX # (805) 237-0480

PLAN PREPARED FOR:

BARRY GOLDFARB
555 CALF CANYON HWY
CRESTON, CA 93432

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ---
FILE NAME T-1.1 TITLE SHEET.DWG
DRAWN BY JJK
DATE 1/13/2016 10:45 AM
SHEET TITLE:

TITLE SHEET

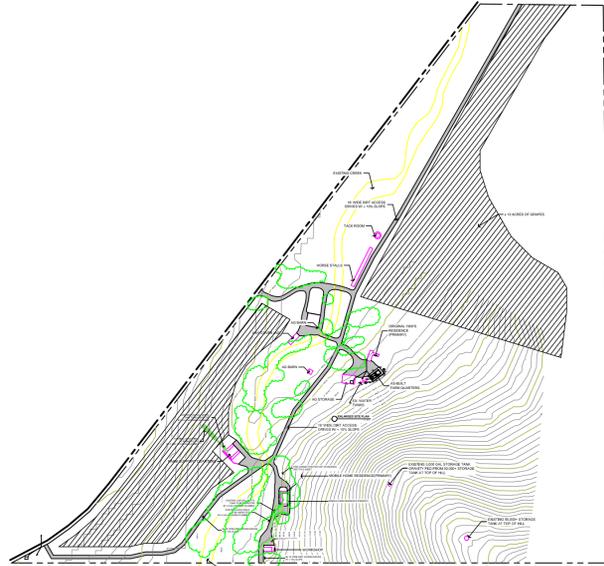
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T-1.1

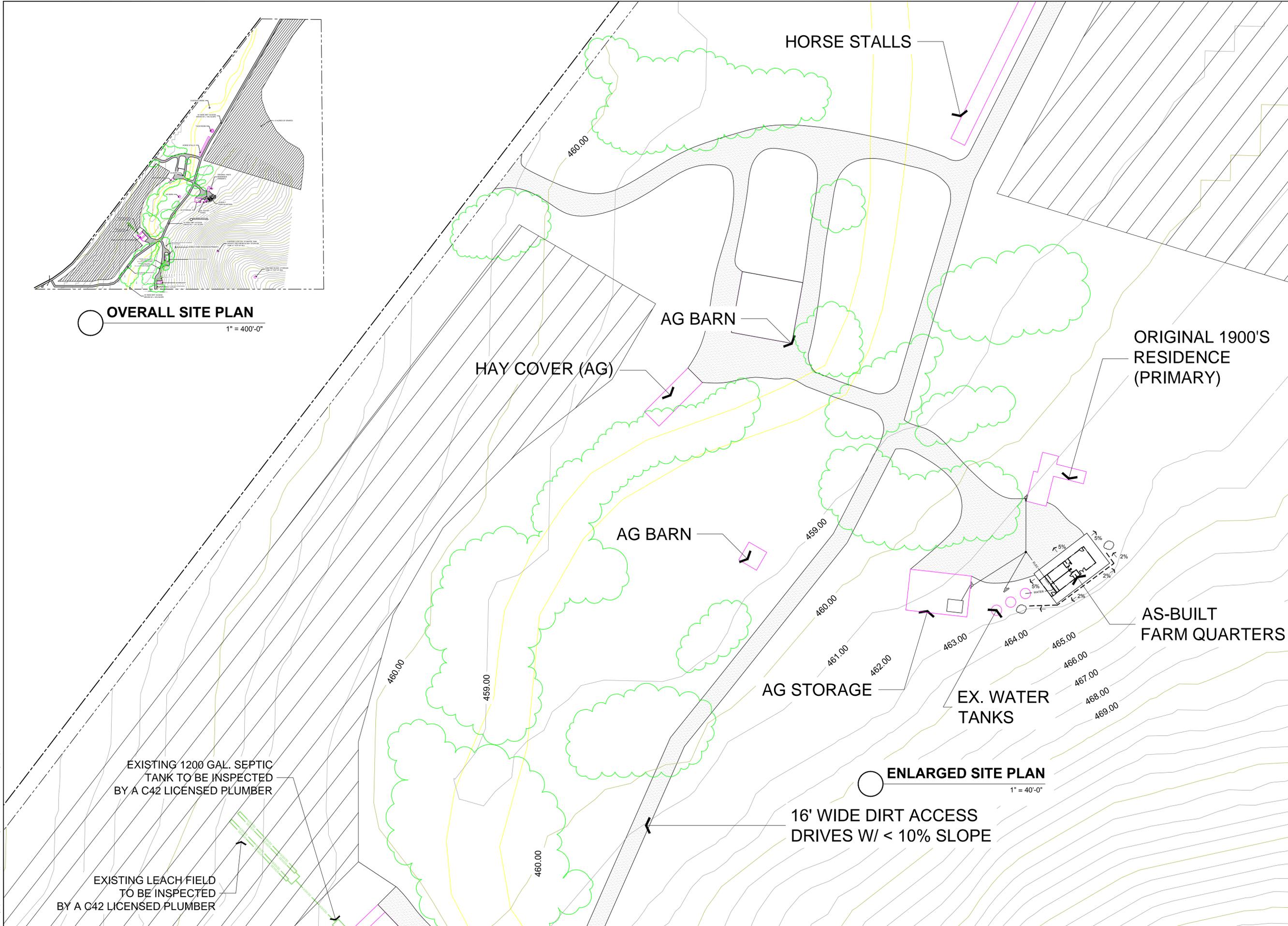


DRAFTING & DESIGN
 CAD DESIGN - AS BUILTS
 RESIDENTIAL PLANS
 610 10TH ST. SUITE "D"
 PASO ROBLES, CA
 93446
 BUS. # (805) 237-0850
 FAX # (805) 237-0480

PLAN PREPARED FOR:
 BARRY GOLDFARB
 555 CALF CANYON HWY
 CRESTON, CA 93432



○ **OVERALL SITE PLAN**
 1" = 400'-0"



○ **ENLARGED SITE PLAN**
 1" = 40'-0"

ORIGINAL 1900'S
 RESIDENCE
 (PRIMARY)

AS-BUILT
 FARM QUARTERS

EXISTING 1200 GAL. SEPTIC
 TANK TO BE INSPECTED
 BY A C42 LICENSED PLUMBER

EXISTING LEACH FIELD
 TO BE INSPECTED
 BY A C42 LICENSED PLUMBER

16' WIDE DIRT ACCESS
 DRIVES W/ < 10% SLOPE

REVISION LOG		
REV.	DESCRIPTION	DATE

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PROJECT NO. ---
 FILE NAME A-1.1 SITE PLAN.DWG
 DRAWN BY JJK
 DATE 1/13/2016 10:45 AM
 SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A-1.1

Wednesday, January 13, 2016 10:45 AM
 C:\Users\jkk\Desktop\Projects\A-1.1 Site Plan\A-1.1 Site Plan.dwg
 1/13/2016 10:45 AM
 jkk



DRAFTING & DESIGN
 CAD DESIGN - AS BUILTS
 RESIDENTIAL PLANS
 610 10TH ST. SUITE "D"
 PASO ROBLES, CA
 93446
 BUS. # (805)237-0850
 FAX # (805)237-0480

PLAN PREPARED FOR:
BARRY GOLDFARB
 555 CALF CANYON HWY
 CRESTON, CA 93432

REVISION LOG

REV.	DESCRIPTION	DATE

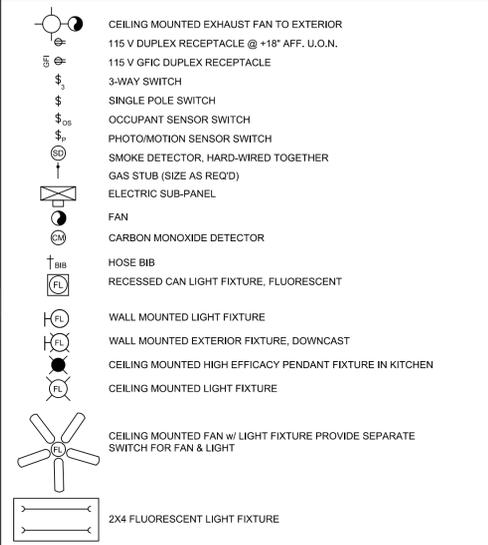
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PROJECT NO. ---
 FILE NAME A-2.1 FLOOR PLAN DWG
 DRAWN BY JJK
 DATE 1/13/2016 10:45 AM
 SHEET TITLE:

FLOOR PLAN

SHEET NUMBER:
A-2.1

LEGEND



GAS LINE SIZES

GAS LINE SIZES FOR THIS PROJECT PER CPC 2010 CHAPTER 12 TABLE 1216.2(1) ARE AS FOLLOWS:

- OUTLET A- WH (200,000 BTU / 1100 BTU/CF = 181.82 CF/H) = 60" X 1"
- OUTLET B- STOVE (60,000 BTU / 1100 BTU/CF = 54.54 CF/H) = 67" X 1/2"
- OUTLET C- DRYER (35,000 BTU / 1100 BTU/CF = 31.81 CF/H) = 80" X 1/2"
- OUTLET D- F.A.U. (60,000 BTU / 1100 BTU/CF = 54.54 CF/H) = 85" X 1/2"
- OUTLET E- FIREPLACE (35,000 BTU / 1100 BTU/CF = 31.81 CF/H) = 105" X 1/2"
- TOTAL BTU = 354.52 CF/H
- SECTION 1 = 55' X 1 1/2" FROM OUTLET A TO METER (354.52 CF/H)



FIXTURE FLOW RATE REQUIREMENTS:

THE FOLLOWING FIXTURES SHALL BE OF WATER CONSERVATION:
RESIDENTIAL:
 WATER CLOSETS: 1.28 GALLON PER FLUSH MAXIMUM
 SHOWER HEAD FLOW: 2.0 GALLON PER MINUTE AT 80 PSI
 LAVATORY / SINK FIXTURE: 1.5 GALLON PER MINUTE AT 60 PSI
 KITCHEN FAUCETS: 2.2 GALLON PER MINUTE AT 60 PSI

NON COMPLIANT FIXTURES MEANS ANY OF THE FOLLOWING:
RESIDENTIAL:
 ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GAL OF WATER PER FLUSH.
 ANY SHOWERHEAD MANUFACTURED WITH 2.5 GALLONS PER MINUTE.
 ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS PER MINUTE.

LIGHTING NOTES

THE REQUIREMENTS APPLY ONLY TO PERMANENTLY INSTALLED LUMINAIRES, I.E., LUMINAIRES THAT ARE PART OF THE HOUSE, AS OPPOSED TO PORTABLE LUMINAIRES SUCH AS TORCHIERES OR TABLE LAMPS THAT ARE PROVIDED BY THE OCCUPANT. PERMANENTLY INSTALLED LUMINAIRES INCLUDE CEILING LUMINAIRES, CHANDELIERS, VANITY LAMPS, WALL SCONCES AND ANY OTHER TYPE OF LUMINAIRE THAT IS A PERMANENT PART OF THE HOUSE.

THE NEW REQUIREMENTS MAY BE SUMMARIZED AS FOLLOWS:

- KITCHENS: AT LEAST HALF THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.
- LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS. ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY AND SHALL BE CONTROLLED BY AN OCCUPANT SENSOR, 150.0(K)(6)
- OTHER ROOMS. ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
- OUTDOOR LIGHTING. ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRE OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- COMMON AREAS OF MULTIFAMILY BUILDINGS. ALL LUMINAIRES IN THE COMMON AREAS OF MULTIFAMILY BUILDINGS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.

LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE REQUIRED TO BE RATED FOR INSULATION CONTACT (RIC-RATED) SO THAT INSULATION CAN BE PLACED OVER THEM. THE HOUSING OF THE LUMINAIRE SHALL BE AIRTIGHT TO PREVENT CONDITIONED AIR ESCAPING INTO THE CEILING CAVITY OR ATTIC. UNCONDITIONED AIR INFILTRATING FROM THE CEILING OR ATTIC INTO THE CONDITIONED SPACE. AN ADDITIONAL SET OF REQUIREMENTS APPLY TO PARKING LOTS OR GARAGES WITH SPACE FOR EIGHT OR MORE CARS, WHICH ARE TYPICALLY FOR MULTIFAMILY BUILDINGS. THE NONRESIDENTIAL STANDARDS FOR PARKING LOTS AND/OR GARAGES APPLY IN THESE CASES (§12, §147).

6.2 HIGH EFFICACY LUMINAIRES
 A LUMINAIRE IS THE LIGHTING INDUSTRY'S TERM FOR LIGHT FIXTURE. A LUMINAIRE CONSISTS OF THE HOUSING, POWER SUPPLY (BALLAST), LAMP, REFLECTOR, AND IN SOME CASES A LENS. A LAMP IS THE LIGHTING INDUSTRY'S TERM FOR A LIGHT BULB. LUMINAIRES CAN BE DESIGNED TO BE RECESSED INTO THE CEILING, SUSPENDED BY A ROD OR CHAIN, OR SURFACE MOUNTED ON THE WALL OR CEILING.

A HIGH EFFICACY LUMINAIRE IS ONE THAT CONTAINS ONLY HIGH EFFICACY LAMPS AND MUST NOT CONTAIN A CONVENTIONAL (MEDIUM) SCREW-BASED SOCKET, TYPICALLY, HIGH EFFICACY LUMINAIRES CONTAIN, PIN-BASED SOCKETS, LIKE COMPACT OR LINEAR FLUORESCENT LAMP SOCKETS. THOUGH OTHER TYPES SUCH AS SCREW SOCKETS SPECIFICALLY RATED FOR HIGH INTENSITY DISCHARGE LAMPS (LIKE METAL HALIDE LAMPS) MAY ALSO BE LIABLE FOR EXTERIOR USE. LUMINAIRES WITH MODULAR COMPONENTS THAT ALLOW CONVERSION BETWEEN SCREW-BASED AND PIN-BASED SOCKETS WITHOUT CHANGING THE LUMINAIRE HOUSING OR WIRING SHALL NOT BE CONSIDERED HIGH EFFICACY LUMINAIRES. THESE REQUIREMENTS PREVENT LOW EFFICACY LAMPS BEING RETROFITTED IN HIGH EFFICACY LUMINAIRES. ALSO, COMPACT FLUORESCENT LUMINAIRES WITH PERMANENTLY INSTALLED BALLASTS THAT ARE CAPABLE OF OPERATING A RANGE OF LAMP WATTAGES, THE HIGHEST OPERATING INPUT WATTAGE OF THE RATED LAMP/BALLAST COMBINATION MUST BE USED FOR DETERMINING THE LUMINAIRE WATTAGE.

THERE ARE TWO QUALIFYING REQUIREMENTS FOR A HIGH EFFICACY LUMINAIRE: THAT THE LUMENS PER WATT FOR THE LAMP BE ABOVE A SPECIFIED THRESHOLD AND THAT ELECTRONIC BALLASTS BE USED IN CERTAIN APPLICATIONS.

6.2.1 LUMENS PER WATT
 THE LUMEN IS THE UNIT OF VISIBLE LIGHT. TO BE RATED AS HIGH EFFICACY, A LAMP MUST PRODUCE A CERTAIN NUMBER OF LUMENS FOR EACH WATT OF ELECTRICAL POWER IT CONSUMES. EFFICACY IS THEREFORE MEASURED IN LUMENS PER WATT. ALMOST ALL FLUORESCENT LAMPS EQUIPPED WITH ELECTRONIC BALLASTS QUALIFY AS HIGH EFFICACY LIGHT SOURCES. INCANDESCENT LAMPS (INCLUDING ANY SCREW-IN INCANDESCENT LAMPS, LIKE REGULAR 'A' OR REFLECTOR LAMPS, OR QUARTZ HALOGEN LAMPS, OR LOW VOLTAGE LAMPS, LIKE HALOGEN MR LAMPS) DO NOT. TO BE CLASSIFIED AS HIGH EFFICACY, A LAMP MUST MEET THE REQUIREMENTS LISTED IN TABLE 6-1 (DOCUMENTED IN TABLE 150-C OF THE STANDARDS). FOR SIMPLICITY, THE POWER USED BY THE BALLAST IS IGNORED WHEN DETERMINING THE LUMENS PER WATT FOR PURPOSES OF COMPLIANCE WITH THE RESIDENTIAL LIGHTING REQUIREMENTS.

TABLE 6-1 - HIGH EFFICACY LAMPS

LAMP POWER	REQUIRED LAMP EFFICACY
< 15 W	40 LM/W
15-40 W	50 LM/W
> 40 W	60 LM/W

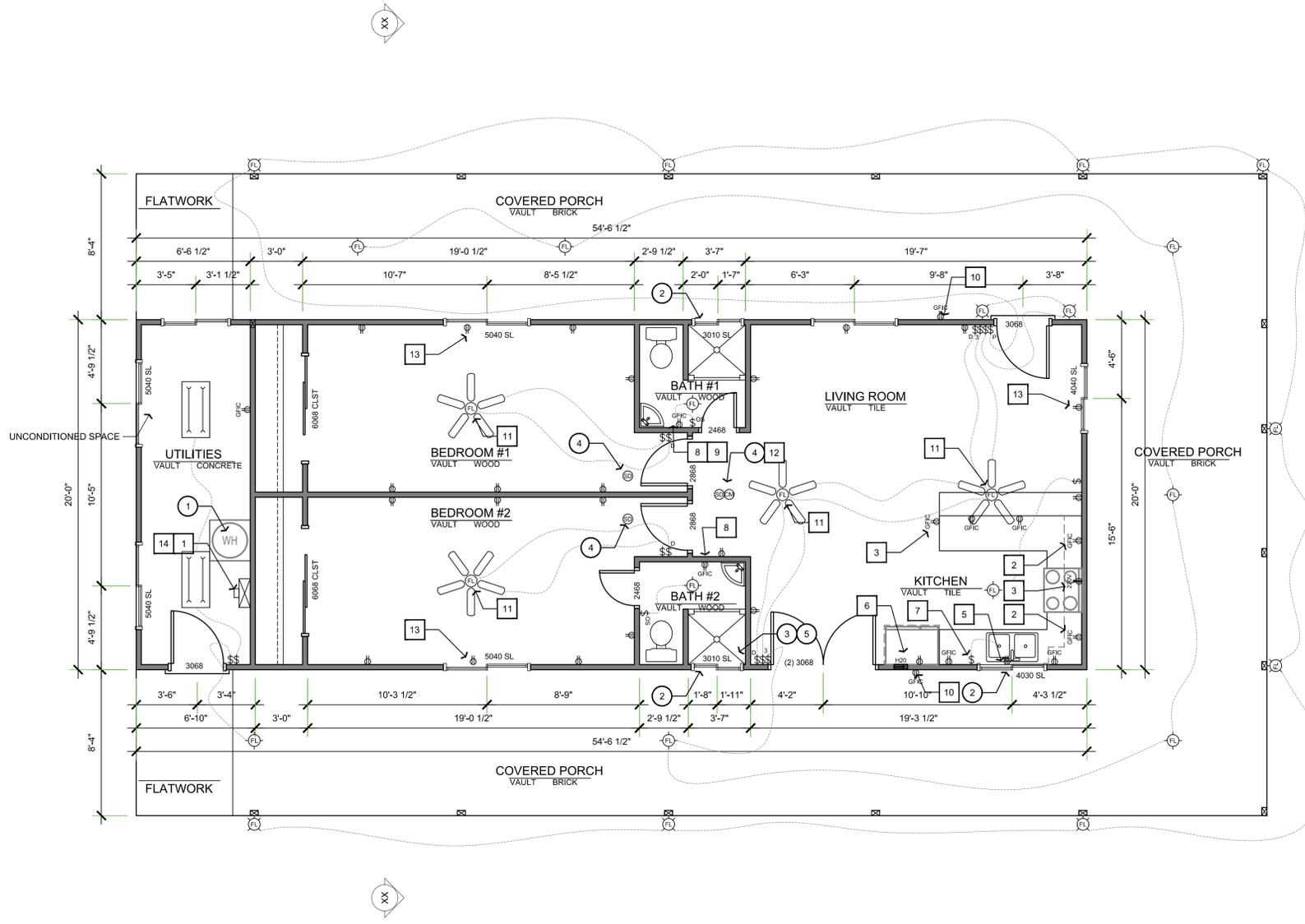
NOTE: THE WATTAGE OF THE BALLAST IS NOT INCLUDED WHEN DETERMINING LAMP EFFICACY. MERCURY VAPOR LAMPS DO NOT USUALLY MEET THE REQUIREMENTS. METAL HALIDE OR COMPACT FLUORESCENT LAMPS (CFLS) ARE GOOD REPLACEMENTS. FOR OTHER LAMP TYPES SUCH AS LEDs YOU SHOULD CHECK WITH THE LAMP MANUFACTURER AND PROVIDE DOCUMENTS SHOWING THAT THE LAMP MEETS THE REQUIREMENTS. TO CALCULATE THE EFFICACY OF A LAMP, FIND OUT FROM THE MANUFACTURER HOW MANY LUMENS IT PRODUCES, THEN DIVIDE THIS NUMBER BY THE RATED WATTAGE OF THE LAMP. DO NOT INCLUDE ANY WATTS CONSUMED BY THE BALLAST.

FLOOR PLAN CALLOUTS

- EXISTING 50 GALLON OR LESS ELECTRIC WATER HEATER WITH SEISMIC STRAPPING WITHIN THE UPPER AND LOWER 7' OF THE VERTICAL DIMENSION OF THE WATER HEATER WITH THE LOWER STRAP TO BE NO LESS THAN 4' ABOVE THE CONTROLS PER CPC 51.05. 157 HOUR RATING OF 67 MIN. FOR 3 BR/ 2.5 BA PER CPC TABLE 501.1. PRESSURE RELIEF VALVE W/ A FULL SIZED DRAIN OF GALVANIZED STEEL, HARD DRAWN COPPER, CPVC, PB OR LISTED RELIEF VALVE DRAIN TUBE WITH FITTINGS TO THE EXTERIOR OF THE BUILDING WITH THE END OF PIPE NOT MORE THAN 2 FEET NOR LESS THAN 6" ABOVE THE GRADE, POINTING DOWNWARD. THE THERMAL END BEING UNTHREADED. UPC SEC. 608.5.
- SAFETY GLAZING REQUIRED BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE. CBC SECTION 2406.3 ALSO WITHIN 18" OF FLOORS, WITHIN TUB - SHOWER ENCLOSURES, WITHIN HOT - TUB WHIRLPOOL, SAUNA AND STEAM ROOM AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET. CBC 1210.3
- SMOKE DETECTORS HARDWIRED AND INTERCONNECTED TO ONE ANOTHER. PROVIDE BATTERY BACKUP TO ALL SMOKE DETECTOR UNITS (TYP). CBC 907.2.10.2. A SINGLE ALARM SHALL ACTIVATE ALL ALARMS AND BE CLEARLY AUDIBLE. CBC 907.2.10.3.
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE CMC 403.7 & T-4.4

ELECTRICAL CALLOUTS

- EXISTING 150 AMP MINIMUM ELECTRIC SUB-PANEL WITH #4 UPPER GROUND TO FOUNDATION GFCI OUTLETS ON ALL ABOVE COUNTER OUTLETS IN KITCHEN MOUNTED AT +4" ABOVE FINISH FLOOR (TYP). OUTLETS SHALL BE LOCATED NO FARTHER THAN 24" AWAY FROM ANY POINT ALONG COUNTER AND ON ALL COUNTER AREAS WIDER THAN 12"
- ON ANY PENINSULA, EATING BAR, OR ISLAND, GFCI OUTLETS SHALL BE LOCATED AT +27" ABOVE FINISH FLOOR AND SHALL BE LOCATED NO FARTHER THAN 24" AWAY FROM ANY POINT ALONG PENINSULA, EATING BAR OR ISLAND (TYP)
- PROVIDE 220V OUTLET, AND 110V OUTLET TO STOVE, COOKTOP AND/OR OVENS (TYP). ALSO PROVIDE ELECTRICAL FOR EXHAUST HOOD ABOVE COOKTOP (TYP)
- PROVIDE OUTLET FOR DISHWASHER
- PROVIDE 110V OUTLET AT +42" ABOVE FINISHED FLOOR AND WATER FOR ICE MAKER AT REFRIGERATOR
- PROVIDE OUTLET AND SWITCH FOR DISPOSAL
- GFCI OUTLETS ON ALL ABOVE COUNTER OUTLETS IN BATHROOMS MOUNTED AT 42" ABOVE FINISH FLOOR (TYP)
- AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. EXCEPTION: WHERE THE 20-AMPERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH CEC 210.23(A)(1) AND (A)(2).
- WATER-PROOF GFCI OUTLETS AT 18" ABOVE FINISH FLOOR IN FRONT AND REAR OF BUILDING (TYP)
- PROVIDE BLOCKING AT CEILING FAN AND LIGHTS. PROVIDE SEPARATE SWITCH FOR LIGHTS & FAN. USE AN APPROVED ELECTRICAL BOX DESIGNED TO SUPPORT CEILING FAN. CEILING FANS WEIGHING IN EXCESS OF 35-70 POUNDS SHALL BE SUPPORTED AS REQUIRED BY SEC 314.27. 422-18. BOX MARKED FOR WEIGHT.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. DETECTOR SHALL BE HARDWIRED WITH A BATTERY BACKUP. CPC R315.1.1
- ALL 120-VOLT, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, PARLORS, LIBRARIES OR OTHER SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE DEVICE. (CEC 210.12(A))
- PROVIDE SCHEDULE 40 PVC CONDUIT FROM THE LOAD SIDE OF THE NEW ELECTRICAL PANEL DISCONNECT TO ATTIC AREA. CONDUIT SIZE SHALL BE AS FOLLOWS:
 100A 20 AMPS @ 120 VOLTS (1) 3/4" CONDUIT
 120A 24 AMPS @ 120 VOLTS (1) 3/4" CONDUIT
 150A 30 AMPS @ 120 VOLTS (1) 3/4" CONDUIT
 200A 40 AMPS @ 120 VOLTS (1) 1" CONDUIT
 400A 80 AMPS @ 120 VOLTS (1) 1 1/2" CONDUIT



FLOOR AND ELECTRICAL PLAN

1/4" = 1'

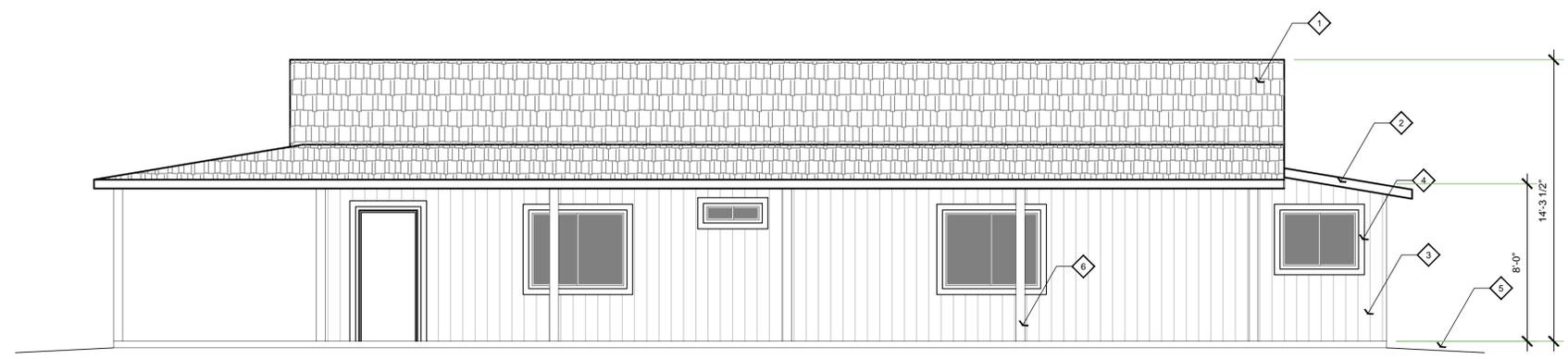
\drawing\projects\2016\160000\160000-01-FLOOR PLAN.dwg 1/13/2016 10:45 AM
 J.B. Drafting & Design
 610 10th St. Suite D
 Paso Robles, CA 93446
 (805) 237-0850
 (805) 237-0480

ELEVATION CALLOUTS

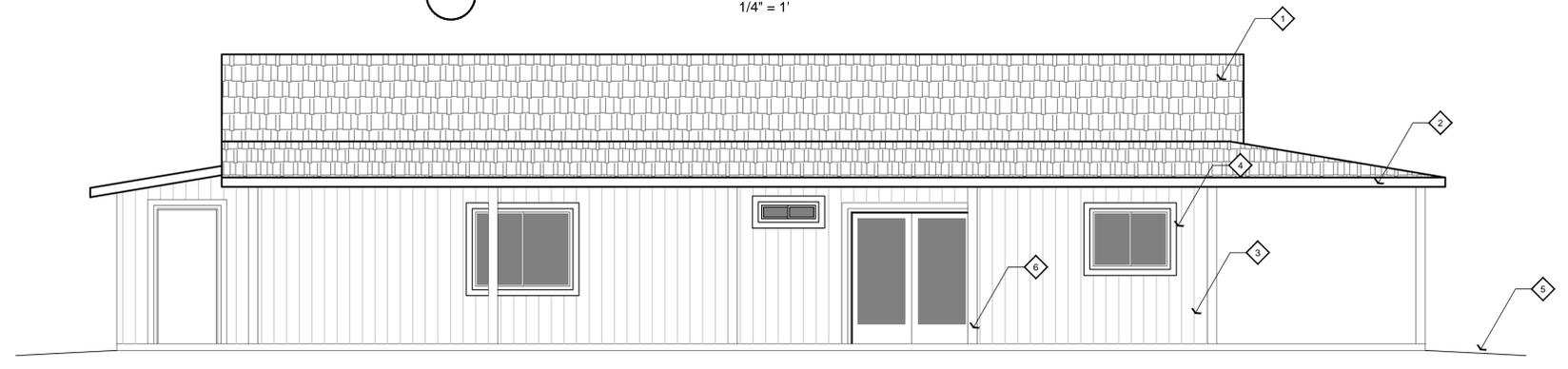
1. COMPOSITION SHINGLE ROOFING OF MIN OF CLASS A OVER 30 LB MINIMUM ROOFING FELT (TYP)
2. 2 X 8 HEM FIR FASCIA (TYP) FIRE-RETARDANT-TREATED
3. HARDPLANK SIDING OVER APPROVED MOISTURE BARRIER
4. 2X TRIM AROUND ALL DOORS AND WINDOWS AND AT ALL CORNERS (TYP)
5. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP)
6. 4x6 POST PER PLANS



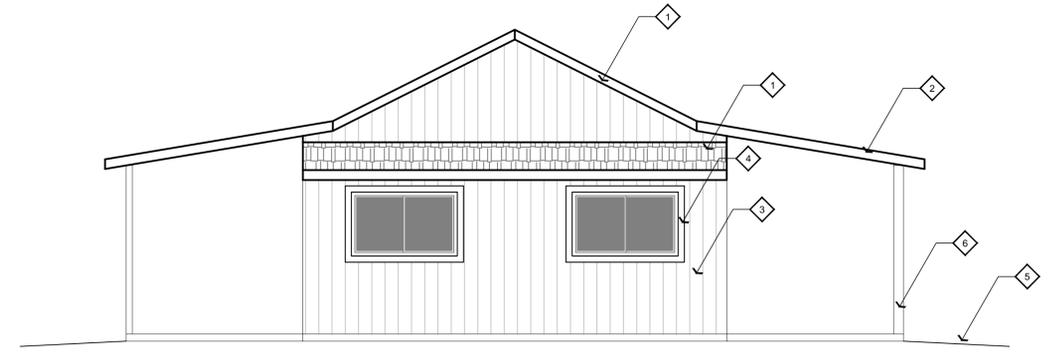
DRAFTING & DESIGN
 CAD DESIGN - AS BUILTS
 RESIDENTIAL PLANS
 610 10TH ST. SUITE "D"
 PASO ROBLES, CA
 93446
 BUS. # (805) 237-0850
 FAX # (805) 237-0480



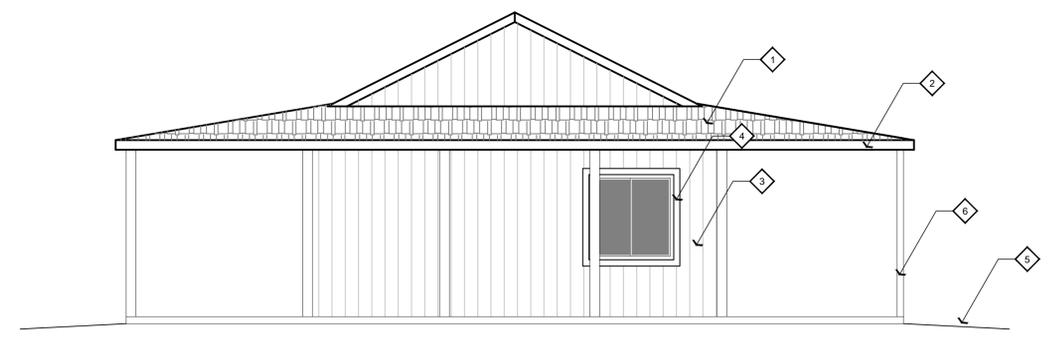
LEFT ELEVATION
 1/4" = 1'



REAR ELEVATION
 1/4" = 1'



RIGHT ELEVATION
 1/4" = 1'



LEFT ELEVATION
 1/4" = 1'

PLAN PREPARED FOR:
 BARRY GOLDFARB
 555 CALF CANYON HWY
 CRESTON, CA 93432

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. ---
 FILE NAME A-3.1 ELEVATIONS.DWG
 DRAWN BY JJK
 DATE 1/13/2016 10:45 AM

ELEVATIONS

SHEET NUMBER:
A-3.1

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2013 CA. GREEN BUILDING STANDARDS CODE: RESIDENTIAL MANDATORY MEASURES



DRAFTING & DESIGN

CAD DESIGN - AS BUILTS RESIDENTIAL PLANS 610 10TH ST. SUITE "D" PASO ROBLES, CA 93446 BUS.#(805)237-0850 FAX # (805)237-0480

PLAN PREPARED FOR:

BARRY GOLDFARB 555 CALF CANYON HWY CRESTON, CA 93432

REVISION LOG

Table with 3 columns: REV., DESCRIPTION, DATE. Contains a grid for tracking revisions.

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PROJECT NO. --- FILE NAME 2013 CA GREEN BLDG STANDARDS CODE.DWG DRAWN BY JJK DATE 1/13/2016 10:45 AM SHEET TITLE:

RESIDENTIAL MANDATORY MEASURES

SHEET NUMBER:

GC-1

RESIDENTIAL MANDATORY MEASURES

TABLE 4.504.1 ADHESIVE VOC LIMITS^{1,2}

Table with 2 columns: ARCHITECTURAL APPLICATIONS, CURRENT VOC LIMIT. Lists various adhesives like indoor carpet, carpet pad, wood flooring, etc.

TABLE 4.504.2 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{1,3}

Table with 3 columns: COATING CATEGORY, EFFECTIVE 1/10/10, EFFECTIVE 1/10/2012. Lists coatings like flat, nonflat, specialty, etc.

TABLE 4.504.2 SEALANT VOC LIMIT

Table with 2 columns: SEALANTS, CURRENT VOC LIMIT. Lists sealants like architectural, marine deck, nonmembrane roof, etc.

28

2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

TABLE 4.504.3 FORMALDEHYDE EMISSIONS¹

Table with 2 columns: PRODUCT, CURRENT LIMIT. Lists products like hardwood plywood, particleboard, etc.

SITE DEVELOPMENT:

- 4.106.1 GENERAL. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROL SHALL COMPLY WITH THIS SECTION.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).

INDOOR WATER USE:

- 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING: 4.303.1.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.

- 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).

OUTDOOR WATER USE:

- 4.304.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING: 1. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS

- 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING: A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HV AC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.

ENHANCED DURABILITY AND REDUCED MAINTENANCE:

- 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLEBOLEAM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

- 3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING:

- 4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 70 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. EXCEPTIONS: 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.

- 4.408.2 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 70 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE. EXCEPTIONS: 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.

- 4.504.2.4 VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE COMPLETED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING: 1. MANUFACTURER'S PRODUCT SPECIFICATION. 2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

- 4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CFR 93120 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

- 4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIREMENT TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION. 4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING: 1. A 4-INCH-THICK (101.6 MM) BASE OF 1/2-INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.

- 4.506.1 BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.

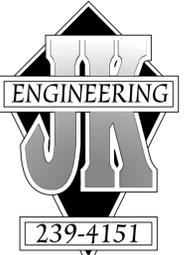
SECTION 4.506 INDOOR AIR QUALITY AND EXHAUST:

- 4.506.1 BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.

SECTION 4.507 ENVIRONMENTAL COMFORT: 1 | 4.507.1 RESERVED

- 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: 30 1. THE HEAT LOSS AND GAIN CALCULATION SHALL BE ESTABLISHED ACCORDING TO ANSI/ ACCA 2 MANUAL J-2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

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John A. Kudla
Civil Engineering &
Structural Design
R.C.E. #50652
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ROBLES, CA.

FOUNDATION NOTES

1. CONCRETE TO WITHSTAND 2500 PSI WITHIN 28 DAYS
2. REFER TO FRAMING PLAN FOR EXACT PLACEMENT OF HOLDDOWNS
3. ALL HOLDDOWNS TO BE PLACED IN CONCRETE PRIOR TO INSPECTION
4. FOUNDATION EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECH ENGINEER OF RECORD AFTER EXCAVATION, BUT PRIOR TO PLACING REINFORCING STEEL OR FORMS.

SOIL NOTE

SOILS EXPANSION INDEX IS MEDIUM
REPORT: 12903
BY: MID-COAST GEOTECHNICAL, INC.
DATED: DECEMBER 30, 2008

ANCHOR BOLT NOTE

- 2 X SILL PLATE -----> USE 5/8" DIAMETER X 10" MIN. ANCHOR BOLTS
3 X SILL PLATE -----> USE 5/8" DIAMETER X 12" MIN. ANCHOR BOLTS

ANCHOR BOLTS SHALL BE EMBEDDED 7" MINIMUM INTO PERIMETER FOOTING AND SPACED AT 4 FEET MAX. ON CENTER UNLESS NOTED OTHERWISE ON SHEAR WALL SCHEDULE. BOLTS SHALL BE A MAXIMUM OF 12" FROM SILL ENDS AND SPLICES WITH A MINIMUM OF 2 BOLTS PER SPLICE. USE 3" X 3" X 0.229" THICK FLAT PLATE WASHERS AT EACH ANCHOR BOLT.

CONCRETE NOTE

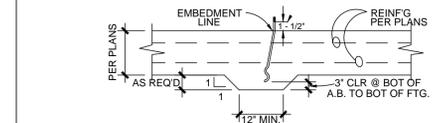
EXISTING CONCRETE SLAB IS 4" THICK WITH #3 BARS @ 24" O.C. EACH WAY. OVER 4" CLEAN COMPACTED FREE DRAINING SAND W/ 10MIL VISQUEEN SET AT MID DEPTH OF SAND. REINFORCEMENT IS SET AT MID DEPTH OF SLAB. PERIMETER FOOTINGS ARE 16" WIDE BY 18" DEEP INTO NATURAL SURFACE OF GROUND AND FINISH GRADE WITH CONTINUOUS #4 BAR TOP AND BOTTOM. #3 REINFORCEMENT BAR SET 3" MINIMUM ABOVE BOTTOM OF FOOTING AND BENT 3'-0" MINIMUM INTO SLAB. INTERIOR FOOTINGS ARE 16" WIDE BY 18" DEEP INTO NATURAL SURFACE OF GROUND AND FINISH GRADE.

HOLDOWN KEY

- ▼ = HDU2 W/ SSTB20"
- = HDU4 W/ SSTB24"
- = HDU5 OR HDU8 W/ SSTB34"
- = HDU11 OR HHDQ14 W/ SSWAB1X36HS A.B. PER DETAIL

*USE SSTBL ANCHOR BOLTS WHERE 3X SILL IS REQUIRED PER SHEARWALL SCHEDULE
SEE DTLS. ○○○○

SSTB HOLDOWN ANCHOR DETAIL



INCREASED FOOTING DEPTH AT SSTB HOLDOWN ANCHOR (WHERE APPLICABLE)

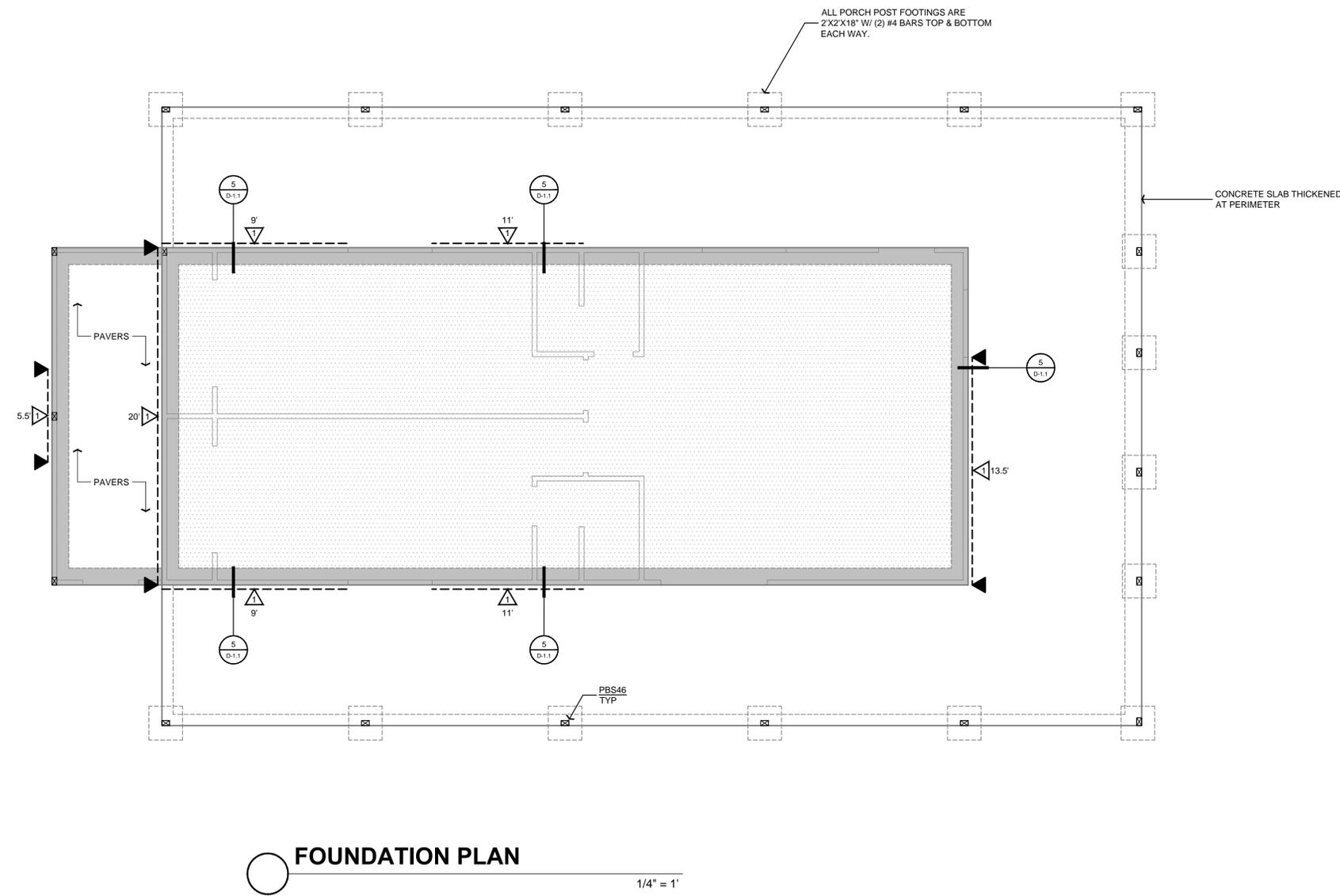
CONC. SLAB SEE CONC. NOTE THIS PAGE

SHEAR WALL SCHEDULE

SHEAR (plf)	MATERIAL	2 SIDES	NAILING (E.N. F.N.)	TOP PLATE (E.N. F.N.)	SILL PLATE NAILS @ SUB-FLR	1/2" @ A.B. @ END
280	15/32" OSB (ID# 24/0)	N	8d @ 6 - 12	RBC @ 18" o/c or LPT4 @ 24" o/c	16d @ 6" o/c	48" o/c
430	15/32" OSB (ID# 24/0)	N	8d @ 4 - 12	RBC @ 12" o/c or LPT4 @ 16" o/c	16d @ 4.5" o/c	40" o/c
550	15/32" OSB (ID# 24/0)	N	8d @ 3 - 12	RBC @ 8" o/c or LPT4 @ 12" o/c	16d @ 3.5" o/c	32" o/c
665	15/32" OSB (ID# 24/0)	N	10d @ 3 - 12	RBC @ 8" o/c or LPT4 @ 10" o/c	16d @ 3.0" o/c	26" o/c
870	15/32" OSB (ID# 24/0)	N	10d @ 2 - 12	RBC @ 6" o/c or LPT4 @ 8" o/c	SDWS22600DB @ 6.5" o/c	20" o/c
1330	15/32" OSB (ID# 24/0)	Y	10d @ 3 - 12	LTP4 @ 5" o/c	(2) SDWS22600DB @ 6.5" o/c	12" o/c
1740	15/32" OSB (ID# 24/0)	Y	10d @ 2 - 12	LTP4 @ 4" o/c	(2) SDWS22600DB @ 6.5" o/c	10" o/c

FOOTNOTES:

- 1 All sheathing to be Struct 1 panel grade and fully blocked.
- 2 Refer to "Vertical Diaphragm Notes" for material and application specifications.
- 3 All nails specified are common. Where "all-grip" nailing is used, care shall be taken to use true common nail equivalents.
- 4 Provide 0.229" thick x 3" square, flat plate washers at all 5/8" diameter anchor bolts.
- 5 For walls which bear trusses: one H-1 clip, from truss to top plate, may be used in place of one A35 top plate connector.
- 6 Use RBC @ 3x sill plate to rim joist or solid blocking with spacing per "Top Plate Connector".
- 7 Ok to use (1) A35 clip in lieu of (1) RBC as needed.
- 8 Studs shall be 3x minimum @ panel edges. Use 3x P.T.D.F. bottom plate for Shear Panel 5 and above. Use 2x P.T.D.F. bottom plate for Shear Panels 1-4. Stagger nails @ double top plate and panel edges.
- 9 Stagger nails at opposite sides of wall.
- 10 Provide a double rim joist and stagger SDWS screws by 3".
- 11 Install LTP4 with 8d common nails only.



FOUNDATION PLAN

1/4" = 1'

PLAN PREPARED FOR:
BARRY GOLDFARB
555 CALF CANYON HWY
CRESTON, CA 93432

REVISION LOG

REV.	DESCRIPTION	DATE

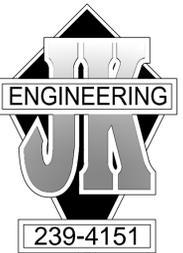
These drawings are the exclusive property of J.K. Engineering and shall be used solely for the purpose of this project on this site. Any use other than the project upon which it is intended for without the written consent of J.K. Engineering and John Kudla is prohibited.

PROJECT NO. ---
FILE NAME S-1.1 FOUNDATION PLAN.DWG
DRAWN BY JJK
DATE 1/13/2016 10:46 AM

SHEET TITLE:
FOUNDATION PLAN

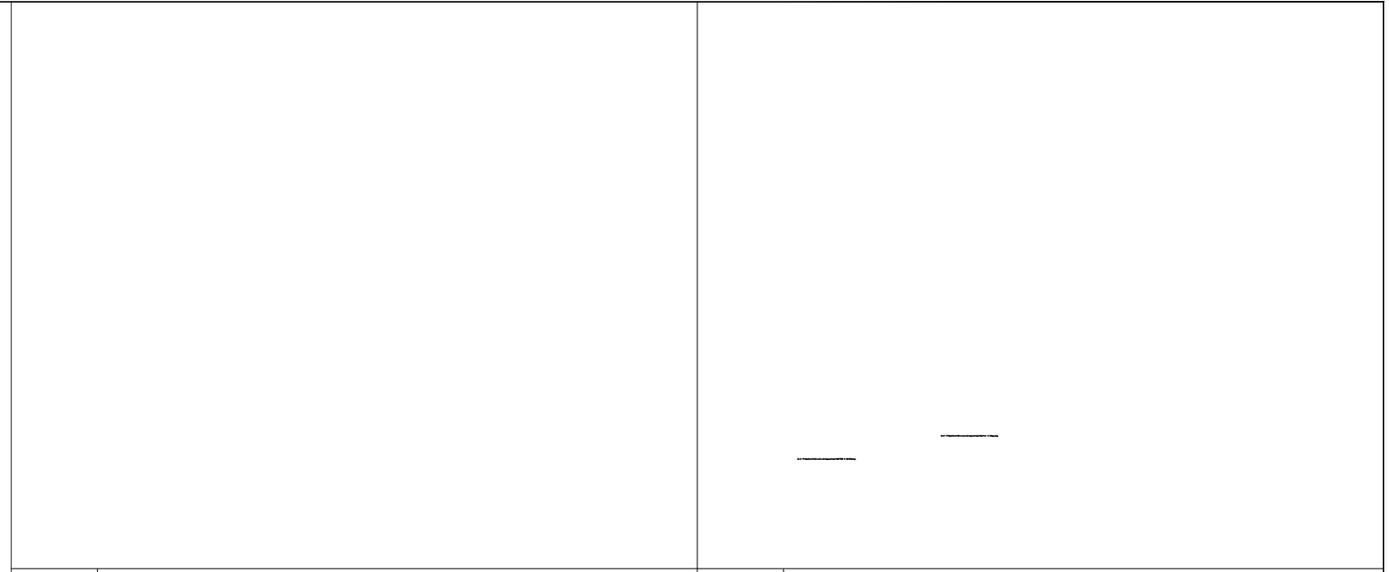
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S-1.1

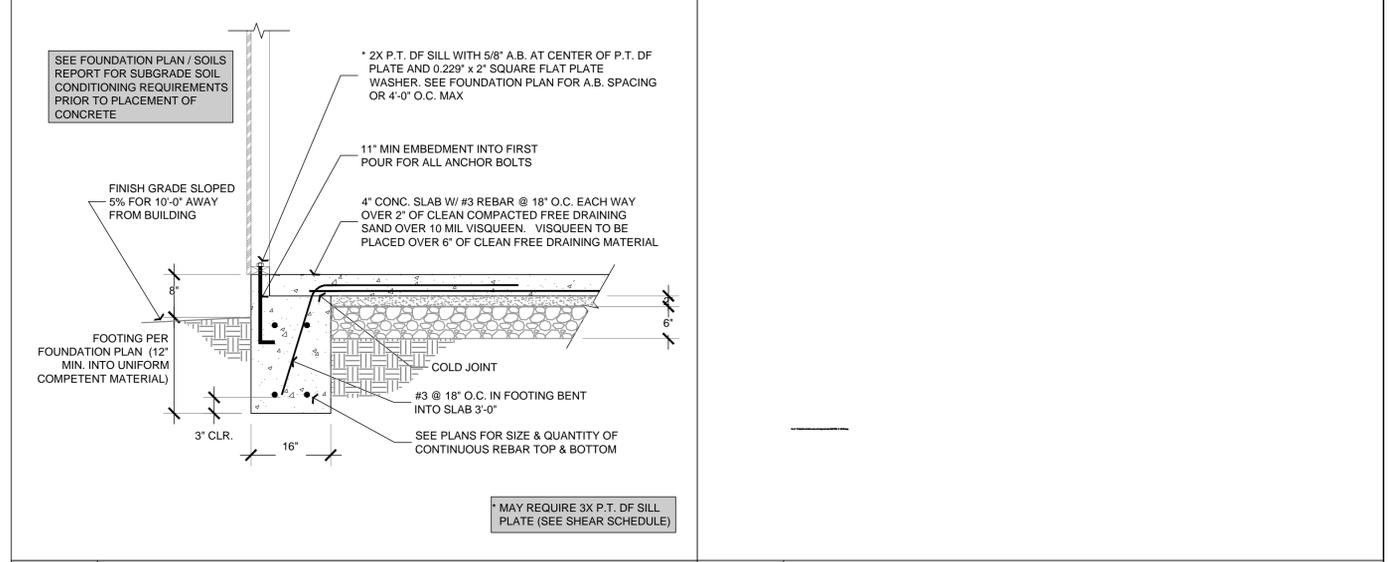


John A. Kudla
Civil Engineering &
Structural Design
R.C.E. #50652
610 10th ST. UNIT 'A' PASO
ROBLES, CA.

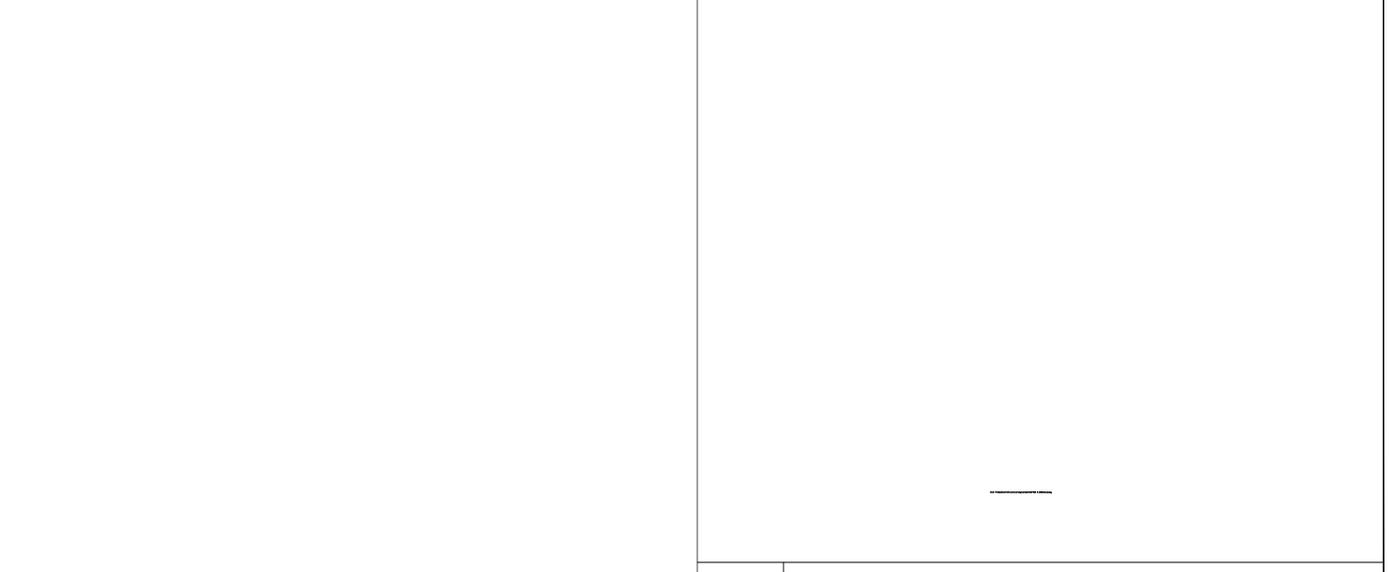
PLAN PREPARED FOR:
BARRY GOLDFARB
555 CALF CANYON HWY
CRESTON, CA 93432



4	RIDGE SECTION	1	EAVE @ SHEAR PANEL
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5	FOOTING DETAIL	2	EAVE @ PORCH
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3	SHEAR TRANSFER
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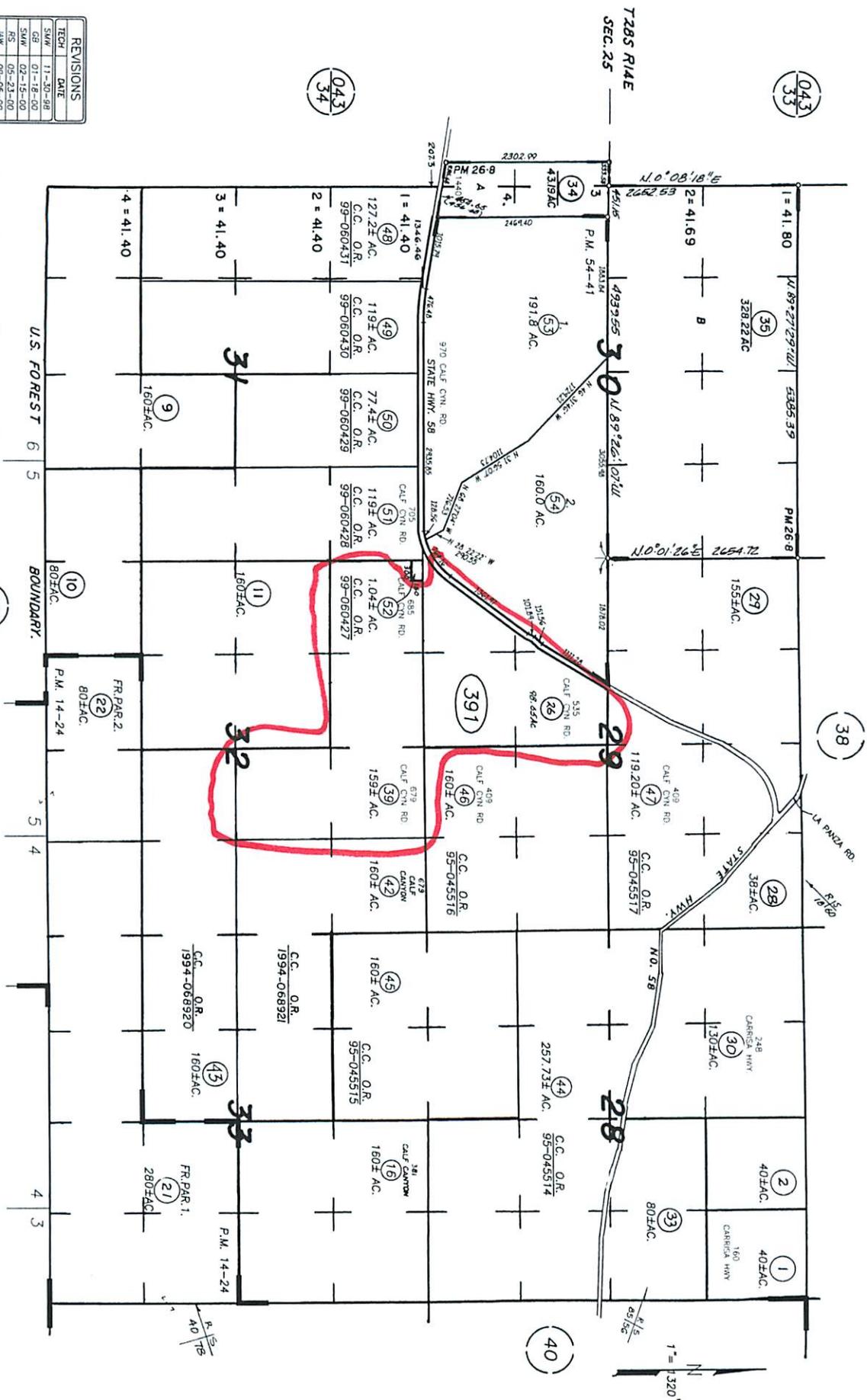
REVISION LOG		
REV.	DESCRIPTION	DATE

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PROJECT NO. ---
FILE NAME PROJECTS (BDRFTNG) - SHORTCUT.DWG
DRAWN BY JJK
DATE 1/13/2016 10:46 AM

SHEET TITLE:
STANDARD DETAILS

SHEET NUMBER:
D-1.1



REVISIONS	
TECH	DATE
SMW	11-30-88
GB	01-18-00
SMW	02-15-00
RS	05-21-00
JAW	09-05-00
JAW	03-29-02
ER	05-05-03

660 0 1320 2640
 THIS MAP IS PREPARED FOR
 ASSESSMENT PURPOSES ONLY.

071
 02

T.28 S., R.15 E.; SECTIONS 8. TO 33, M.D.B. & M.

ASSESSOR'S MAP COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 037 PAGE 39

Agriculture

Rural Lands

Rural Lands

Ru

Shandon Carrizo Sub Area North
eston Advisory Board
ston Highway 50 Subarea

North County Planning Area
Planning Area

Santa Margarita Area Advisory Council

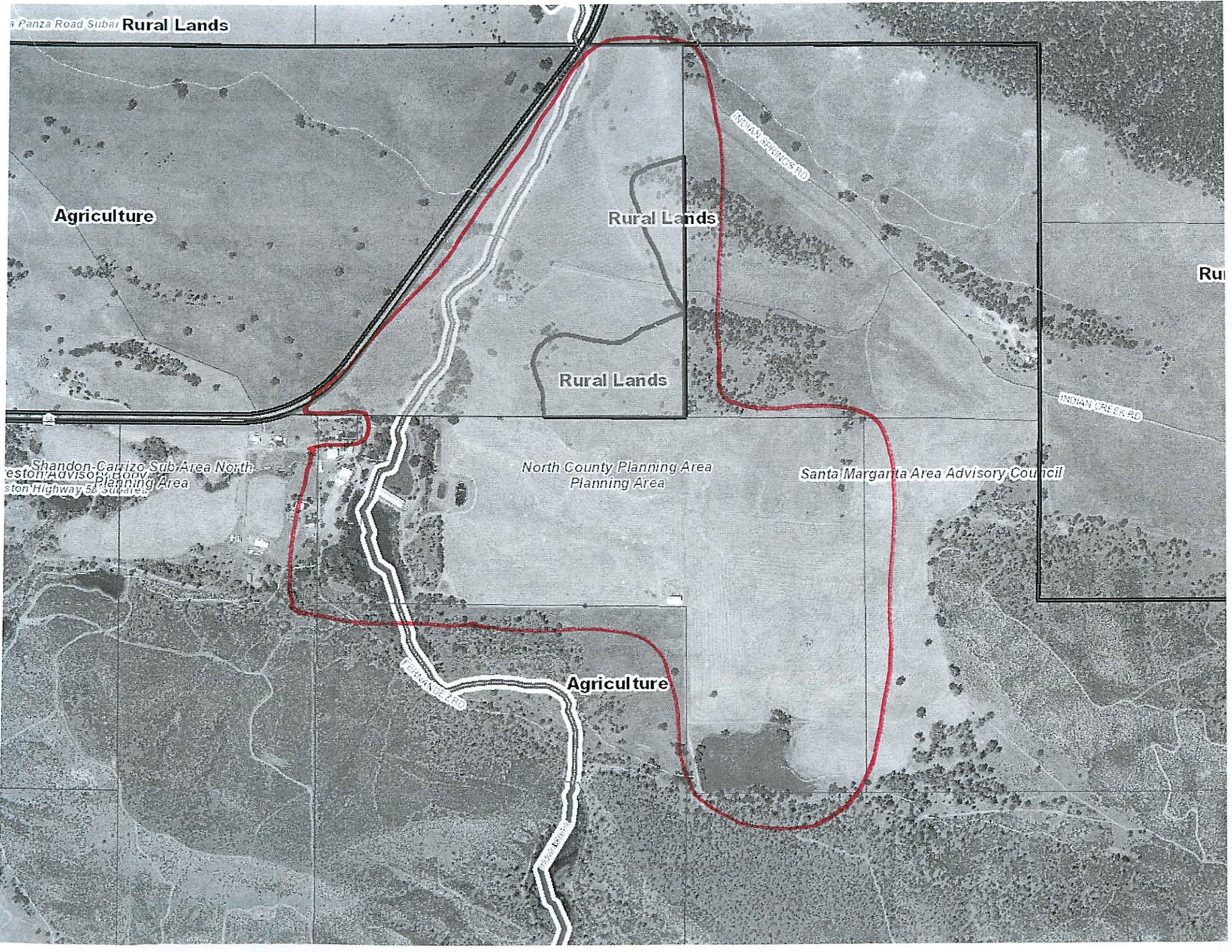
Agriculture

INDIAN SPRINGS RD

INDIAN CREEK RD

FERRAND RD

INDIAN CREEK RD





Parcel Summary Report For Parcel # 037-391-026

1/15/2016
9:31:55AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN GOLDFARB BARRY I
 1460 MORANGA DR LA CA 90049-
OWN GOLDFARB REVOCABLE FAMILY TRUST

Address Information

<u>Status</u>	<u>Address</u>
P	00555 CALF CANYON HY NCSHCA
P	00545 CALF CANYON HY NCSHCA
P	00535 CALF CANYON HY NCSHCA

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO74-	198	0004	North Cty. Plan	North County I AG		RL		Y		

Parcel Information

<u>Status</u>	<u>Description</u>
Active	PM 17/12 PAR 4

Notes

Tax Districts

ATASCADERO
SAN LUIS OBISPO JT(27,40)
NO. 05
AREA NO. 21



Parcel Summary Report For Parcel # 037-391-026

1/15/2016
9:31:55AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

C9809 FNL Primary Parcel

Description:

SOLAR ELECTRIC SYSTEM

COD2007-00551 CLD Primary Parcel

Description:

UNPERMITTED RES. STRUCTURES (PMT08-02442 & 02443 ARE FNL)

COD2012-00005 REC Primary Parcel

Description:

COMPLAINT: SMALL SHED HAS BEEN CONVERTED TO 840SF RESIDENCE WITH 1032SF WRAP AROUND PORCH USE

DRC2015-00077 REC Primary Parcel

Description:

AS BUILT FARM QUARTERS, COVERED PORCH, STORAGE

PMT2008-02442 FNL Primary Parcel

Description:

AS BUILT - FARM SUPPORT QUARTERS 1733 SF W/ COV POR 1075 SF***RTB***

PMT2008-02443 FNL Primary Parcel

Description:

AS BUILT - LIVING STRUCTURE TO BE CONVERTED TO A WORKSHOP - 806 SF & COV POR 886 SF WITH EXISTING BATH ***RTB*** (REMOVE KITCHEN). WUI NR AS ACC STRUCTURE > 50' FROM A REQ'D STRUCTURE.

PMT2009-01290 FNL Primary Parcel

Description:

SINGLE PHASE - 200 AMP METER AND TWO BOOSTER PUMPS (3.5 HP EACH) SERVING VINEYARD

PMT2011-01571 FNL Primary Parcel

Description:

REPLACE EXISTING 100 AMP PANEL WITH 200 AMP PANEL



Parcel Summary Report For Parcel # 037-391-039

1/15/2016
9:32:16AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN CALF CANYON LLC
1460 MORAGA DR LA CA 90049-

Address Information

Status Address
P 00679 CALF CANYON HY NCSHCA

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T28S	R15E	32P	North Cty. Plan	North County I AG				U	VP	A870015A / E920899L

Parcel Information

Status Description
Active T28S R15E PTN SEC 32

Notes

CALF CANYON WINERY WAS PERMITTED THROUGH A BUILDNG PERMIT IN THE 80'S IT IS A LEGAL WINERY. NO TASTING OR EVENTS ARE ALLOWED. OLD PERMITS ASSOCIATED WITH THIS ARE 61449 WHICH IS AN ADDITION OF A BARREL AND STORAGE AREA IN 1988. #43529 IS THE WINERY BUILDING 1982. CRUSHING FERMENTATION AND BARRALE STORAGE ARE ALLOWED. SWC 12/5/05

ATASCADERO

SAN LUIS OBISPO JT(27,40)

NO. 05

AREA NO. 21

Case Information

Case Number: Case Status:
95398 FNL Primary Parcel

Description:
CONSTR WINE STORAGE BLD



Parcel Summary Report For Parcel # 037-391-039

1/15/2016
9:32:17AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

A870015A RDD Primary Parcel

Description:

ESTABLISH AG PRESERVE (SHAN PRES # 5)

COD2011-00562 CLD Primary Parcel

Description:

PMT REQ

PMT2006-01794 FNL Primary Parcel

Description:

THREE PHASE ELECTRICAL - SERVICE FOR PONDS

PMT2011-02139 FNL Primary Parcel

Description:

ELECTRICAL PANEL REPLACEMENT FOR GUESTHOUSE ON WINERY - 100 AMPS

S880149L WIT Primary Parcel

Description:

LOT LINE ADJUSTMENT FOR 2 PARCELS

ZON2005-00413 APV Primary Parcel

Description:

BUSINESS CLEARANCE - WHOLESALE WINERY

94736 FNL Related Parcel

Description:

GRADING FOR AGRICULTURE STORAGE

95948 FNL Related Parcel

Description:

FIRESPRINKLERS FOR WINERY

DRC2015-00077 REC Related Parcel

Description:

AS BUILT FARM QUARTERS, COVERED PORCH, STORAGE