



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 4/18/2016

TO: _____

FROM: Holly Phipps (805-781-1162 or hhipps@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2015-00117 WILKINS – Proposed minor use permit to include phased construction of 5,000 sf winery w/ 100 sf tasting room. Proposed project also includes 6 special events per year (up to 80 guests). At build out, case production to be 10,000 annually. Project location is Camp 8 Road and Gate 4 Rd. in Creston.
APN(s): 035-381-034, -035, -37; & 035-391-001

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

Project Description

Requesting the phased construction of a winery facility to include:

Phase 1: (within 5 years)

- To construct a 2,000 sf winery building to include:
 1. 1,000 sf for processing
 2. 900 sf for barrel and case good storage
 3. 100 sf for a tasting area
 4. 1,000 sf outdoor covered crush pad area.
- Case production not to exceed 5,000 cases annually
- To participate in 6 special events not to exceed 80 guests
- To participate in industry-wide events as allowed per ordinance
- Related site improvements, parking, etc.
- Primary access meets CAL FIRE standards of 24 ft. wide, secondary will meet 18 ft requirements.
- Secondary access will need minor grubbing in places to get within the 18 ft.

Phase 11 (within 5 to 15 years)

- To construct a 3,000 sf winery building to include the following:
 1. 1,500 sf for barrel Storage
 2. 1,500 sf for case good Storage
- Case production not to exceed 10,000 cases annually.

Proposed project may be partially seen at certain points as viewed from camp 8 road. Proposed fire suppression tanks should not be seen from camp 8 Rd. If they are they will be screened. Site disturbance will be minimal. Current site is an active vineyard. This project will disturb approximately 7,000 sf. No amplified music is proposed.

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

DRC2015-00117

WILKINS JAMES D

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit Tree Permit Minor Use Permit
- Conditional Use Permit/Development Plan Plot Plan
- Curb, Gutter & Sidewalk Waiver Other Site Plan
- Surface Mining/Reclamation Plan Zoning Clearance
- Amendment to approved land use permit Variance

MINOR USE PERMIT

PHASED CONSTRUCTION OF 3000 NEW AND
3000 IN FIVE YEARS YEARS, TOTAL OF 6000.
NCELPO/ NCELPO

AG

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name James DAVID Wilkins Daytime Phone 559-896-2406
Mailing Address 10129 E. South Ave Selma, CA. Zip Code 93662
Email Address: _____

Applicant Name James DAVID Wilkins Daytime Phone 559-896-2406
Mailing Address 10129 E South Ave Selma, CA. Zip Code 93662
Email Address: _____

Agent Name Scott Matthews Daytime Phone 805-878-3023
Mailing Address 915 Lincoln Ave Templeton CA Zip Code 93465
Email Address: scott@oakviewproperties.net

035-381-034 - 035-381-035 - X

PROPERTY INFORMATION

Total Size of Site: 160 ac. Assessor Parcel Number(s): 035-381-637 - 035-391-601

Legal Description: _____

Address of the project (if known): None has been assigned

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Camp 8 Rd. - Gate 4 Rd.

Describe current uses, existing structures, and other improvements and vegetation on the property:

VINEYARD

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): PHASED CONSTRUCTION OF 3000 new and 3000 in five years
TOTAL 6,000 WINERY - SEE PROJECT DESCRIPTION

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature James D. Wilkins

Date 3/6/16

FOR STAFF USE ONLY

OTHER INFORMATION

Legal Lot Verification - how the parcel(s) was legally created.

Abandoned oil and gas wells - if applicable - information is available from the California Division of Oil & Gas, Post Office Box 227, Santa Maria, California 93456, (805) 925-2686.

SUPPLEMENTAL INFORMATION

The following information may be required to be submitted before a review of the application can be completed. If you had a pre-application meeting, and items are checked on this checklist, they are required to be submitted with your application.

- Preliminary Landscaping Plan prepared pursuant to Section 22.16/23.04.180 et seq.
- Fire Safety Plan prepared pursuant to Section 22.52/23.05.080 et seq.
- Preliminary Grading/Drainage Plan - when required by Section 22.52/23.05.020 & .040
- Agricultural Buffers - if adjacent parcels are used for agriculture, show all proposed agricultural buffers.
- Archeological Report - where required, submit two copies.
- Botanical Report - where required, submit two copies.
- Biological Report - where required, submit two copies.
- Building Site Envelopes - on site layout plan show all areas proposed for development, or areas proposed to be excluded from development.
- Noise Study - if the property either adjoins or will be a noise generator or a potential source of noise.
- Traffic Study - where required, submit two copies.
- Geologic Report - where required, submit two copies.
- Visual Analysis - for applications that propose development along significant visual corridors (such as Highway 101 and 1).
- Location, size, design and text of all existing and proposed signs.
- Location and design of solid waste disposal facilities - as required by Section 22.10.150/23.04.280.
- Cross-section drawings. The drawings shall include two sectional views of the project, approximately through the middle and at right angles to each other. The existing and proposed grades and the location of and distances between buildings, parking and landscaping shall also be provided.
- Supplemental Development Statement stating the project's phasing schedule (if one is proposed), and any information that is pertinent or helpful to the understanding of the proposal, such as photos, statistical data, petitions, etc.
- Water will-serve letter OR Well pump test (4-72 hour).
- Sewer will-serve letter OR Percolation tests.
- County Public Works road requirements.
- Road Plan and Profile / Culvert Plan and Profile / Streetscape Plan.
- Cost Accounting Agreement.

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Property has several Access Points
main one Camp 8 alternate gate 4 off Camp 8 Rd

Surrounding parcel ownership: Do you own adjacent property? Yes No Property has
If yes, what is the acreage of all property you own that surrounds the project site? 160 Acres 4 Apts.

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: VINEYARD South: VINEYARD
East: OPEN West: VINEYARD

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 6000 sq. feet <1 % Landscaping: _____ sq. feet _____ %

Paving: 1000 sq. feet <1 % Other (specify) _____

Total area of all paving and structures: 7000 SF sq. feet acres

Total area of grading or removal of ground cover: TRD sq. feet acres

Number of parking spaces proposed: 1000 SF Height of tallest structure: APPX. 25 FT

Number of trees to be removed: 0 Type: _____

Setbacks: Front 40 FT Right _____ Left 40 FT Back _____

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal - Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 7000 sq. feet acres

Total floor area of all structures including upper stories: 6000 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 160 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Minimally From Camp 8, Gate 4,

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain Water Vineyard - Supply to building
 Commercial/Office - Explain _____
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: well irrigation
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (a waste discharge permit is typically needed when you exceed 2,500 gallons per day)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
2. Name of Solid Waste Disposal Company: _____
3. Where is the waste disposal storage in relation to buildings? TBD
4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

1. Name of School District: Paso Robles
2. Location of nearest police station: Creston Sheriff
3. Location of nearest fire station: Creston
4. Location of nearest public transit stop: _____
5. Are services (grocery/other shopping) within walking distance of the project? Yes No
If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

1. Please describe the historic use of the property:
Farming
2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
If yes, please describe: _____
3. Has an archaeological surface survey been done for the project site? Yes No
If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

1. Days of Operation: Seasonal 5 days Normal ^{7 days during Crush} Hours of Operation: 6:00 To 5:00 Normal ^{may work all hours during crush}
2. How many people will this project employ? 1-4 People Seasonal
3. Will employees work in shifts? Yes No
If yes, please identify the shift times and number of employees for each shift TBD
4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: Occasional Odor From Winemaking Process
5. Will this project increase the noise level in the immediate vicinity? Yes No
If yes, please explain: Minimally
(If loud equipment is proposed, please submit manufacturers estimate on noise output.)
6. What type of industrial waste materials will result from the project? Explain in detail: Grape Pulp, winemaking waste
7. Will hazardous products be used or stored on-site? Yes No
If yes, please describe in detail: _____
8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. 2 Between 4:00 to 6:00 p.m. 4
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road? Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: No

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc. (these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: Will start with 3000 SF in five years and 7000 SF
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project*: Will meet all energy standards

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
Building will blend in with scenery. Will promote water saving through efficient use.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

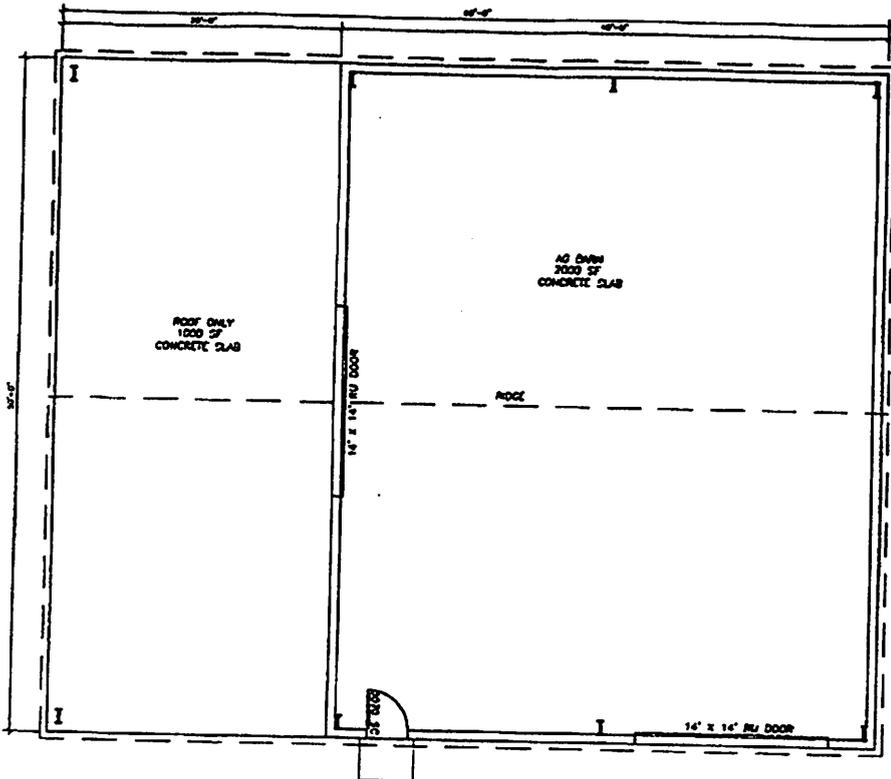
3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

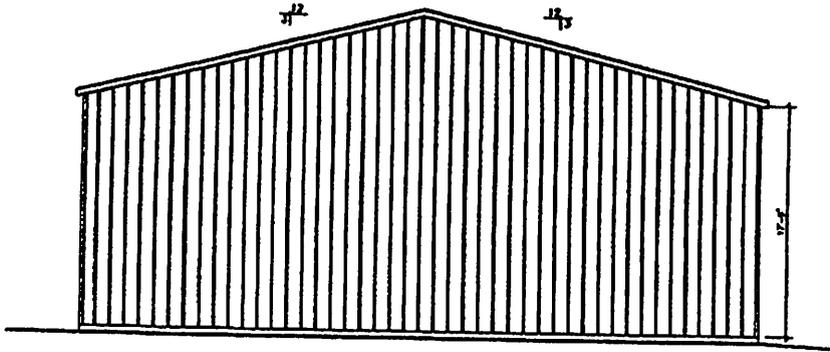
Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): Building Permit

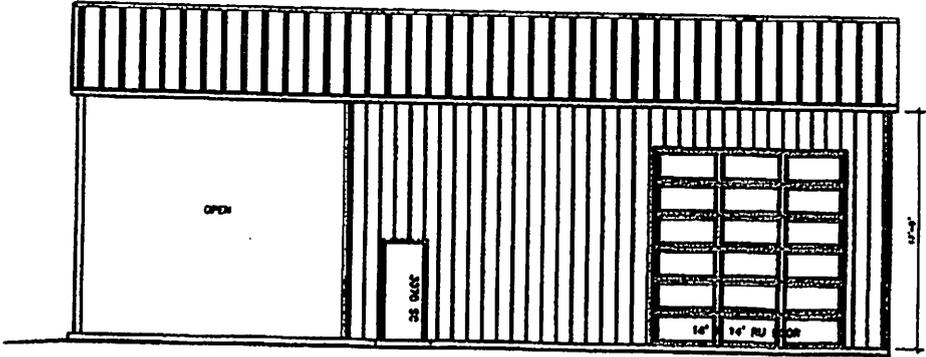
(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)



FLOOR PLAN
SCALE 1/4" = 1'-0"



END ELEVATION



SIDE ELEVATION

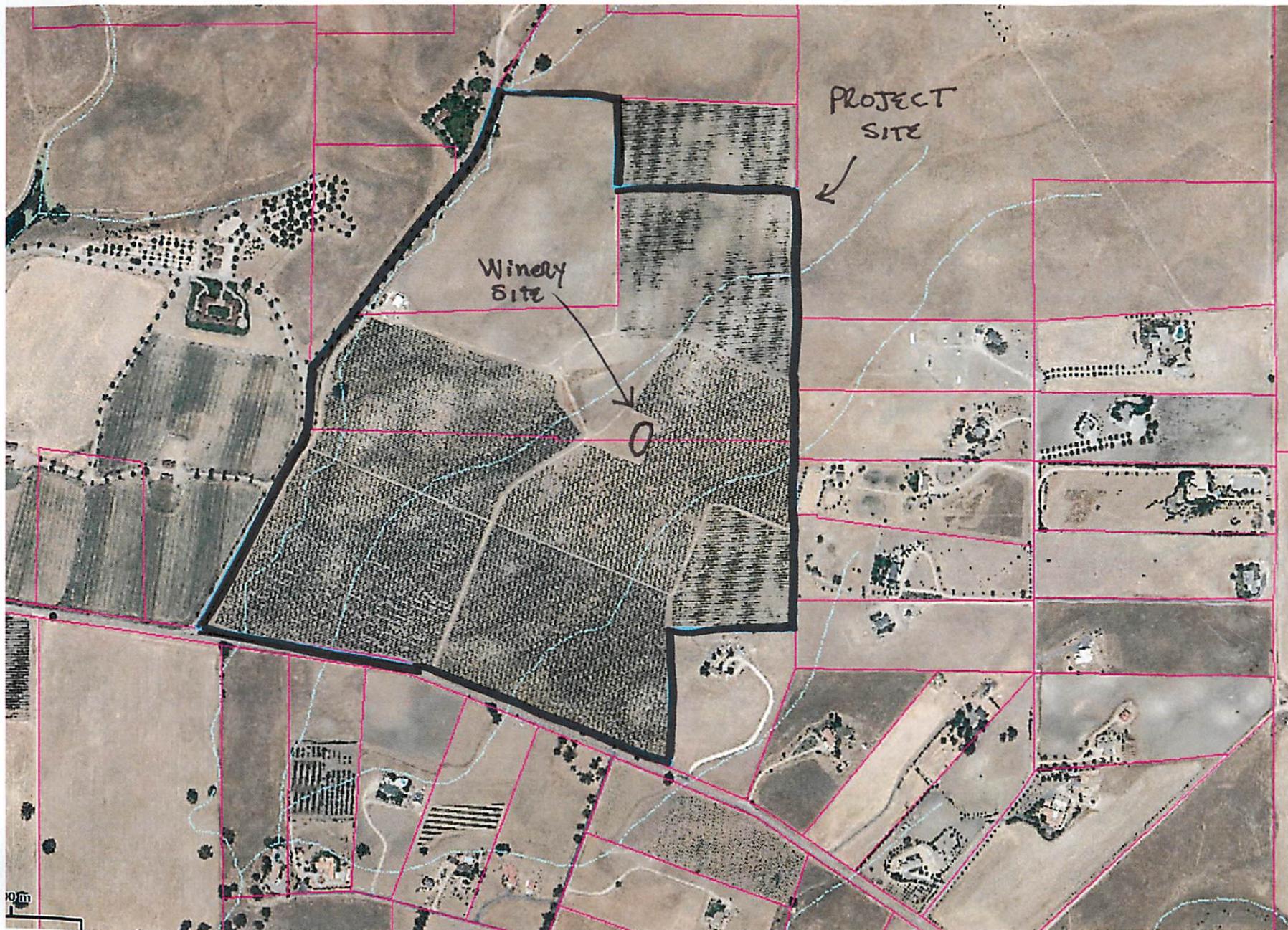
LET
 PREPARED FOR
 SERVICE
 BY
 DATE
 CHECKED BY
 DATE
 DRAWING BY
 DATE
 SCALE: AS NOTED

MIKE ARMITA CONSTRUCTION

PLAN PREPARED FOR
 WILKINS
 CAMP B ROAD, GATE 4
 PASO ROBLES, CA
 METAL BUILDING

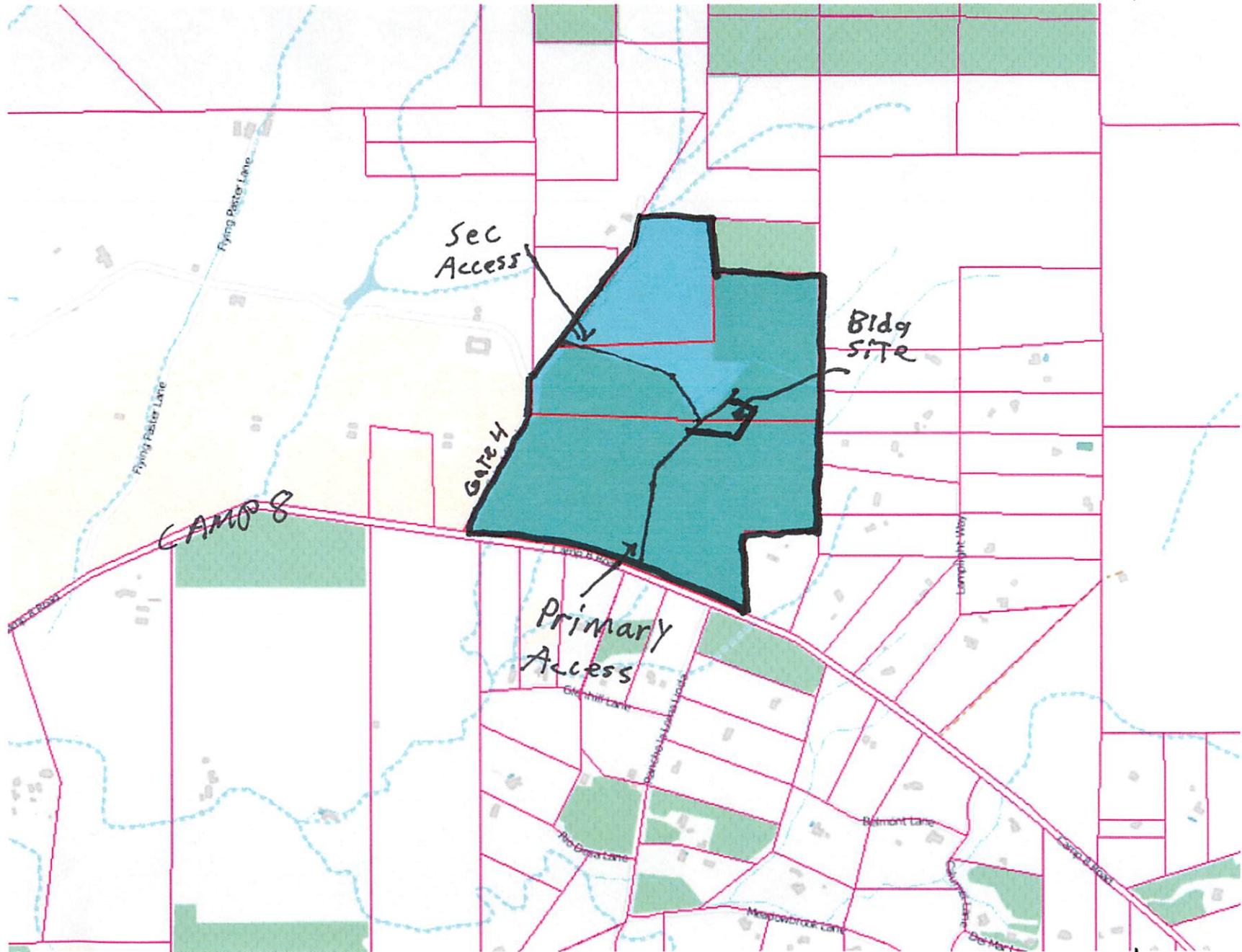
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 Drawn By
 Checked By
 Drawing No.
 Scale: AS NOTED
 Sheet
A-2

AERIAL MAP



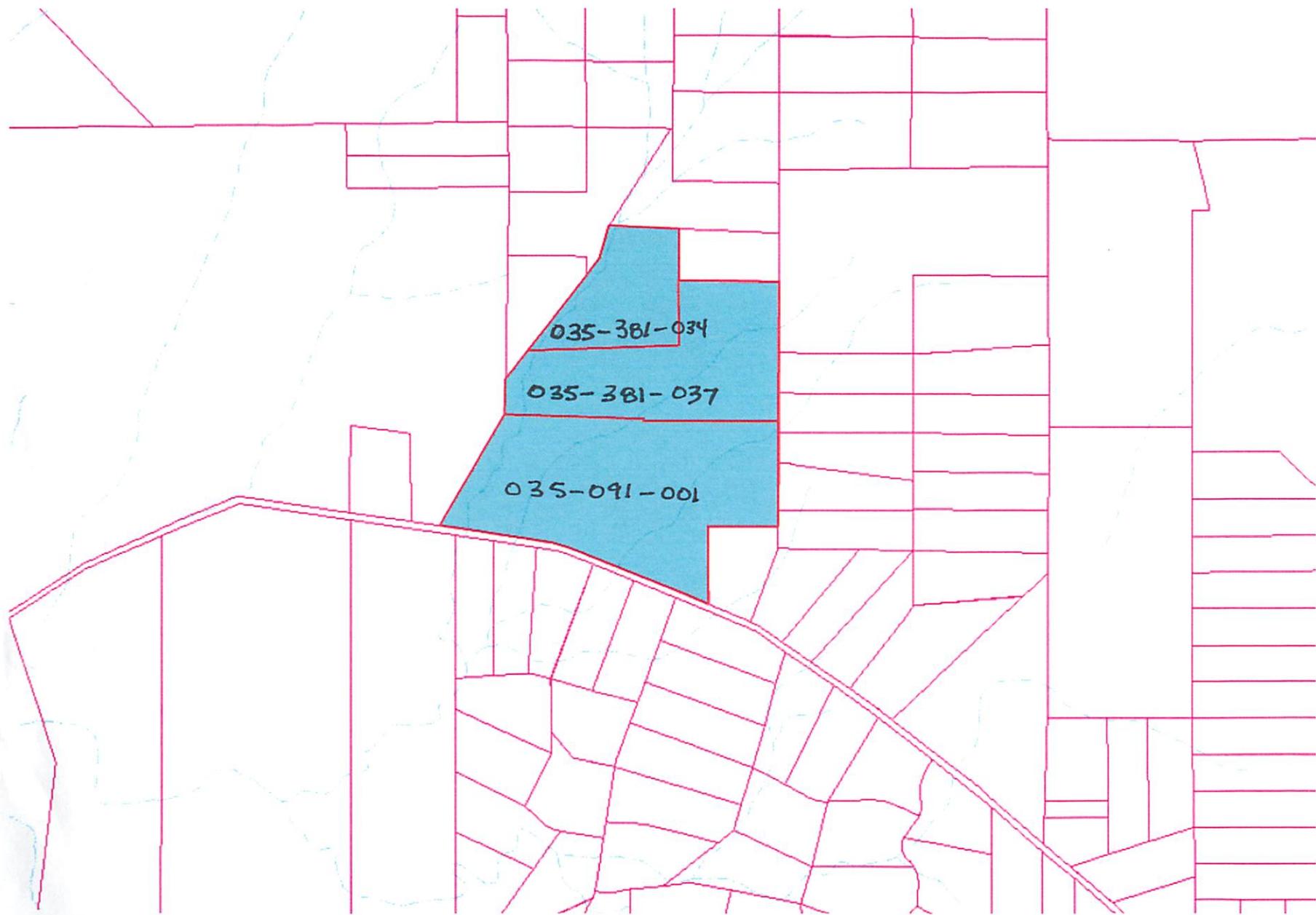
NORTH ↑

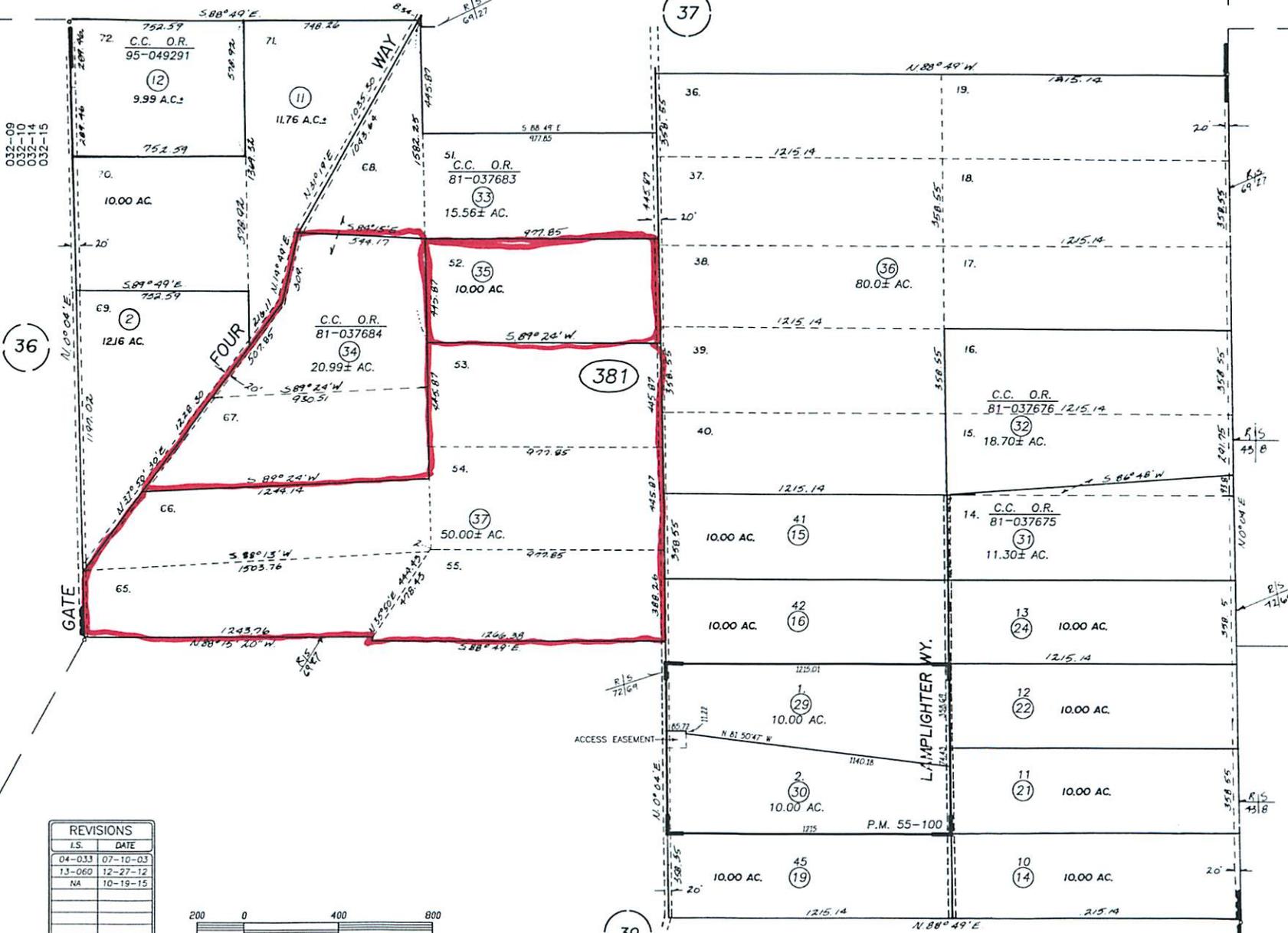
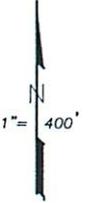
SITE PLAN



PROJECT C112 - 3 APN'S

1 SITE (PROJECT)





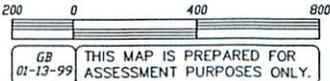
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032-10
032-14
032-15

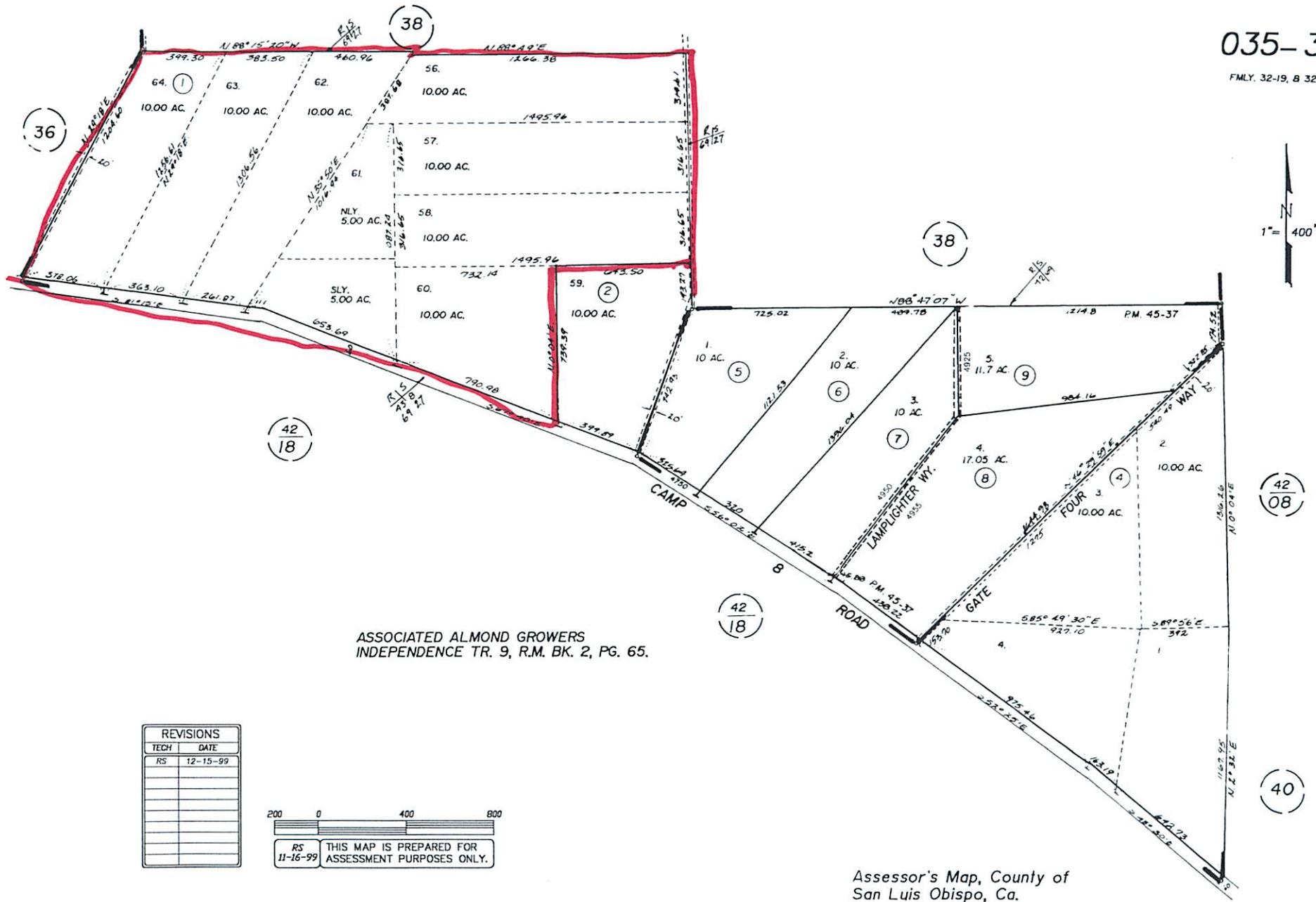
(36)

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06

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09

REVISIONS	
I.S.	DATE
04-033	07-10-03
13-060	12-27-12
NA	10-19-15





ASSOCIATED ALMOND GROWERS
INDEPENDENCE TR. 9, R.M. BK. 2, PG. 65.

REVISIONS	
TECH	DATE
RS	12-15-99

200 0 400 800

RS 11-16-99 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

Assessor's Map, County of
San Luis Obispo, Ca.



Parcel Summary Report For Parcel # 035-381-034

4/18/2016
4:50:24PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN WILKINS JAMES D
10129 E SOUTH AVE SELMA CA 93662-9700

Address Information

Status Address
00000 GATE 4 WY NCELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
AL80-	047	J	North Cty. Plan	North County I	AG			Y		

Parcel Information

Status Description
Active INDPEN TR 9 LT 67 & PTN L T 68

Notes

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 035-381-034

4/18/2016
1:30:20PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

AGP2007-00013

REC

Primary Parcel

Description:

OWNER NON RENEWAL

DRC2015-00117

REC

Related Parcel

Description:

PHASED CONSTRUCTION OF 3000 NEW AND 3000 IN FIVE YEARS YEARS, TOTAL OF 6000. WINERY- SEE PROJECT DESCRIPTON.



Parcel Summary Report For Parcel # 035-381-035

4/18/2016
4:48:47PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN WILKINS JAMES D
10129 E SOUTH AVE SELMA CA 93662-9700

Address Information

Status Address
00000 GATE 4 WY NCELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
INDTR9	0000	0052	North Cty. Plan	North County I	AG			Y		
APV.C05-	393	0001	North Cty. Plan	North County I				N		

Parcel Information

Status Description
Active INDPEN TR 9 LT 52

Notes

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 035-381-035

4/18/2016
4:48:47PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SUB2005-00151 RDD Primary Parcel

Description:

PROP 15 CERTS OF COMPLIANCE

AGP2007-00013 REC Related Parcel

Description:

OWNER NON RENEWAL

DRC2015-00117 REC Related Parcel

Description:

PHASED CONSTRUCTION OF 3000 NEW AND 3000 IN FIVE YEARS YEARS, TOTAL OF 6000. WINERY- SEE PROJECT DESCRIPTON.



Parcel Summary Report For Parcel # 035-381-037

4/18/2016
4:49:06PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN WILKINS JAMES D
10129 E SOUTH AVE SELMA CA 93662-9700

Address Information

Status Address
00000 GATE 4 WY NCELPO

Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
INDTR9	0000	0053	North Cty. Plan	North County I	AG					Y
INDTR9	0000	0054	North Cty. Plan	North County I						Y
INDTR9	0000	0055	North Cty. Plan	North County I						Y
INDTR9	0000	0065	North Cty. Plan	North County I						Y
INDTR9	0000	0066	North Cty. Plan	North County I						Y
APV.C05-	393	0002	North Cty. Plan	North County I						N
APV.C05-	393	0003	North Cty. Plan	North County I						N
APV.C05-	393	0004	North Cty. Plan	North County I						N
APV.C05-	393	0005	North Cty. Plan	North County I						N
APV.C05-	393	0006	North Cty. Plan	North County I						N

Parcel Information

Status Description

Active INDPEN TR 9 LTS 53 TO 55 & LTS 65 & 66

Notes

Tax Districts

PASO ROBLES JT(27,40) (SB1537)



Parcel Summary Report For Parcel # 035-381-037

4/18/2016
4:49:06PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)

Case Information

Case Number:

Case Status:

AGP2007-00013

REC

Related Parcel

Description:

OWNER NON RENEWAL

DRC2015-00117

REC

Related Parcel

Description:

PHASED CONSTRUCTION OF 3000 NEW AND 3000 IN FIVE YEARS YEARS, TOTAL OF 6000. WINERY- SEE PROJECT DESCRIPTON.

SUB2005-00151

RDD

Related Parcel

Description:

PROP 15 CERTS OF COMPLIANCE



Parcel Summary Report For Parcel # 035-391-001

4/18/2016
4:49:32PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN WILKINS JAMES D
10129 E SOUTH AVE SELMA CA 93662-9700

Address Information

Status Address
P 00000 CAMP 8 RD NCELPO

Lot Information:

<u>Tract / Twنشp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
APV.C05-	393	0007	North Cty. Plan	North County I				N		
APV.C05-	393	0008	North Cty. Plan	North County I				N		
APV.C05-	393	0009	North Cty. Plan	North County I				N		
APV.C05-	393	0010	North Cty. Plan	North County I				N		
APV.C05-	393	0011	North Cty. Plan	North County I				N		
APV.C05-	393	0012	North Cty. Plan	North County I				N		
APV.C05-	393	0013	North Cty. Plan	North County I				Y		
APV.C05-	393	0014	North Cty. Plan	North County I				Y		
APV.C05-	393	0015	North Cty. Plan	North County I				N		
INDTR9	0000	0056	North Cty. Plan	North County I AG				Y		D82091001 / S840404
INDTR9	0000	0057	North Cty. Plan	North County I				Y		
INDTR9	0000	0058	North Cty. Plan	North County I				Y		
INDTR9	0000	0060	North Cty. Plan	North County I				Y		
INDTR9	0000	0061	North Cty. Plan	North County I				N		
INDTR9	0000	0062	North Cty. Plan	North County I				Y		
INDTR9	0000	0063	North Cty. Plan	North County I AG				Y		
INDTR9	0000	0064	North Cty. Plan	North County I				Y		



Parcel Summary Report For Parcel # 035-391-001

4/18/2016
4:49:32PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Parcel Information

<u>Status</u>	<u>Description</u>
Active	INDPEN TR 9 PTN

Notes

Tax Districts

PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)

Case Information

<u>Case Number:</u>	<u>Case Status:</u>	
87110	FNL	Primary Parcel
<u>Description:</u> EQUINE CLINIC		
DRC2015-00117	REC	Primary Parcel
<u>Description:</u> PHASED CONSTRUCTION OF 3000 NEW AND 3000 IN FIVE YEARS YEARS, TOTAL OF 6000. WINERY- SEE PROJECT DESCRIPTON.		
PRE2015-00045	MET	Primary Parcel
<u>Description:</u> CONSTRUCTION OF A 3,000 SQ. FT. METAL BUILDING FOR WINERY PRODUCTION FACILITY.		
S990053S	RDD	Primary Parcel
<u>Description:</u> 160 ACRES SENDING SITE		
86624	WIT	Related Parcel
<u>Description:</u> CONSTRUCT GRADING FOR 001		
AGP2007-00013	REC	Related Parcel
<u>Description:</u> OWNER NON RENEWAL		



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SUB2005-00151

RDD

Related Parcel

Description:

PROP 15 CERTS OF COMPLIANCE