



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 5/3/2016

TO: _____

FROM: Holly Phipps (805-781-1162 or hhipps@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: DRC2015-00123 STEINBECK VINEYARDS #1 LLC – A request for a Minor Use Permit to allow the phased expansion of a previously authorized winery and tasting room, including the construction of a 7,092 sf wine processing and barrel storage facility, and a 3,000 sf case good storage building. This project does not authorize any special events. Project location is 5940 Union Road, Paso Robles.
APN: 015-053-012

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Tree Permit
- Minor Use Permit
- Conditional Use Permit/Development Plan
- Plot Plan
- Curb, Gutter & Sidewalk Waiver
- Other
- Site Plan
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Amendment to approved land use permit
- Variance

DRC2015-00123
MINOR USE PERMIT
STEINBECK VINE
MODIFICATION TO AN EXISTING LAND USE
PERMIT TO INCLUDE 7,092 SQ FT WINERY
NCELPO/ NCELPO
AG AR FH

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Steinbeck Vineyards #1 LLC Daytime Phone 805.238.1874
Mailing Address 5940 Union Rd, Paso Robles Zip Code 93446
Email Address: cindy@steinbeckwines.com

Applicant Name Cindy Steinbeck Daytime Phone 805.238.1874
Mailing Address 5940 Union Rd, Paso Robles Zip Code 93446
Email Address: cindy@steinbeckwines.com

Agent Name Keith Hall Daytime Phone 805.541.9160
Mailing Address 75 Higuera St. Suite 165, San Luis Obispo Zip Code 93401
Email Address: khall@paralleldesignstudios.com

PROPERTY INFORMATION

Total Size of Site: Site = 1 ac. Parcel = 156.76 Ac's Assessor Parcel Number(s): 015-053-012
Legal Description: A Portion of the Northeast 1/4 Section 29 Township 26 South; Range 13 East, M.D. B. & M.
Address of the project (if known): 5940 Union Rd. Paso Robles, CA 93446
Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: When heading E on CA-46, Turn right on N Branch Rd, Turn right onto Union Rd Turn right onto Mill Rd, Property is on the right after 0.2 miles.

Describe current uses, existing structures, and other improvements and vegetation on the property:
Current use as a vineyard and tasting room.

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): Modification to an existing Land Use Permit to include 7,092 sq ft winery processing facility and Future 3,000 sq ft Case Goods Storage

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature  Date 4-22-16

FOR STAFF USE ONLY

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): _____

Describe existing and future access to the proposed project site: Existing and future access is by Mill Rd off of Union Rd. The road is private, gated, and paved.

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Vineyard South: Dry Farming
East: Vineyard West: Vineyard

Information provided is for new proposed buildings and uses (additional information relative to the existing buildings and uses is provided in the submittal drawings)

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: <u>6,558</u> sq. feet _____%	Landscaping: _____ sq. feet _____%
Paving: <u>3,516</u> sq. feet _____%	Other (specify) <u>15,367 sq ft all weather surface</u>
Total area of all paving and structures: <u>28,471</u> _____	<input checked="" type="checkbox"/> sq. feet <input type="checkbox"/> acres
Total area of grading or removal of ground cover: <u>0</u> _____	<input type="checkbox"/> sq. feet <input type="checkbox"/> acres
Number of parking spaces proposed: <u>4</u>	Height of tallest structure: <u>34'</u>
Number of trees to be removed: <u>1</u>	Type: <u>Oak</u>
Setbacks: Front <u>30'</u> Right <u>30'</u> Left <u>30'</u> Back <u>30'</u>	

Proposed water source: On-site well Shared well Other _____
 Community System - List the agency or company responsible for provision: _____
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other _____
 Community System - List the agency or company responsible for sewage disposal: _____
Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 18,883 sq. feet acres
Total floor area of all structures including upper stories: 7,092 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____
Total floor area of all structures including upper stories, but not garages and carports: _____
Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- 1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 1 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
- 2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: Intermittent classified stream named "Dry Creek" is approx. 220' from the proposed Winery and 140' from the future Case Storage.
- 3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- 4. Has a drainage plan been prepared? Yes No
If yes, please include with application.
- 5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Existing ag roads and garden
- 6. Has a grading plan been prepared? Yes No
If yes, please include with application.
- 7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- 8. Is a railroad or highway within 300 feet of your project site? Yes No
- 9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Union Rd.

Water Supply Information

- 1. What type of water supply is proposed?
 Individual well Shared well Community water system
- 2. What is the proposed use of the water?
 Residential Agricultural - Explain Winery
 Commercial/Office - Explain _____
 Industrial – Explain _____
- 3. What is the expected daily water demand associated with the project? 28 gal.
- 4. How many service connections will be required? 0
- 5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
- 6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach.
- 7. Does water meet the Health Agency's quality requirements?
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
- 8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

- 1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
- 2. What is the distance from proposed leach field to any neighboring water wells? 218' feet
- 3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
- 4. Has a piezometer test been completed?
 Yes No
- 5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

If a community sewage disposal system is to be used:

- 1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
- 2. What is the amount of proposed flow? _____ G.P.D.
- 3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. *What type of solid waste* will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: _____
- 3. Where is the waste disposal storage in relation to buildings? _____
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: Paso Robles Joint Unified School District
- 2. Location of nearest police station: Paso Robles Police Department, 900 Park St
- 3. Location of nearest fire station: Paso Robles Fire Department, 900 Park St
- 4. Location of nearest public transit stop: Paso Robles Amtrak, 800 Park St
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
The property has been used for a vineyard, tasting room, and small winery.
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce *automobile trips* by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
3,000 sq ft Case Storage
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: _____

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No
If yes, please list: Kit Fox mitigation 3:1
3. ~~Are you aware~~ of any previous environmental determinations for all or portions of this property? Yes No
If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

GENERAL NOTES

- A. All work shall conform to: (a) the minimum standards of the latest edition of the uniform building code and all related documents published by the I.C.B.A. which have been adopted by the local governing agency; (b) all regulations and ordinances of local governing agencies; (c) any special conditions required by the local governing agencies; and (d) all California state code amendments (building standards code) title 24.
- All codes referenced shall be California editions, the codes referenced in these plans are as follows:
 - 2013 California Building Code (CBC).
 - 2013 California Mechanical Code (CMC).
 - 2013 California Plumbing Code (CPC).
 - 2013 California Fire Code (CFC).
 - 2013 California Electrical Code (CEC).
 - California State Energy Conservation Standards (Title 24).
- B. All work described in the drawings shall be verified by the contractor for dimension, grade, extent and compatibility to the existing site. Any discrepancies and unexpected conditions that affect or change the work described in the contract documents shall be brought to the architect's attention immediately. Do not proceed with the work in the area of discrepancies until all such discrepancies are resolved, if the contractor chooses to do so, he shall be proceeding at his own risk.
- C. Omissions from the drawings and specification or the misdescription of the work which is manifestly necessary to carry out the intent of the drawings and specifications, or which is customarily performed, shall not relieve the contractor from performing such omitted or misdescribed details of the work as if fully and completely set forth and described in the drawings and specifications.
- D. Dimensions shown shall take precedence over drawings scale or proportion, a larger scale drawing shall take precedence over smaller scale drawings.
- E. Approved numbers or addresses (minimum 6" high) shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Contractor shall coordinate location with the architect.
- F. The contractor shall follow all applicable industrial safety regulations, the local governing agency, the architect, and the owner shall not be responsible for enforcement of safety regulations.
- G. Contractor is responsible for scheduling inspections by the building dept. and other agencies as required.
- H. The contractor shall coordinate with the owner for the selection of all plumbing fixtures including toilets, tub/shower, lavatories, sinks and all appropriate faucets, trim and drains. The owner shall select all colors, finish and options.
- I. The contractor shall be responsible for the design and installation of the mechanical heating and distribution system in compliance with applicable codes and regulations.
- J. The contractor shall coordinate with owner for the selection of all electrical light fixtures (their color, type and finish), and switchplates and outlets (color and type). The contractor shall verify all locations and heights of outlets, lighting fixtures, etc. with the owner.
- K. The contractor shall coordinate with owner for the selection of all kitchen appliances (color, type and options).
- L. The contractor shall coordinate with the owner for the selection and proper locations of all bathroom specialties including, but not limited to, medicine cabinets, mirrors, towel bars and hooks, toilet paper dispenser, soap dish and shower enclosure.
- M. The contractor shall coordinate with the owner for the design of built-in cabinets including door and drawer locations, types of hinges, pulls and sliding hardware. The owner shall select the type of materials, color and finish for cabinets.
- N. The contractor shall coordinate with the owner for the selection of all interior finishes including floor coverings and underlayments, paint (including number of coats), other wallcoverings, base and casing, laminates, tile, etc.
- O. The contractor shall coordinate with the owner for the selection of all door hardware, including, but not limited to, door latches, hinges, cabinet hardware, etc. (types and finishes). Confirm function and keying with owner.
- P. The contractor shall submit truss layout and structural calculations to the building department prior to installation.
- Q. The contractor shall provide an accessible backwater valve where the flood level rim of the lowest plumbing fixture is below the elevation of the next upstream manhole cover, cpc 710.
- R. **Lead Safe Work Practices:** Remodeling pre-1978 structures without using Lead Safe Work Practices is a violation of California Health and Safety Code Section 105256. Contractors, remodelers and painters are required to use "lead-safe" work practices pursuant to Title 17, CA Code of Regulations Section 36050.
- S. All work located in the public right-of-way or within the jurisdiction of the Utilities and Public Works Department shall comply with the most current edition of the City Engineering Standards and Standard Specification.
- T. A separate encroachment permit is required for any work in the public right-of-way or within city easements for connections to public utilities. Work requiring an encroachment permit includes but is not limited to demolitions, utilities, water, sewer, and fire service laterals, curb, gutter, and sidewalk, driveway approaches, sidewalk underdrains, storm drain improvements, street tree planting or pruning, curb ramps, street paving, and pedestrian protection or construction staging in the right-of-way.

CALIFORNIA FIRE NOTES

- A. Roof covering
 - 1. All new structures within a moderate fire severity zone or higher SHALL HAVE A Min. of at least a class c roof covering.
 - B. Fire safety during construction
 - 1. Commercial projects shall have installed, prior to start of construction, an operational water supply system and established access roads; (ufc 902 & 903).
 - A. Hydrants
 - 1. A residential fire connection (rfc) shall be a brass 2-1/2" national standard male hose thread and cap. The connection shall be two (2) feet above grade, not less than fifty (50) feet, nor exceed one hundred and fifty (150) feet from the building structure to be protected. The minimum pipe size shall not be less than 4 inch. The rfc shall be located within 8 ft. of the driveway and visible on vehicle approach.
 - 2. All fire hydrants and fire dept. connections shall be identified by "blue" reflective markers with a minimum dimension of three (3) inches.
 - D. Premise identification
 - 1. The project address shall be clearly posted and visible from the roadway and on the main building.
 - E. Final inspection
 - 1. The entire project will require a final inspection prior to occupancy, to make an appointment for inspection, call 543-4244, extension 2220 after county building and fire department review.
 - F. Fire-sprinklers
 - 1. All fire-sprinkler systems shall be designed and installed in accordance with the current cbc std. 9-1, ntpo standard 13d
 - 2. When required the fire dept. connection (fcd) supporting the sprinkler system shall be located within 20 ft. of a hydrant facing the street or vehicle approach lane.
 - 3. Sprinklers shall be installed under exterior combustible roofs or canopies exceeding 4 feet in width.
 - G. Water storage
 - 1. Water supply may consist of commercial reservoirs or tanks. All facilities shall have an automatic fill and sight gage. gravity systems shall drain to the fire hydrant or water connections.
- Refer to site plan for tank location and size.

Calculation of Use Areas

Building/Use Description	Existing Area (sf)			Proposed Area (sf)		
	Ground Floor	Total Interior	Exterior	Ground Floor	Second Floor	Total Interior
Existing						
Residential	3258	3258				
Residence	2538					
Detached Room	720					
Ag Operations	9384	9384				
Storage Barn	2400					
Storage Barn	3844					
Secondary Garage	560					
Workshop	480					
Workshop	2100					
Winery	1215	1215				
Tasting Rm	720					
Barrel Storage	360					
Bathroom	90					
Mechanical	45					
Concrete Paving			371			
Proposed						
Winery				6588	504	7092
Barrel Storage				3468		
Processing				2569		
Bathroom				66		
Laboratory				82		
Storage				106		
Mechanical				89		
Misc Area				208		
Office					199	
Meeting					217	
Misc Area (catwalk)					88	
Crush Pad						3516
All Weather Surface						15367
Future Storage (Case Goods)				3000	0	3000
Case Storage				3000		

Project Description

This project is a modification to an existing Land Use Permit to include a 7,092 sq ft. Winery processing facility and a future 3,000 sq ft case goods storage facility.

Project Information

Owner Address: Steinbeck Vineyards #1 LLC, 5940 Union Rd, Paso Robles, Ca
 Apr: 015-053-012
 ZONE: Agricultural
 SETBACKS: Front = 30', Side = 30', Back = 30'
 HEIGHT: Allowable = 35', Proposed = 34'
 PARKING: Required = 4 spaces, Provided = 4 spaces
 AREA: Entire Parcel = 156 ac., Project Area = 1 ac.

Sheet Index

Sheet Number	Sheet Title
T-1	Title Sheet
A-0.1	Site Plan
A-1.1	1st & 2nd Floor Plans
A-2.1	Elevations



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consultants:

client:
 Steinbeck Vineyards #1 LLC
 5940 Union Rd
 Paso Robles Ca 93446

Steinbeck Winery
 5940 Union Rd.
 Paso Robles Ca 93446

date/purpose:
 2016-04-19 / Planning Application

job no: 10137
 file: T-1 title sheet.dwg
 application no:

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The plans and elevations within are copyrighted and are subject to copyright protection as per "Architectural Work" under Section 17, of the Copyright Act, 17 U.S.C. as amended December 1992, and known as Intellectual Property Copyright Protection Act of 1992.

sheet name:
 Title Sheet

sheet number:
 T-1

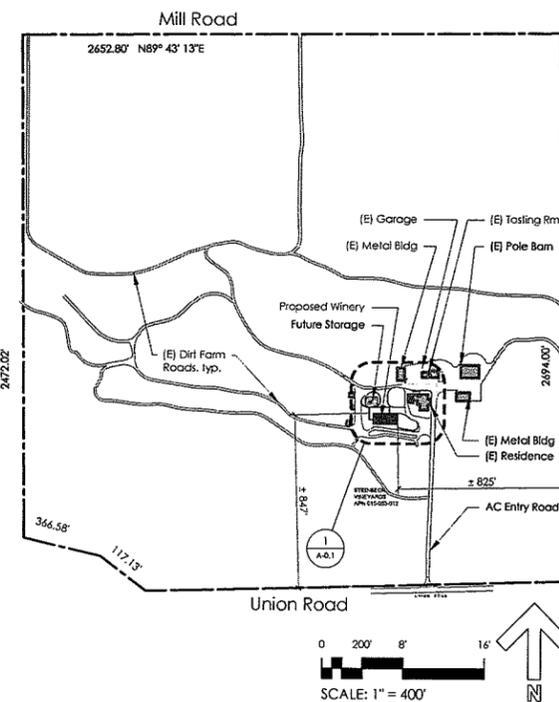
ARCHITECTURAL ABBREVIATIONS

∅	AI	FAU	Forced air unit	P	Pole
∠	Angle	F.F.	Finish floor f.g.	P.L.	Property line
∅	Centerline	FINISH	Grade	PLYWD	Plywood
∅	Diameter	F.O.	Face of	PR	Pair
A.B.	Anchor bolt	FLR	Floor	PVC	Polyvinyl chloride
A.C.	Asphalt concrete	FLUOR	Fluorescent	R	Radius/riser
ADJ	Adjacent	FTG	Footing	R.D.	Roof drain
AFF	Above finish floor	GA	Gauge	REFRIG	Refrigerator
BD	Board	GD	Garbage disposal	REINF	Reinforcement
BLK	Block	GLB	Glu lam beam	REQ'D	Required
BLK'G	Blocking	GS	Galvanized steel	RM	Room
BM	Beam	GYP	Gypsum	RS	Rough sawn
B.N.	Boundary nail	H.B.	Hose bibb	RWD	Redwood
B.O.	Bottom of	HDR	Headrod	S.F.	Square feet
BYND	Beyond	HGR	Hanger	S.S.	Stainless steel
CAB	Cabinet	HTR	Hitcher	S&P	Shell and pale
C.J.	Control joint	HT	Header	SEL	Select
CLG	Ceiling	ICV	Irrigation Control Valve	SH	Single hung
CLR	Clear	IN	Inch	SHTG	Sheathing
CMU	Concrete masonry unit	INT	Interior	SHWR	Shower
C.O.	Cleanout	INSUL	Insulation	SIM	Similar
COL	Column	JST	Joist	SLD	Sliding (Window)
CONC	Concrete	LAM	Laminate	SQ	Square
CQNT	Continuous	LAV	Lavatory	STL	Steel
C.T.	Ceramic tile			STOR	Storage
CTSK	Countersink			STRUCT	Structural
D.S.	Downspout			T	Tread
DBL	Double	MAX	Maximum	T&G	Tongue and groove
DIA	Diameter	MECH	Mechanical	MFR	Manufacturer
DIAG	Diagonal	MFR	Manufacturer	T.O.	Top of
DIM	Dimension	MIN	Minimum	THK	Thick
DN	Down	MISC	Miscellaneous	TYP	Typical
DR	Door	MTL	Metelc	U.N.O.	Unless noted otherwise
DW	Dishwasher	N	North	V.I.F.	Verify in field
EA	Each	N.I.C.	Not in contract	W/	With
E.J.	Expansion joint	NO.	Number	W/O	Without
ELEC	Electrical	N.T.S.	Not to scale	WC	Water closet
EQ	Equal	O/	Over	W.H.	Water heater
E.W.	Each way	O.C.	On center	WP	Waterproof
(E)	Existing	O.H.	Overhead	WR	Water resistant
(X)	Exterior	O.S.	Overflow scupper	WWF	Welded wire fabric
				WWM	Welded wire mesh

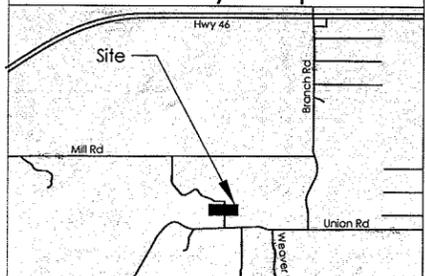
SYMBOL LEGEND

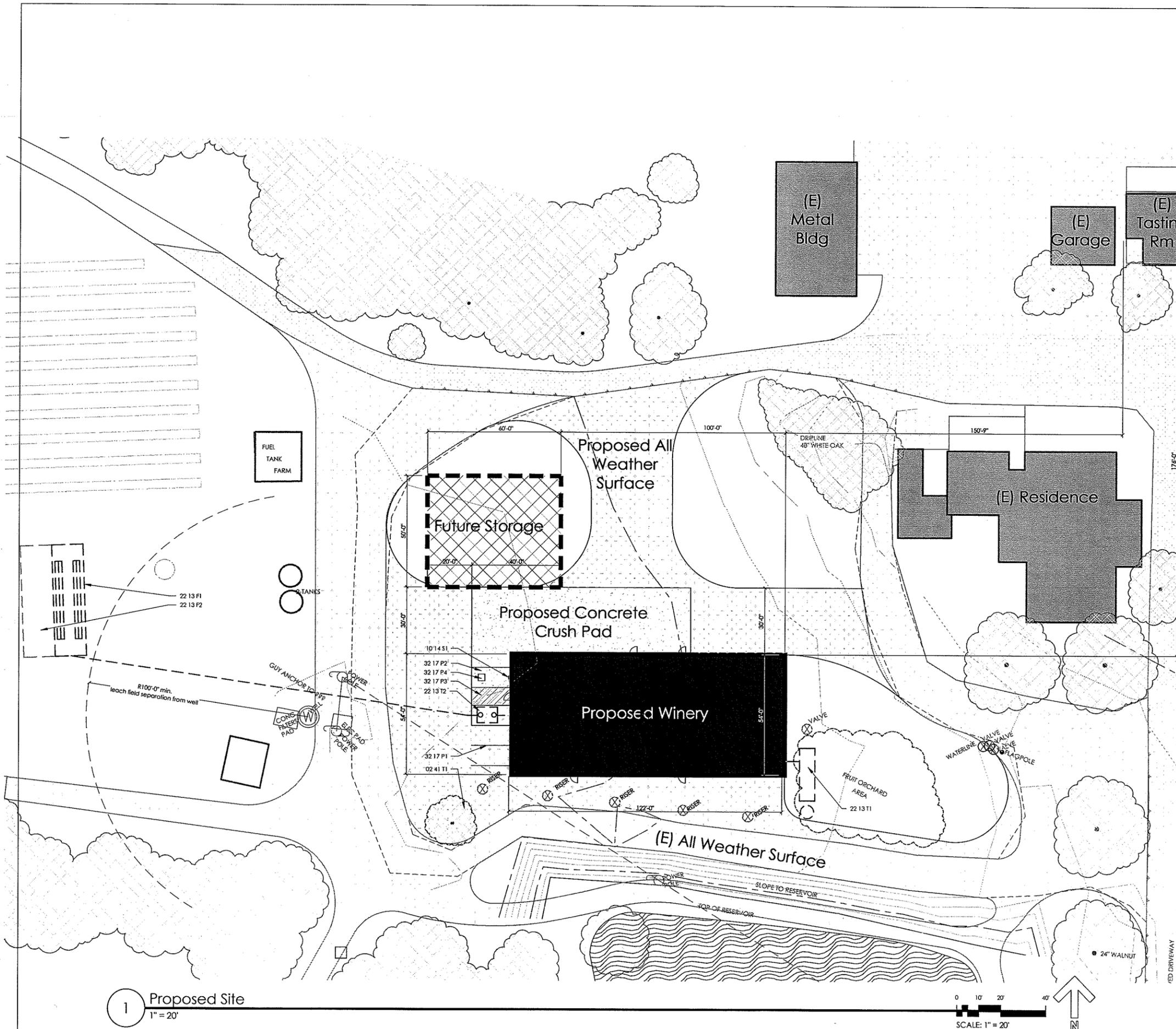
- Designator: E = Existing, D = Demo, N = New, R = Relocate
- Reference Note: Tertiary #, Secondary #, Primary # (CSI 2014 Division)
- Door Symbol: XX
- Window Symbol: XX
- Accessories Symbol: XX
- Wall Symbol: XX
- Interior Elevation/Cabinet Legend: 1, 2, 3
- Section Cut: Section Number
- Detail Key: Drawing Sheet, Detail Number, Drawing Sheet
- Dimensional Grid Line: Grid Number
- Elevation Tag: ELEVATION

Site Key Plan



Vicinity Map





REFERENCE KEYNOTES

- DIVISION 02 - EXISTING CONDITIONS**
 02 41 T1 - REMOVE EXISTING OAK TREE
- DIVISION 10 - SPECIALTIES**
- 10 14 00 - SIGNAGE**
 ACCESSIBLE PARKING SIGN, 70" SQ. PER CBC-11B-502.6 ADD BELOW THE SYMBOL OF ACCESSIBILITY ADDITIONAL SIGNAGE OR LANGUAGE STATING "MINIMUM FINE \$250". VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN STATING "VAN". BOTTOM OF SIGNS SHALL BE 60" MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE
- 10 14 S1** - APPROXIMATE LOCATION OF PROPOSED LEACH FIELD, 100' MIN SEPARATION FROM WELLS
 APPROXIMATE LOCATION OF PROPOSED LEACH FIELD, 100% EXPANSION AREA, 100' MIN SEPARATION FROM WELLS
 PROCESS WASTE WATER CLARIFICATION TANK AND PUMP STATION. GRAY WATER TO BE USED FOR IRRIGATION
 800 GALLON (MIN.) SEPTIC TANK
- DIVISION 22 - PLUMBING**
 22 13 F1 - APPROXIMATE LOCATION OF PROPOSED LEACH FIELD, 100' MIN SEPARATION FROM WELLS
 22 13 F2 - APPROXIMATE LOCATION OF PROPOSED LEACH FIELD, 100% EXPANSION AREA, 100' MIN SEPARATION FROM WELLS
 22 13 T1 - PROCESS WASTE WATER CLARIFICATION TANK AND PUMP STATION. GRAY WATER TO BE USED FOR IRRIGATION
 22 13 T2 - 800 GALLON (MIN.) SEPTIC TANK
- DIVISION 32 - EXTERIOR IMPROVEMENTS**
 32 17 P1 - PARKING
 32 17 P2 - VAN ACCESSIBLE HC PARKING SPACE
 ACCESSIBLE PARKING LOADING AISLE. CROSS SLOPE SHALL NOT EXCEED 2%. NO ABRUPT CHANGES IN ELEVATION GREATER THAN 1/4" VERTICAL OR 1/2" IF THE CHANGE ABOVE 1/4" IS 2:1 SLOPE MAX. MARK WITH 45 DEGREE BLUE STRIPPING AT 36" O.C. AND 12" HIGH WHITE LETTERS READING "NO PARKING" IN LOCATION VISIBLE TO TRAFFIC ENFORCEMENT PER CBC 11-B 502.3.3
 32 17 P4 - 36" X 36" INTERNATIONAL SYMBOL OF ACCESSIBILITY PER CBC 11B-703.7.2.1



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consultants:

client:

Steinbeck Vineyards #1
 5940 Union Rd
 Paso Robles Ca 93446

Steinbeck Winery
 5940 Union Rd.
 Paso Robles Ca 93446

date/purpose:
 2016-04-19 / Planning Application

job no: 10137
 file: a-0.1 site plan.dwg
 application no:

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sheet name:
Site Plan

sheet number:
A-0.1

1 Proposed Site
 1" = 20'



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 Paso Robles Ca 93446

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 file: a-1.1 1st & 2nd floor plans.dwg

 application no:

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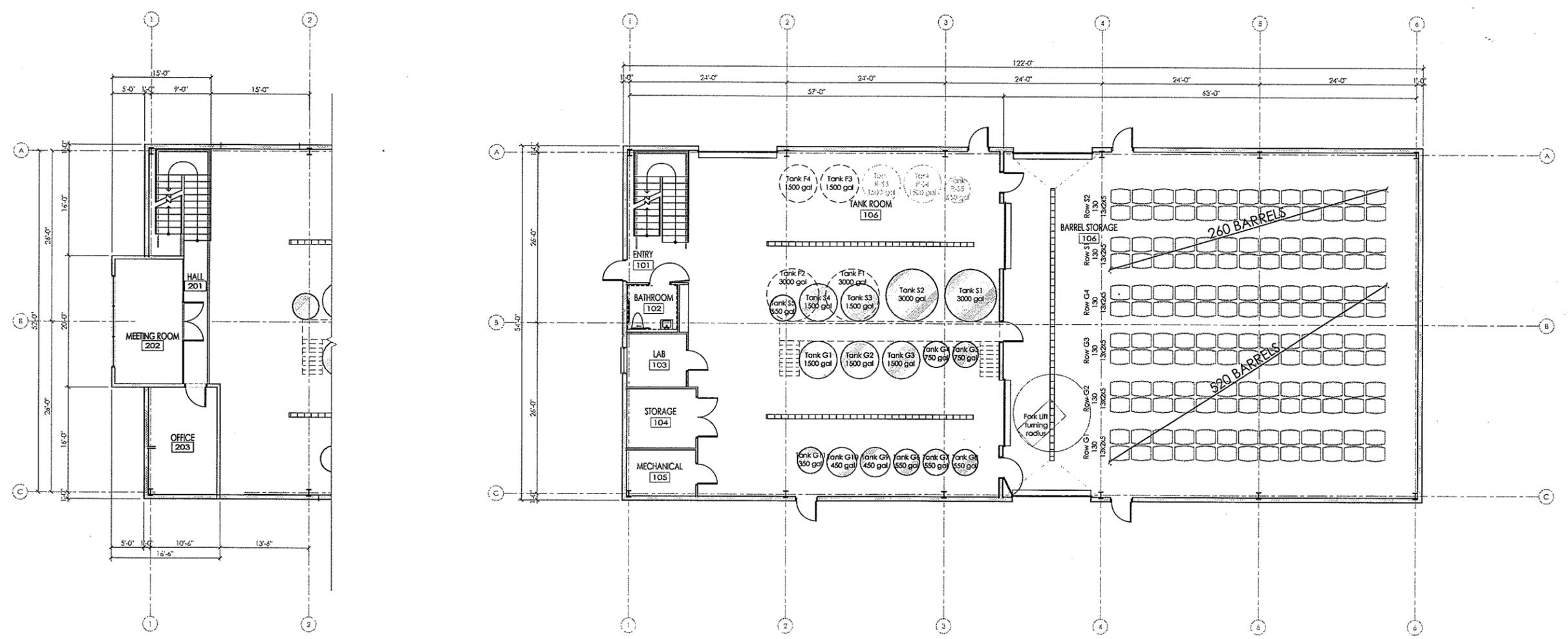
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sheet name:

1st & 2nd Floor Plans

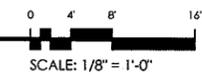
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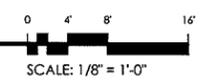
2 2nd Floor Plan

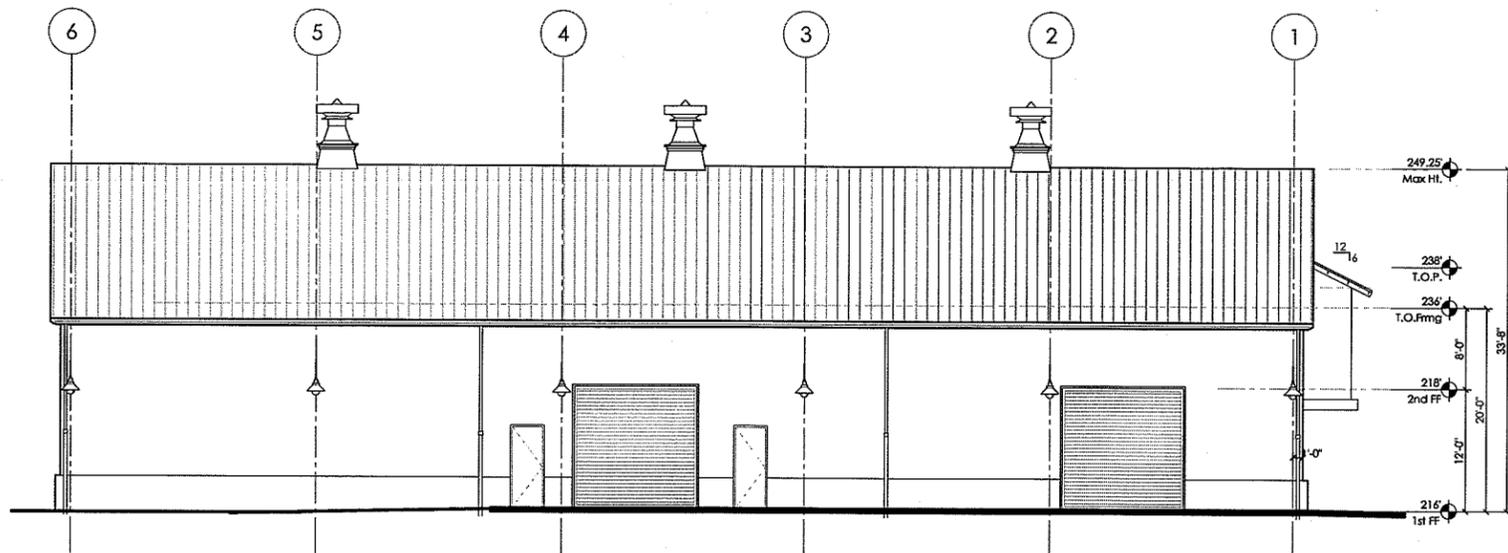
 1/8" = 1'-0"



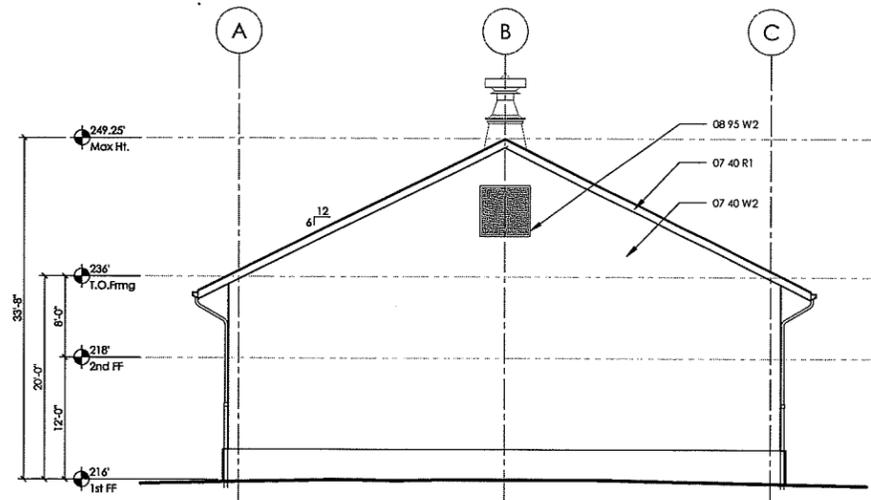
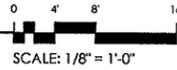
1 1st Floor Plan

 1/8" = 1'-0"

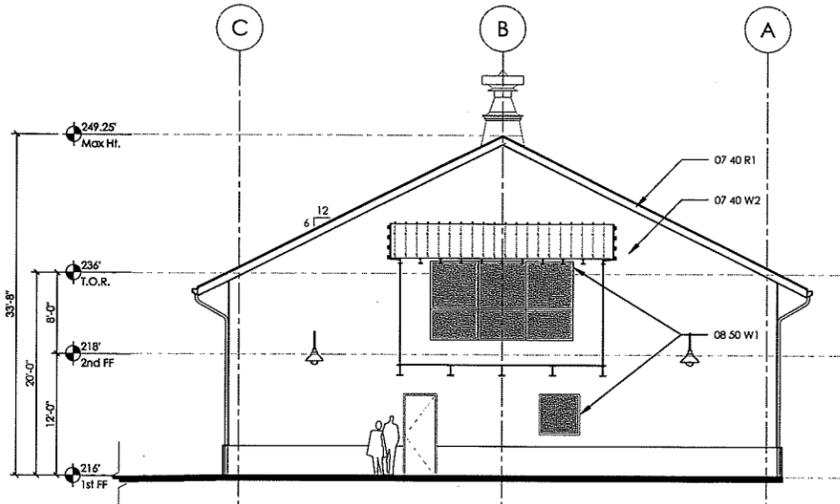
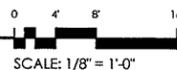




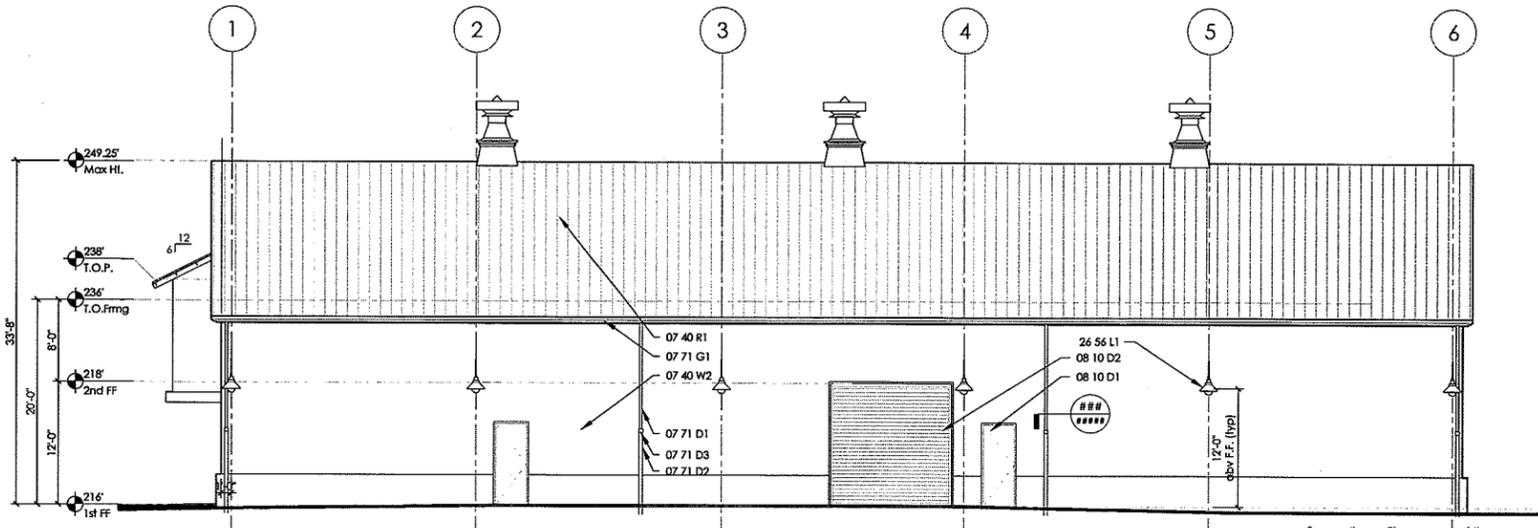
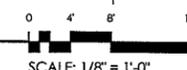
1 North Elevation
1/8" = 1'-0"



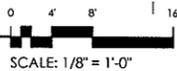
3 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"



4 South Elevation
1/8" = 1'-0"



REFERENCE KEYNOTES

- DIVISION 07 - THERMAL AND MOISTURE PROTECTION
- 07 40 R1 - METAL ROOFING PANELS, PAINT PER COLOR SCHEDULE
 - 07 40 W2 - METAL WALL SIDING, CORRUGATED PROFILE, VERTICAL ORIENTATION, PAINT PER COLOR SCHEDULE
 - 07 71 D1 - METAL DOWNSPOUT, BY MTL BLDG CO., PREFINISHED TO MATCH WALL PANEL, SEE METAL BUILDING MANUFACTURER'S DRAWINGS, SEE CIVIL FOR CONTINUATION OF DRAINAGE AT TERMINATION OF DOWNSPOUT
 - 07 71 D2 - 3 1/2" DIA GALV STL DOWNSPOUT SCHED 40 PIPE
 - 07 71 D3 - GALV STL HEADER BOX WELDED TO SCHED 40 GALV PIPE DOWNSPOUT, ± 5W X 4D X 4H CONFRM/COORD ACTUAL DIMENSION TO ACCOMMODATE MTL BLDG DOWNSPOUT
 - 07 71 G1 - METAL GUTTER, PAINT PER COLOR SCHEDULE

- DIVISION 08 - OPENINGS
- 08 10 D1 - METAL DOOR, PAINT PER COLOR SCHEDULE
 - 08 10 D2 - OVERHEAD DOOR, PAINT PER COLOR SCHEDULE
 - 08 50 W1 - ALUMINUM WINDOW, FINISH PER COLOR SCHEDULE
 - 08 95 W2 - LOUVERED VENT, METAL PAINTED PER COLOR SCHEDULE

- DIVISION 26 - ELECTRICAL
- 26 56 00 - EXTERIOR LIGHTING
 - 26 56 L1 - METAL FARM STYLE LIGHT FIXTURE, PAINT PER COLOR SCHEDULE, LAMP SHALL BE SHIELDED SUCH THAT THE FIXTURE WILL NOT PROJECT LIGHT UPWARD BEYOND A HORIZONTAL ANGLE



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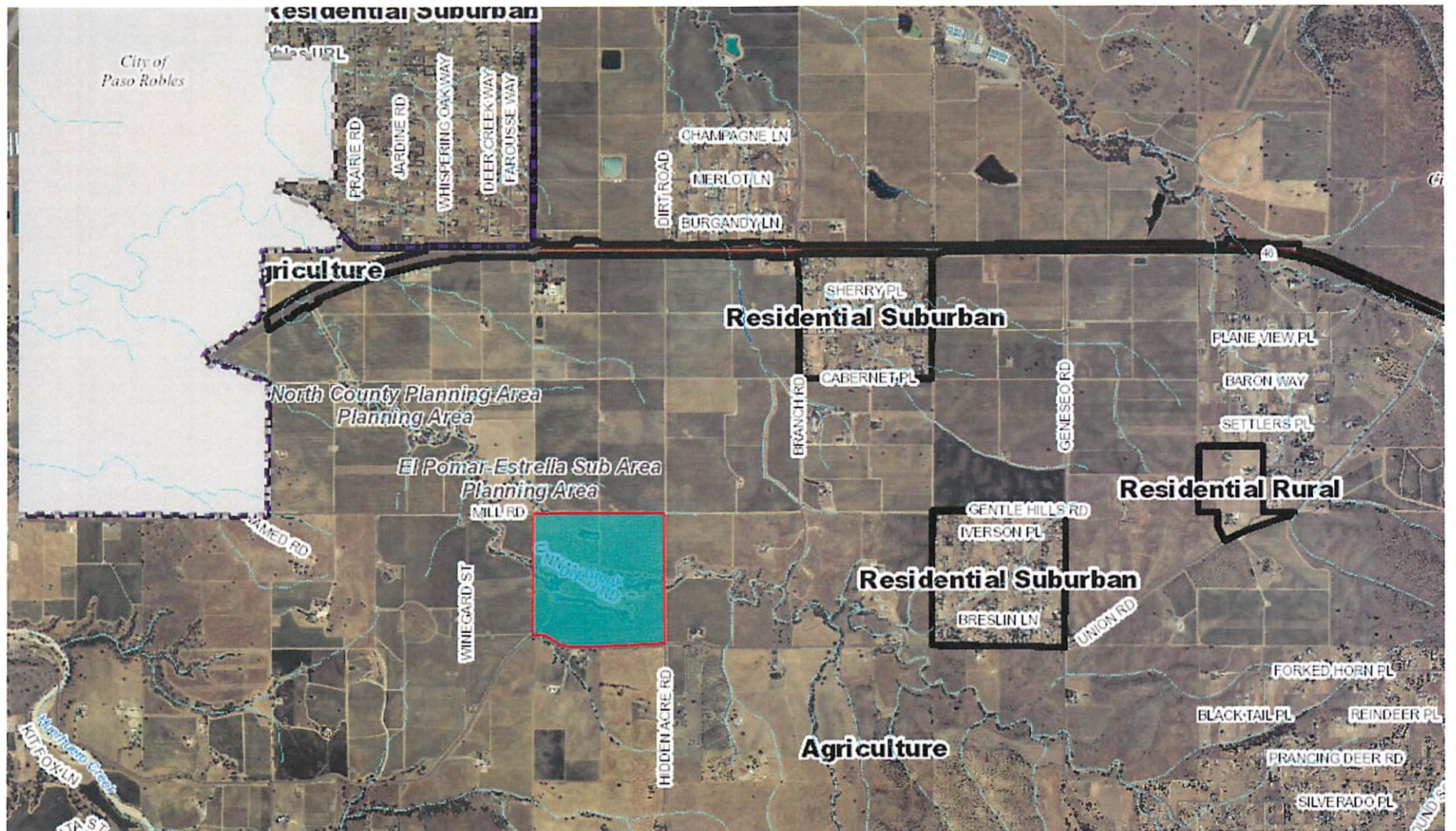
Steinbeck
Winery
5940 Union Rd.
Paso Robles Ca 93446

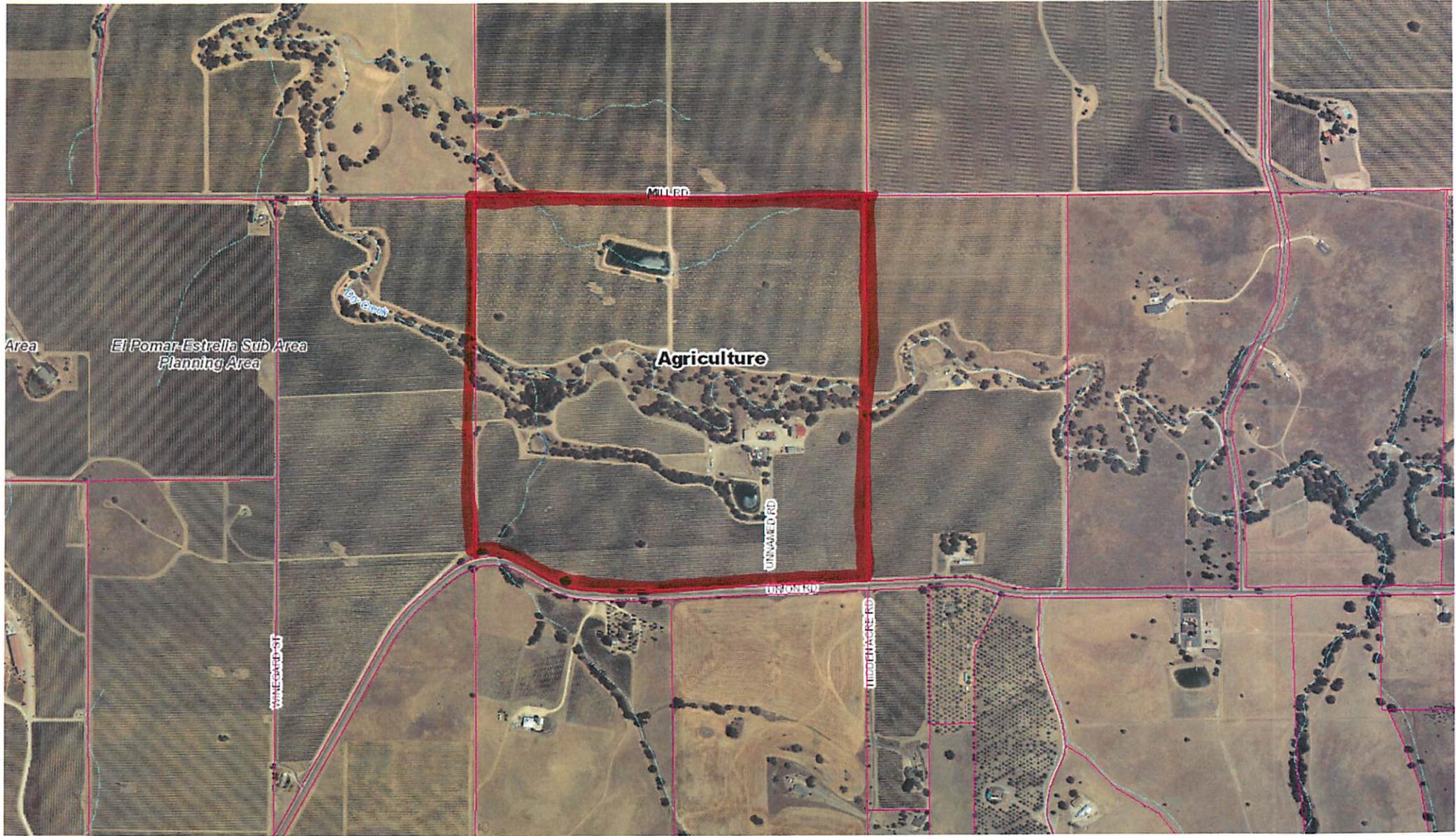
date/purpose:
2016-04-19 / Planning Application

job no: 10137
file: a-2.1 elevations.dwg
application no:

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sheet number:
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MILNER

Agriculture

UNNAMED RD

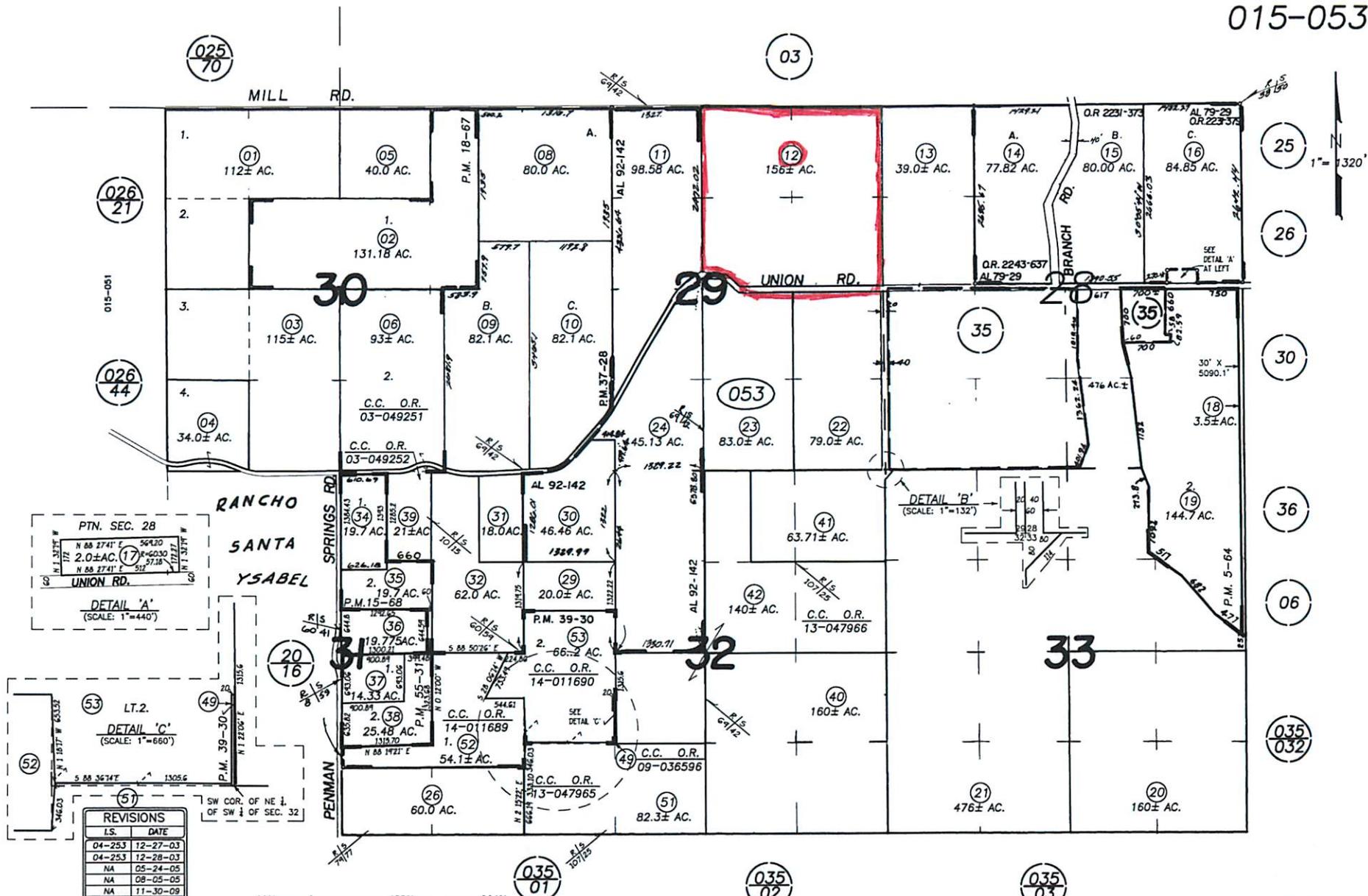
UNNAMED RD

TIDDINGACK RD

El Pomar-Estrella Sub Area
Planning Area

Area

UNNAMED RD



REVISIONS	
I.S.	DATE
04-253	12-27-03
04-253	12-28-03
NA	05-24-05
NA	08-05-05
NA	11-30-09
14-149	12-19-13
14-149	12-20-13
15-023	04-03-14
NA	10-16-15

660' 0 1320' 2640'

GB 12-27-03 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

T.26S. ; R.13E. ; SECTIONS 28 TO 33, M.D.B.& M.

PASO ROBLES VICINITY
 ASSESSOR'S MAP, COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 015 PAGE 053



Parcel Summary Report For Parcel # 015-053-012

4/29/2016
3:31:44PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN STEINBECK VINEYARDS #1 LLC
5940 UNION RD PASO ROBLES CA 93446-9345
OWN STEINBECK VINEYARDS #1 LLC A CA LLC

Address Information

Status Address
P 05940 UNION RD NCELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T26S	R13E	29P	North Cty. Plan	North County I AG	AR			Y		

Parcel Information

Status Description
Active T26S R13E PTN SEC 29

Notes
LEGAL PARCEL PER PATENT, G PATENT 121, MINUS DEED 130 OR 308. JSM

Tax Districts
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
PASO ROBLES PUBLIC
NO. 01
AREA NO. 21
PASO ROBLES UNION (SB1537 BLO)



Parcel Summary Report For Parcel # 015-053-012

4/29/2016
3:31:44PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2007-00092 CMP Primary Parcel

Description:

REQUEST BY HAROLD STEINBECK FOR A MINOR USE PERMIT TO ALLOW THE CONVERSION OF AN EXISTING 1,080-SQUARE FOOT STORAGE BUILDING INTO A 1,215-SQUARE FOOT WINERY AND TASTING ROOM FACILITY, AND CONSTRUCT A PARKING AREA, LEACH FIELD, AND ASSOCIATED OUTDOOR USE AREAS. NO SPECIAL EVENTS ARE PROPOSED. THE PROJECT WILL RESULT IN THE DISTURBANCE OF APPROXIMATELY 3,850 SQUARE FEET ON A 156-ACRE PARCEL.

DRC2015-00123 REC Primary Parcel

Description:

MODIFICATION TO AN EXISTING LAND USE PERMIT TO INCLUDE 7,092 SQ FT WINERY PROCESSING FACILITY AND FUTURE 3,000 SQ FT CASE GOODS STORAGE.

PMT2002-10420 EXP Primary Parcel

Description:

2400 SQ FT AG EXEMPT BARN

PMT2004-02687 FNL Primary Parcel

Description:

REPLACE DAMAGED 200 AMP ELECTRICAL PANEL WITH NEW 200 AMP ELECTRICAL PANEL FOR FROST WELL FOR VINEYARD

PMT2008-01195 FNL Primary Parcel

Description:

DEMO EXISTING 1080 SF - SHOP

PMT2008-01999 FNL Primary Parcel

Description:

TASTING ROOM (720 SF) WITH BARRELL STORAGE (360 SF)

PRE2007-00024 REC Primary Parcel

Description:

CONVERT AG BARN TO WINERY. 156 ACRE SITE.

ZON2007-00259 APV Primary Parcel

Description:

BONDED WINERY OFFICE- HOME OFFICE ONLY - NO STORAGE OR ONSITE SALES