



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 4/8/2016

TO: _____

FROM: Airlin Singewald (805-781-5198 or asingewald@co.slo.ca.us)
North County Team / Development Review

PROJECT DESCRIPTION: PMT2013-00281 JOHN HANCOCK LIFE INSURANCE COMPANY ---
Proposed major grading for two irrigation reservoirs for Vino Farms. Site #1 83,564 CY (5.66 ACRES); and Site #2 106,533 CY (5.97 ACRES).
APNs: 027-011-034, -036, & 027-061-014, & 027-061-021.

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



CONSTRUCTION PE

SAN LUIS OBISPO COUNTY DEPARTMENT C
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO

Promoting the Wise Use of Land • Helping to Build Great Communities

APPLICANT / AGENT / CONTRACTOR / ARCHITECT INFORMATION (check box for contact person)

Landowner Name Jim Ledbetter / SWG Paso Vineyards Daytime Phone: 209-334-6975

Mailing Address 1377 East Lodi Ave City: Lodi, CA Zip: 95240

Agent Blaine Reely / Monsoon Consultants Daytime Phone: 520 360 5657

Mailing Address P.O. Box 151 City: San Luis Obispo Zip: 93401

Contractor _____ Daytime Phone: _____

Mailing Address _____ City: _____ License #: _____

Architect/Designer/Engineer _____ Daytime Phone: _____

Mailing Address _____ City: _____ License #: _____

E-mail address for Owner Agent Architect Engineer (check one) jim@vino farms.net

breely@monsoonconsultants.com

PROPERTY INFORMATION

Assessor Parcel Number(s): 027-11-034, 035, 036 Total Size of Lot: 546.94

Address of the project (if known): Mission St. Hwy 101 San Miguel, CA 93451

Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.:
US 101 to Mission St. exit, north of San Miguel, turn west

Describe current uses, existing structures, and other improvements and vegetation on the property: Vineyard /

AGRICULTURAL

TYPE OF PROJECT (check all that apply)

All New Addition Alteration Repair Demolish Moved Building Grading Barn Garage

Single Family Dwelling Multi-Family Dwelling Mobile Home Commercial Industrial Sign

Describe the scope of work for this project: Construct two (2) HPDE lined irrigation

ponds Pond #1 49.87 Ac-Ft Pond #2 44.24 Ac-Ft

SIZE OF PROJECT

Residence _____ sq. ft. Garage _____ sq. ft. Carport _____ sq. ft. Covered Porch _____ sq. ft.

Storage _____ sq. ft. Deck _____ sq. ft. Barn _____ sq. ft. Commercial _____ sq. ft. Other _____ sq. ft.

Number of: Bedrooms _____ Bathrooms _____ Stories _____

Height of: Roof above average grade _____ Retaining/Garden Wall _____ Length of Wall _____

Occupancy Group: _____ Construction Type: _____

GRADING No Yes Maximum Depth of: Cut _____ Fill _____

Quantity in Cubic Yards: #1 Cut 46,394 c.y. Fill: 37,170 c.y. Total _____ c.y. (cut plus fill)

Percent Slope of Natural Grade: 15 1/2 % Total Area of Site Disturbance #1 5.66 AC

#2 59,142 cu 47,391 #5.97 AC (11.63 Total) AC

UTILITIES

Water: Well Public - agency or company responsible for water provision: _____

Fuel Gas: LPG Natural Gas Pool Heating: LPG Natural Gas

Sewage Disposal: Private Public - agency or company responsible for sewage disposal _____

Fire Jurisdiction: CAL FIRE *Fire Hazard Zone High

*Contact Cal Fire at (805) 543-4244 to find out the Fire Hazard Zone for the property. If the property is located in a Fire Hazard Zone, see the Fire Resistant Construction Requirements handout.

TYPE OF CONSTRUCTION

Foundation: Slab Perimeter & Piers Pole Other _____

Framework: Wood Stud Masonry/Concrete Metal Timber Other _____

Exterior: Stucco Plywood Board Stone Veneer Brick Veneer

Metal Hardy Board Other _____

Roof: Pitch: _____ Material: Tile Built-up Comp Comp Shingle Metal Other _____

ENERGY INFORMATION

Energy Credit: Yes, exceeds _____% If your project exceeds the California Energy Code requirements by 15% or more, you may receive a fee credit of 25% of the building inspection fee up to a maximum of \$250.

MOVED BUILDING

If you are proposing to move a building, provide the following information.

Existing Location _____ Community _____

MANUFACTURED HOUSING

If you are proposing to use manufactured housing, provide the following information.

Manufacturer _____ Year _____ Length _____ Width _____

Serial Numbers _____ HCD or HUD Label number _____

WASTE MANAGEMENT - RECYCLING PLAN

Please review the Explanation of Choices information provided on a separate flyer that is available in the Public Works Department and then check the box that fits your project.

Are you planning to

- A) use an Integrated Waste Management Authority (IWMA)-certified construction and demolition waste recycling facility? or
- B) use other recycling and disposal facilities?

LEGAL DECLARATION FOR WASTE MANAGEMENT / RECYCLING PLAN

By signing below I acknowledge the responsibility for recycling my project's waste and the penalty for non-compliance. I agree to comply with the requirements of the County Construction & Demolition Debris Recycling Ordinance and demonstrate compliance by providing receipts to verify recycling.

BY MY SIGNATURE BELOW, I CERTIFY TO EACH OF THE FOLLOWING:

- I am the property owner, contractor or authorized to act on the property owner's behalf.*
- I have read this application, declaration/disclosure forms and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.
- Your construction permit application is public record and is therefore published on the weekly reports within the San Luis Obispo County Planning and Building Department's website as well as the public information area. All references to names, addresses, telephone numbers and project information will be part of this public record. All applications must be filed under the property owner's name and address; however, you may use an alternate contact address and telephone number.
- If you do not pick up your permit within one year of application, it will expire. An extension of 180 days may be granted upon written request.

* Jim Ledbetter _____ Date _____

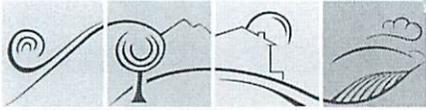
Print Name of Owner / Authorized Agent/ Contractor

Jim Ledbetter _____ Date 4/10/13

Signature of Owner / Authorized Agent/ Contractor

Note: When the Permit Application and the Owner-Builder Declaration have been executed by a person other than the property owner prior to issuing the permit, the "Authorization of Agent to Act on Property Owner's Behalf" form shall be completed by the property owner and returned to the agency responsible for issuing the permit.

* The property owner is required to complete and sign the NOTICE TO PROPERTY OWNER form and furnish a copy of their driver's license to verify signature. (Not needed if licensed contractor)



ZONING CLEARANCE / PLOT PLAN APPLICATION

PLANNING & BUILDING DEPARTMENT • COUNTY OF SAN LUIS OBISPO
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Active APN: 027-061-014, 021
027-011-034, 035, 036

Intake Planner Initials: JTB

Coastal Zone (Plot Plan) Inland Area (Zoning Clearance)

Date: 8/2/13

Actions:

Approved as is (Over the Counter) Conditional Approval (Route to Cross-Check) Denied

Proposal:

Proposed Use: Grading for Ag ponds

Proposed Type of Structure: _____

Proposed Grading: Purpose: _____

Area of disturbance: 5.66 ^{11.63} Sq.ft Acres

Amount: 105,536 Cubic yards Slope% 15 Minor Major

Existing Uses & Structures on Property _____

Parcel Information:

Planning Area/Community SAC / R Land Use Designations (Zoning) AG FH GSA

Associated Land Use/Subdivision: _____

Special Planning Area Standards/Comments: _____

Setbacks: Measured From Street: _____ Sub. Cond. Planning Area Standards

Front: _____ Back: _____ Left: _____ Right: _____

Maximum Allowed Height: _____ Proposed Height: _____

Measured From: (circle one) Average Natural grade Street Centerline Highest point of lot Finished grade

Lot Type: (circle one) STANDARD CORNER TRIANGLE DOUBLE FLAG

Additional Activities & Routing:

- GMO Allocation _____ Other _____
- Cross Check to: _____
- Code Enforcement _____ (case number / officer)
- Public Works Flood Hazard Curb, Gutter & Sidewalk Drainage
- Current Planning Planner/Project North County - Grading
- Return to Permit Center Planner for additional notes _____
- Within 3 feet of height limit (Height Survey needed) _____
- Other _____

Additional Conditions:

	Resolution	Comments
<input type="checkbox"/> Record Secondary Dwelling agreement	_____	_____
<input type="checkbox"/> Record offer of dedication	_____	_____
<input type="checkbox"/> Road improvement - gravel	_____	_____
<input type="checkbox"/> Verify access easement/deed	_____	_____
<input type="checkbox"/> Legal Lot - Deed verify pre-1960, 1966, 1972	_____	_____
<input type="checkbox"/> Revise Plot Plan	_____	_____
<input type="checkbox"/> Architectural Committee review	_____	_____
<input type="checkbox"/> Williamson Act Compliance	_____	_____
<input type="checkbox"/> Cal Fire Setback Adjustment	_____	_____
<input type="checkbox"/> Ground Squirrel Hollow CSD	_____	_____
<input type="checkbox"/> Nipomo H ₂ O Standards	_____	_____
<input type="checkbox"/> Stormwater Plan (> 1 acre/common plan; SWPPP/NPDES)	_____	_____
<input type="checkbox"/> _____	_____	_____

Fee Schedule:

- L14 Cond Compliance (Min Site Visit) L05 Plot Plan (Over the Counter) NPDES Fee
- L15 Cond Compliance (Minor) L06 Plot Plan Minor (Additional struct.) Z11 Lodge Hill Area
- L17 Cond Compliance (Major) L04 Plot Plan Full (Bldg pmt -1st struct.) Z96 South County Fees
- Z18 Cond Compliance (Maj Site Visit) X07 Env Geo Minor (in GSA) C50 Coastal Zone Add-on Fee
- Z13 Secondary Dwelling Agmt X10 Env Geo Major (in GSA) A05 Bldg. Real Time Billing
- L09 Initial Coastal Water Well Review Inclusionary Housing Fee Public Facility fees

If Quimby Fee already paid then: ZSLQ (Parks Fee/Land)- delete or ZMLQ (Parks Fee/Land)- delete

IRRIGATION RESERVOIR - SITE #1 & SITE #2

FOR

VINO FARMS, SAN MIGUEL

COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA

GENERAL NOTES

CONFORMANCE AND LIABILITY

- PROJECT PARTICIPANTS SHALL BE REFERRED TO ACCORDING TO THE FOLLOWING:
 - OWNER: SWG-PASO VINEYARDS, LLC
 - ENGINEER: BLAINE REELY, P.E., MONSOON CONSULTANTS
 - GEOTECHNICAL ENGINEER: NICOLAS MCCLURE, BEACON GEOTECHNICAL, INC
 - IRRIGATION CONSULTANTS: SONORA PACIFIC - PAT BROWN - (805) 503-9724
LODI IRRIGATION - STEPHEN BORRA, JR. - (209) 993-9018
 - AGENCY: COUNTY OF SAN LUIS OBISPO, CALIFORNIA
- PROJECT RELATED DOCUMENTS NAMED HEREON SHALL BE CONSIDERED A PART OF THESE PLANS AND SHALL BE REFERRED TO ACCORDING TO THE FOLLOWING:
 - CBC - CURRENT ADOPTED VERSION OF THE CALIFORNIA BUILDING CODE (2013).
 - AGENCY STANDARD: CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE AGENCY LISTED IN ITEM 1 ABOVE.
 - GEOTECHNICAL REPORT: REPORT PREPARED BY: BEACON GEOTECHNICAL, INC, DATED: 02/27/2013.
 - 2010 CALIFORNIA PLUMBING CODE
 - COUNTY ORDINANCE TITLE 19 (BUILDING)
 - COUNTY ORDINANCE TITLE 22 (INLAND)
 - COUNTY FIRE CODE ORDINANCE TITLE 16
 - OTHER STANDARDS: CURRENT STANDARDS ADOPTED BY THE NAMED ENTITY. FOR EXAMPLE, "CALTRANS STANDARD" REFERS TO THE CURRENT STANDARD PLANS AND SPECIFICATIONS ADOPTED BY CALTRANS.

3. THESE PLANS MAY REFERENCE OTHER DOCUMENTS THAT ARE INTENDED TO BE A PART OF THIS PLAN. A REQUIREMENT OCCURRING IN ONE IS AS BINDING AS THOUGH OCCURRING IN ALL. THE DOCUMENTS ARE INTENDED TO BE COMPLEMENTARY, AND TO DESCRIBE AND PROVIDE FOR A COMPLETE WORK. OTHER DOCUMENTS NOTED MAY INCLUDE BUT ARE NOT LIMITED TO PROJECT SPECIFICATIONS, AGENCY STANDARD DETAILS AND SPECIFICATIONS, THE STATE STANDARD SPECIFICATIONS, THE STATE STANDARD PLANS, THE GREEN BOOK, PROJECT PLANS, AND SPECIAL PROVISIONS.

4. WHERE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION ARE MORE STRINGENT THAN THOSE PRESCRIBED IN THESE PLANS, AGENCY STANDARDS & SPECIFICATIONS OR SPECIAL PROVISIONS, THE MANUFACTURER'S RECOMMENDATIONS SHALL TAKE PRECEDENCE. THIS CONDITION MAY BE WAIVED AT THE WRITTEN DIRECTION OF THE ENGINEER.

5. CONSTRUCTION ACTIVITIES SHALL NOT BEGIN UNTIL PLANS ARE APPROVED BY THE AGENCY AND ALL REQUIRED PERMITS HAVE BEEN ISSUED. IT IS THE RESPONSIBILITY OF CONTRACTOR TO VERIFY THAT ALL PERMITS NECESSARY TO PERFORM THE IMPROVEMENTS IN THESE PLANS HAVE BEEN ISSUED BY THE APPROPRIATE AGENCIES AND TO COMPLY WITH THE AGENCY'S REQUIREMENTS. ANY CONSTRUCTION ACTIVITIES PERFORMED WITHOUT APPROVED PLANS AND/OR REQUIRED PERMITS IS AT CONTRACTOR'S SOLE RISK AND EXPENSE, AND MAY BE REJECTED AND SUBJECT TO FINES OR PENALTIES AS REQUIRED BY THE AGENCY.

6. AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, EASEMENT, ALLEY, PARK OR OTHER PUBLICLY OWNED OR MAINTAINED PROPERTY. IT IS CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PROPER PERMITS FROM ALL RELEVANT AGENCIES UNLESS OTHERWISE STATED ON THE PERMIT OR OTHER SEPARATE WRITTEN AGREEMENT. ALL COSTS INCURRED FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY PURSUANT TO AN ENCROACHMENT PERMIT SHALL BE BORNE BY CONTRACTOR, AND CONTRACTOR HEREBY WAIVES ALL CLAIMS FOR INDEMNIFICATION OR CONTRIBUTION FROM THE OWNER, ENGINEER OR THE AGENCY.

7. CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCEMENT OF WORK TO GO OVER THE SPECIAL INSPECTION REPORTING REQUIREMENTS, EROSION CONTROL, AND REPORTS REQUIRED. THE MEETING WILL INCLUDE (AT A MINIMUM) THE OWNER REPRESENTATIVE, CONTRACTORS, THE ENGINEER, THE GEOTECHNICAL ENGINEER, THE COUNTY BUILDING INSPECTOR (CHARLEY MALONEY, PHONE: 805-461-6200), PERTINENT UTILITY COMPANY REPRESENTATIVES, THE SURVEYOR, AND AGENCY STAFF.

8. CONTRACTOR SHALL EXAMINE THE PROJECT SITE, THE APPROVED PLANS AND SPECIFICATIONS, AGENCY REQUIREMENTS, PERMIT REQUIREMENTS AND PROJECT CONDITIONS. THE SUBMITTAL OF BID OR THE START OF WORK BY CONTRACTOR SHALL BE CONCLUSIVE EVIDENCE THAT CONTRACTOR HAS PERFORMED DUE DILIGENCE AND IS SATISFIED AS TO THE GENERAL, LOCAL AND SPECIFIC CONDITIONS TO BE ENCOUNTERED. THE CHARACTER, QUALITY AND SCOPE OF WORK TO BE PERFORMED, AND THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.

9. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE PRE-CONSTRUCTION GROUND ELEVATIONS AND THE GENERAL OVERALL TOPOGRAPHY OF THE SITE PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, AND IN WRITING, OF ANY TOPOGRAPHIC DIFFERENCES THAT CONTRACTOR DETERMINES COULD AFFECT THE DESIGN AND/OR EARTHWORK QUANTITIES AND PROVIDE EVIDENCE TO THE ENGINEER.

10. CONTRACTOR SHALL NOTIFY THE AGENCY AND THE ENGINEER TWO (2) WORKING DAYS PRIOR TO THE START OF WORK. IF WORK IS STOPPED FOR LONGER THAN FIVE (5) CONSECUTIVE WORKING DAYS, CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE AGENCY IMMEDIATELY UPON RESUMING WORK.

11. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND THE OWNER BY TELEPHONE AND IN WRITING UPON DISCOVERY OF, AND BEFORE DISTURBING, ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY APPROVED PLANS AND SPECIFICATIONS. IF CONTRACTOR PROCEEDS PRIOR TO NOTIFICATION AND APPROVAL OF THE OWNER AND ENGINEER, CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY AND ALL EXPENSE FOR REPAIR OR RECONSTRUCTION TO CORRECT.

12. CONTRACTOR'S MEANS AND METHODS ARE AT THE SOLE DISCRETION OF CONTRACTOR. MEANS AND METHODS EMPLOYED BY CONTRACTOR SHALL PRODUCE THE ENTIRE WORKS DESCRIBED IN THESE PLANS. ANY DEVIATION FROM THESE PLANS, SPECIFICATIONS AND AGENCY STANDARDS WITHOUT PRIOR APPROVAL FROM THE ENGINEER SHALL BE DONE AT CONTRACTOR'S SOLE RISK AND EXPENSE.

13. CONSTRUCTION OPERATIONS, SERVICES, WORKMANSHIP AND INSTALLATIONS, MATERIALS, AND MANUFACTURED PRODUCTS SHALL CONFORM TO THESE PLANS, PROJECT SPECIFICATIONS, THE GEOTECHNICAL REPORT, AGENCY STANDARDS AND SPECIFICATIONS, AND THE CBC. THE WORK SHALL BE SUBJECT TO OBSERVATION AND TESTING, AND THE APPROVAL OF THE AGENCY.

14. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY WITHIN AND ADJACENT TO THE SITE. CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE TO PRE-CONSTRUCTION CONDITION, ALL EXISTING IMPROVEMENTS WITHIN OR ADJACENT TO THE JOBSITE, WHICH ARE NOT DESIGNATED FOR REMOVAL AND ARE DAMAGED OR REMOVED AS A RESULT OF CONTRACTOR'S OPERATIONS.

15. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS. NEITHER THE AGENCY, ITS OFFICIALS, THE ENGINEER, NOR THE OWNER SHALL BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.

16. CONTRACTOR ACCEPTS SOLE AND COMPLETE RESPONSIBILITY FOR THE CONDITION OF THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. CONTRACTOR FURTHER ACCEPTS THAT THIS REQUIREMENT APPLIES AT ALL TIMES. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE AGENCY, THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE ENGINEER.

17. CONTRACTOR SHALL CONTINUOUSLY MONITOR ALL ASPECTS OF CONSTRUCTION AND CONSTRUCTION STAKING TO IDENTIFY POTENTIAL CONFLICTS OR ERRORS IN DESIGN OR STAKING. DISPARITIES BETWEEN THE EXISTING SITE CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER IN WRITING.

18. IF THE WORK TO BE DONE OR ANY OF THE MATTERS RELATIVE THERETO ARE NOT SUFFICIENTLY DETAILED OR EXPLAINED IN THESE PLANS AND/OR SPECIFICATIONS, CONTRACTOR (BEFORE PROCEEDING) SHALL CONTACT THE ENGINEER FOR CLARIFICATION AND SHALL CONFORM AS PART OF THE CONTRACT.

19. IN THE EVENT THAT THESE PLANS LACK SUFFICIENT HORIZONTAL OR VERTICAL CONTROL, CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING. IF CONTRACTOR FAILS TO DO SO, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERROR IN CONSTRUCTION AND RECONSTRUCTION TO CORRECT SUCH ERROR.

20. PRIOR TO THE PLACEMENT OF FINISHED PAVEMENT, WALLS, CURBS, SWALES OR PIPES, CONTRACTOR SHALL VERIFY THAT THE GRADED PLANE AND FORMS OR FALSE-WORK ESTABLISH THE LINES AND GRADES SHOWN ON THIS PLAN.

21. CONFLICTS WITHIN THESE PLANS, AND/OR IRREGULARITIES IN THE HORIZONTAL LINE OR VERTICAL GRADE OF IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER IN WRITTEN FORM. IF CONTRACTOR FAILS TO DO SO, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERROR IN THE GRADE AND NECESSARY RECONSTRUCTION TO CORRECT SUCH ERROR.

22. CONTRACTOR SHALL OBTAIN A COPY OF THE PLANS AND CURRENT APPLICABLE STANDARDS AND SPECIFICATIONS AND KEEP THEM AT THE JOB SITE FOR REFERENCE AT ALL TIMES.

23. CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CONSTRUCTED CHANGES THAT DEVIATE FROM THESE PLANS AND SPECIFICATIONS. THIS RECORD, AT A MINIMUM, SHALL INCLUDE PLAN MARKUPS, WRITTEN DESCRIPTIONS, AND A COMPREHENSIVE PHOTOGRAPHIC RECORD. THIS RECORD WILL BE THE BASIS FOR PREPARATION OF RECORD DRAWINGS BY THE ENGINEER. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL DELIVER THIS RECORD TO THE ENGINEER ALONG WITH A LETTER WHICH STATES THAT OTHER THAN THESE NOTED CHANGES, THE PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

OBSERVATION AND TESTING

24. DURING THE COURSE OF WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS REQUIRED BY THE AGENCY. WORK NOT OBSERVED OR TESTED IS SUBJECT TO REJECTION.

25. CONTRACTOR SHALL PROVIDE THE GEOTECHNICAL ENGINEER THE NECESSARY NOTICE AND TIME TO MAKE OBSERVATIONS AND TESTS AS DEEMED NECESSARY BY THE GEOTECHNICAL ENGINEER AND/OR AGENCY AND IN ACCORDANCE WITH TABLE 1705.6 OF THE 2013 CBC. CONTRACTOR SHALL OBTAIN A CERTIFICATION FROM THE GEOTECHNICAL ENGINEER STATING THE EARTHWORK AND ANY OTHER WORK UNDER THE PURVIEW OF THE GEOTECHNICAL ENGINEER WAS COMPLETED IN CONFORMANCE WITH THE PLANS AND GEOTECHNICAL REPORT AND SHALL DELIVER A COPY OF SAID CERTIFICATION TO THE ENGINEER. THE ENGINEER SHALL REPORT SAID INFORMATION AS AVAILABLE IN ACCORDANCE WITH THE REPORTS REQUIRED FOR THE PROJECT.

26. THE ENGINEER MAY OBSERVE THE WORK SHOWN ON THESE PLANS AT ANY TIME HIS DISCRETION FOR PURPOSES OF COMPLETING THE RECORD REQUIRED ON THIS PLAN SET. CONTRACTOR SHALL MAKE THE SITE AVAILABLE FOR INSPECTION AT THE REQUEST OF THE ENGINEER.

27. THE AGENCY'S INSPECTOR, ACTING ON BEHALF OF THE AGENCY, MAY REQUEST REVISIONS TO THE PLANS TO SOLVE UNFORESEEN ISSUES OR CONDITIONS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE ENGINEER.

28. CONTRACTOR MAY REQUEST THAT HIGH DENSITY POLYETHYLENE (HDPE) STORM DRAIN PIPE BE USED IN PLACE OF OTHER STORM DRAIN PIPE MATERIAL SPECIFIED ON THIS PLAN. THIS SUBSTITUTION IS NOT ABSOLUTE AND WILL REQUIRE THE WRITTEN APPROVAL OF THE AGENCY AND THE ENGINEER. HDPE PIPES SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS. MONSOON SHALL BE RETAINED TO OBSERVE AND INSPECT THE INSTALLATION. FINAL INSPECTION SHALL INCLUDE A MANDREL TEST. REMEDIAL WORK REQUIRED TO PASS ALL INSPECTIONS SHALL BE AT THE SOLE EXPENSE OF CONTRACTOR.

29. HDPE LINER INSTALLER MUST PERFORM TESTING IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL SUBMIT TEST RESULTS TO ENGINEER FOR REVIEW AND APPROVAL.

CONSTRUCTION

30. ALL WORK PERFORMED WITHIN PUBLIC RIGHTS-OF-WAY, PUBLIC PROPERTY, AND/OR PUBLIC EASEMENTS SHALL CONFORM TO THE AGENCY'S STANDARDS AND SPECIFICATIONS.

31. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE HEALTH AND SAFETY LAWS, ORDINANCES, REGULATIONS, RULES, AND STANDARDS INCLUDING ALL REQUIREMENTS OF THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND OF CAL-OSHA.

32. CONSTRUCTION HOURS OF OPERATION ARE ESTABLISHED BY THE AGENCY. CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL APPLICABLE LAWS, PERMIT CONDITIONS AND AGENCY POLICIES.

33. WHEN SPECIAL WORK HOURS ARE ISSUED BY THE AGENCY, CONTRACTOR SHALL NOTIFY THE ENGINEER AND MAKE ARRANGEMENTS FOR OBSERVATION AND TESTING DURING THESE HOURS AS NECESSARY.

34. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE NECESSARY GRADE CONTROL AND TO HAVE SUCH STAKES OR MARKS REQUIRED FOR HORIZONTAL AND VERTICAL CONTROL FOR THE EXECUTION AND COMPLETION OF THE WORK.

35. CONTRACTOR SHALL PRESERVE ALL EXISTING SURVEY MONUMENTS, INCLUDING SURVEY CONTROL, PROPERTY CORNERS AND BENCHMARKS AND SHALL BEAR ALL EXPENSE ASSOCIATED WITH SAID PRESERVATION, OR REPLACEMENT AND/OR RELOCATION OF SAID MONUMENTS AND BENCHMARKS.

36. MONUMENTS AND BENCH MARKS SHALL BE SET BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER LICENSED TO SURVEY AT THE SOLE EXPENSE OF CONTRACTOR.

37. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR AND PEDESTRIAN TRAFFIC CONTROLS AND SAFETY. CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN SUCH FENCING, SIGNS, LIGHTS, TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND SAFETY.

38. CONTRACTOR SHALL MAKE PROVISIONS AND/OR ARRANGEMENTS TO ACCOMMODATE PEDESTRIAN ACCESS THROUGH OR AROUND THE WORK AREA OR SHALL, WITH AGENCY APPROVAL, PROVIDE APPROPRIATE ADVANCED WARNING TO PEDESTRIANS TO UTILIZE ALTERNATE ROUTES.

39. ANY NECESSARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL DEVICES SHALL BE PLACED PER THE APPROVED TRAFFIC CONTROL PLAN AND/OR TO THE SATISFACTION OF THE AGENCY PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ACTIVITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO REVISE AND/OR RELOCATE SIGNS AND ANY OTHER NECESSARY TRAFFIC CONTROL DEVICES AS NECESSARY TO MAINTAIN SAFE CONDITIONS ON AND OFF THE SITE.

40. ALL PAVED TRAVELED-WAY SURFACES SHALL BE RESTORED TO AN ALL-WEATHER, TRAVERSABLE CONDITION AT THE END OF EACH WORK DAY, UNLESS OTHERWISE AUTHORIZED BY THE AGENCY TO REMAIN CLOSED.

41. IT IS CONTRACTOR'S RESPONSIBILITY TO FURNISH OR OTHERWISE PROVIDE ALL MATERIALS REQUIRED TO COMPLETE THE WORK SHOWN ON THESE PLANS AS PART OF THE CONTRACT UNLESS OTHERWISE STATED. EDA, THE AGENCY, OR THE OWNER ARE NOT RESPONSIBLE FOR FURNISHING OR PROVIDING ANY MATERIAL OR SERVICE FOR CONSTRUCTION OR INSTALLATION UNLESS EXPLICITLY STATED ON THESE PLANS.

42. CONTRACTOR SHALL RAISE OR LOWER THE SURFACE FEATURES OF ALL EXISTING UNDERGROUND FACILITIES THAT REMAIN TO MATCH THE ADJACENT FINISHED GRADE REGARDLESS OF WHETHER EVERY INSTANCE OF SUCH WORK IS EXPLICITLY IDENTIFIED ON THE PLANS. CONTRACTOR SHALL IDENTIFY ALL LOCATIONS WHERE EXISTING FEATURES MAY NEED TO BE ADJUSTED TO GRADE PRIOR TO THE START OF CONSTRUCTION.

43. CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN SUCH SHEETING, SHORING, BRACING, AND/OR OTHER PROTECTION AS IS NECESSARY TO PREVENT FAILURE OF TEMPORARY EXCAVATIONS AND EMBANKMENTS AND TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS, AND PARTIALLY COMPLETED PORTIONS OF THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SUFFICIENCY OF SUCH SUPPORTS AND/OR OTHER PROTECTION.

44. PRIOR TO ORDERING MATERIALS, CONTRACTOR SHALL POT-HOLE TO VERIFY THE LOCATION, ELEVATION, SIZE, CONDITION AND MATERIAL OF ALL EXISTING UTILITY POINTS OF CONNECTION AND CROSSINGS. CONTRACTOR SHALL CONFIRM THAT THE MATERIALS TO BE ORDERED ARE ADEQUATE TO PERFORM THE REQUIRED WORK BASED ON THE PHYSICAL INSPECTION OF THE EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO CONTINUING WORK.

45. CONTRACTOR SHALL MAINTAIN THE SITE TO CONTROL AND PRECLUDE EROSION AND SEDIMENTATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

46. CONTRACTOR SHALL PLACE EROSION CONTROL DEVICES AS SPECIFIED BY THE ENGINEER OR THE AGENCY AND MAINTAIN THEM UNTIL SUCH TIME AS THE PROJECT IS ACCEPTED AS COMPLETE BY THE AGENCY. THESE DEVICES SHALL BE IN PLACE OR READY TO BE PLACED DURING THE RAINY SEASON AS DEFINED BY THE AGENCY. IN THE EVENT THAT THE DEVICES ARE NOT PERMANENTLY IN PLACE, CONTRACTOR SHALL PLACE OR OTHERWISE INSTALL THE DEVICES WHEN THE FORECAST FOR RAIN EXCEEDS THIRTY PERCENT (30%).

47. AN EMERGENCY CREW SHALL BE AVAILABLE 24 HOURS PER DAY TO PLACE AND MAINTAIN THE EROSION CONTROL DEVICES AND ENSURE THEIR PROPER FUNCTION. THE PERSON RESPONSIBLE FOR MAINTAINING EROSION CONTROL PROTECTION IS NAMED BELOW:

NAME: TAVO COSTA
PHONE: (805) 344-2390

48. ALL PROJECTS INVOLVING SITE DISTURBANCE OF ONE ACRE OR GREATER SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES). THE OWNER HAS APPLIED FOR THE RESOURCE CONSERVATION DISTRICT'S ALTERNATIVE REVIEW PROGRAM (ARP).

49. CONTRACTOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMP) AS IDENTIFIED BY NPDES, THE RWQCB, AND THE AGENCY.

50. CONTRACTOR SHALL ROUTINELY MONITOR THE PUBLIC ROADWAY ADJACENT TO THE SITE. MUD, SILT, SAND, GRAVEL OR ANY KIND OF DIRT DEPOSITED ON THE STREET SHALL BE REMOVED BY CONTRACTOR.

51. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST TO ENSURE COMPLIANCE WITH AGENCY REQUIREMENTS FOR TREE REMOVAL AND PROTECTION.

52. NOT USED.

53. STATED DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM THIS PLAN. ALL DISTANCES SHOWN HEREON ARE MEASURED IN THE HORIZONTAL PLANE UNLESS OTHERWISE STATED.

DEMOLITION

54. ALL MATERIAL TO BE DEMOLISHED SHALL BE LEGALLY DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS.

55. CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOIL, MATERIAL, ASPHALT, CONCRETE, RUBBISH AND DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES FROM THE JOB SITE AND DISPOSE OF IT IN ACCORDANCE WITH APPLICABLE REGULATIONS AND PERMITS.

56. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE AGENCY AT LEAST TEN DAYS PRIOR TO SCHEDULED DEMOLITION.

57. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT THE SITE AND VERIFY THAT THE DEMOLITION PLAN ADEQUATELY DESCRIBES THE WORK REQUIRED TO COMPLETE THE DEMOLITION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, AND IN WRITING, OF ANY DISCREPANCY BETWEEN THE WORK REQUIRED IN THE FIELD AND THAT SHOWN HEREON.

58. CONTRACTOR SHALL REMOVE ALL EXISTING IMPROVEMENTS INCLUDING UNDERGROUND UTILITIES WITHIN LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.

59. ALL LENGTHS OF PIPES SHOWN TO BE REMOVED ARE NOMINAL. THE EXTENT OF DEMOLITION OF DESIGNATED PIPES SHALL BE STRUCTURE TO STRUCTURE AND SHALL BE SUFFICIENT TO COMPLETE THE INTENT OF THE WORK SHOWN ON THIS PLAN.

60. TREE REMOVAL INCLUDES REMOVAL AND DISPOSAL OF THE STUMP, AS WELL AS THE REPLACEMENT AND RE-COMPACTON OF THE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR THE GEOTECHNICAL REPORT.

GRADING

61. GRADING OPERATIONS SHALL BE CONDUCTED IN CONFORMANCE WITH THE GEOTECHNICAL REPORT AND FIELD DIRECTION FROM THE GEOTECHNICAL ENGINEER AS WELL AS ALL PERTINENT GOVERNMENT REGULATIONS INCLUDING BUT NOT LIMITED TO THE AGENCY'S MUNICIPAL CODE, THIS PLAN, AND THE CBC.

62. EARTHWORK QUANTITIES AS SHOWN HEREON HAVE BEEN ESTIMATED FOR PERMIT AND/OR BONDING PURPOSES ONLY.
SITE #1:
CUT = 46,394 CUBIC YARDS (WITH 9% SHRINK FACTOR)
FILL = 37,170 CUBIC YARDS

AREA OF DISTURBANCE : 5.66 ACRES
SITE #2:
CUT = 59,142 CUBIC YARDS (WITH 9% SHRINK FACTOR)
FILL = 47,391 CUBIC YARDS

AREA OF DISTURBANCE : 5.97ACRES
63. CONTRACTOR SHALL CALCULATE THE EARTHWORK QUANTITIES TO THEIR SATISFACTION PRIOR TO THE START OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, ALLOWANCE FOR SHRINKAGE, TRENCH SPOLS, STRIPPING, PRE-COMPACTON AND CONSOLIDATION. NO ADDITIONAL COMPENSATION WILL BE MADE FOR EXPORT OR IMPORT REQUIRED THAT HAS NOT BEEN IDENTIFIED IN CONTRACTOR'S BID CONTRACT DOCUMENTS.

64. THESE PLANS DO NOT AUTHORIZE SITE DISTURBANCE BEYOND THE LIMITS OF GRADING OR IMPROVEMENTS SHOWN HEREON. CONTRACTOR SHALL OBTAIN PERMISSION TO ENTER UPON ADJOINING PROPERTY TO CONSTRUCT IMPROVEMENTS OR TO GRADE ELSEWHERE PRIOR TO COMMENCING WORK. THESE PLANS, THE AGENCY AND THE ENGINEER DO NOT AUTHORIZE ENTRY TO ANY PROPERTY NOT UNDER THE CONTROL/OWNERSHIP OF THE OWNER.

65. NO GRADING SHALL OCCUR WITHIN TWO (2) FEET OF THE PROPERTY LINES UNLESS NOTED OTHERWISE ON THESE PLANS. CONTRACTOR'S MEANS AND METHODS SHALL ACCOMMODATE THIS REQUIREMENT.

66. ALL CUT AND FILL SLOPES SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT, BUILDING CODE, AND AGENCY REQUIREMENTS.

67. ALL CUT AND FILL SLOPES SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT, BUILDING CODE, AND AGENCY REQUIREMENTS. SLOPES OF ALL CUT AND FILL SURFACES TO NOT EXCEED (2:1) 2 HORIZONTAL TO 1 VERTICAL.

68. DESIGN GRADES DO NOT AUTHORIZE GRADING TO EXCEED THE MAXIMUM SLOPES SHOWN ON THIS PLAN, OR RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT, BUILDING CODE, OR AGENCY REQUIREMENTS. IN THE EVENT THAT SPOT ELEVATIONS SHOWN ON THIS PLAN RESULT IN SLOPES GREATER THAN ALLOWED IN THE ABOVE REFERENCED DOCUMENTS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING.

69. GRADE STAKES (PLACED BY THE SURVEYOR) DO NOT AUTHORIZE GRADING TO EXCEED THE MAXIMUM SLOPES RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT, BUILDING CODE, OR AGENCY REQUIREMENTS. IN THE EVENT THAT GRADE STAKES (PLACED BY THE SURVEYOR) PROVIDED FOR CONSTRUCTION REPRESENT SLOPES GREATER THAN ALLOWED IN THE ABOVE REFERENCED "PROJECT RELATED DOCUMENTS", OR SHOWN ON THIS PLAN, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING.

70. ALL FILL SOILS SHALL BE COMPACTED TO MINIMUM RELATIVE DENSITY OF 90% (ASTM D1557-07). SOILS TESTS AND COMPACTION TESTS SHALL BE DONE IN ACCORDANCE WITH AGENCY STANDARDS AND SPECIFICATIONS AND AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER OR AS INDICATED ON THIS PLAN.

71. PLACEMENT OF MATERIAL TO BE USED AS BACKFILL OR EMBANKMENT SHALL BE FREE OF OBJECTIONABLE MATERIAL SUCH AS TREES, STUMPS, ROOTS, LOGS OR OTHERWISE DELETERIOUS MATERIAL. THE ENGINEER OR THE GEOTECHNICAL ENGINEER MAY BE REQUIRED TO CERTIFY THE MATERIAL WHICH CONTRACTOR INTENDS TO USE.

72. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL BRUSH, VEGETATION, NONCOMPACTING FILL, UNSTABLE SOIL AND OTHER OBJECTIONABLE DEBRIS, INCLUDING EXISTING ASPHALT PAVEMENT, AND PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRIOR TO PLACING OF FILL MATERIAL. IN THE EVENT THAT THE GEOTECHNICAL ENGINEERING REPORT LACKS SUFFICIENT INFORMATION, THE CONTRACTOR SHALL APPLY TO THE GEOTECHNICAL ENGINEER FOR CLARIFICATION IN WRITING. CONTRACTOR SHALL NOT PROCEED UNTIL PROPER SPECIFICATIONS HAVE BEEN PROVIDED BY THE GEOTECHNICAL ENGINEER. AREAS TO RECEIVE FILL SHALL HAVE THE EXISTING SOIL SCARIFIED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT.

73. ALL UNSUITABLE SOIL, MATERIAL, ASPHALT, CONCRETE, RUBBISH AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE, TRANSPORTED TO A SUITABLE LOCATION AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.

74. FILL SLOPES SHOULD BE KEVED AND BENCHED INTO FIRM NATURAL GRADE WHEN THE EXISTING SLOPE TO RECEIVE FILL IS 10:1, HORIZONTAL TO VERTICAL, OR STEEPER. THE KEYS SHOULD BE TILTED INTO THE SLOPE, SHOULD BE A MINIMUM OF ONE EQUIPMENT WIDTH WIDE, AND SHOULD EXTEND A MINIMUM OF THREE (3) FEET DEEP AT THE OUTSIDE EDGE. CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERS REPORT FOR DETAILS.

UTILITY

75. ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. IT IS CONTRACTOR'S RESPONSIBILITY TO MAKE THE PROPER NOTIFICATIONS.

76. UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE AGENCY AND/OR UTILITY COMPANY AT THE SOLE EXPENSE OF CONTRACTOR.

77. AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES BASED ON AVAILABLE RECORDS, HOWEVER THE LOCATION WHERE SHOWN IS APPROXIMATE. ALL EXISTING UTILITIES AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND RELATED FACILITIES PRIOR TO COMMENCING CONSTRUCTION AND FOR PROTECTING SAME DURING THE COURSE OF CONSTRUCTION.

78. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL POT-HOLE TO CONFIRM THE LOCATION, ELEVATION, SIZE, CONDITION AND MATERIAL OF ALL EXISTING UTILITY POINTS OF CONNECTION AND CROSSINGS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PERTAINING TO MATERIALS, ELEVATIONS, LOCATIONS, AND ETC. PRIOR TO CONTINUING WORK.

80. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WIRE AND GAS UTILITY TRENCHING AND CONDUIT PLACEMENT IN ACCORDANCE WITH HANDOUT PACKAGES PROVIDED BY THE RESPECTIVE UTILITY PROVIDERS. LOCATION OF WIRE AND GAS UTILITIES SHOWN ON THESE PLANS ARE SHOWN FOR REFERENCE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

81. CONTRACTOR TO USE THE AGENCY'S CURRENT STANDARD PLANS AND SPECIFICATIONS FOR WATER, SEWER, AND STORM DRAIN FACILITIES. UNLESS OTHERWISE NOTED.

82. CONTRACTOR SHALL COORDINATE ANY WATER MAIN SHUT-DOWN WITH THE AGENCY AND/OR WATER PURVEYOR AND PROVIDE APPROPRIATE NOTIFICATION TO ALL PROPERTIES WITHIN AFFECTED AREA.

83. CONTRACTOR SHALL NOT INTERRUPT UTILITY SERVICE TO ANY OCCUPIED FACILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICE ACCORDING TO REQUIREMENTS INDICATED:

- NOTIFY OWNER AND/OR ADJACENT PROPERTY OWNER NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF SERVICE.
- DO NOT PROCEED WITH INTERRUPTION OF SERVICE WITHOUT OWNER'S WRITTEN PERMISSION.
- OBTAIN ALL PERMITS AND PROVIDE PROPER NOTIFICATION AS REQUIRED BY THE AGENCY.

DUST CONTROL

84. CONTRACTOR SHALL PROVIDE DUST CONTROL DURING ALL PHASES OF THE WORK IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

85. DUST CONTROL MEASURES CAPABLE OF PREVENTING THE MIGRATION OF DIRT AND DUST OFF-SITE, IN A MANNER ACCEPTABLE TO THE AGENCY SHALL BE IMPLEMENTED AND MAINTAINED DURING ALL CONSTRUCTION, EARTH MOVING, AND GRADING PHASES OF THE PROJECT. FAILURE TO DO SO WILL RESULT IN THE ISSUANCE OF A "STOP WORK" ORDER WHICH WILL NOT BE RELEASED UNTIL SUCH TIME AS AN ADEQUATE PROGRAM IS IMPLEMENTED.

86. CONTRACTOR OR BUILDER SHALL DESIGNATE A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY TO PREVENT THE TRANSPORT OF DUST OFF-SITE. THIS PERSON'S DUTY SHALL INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSON OR PERSONS SHALL BE PROVIDED TO THE AGENCY.

87. ANY TEMPORARY STOCKPILES OF EARTH OR DEBRIS SHALL BE APPROVED BY THE AGENCY AND SHALL NOT OBSTRUCT DRAINAGE OR CREATE BLOWING DUST.

88. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION FROM THE AIR POLLUTION CONTROL DISTRICT (APCD). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO OBTAIN AND MAINTAIN REQUIRED PERMITS INCLUDING MONITORING, REPORTS AND LOGS WHICH MAY BE REQUIRED. CONTRACTOR SHALL USE APPROPRIATE EQUIPMENT AS REQUIRED BY THE APCD AND PROVIDE TRAINING TO ALL WORKERS IN THE CONSTRUCTION AREA. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL MONITORING, RECORDING AND REPORTING TO THE APPROPRIATE AGENCIES IN THE EVENT OF CONTAMINATION. APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) MUST BE PROVIDED AND USED.

SHEET INDEX

C1.0 TITLE SHEET / GENERAL NOTES

C1.1 SITE PLAN

C2.0 GRADING AND DRAINAGE PLAN SITE #1

C2.1 GRADING AND DRAINAGE PLAN SITE #2

C2.2 GRADING DETAILS

C2.3 GRADING DETAILS

C2.4 HDPE LINER SPECIFICATIONS

C2.5 CALTRANS SPECIFICATIONS

C2.6 STAKING TABLE SITE #1

C2.7 STAKING TABLE SITE #2

C3.0 EROSION CONTROL PLAN SITE #1

C3.1 EROSION CONTROL PLAN SITE #2

C3.2 EROSION CONTROL DETAILS

C3.3 EROSION CONTROL DETAILS

SURVEY INFORMATION

BENCHMARK:

ASSUMED DATUM ELEV = NAVD 88 = 13.81 FEET

SITE WAS TIED TO USCG Z-154.

BASIS OF BEARING: NAD 83 CALIFORNIA ZONE 5 ROTATION

PROPERTY INFORMATION

IRRIGATION RESERVOIR NO. 1 IS LOCATED WITHIN THE:

SOUTHEAST } OF THE SOUTHEAST } OF SOUTHWEST } OF SECTION 8, TOWNSHIP 25 S., RANGE 12 E., M.D.M
APN XXXXX

IRRIGATION RESERVOIR NO. 2 IS LOCATED WITHIN THE:

NORTHEAST } OF NORTHEAST } OF SOUTHEAST } OF SECTION 7, TOWNSHIP 25 S., RANGE 12 E., M.D.M
APN XXXXX

REPORTS REQUIRED

1. FINAL REPORTS SHALL BE REQUIRED IN ACCORDANCE WITH TITLE 19 FOR ENGINEERED GRADING. THE ENGINEER OF RECORD SHALL PROVIDE A FINAL REPORT. THE REPORT SHALL STATE THE WORK PERFORMED IS IN SUBSTANTIAL CONFORMANCE TO THE PLANS.

2. BI-MONTHLY REPORTS ARE REQUIRED BY THE ENGINEER OF WORK TO MONITOR THE JOB PROGRESS INCLUDING STATUS OF EROSION AND SEDIMENTATION AS DETERMINED BY THE ENGINEER AT THE PRE-CONSTRUCTION MEETING

CONSULTANTS / CONTACT LIST

GEOTECHNICAL ENGINEER: BEACON GEOTECHNICAL, INC (805) 237-9098
COUNTY GRADING INSPECTOR: CHARLEY MALONEY (805) 461-6200
CIVIL ENGINEER: MONSOON CONSULTANTS (805) 476-6180

SCOPE OF WORK

THE SCOPE OF THE PROPOSED PROJECT IS TO CONSTRUCT TWO (2) IRRIGATION RESERVOIRS IN ACCORDANCE WITH THESE PLANS AND AGENCY STANDARDS INCLUDING CONSTRUCTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. RESERVOIR NO. 1 HAS A VOLUME OF 49.8 AC-FT AND RESERVOIR NO. 2 HAS A VOLUME OF 44.2 ACRE FEET. EACH OF THE RESERVOIRS IS TO BE LINED WITH A 60-MIL HDPE LINER. ACCESS TO THE SITE WILL BE ALONG EXISTING AGRICULTURAL DIRT ROADS WITHIN THE SUBJECT PROPERTY.

PRE-CONSTRUCTION MEETING

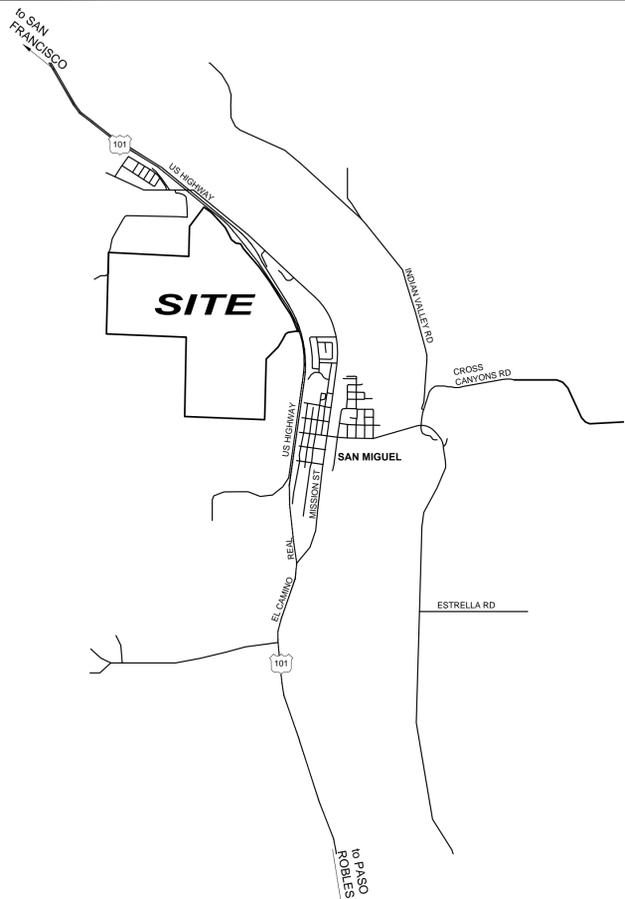
REVISIONS	Number	Date	Description

Project Number:	027-011-016, -034, -035, -036
Project Location:	Mission St & US Hwy 101 San Miguel CA 93451 APNs: 027-061-014, -021, 027-011-016, -034, -035, -036

Client Title:	SITE PLAN
Developer:	IRRIATION RESERVOIR VINO FARMS - SAN MIGUEL SWG-PASO VINEYARDS, LLC 1337 E. LODI AVE LODI, CA 95240



Date:	5/21/2015
Scale:	As Shown
Drawn by:	T. Robinson
Checked by:	B. Reely
Sheet:	C 1.1



VICINITY MAP

SCALE: N.T.S

NCRS PRACTICES CONSIDERED

- | | |
|--------------------|---|
| #378 | - POND |
| #342A & 342B | - CRITICAL AREA PLANTING |
| #382 | - FENCE |
| #402 | - DAM |
| #436 | - IRRIGATION RESERVOIR |
| #521A | - POND SEALING OR LINING |
| #570 | - STORM WATER CONTROL |
| TR-60 | - TECHNICAL RELEASE 60
(EARTH DAMS & RESERVOIRS) |

OBSERVATION AND TESTING PROGRAM

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	---	X
2. Verify excavations are extended to proper depth and have reached proper material	---	X
3. Perform classification and testing of compacted fill materials	---	X
4. Verify use of proper materials, densities and lift thickness during placement and compaction of compacted fill.	X	--
5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	---	X

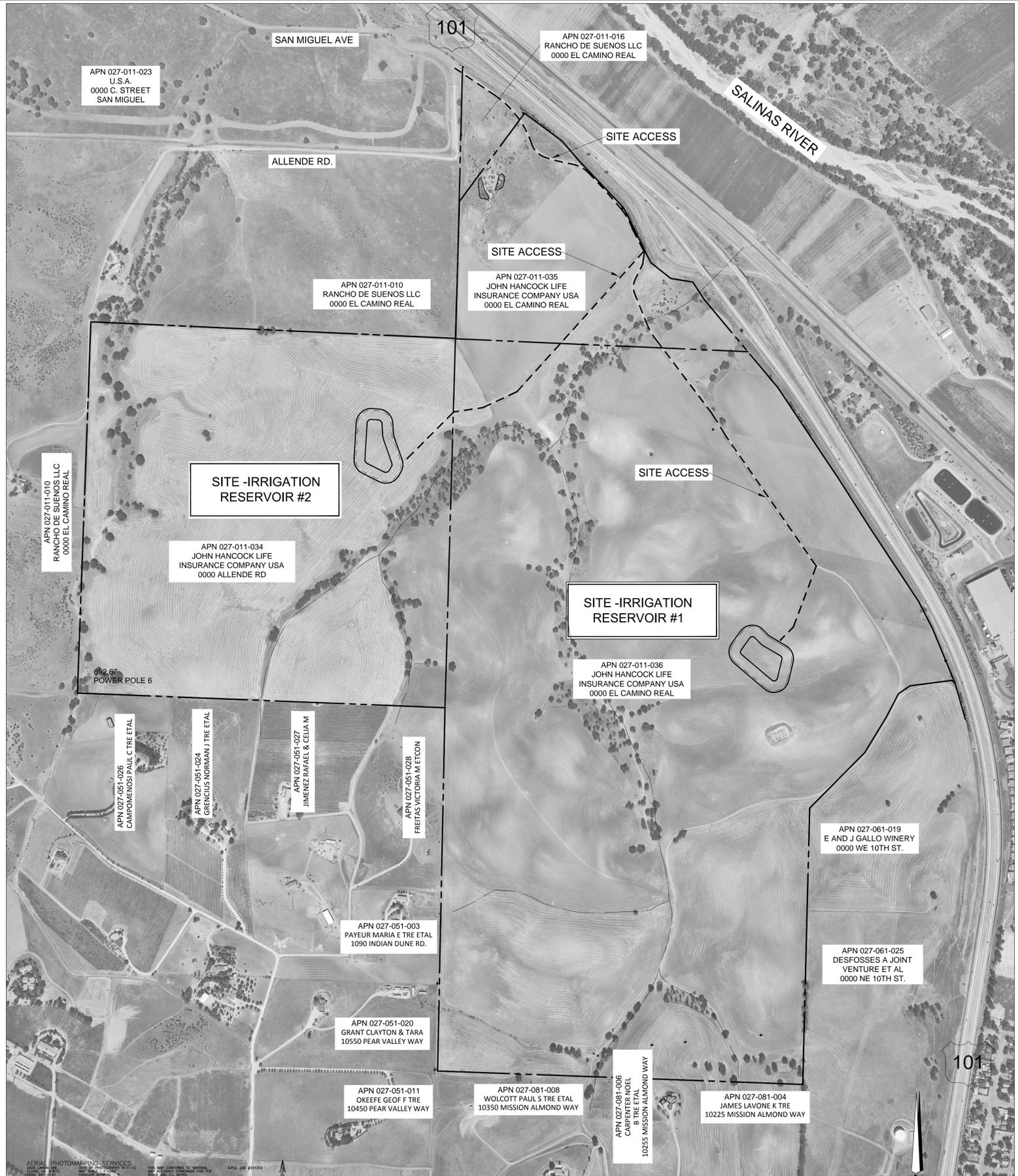
NOTE: PERMANENT PROTECTIVE FENCING AROUND POND BY OWNER.

IRRIGATION RESERVOIR #1

3:1 INSIDE SLOPE
 BASIN VOL: 49.8 AC-FT
 DEPTH: 23.8 FT max
 BOT. EL.: 743.2
 TOP OF BANK: 770.8
 WS EL.: 767.0
 CUT: 46394 CU. YD.
 FILL: 37170 CU. YD.
 SHRINK: 9223 CU. YD.

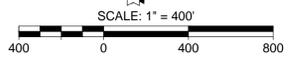
IRRIGATION RESERVOIR #2

3:1 INSIDE SLOPE
 BASIN VOL: 44.2 AC-FT
 DEPTH: 23.8 FT max
 BOT. EL.: 694.5
 TOP OF BANK: 720.5
 WS EL.: 716.3
 CUT: 59142 CU. YD.
 FILL: 47391 CU. YD.
 SHRINK: 11751 CU. YD.

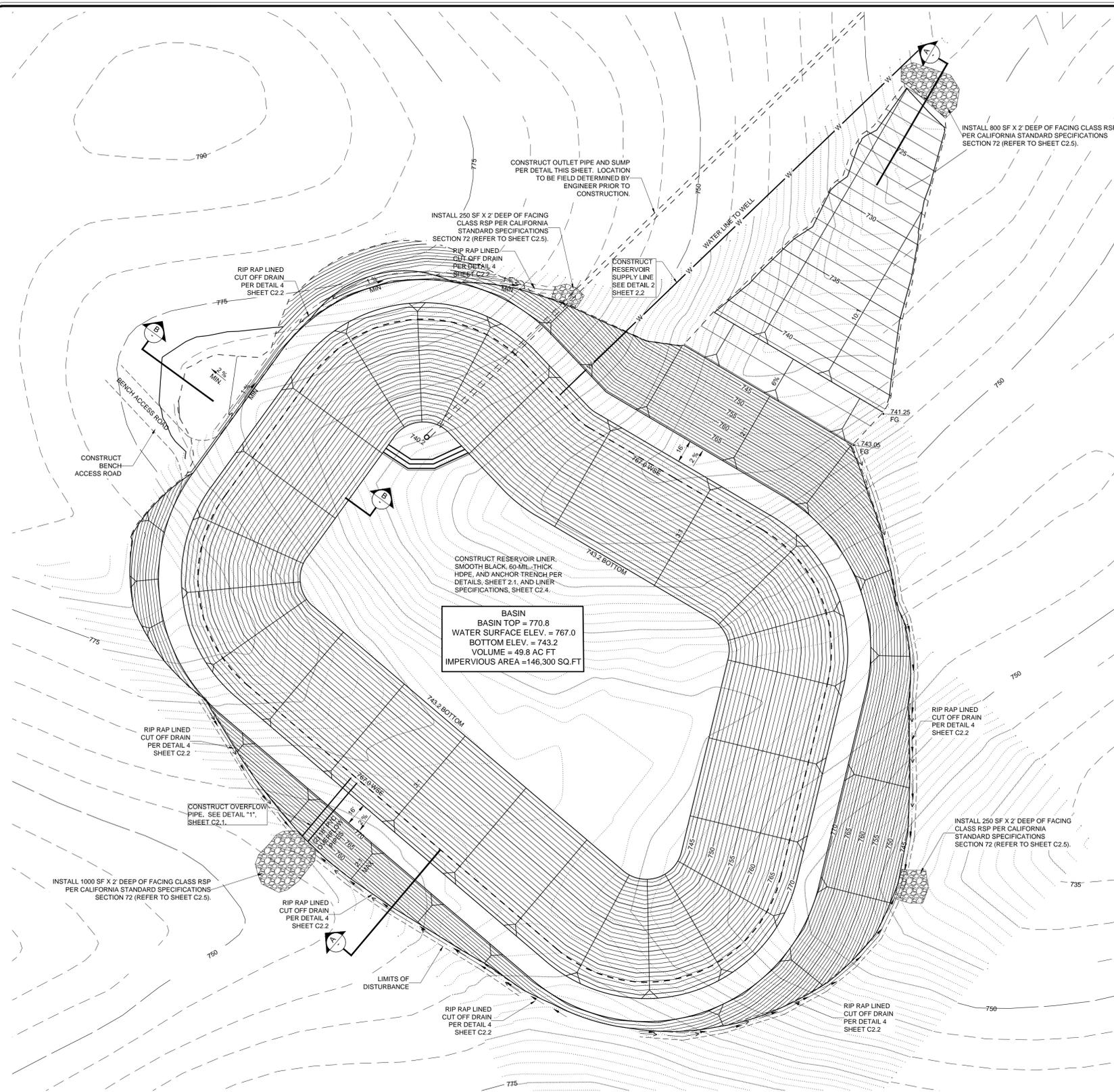


SITE PLAN

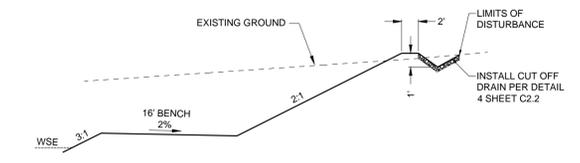
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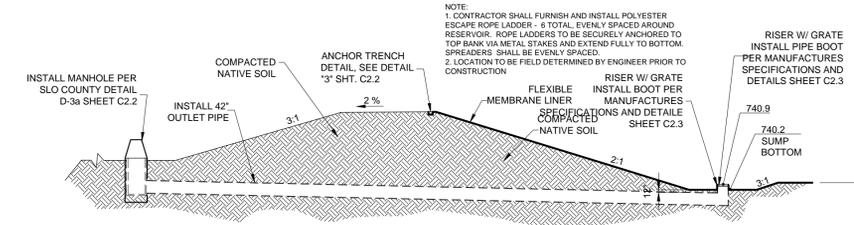
AERIAL PHOTOMAPPING SERVICES
 2100 W. 10TH ST. SUITE 100
 SAN MIGUEL, CA 93451
 520-560-5657
 DATE OF PHOTOGRAPH: 5-17-15
 DATE OF PROCESSING: 5-21-15
 THIS MAP ACCORDS TO SECTION 1705.6 OF THE CALIFORNIA CIVIL CODE AND THE STATE OF CALIFORNIA PROFESSIONAL ENGINEERING ACT.
 APN: 027-011-016



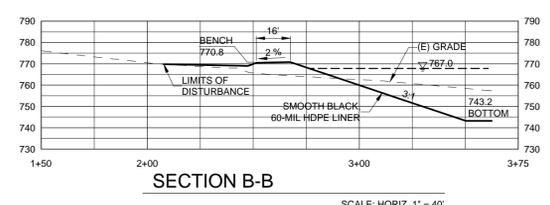
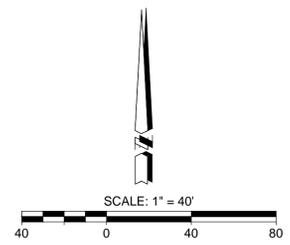
BASIN
 BASIN TOP = 770.8
 WATER SURFACE ELEV. = 767.0
 BOTTOM ELEV. = 743.2
 VOLUME = 49.8 AC FT
 IMPERVIOUS AREA = 146,300 SQ.FT



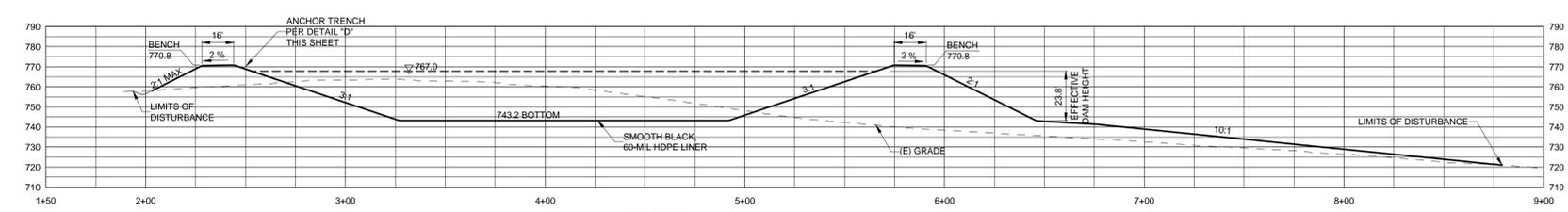
CUT OFF DRAIN DETAIL
 SCALE: N.T.S.



OUTLET PIPE DETAIL
 SCALE: N.T.S.



SECTION B-B
 SCALE: HORIZ. 1" = 40'
 VERT. 1" = 40'



SECTION A-A
 SCALE: HORIZ. 1" = 40'
 VERT. 1" = 40'



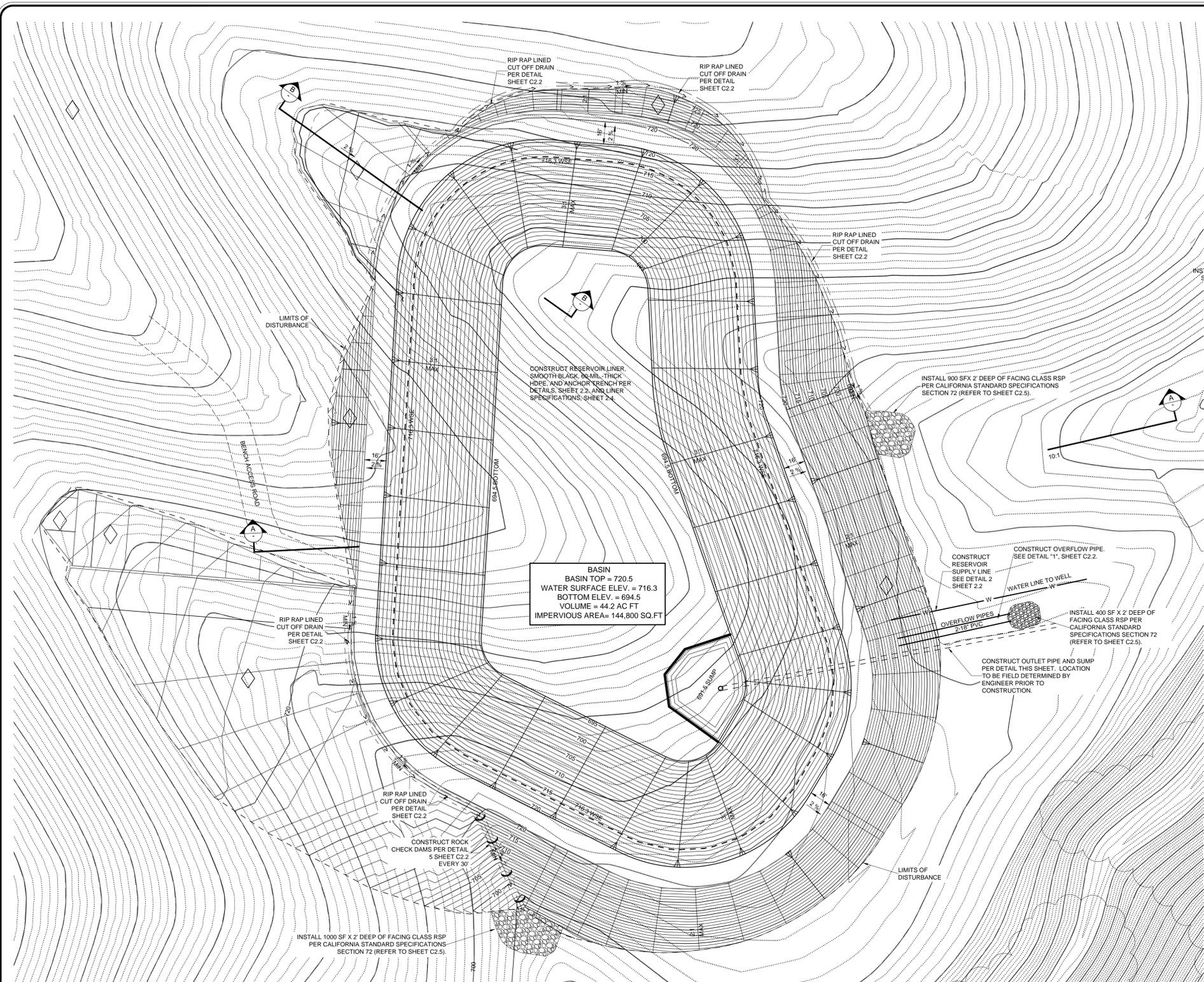
REVISIONS	Date	Description

Project Number: **GRADING & DRAINAGE PLAN SITE #1**
 Irrigation Reservoir
 VINO FARMS - SAN MIGUEL
 SWG-PASO VINEYARDS, LLC
 1337 E. LODI AVE
 LODI, CA 95240

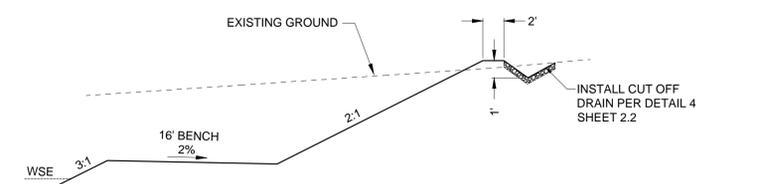
Project Location: Mission St & US Hwy 101
 San Miguel CA 93451
 APNs: 027-061-014, -021,
 027-011-016, -034, -035, -036



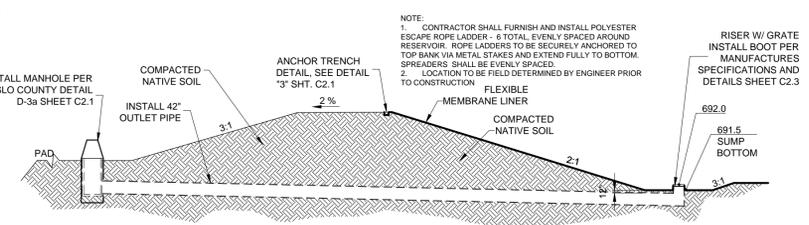
Date: 5/21/2015
 Scale: As Shown
 Drawn by: T. Robinson
 Checked by: B. Reely
 Sheet: **C.2.0**



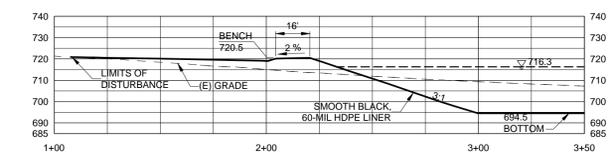
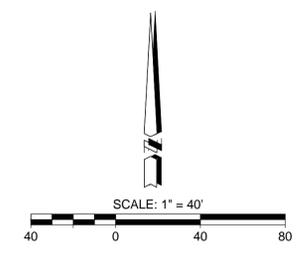
BASIN
 BASIN TOP = 720.5
 WATER SURFACE ELEV. = 716.3
 BOTTOM ELEV. = 694.5
 VOLUME = 44.2 AC FT
 IMPERVIOUS AREA = 144,800 SQ. FT



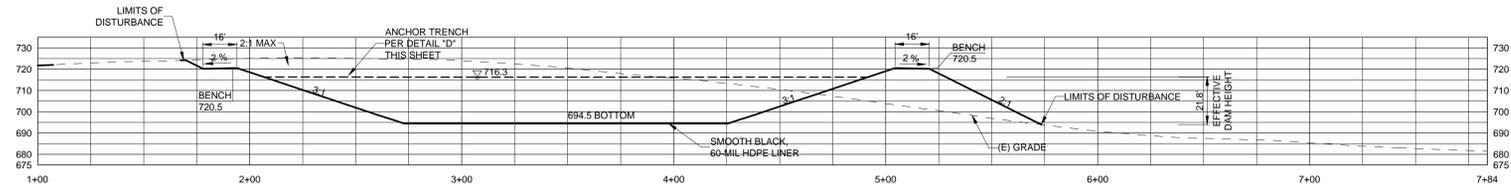
CUT OFF DRAIN DETAIL
 SCALE: N.T.S.



OUTLET PIPE DETAIL
 SCALE: N.T.S.



SECTION B-B
 SCALE: HORIZ. 1" = 40'
 VERT. 1" = 40'



SECTION A-A
 SCALE: HORIZ. 1" = 40'
 VERT. 1" = 40'



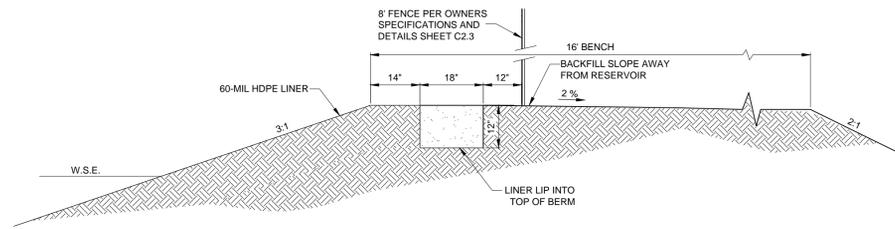
REVISIONS	Number	Date	Description

Project Number: **GRADING & DRAINAGE PLAN SITE #2**
 Project Location: **IRRIGATION RESERVOIR VINO FARMS - SAN MIGUEL**
 Mission St & US Hwy 101
 San Miguel CA 93451
 APNs: 027-061-014, -021, 027-011-016, -034, -035, -036

Developer: **SWG-PASO VINEYARDS, LLC**
 1337 E. LODI AVE
 LODI, CA 95240



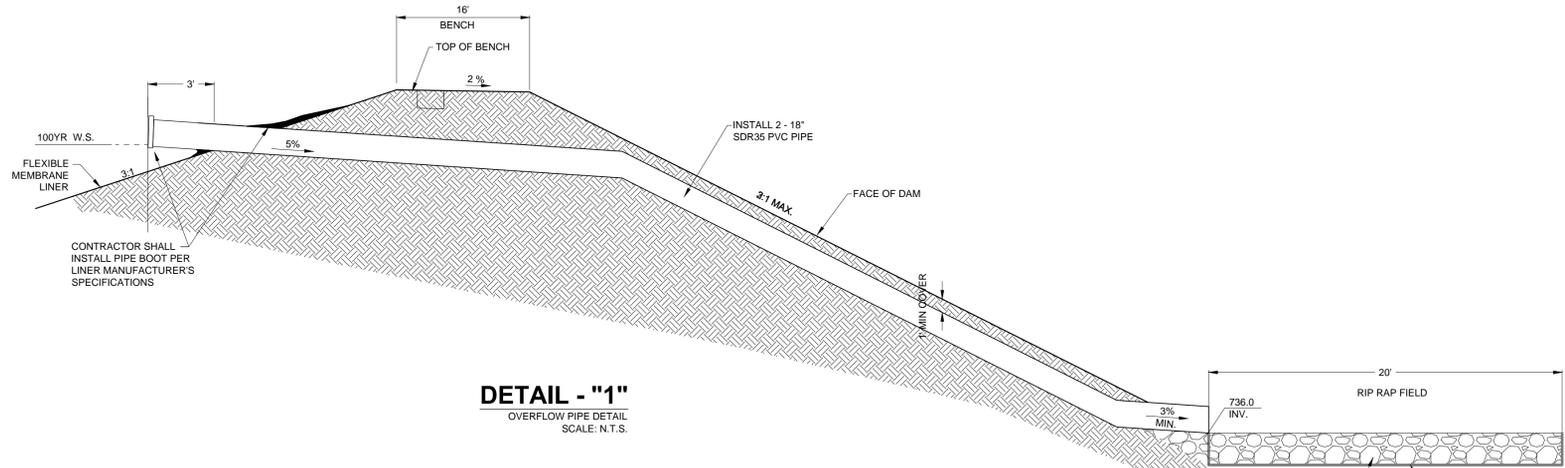
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 Drawn by: T. Robinson
 Checked by: B. Reely
 Sheet: **C 2.1**



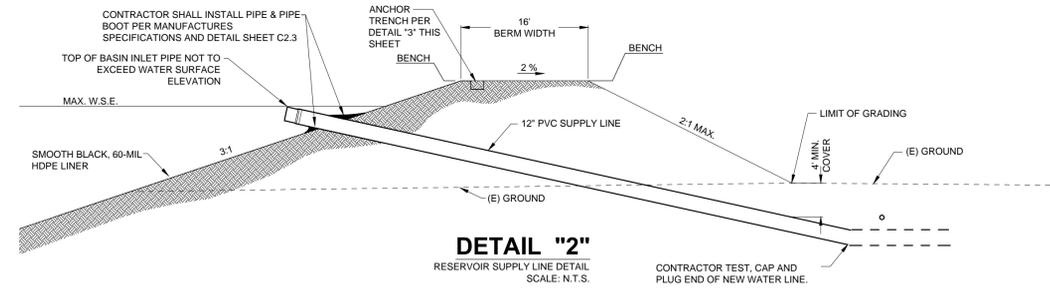
DETAIL "3"
ANCHOR TRENCH DETAIL
SCALE: N.T.S.

FLEXIBLE MEMBRANE LINER NOTES:

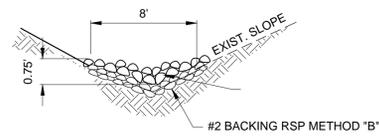
1. INSTALL ACCU GEO LINER (60-MIL HDPE) OR EQUAL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ANCHOR TRENCH MIN. WIDTH/DEPTH = 18"/12".
3. AFTER LINER PLACEMENT, THE ANCHOR TRENCH WILL BE BACKFILLED COMPLETELY WITH DECOMPOSED GRANITE AND COMPACTED TO 95% STD. PROCTOR DENSITY.
4. REFER TO SHEET C2.4 FOR LINER SPECIFICATIONS



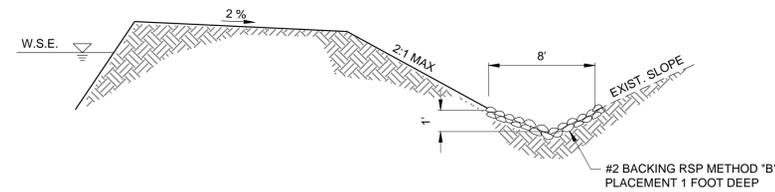
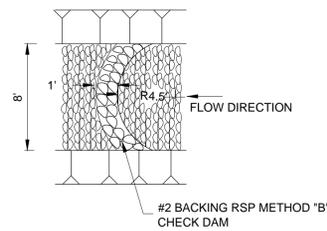
DETAIL - "1"
OVERFLOW PIPE DETAIL
SCALE: N.T.S.



DETAIL "2"
RESERVOIR SUPPLY LINE DETAIL
SCALE: N.T.S.



DETAIL "5"
TYPICAL CHECK DAM DETAIL
SCALE: N.T.S.



DETAIL "4"
TYPICAL LINED SWALE DETAIL
SCALE: N.T.S.



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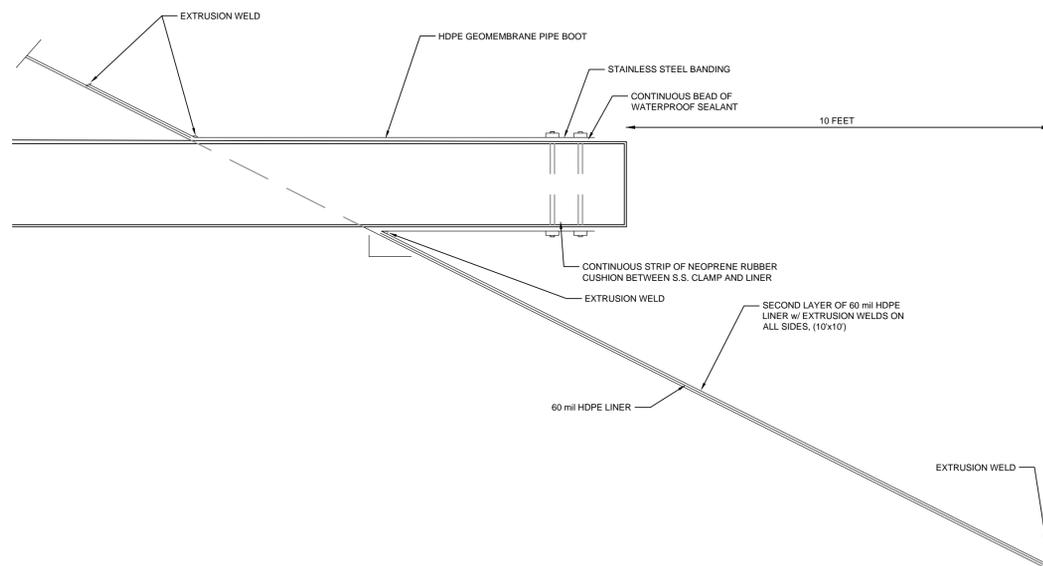
REVISIONS	Number	Date	Description

Project Number:
Project Location: Mission St & US Hwy 101
San Miguel CA 93451
APNs: 027-061-014, -021,
027-011-016, -034, -035, -036

Sheet Title: **GRADING DETAILS**
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL
Developer: SWG-PASO VINEYARDS, LLC
1337 E. LODI AVE
LODI, CA 95240

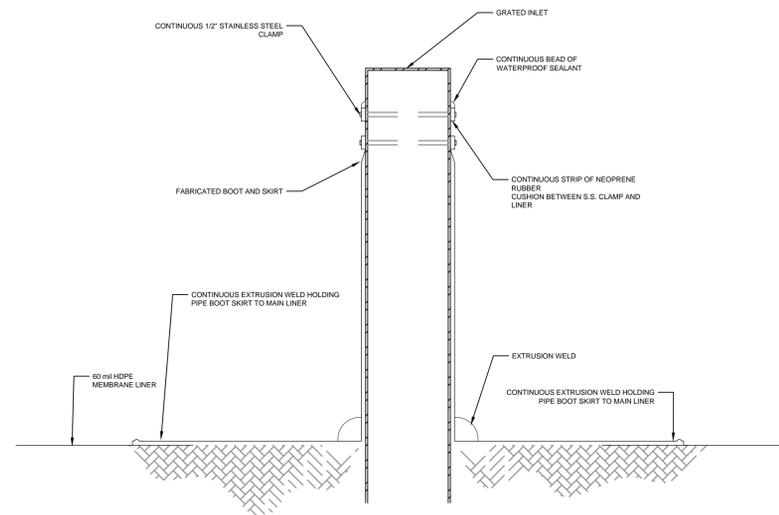


Date: 5/21/2015
Scale: As Shown
Drawn by: T. Robinson
Checked by: B. Reely
Sheet: **C.2.2**

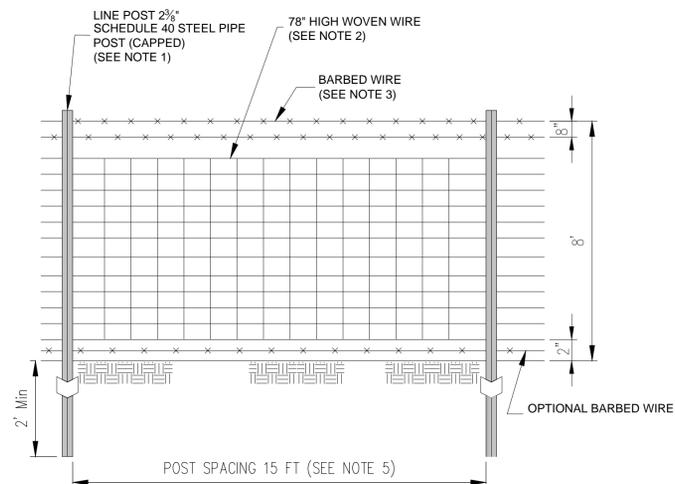


TYPICAL VERTICAL PIPE BOOT DETAIL

SCALE = N.T.S.



TYPICAL VERTICAL PIPE BOOT DETAIL



NOTES:

- IF STANDARD STEEL "T" POSTS (1.33 LBS/FT WITH THE PLATE) ARE USED AS LINE POSTS, INSTALL 2 1/2" SCHEDULE 40 STEEL PIPE POST (CAPPED) OR 6 INCH DIAMETER WOOD POST AT LEAST EVERY 150 FEET APART.
- FOR WOVEN WIRE, TOP AND BOTTOM STRANDS SHALL BE 12 1/2 GAUGE OR HEAVIER; INTERMEDIATE STRANDS SHALL BE 14 1/2 GAUGE OR HEAVIER.
- FOR BARBED WIRE, EACH LINE WIRE SHALL CONSIST OF 2 TWISTED STRANDS OF 12 1/2 GAUGE WIRE OR HI-TENSILE STRENGTH WIRE OF 15 1/2 GAUGE. THE BARBS SHALL BE EITHER 2-POINT BARBS ON APPROXIMATE 4 INCH CENTERS OR 4-POINT BARBS ON APPROXIMATE 5 INCH CENTERS.
- ALL WIRE SHALL HAVE CLASS III GALVANIZATION.
- STANDARD WOVEN WIRE FENCES MAY HAVE LINE POSTS SPACED UP TO 15 FEET APART. HI-TENSILE WOVEN WIRE FENCE MAY HAVE LINE POSTS SPACED UP TO 20 FEET APART. CLOSER SPACING IS REQUIRED WHERE NEEDED FOR INCLINES OR CHANGES IN TOPOGRAPHY.

DETAIL "5"
FENCE DETAIL
SCALE: N.T.S.

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REVISIONS	Number	Date	Description

Project Number:
Project Location: Mission St & US Hwy 101
San Miguel CA 93451
APNs: 027-061-014, -021,
027-011-016, -034, -035, -036

Sheet Title: **GRADING DETAILS**
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL
Developer: **SWG-PASO VINEYARDS, LLC**
1337 E. LODI AVE
LODI, CA 96240

05-20-15

Date: 5/21/2015
Scale: As Shown
Drawn by: T. Robinson
Checked by: B. Reely
Sheet: **C.23**

Material Specification 594—Flexible Membrane Liner

1. Scope
This specification covers the quality of High Density Polyethylene (HDPE), Linear Low Density Polyethylene (LLDPE), Ethylene Propylene Diene Monomer (EPDM), Poly Vinyl Chloride (PVC), and Polypropylene (PP) flexible liner, seams, gaskets, metal bolters, bolts, embed channels, clamps, and sealant.

2. Material
Liner—The liner shall have a nominal thickness as specified. The liner shall be manufactured to be suitable for use in the specified exposed or buried conditions. It shall conform to the requirements of this specification, Construction Specification 97, and the requirements shown on the drawings.

Gaskets, metal bolters, clamps, bolts, embed channels, welding rod, adhesive, and sealant—Gasket material shall be neoprene, closed-cell neoprene, 0.25 inch thick, with adhesive on one side, or other gasket material as approved by the liner manufacturer. Metal bolters shall be 1/2-inch-thick by 2-inch-wide stainless steel. Clamps shall be 1/2-inch-wide stainless steel. Bolts shall be stainless steel. The embed channel and welding rod shall have the same properties as the liner. Adhesive shall be approved by the manufacturer and shall consist of material with a viscosity similar to the liner material. Sealant shall be recommended by the manufacturer. Silicone sealant shall not be used with PVC liner materials.

Vents and pipe boots—Vents and pipe boots shall be made of the same material as the liner.

3. Liner properties
The liner shall be uniform in color, thickness, and surface texture. The liner shall be resistant to fungal or bacterial attack and free of cuts, abrasions, holes, blisters, contaminants, and other imperfections.

Construction Specification 97—Flexible Membrane Liner

1. Scope
The work consists of furnishing and installing a flexible membrane liner, including appurtenances, cover soil, and concrete pads.

2. Material
The liner, welding rod, vent covers, pipe boots, gaskets, metal bolters, clamps, bolts, embed channel, adhesive, and sealant shall conform to the requirements of Material Specification 594, the applicable provisions in this specification, and details as shown on the drawings.

3. Shipping and storage
Liner material shall be delivered, handled, and stored according to the manufacturer's recommendations. Liner material shall be stored and protected from puncture, dirt, grease, excessive heat, exposure to ultraviolet radiation, or other damage.

Damaged liner material shall be repaired or replaced. Liner material that cannot be satisfactorily repaired to comply with the requirements of Material Specification 594 shall be removed from the job site.

4. Subgrade preparation
Subgrade soils shall be compacted to provide a smooth, firm, and unyielding foundation. All subgrade surfaces shall be free of organic material, rocks larger than 3/8 inch, angular rocks, or other sharp objects. Surface deformations shall not exceed 1/8 inch. Standing water, mud, and snow shall be removed prior to liner placement.

The liner shall not be placed until the subgrade has been approved by the engineer.

5. Anchor trench
The anchor trench provides permanent anchoring for the liner and shall be constructed in accordance with the drawings. The trench corners shall be slightly rounded to prevent sharp bends in the liner.

If sloping of the trench occurs, the sloped soils shall be removed and necessary repairs shall be made to provide a smooth trench wall. Standing water, mud, and snow shall be removed prior to liner placement and trench backfill.

Soil material used for backfilling the trench shall meet the requirements specified in section 4 of this specification. The trench shall be backfilled to two equal lifts and compacted by rolling with rubber-tired equipment or manually directed compaction equipment.

6. Liner placement
The liner shall be installed with a minimum of handling by using a spreader bar assembly attached to a front-end loader, track-ho loader, or by other methods recommended by the liner manufacturer. The liner shall be placed parallel to the direction of maximum slope. During installation, the liner shall be secured with sandbags to protect it from wind uplift forces. The liner shall be seamed and secured by the end of each working day.

Construction equipment shall not be allowed to operate directly on the liner except for all terrain vehicles that produce ground pressure less than 5 pounds per square inch.

10. Repairs
All defective liner areas and failed seams shall be repaired and retested.

Tears, punctures, material defects—At all times, punctures, and material defects in the liner shall be repaired by installing a patch over the defective area. Surfaces of the liner to be patched shall be cleaned before the repair. All patches shall be of the same liner material and extend a minimum of 6 inches beyond the edges of the defect area. All patches shall have rounded corners and shall be seamed to the liner. Holes that are less than 0.25 inch in diameter on HDPE, LLDPE, and PP liners shall be repaired by a head of extrusion.

Seam repair—Failed seams shall be repaired by installing a cap strip over the entire length of failed seam. The cap strip shall be of the same liner material and shall extend beyond the failed seam a minimum of 6 inches in all directions. Alternatively, the upper flap may be extrusion welded to the liner along the entire length of the failed seam.

11. Appurtenances
The liner shall be mechanically attached to pipe, concrete, or steel structures as shown in the drawings and according to liner the manufacturer's recommendations.

Pipe boots—Factory fabricated pipe boots shall be used as specified in section 16 of this specification. Pipe boots fabricated in the field shall be from the same material as the liner. The boots shall be welded and clamped to pipes of the same material as the liner. They shall be clamped to other types of pipe as shown in the drawings, or as recommended by the manufacturer, to provide a leak-free attachment.

Metal bolters—Metal bolters shall meet the requirements of Material Specification 594 and shall be installed according to the drawings and the liner manufacturer's recommendations. The bolters shall be bolted to concrete by bolts on 6-inch intervals to create a leak-free connection under submerged conditions. Bolt spacing may be increased to 12 inches for connections above the final level.

Embed channel—Embed channel shall meet the requirements of Material Specification 594 and be installed according to drawings and the liner manufacturer's recommendations. The embed channel shall be prefabricated to the dimensions shown on the drawings. All sections of the channel shall be continuously welded to subsequent sections before installation in the concrete forms. All corners shall be miter cut and welded on all sides.

12. Gas vents and drainage
Gas vent flags vent pipes, and drainage systems shall be installed as specified in section 16 of this specification and as shown on the drawings.

13. Cover soil
As specified in section 16 of this specification, cover soil and placement method shall be in accordance with the drawings and shall conform to this specification and the liner manufacturer's recommendations. Cover soils shall meet the same requirements as specified for subgrade soils in section 4 of this specification. Cover soil placement shall be performed by a loader or bulldozer with ground pressure of less than 8 pounds per square inch. Cover soil shall not be dropped onto the liner from a height of more than 1 foot. Following construction of an access ramp, the soil shall be placed from the bottom of the slope upward. Construction equipment or machinery shall not operate directly on the liner. Cover soil shall be placed during the coolest part of the day.

Material Specification 594—Flexible Membrane Liner (continued)

Table 594.1 Requirements for smooth HDPE liner

Property	Test methods	Requirements*		
		30 mil	40 mil	60 mil
Density, g/cc	ASTM D 1505	0.940	0.940	0.940
Tensile properties	ASTM D 6383 (Type IV at 3 min)			
yield stress, lb/in ²		63	84	120
break stress, lb/in ²		111	142	228
yield elongation, %		12	12	12
break elongation, %		700	700	700
Tear resistance, lb	ASTM D 1004	21	28	42
Puncture resistance, lb	ASTM D 4833	54	72	108
Carbon black content, %	ASTM D 1603	2.3	2.3	2.3
Carbon black dispersion	ASTM D 2066	Cat 1-2	Cat 1-2	Cat 1-2
Seam properties	ASTM D 6382			
shear strength, lb/in ²		60	80	120
peel strength, lb/in ² **		10/275	13/275	20/275

* All values, unless specified otherwise, are minimum average roll values as reported by the test method.
** This test is based on a failure of one of the bonded sheets by tearing prior to complete separation in the bonded area.

The liner shall not be placed during foggy conditions, precipitation events, or in the presence of excessive winds. High-Density Polyethylene (HDPE) and Linear Low-Density Polyethylene (LLDPE) liners shall not be placed when the temperature is less than 50 degrees Fahrenheit. Polypropylene (PP) liners shall not be placed when the temperature is less than 40 degrees Fahrenheit. Polyvinyl Chloride (PVC) liners shall not be placed when the temperature is less than 60 degrees Fahrenheit or greater than 100 degrees Fahrenheit. Ethylene Propylene Diene Monomer (EPDM) liners shall not be placed when the temperature is less than zero degrees Fahrenheit or greater than 120 degrees Fahrenheit.

The liner shall be loosely laid over the subgrade with sufficient slack to accommodate thermal expansion and contraction. Each panel shall be laid out and positioned to minimize the number and length of liner seams and in accordance with the manufacturer's recommendations. The methods used to place panels shall minimize wrinkles especially along field seams. Wrinkles shall not exceed 6 inches in height or "fold over" during soil cover placement or other load application. When specified in section 16 of this specification or recommended by the manufacturer, a geotextile rub sheet shall be used under the liner when dragging or moving the panels.

Seam overlap—Liner panels shall have a minimum seam overlap of 4 inches for hot wedge welding, hot air welding, chemical fusion welding, adhesive seams, in seam tape, and cover strip seams. A minimum seam overlap of 3 inches shall be used for extrusion-welded seams. Up slope panels shall overlap downslope panels to produce a single effect for drainage.

7. Seaming methods
HDPE, LLDPE, PP—The primary method of seaming shall be hot wedge fusion welding. Fillet extrusion welding shall be used for repairs, T-seams, and detail work. Hot air fusion or chemical fusion welding may be used for PP. Seaming shall not be performed when the ambient sheet temperature is below 60 degrees Fahrenheit or above 60 degrees Fahrenheit.

PVC—Seams shall be joined using hot wedge fusion welding, hot air fusion welding, chemical fusion welding, or an adhesive. Special precautions, as recommended by the manufacturer, shall be taken for seam joining if the ambient sheet temperature is above 100 degrees Fahrenheit. Seam joining shall not be performed when the ambient sheet temperature is below 40 degrees Fahrenheit or above 140 degrees Fahrenheit.

EPDM—Seams shall be joined using double-faced in seam tape or a cover strip recommended by the manufacturer. Seaming shall not be performed when the ambient sheet temperature is below zero degrees Fahrenheit or above 120 degrees Fahrenheit.

8. Seaming procedures
Seaming shall extend to the outside edge of the liner to be placed in the anchor trenches. Seaming shall not be conducted in the presence of moisture, dust, dirt, standing water, or soft subgrade. Seaming procedures shall be in accordance with the liner manufacturer's recommendations.

Hot wedge welding—Hot wedge welding shall be accomplished by a double-wedge fusion welder that produces a double track weld. Welding equipment and accessories shall be in accordance with the liner manufacturer's recommendations. The welder shall be calibrated at least once per day at the beginning of each seaming period.

Fillet extrusion welding—Extrusion welding equipment and accessories shall be in accordance with the liner manufacturer's recommendations. The extrusion welder shall be calibrated at least once per day at the beginning of each seaming period. To ensure proper bonding of the extrusion weld, edges of the patch material and the adjacent liner shall be properly abraded by a light grinding. This operation shall be done no more than 15 minutes before the welding operation. The abrasion process shall remove no more than 10 percent of the material thickness.

14. Placement of concrete
Concrete placement for ramps and other appurtenances shall be in accordance with the drawings and as specified in section 16 of this specification. All reinforcing steel shall be placed on flat-faced plastic rubber chairs. All rear splices shall be fully tied. On slopes, concrete shall be placed from the bottom of the slope to the top and have a slump as specified in section 16 of this specification. Internal vibrators shall be used to consolidate concrete. Metal shovels and raking shall not be used to consolidate or place the concrete. Concrete forms shall be held in place by methods that avoid damaging the liner.

15. Measurement and payment
For work for which specific unit prices are established in this contract, the quantity of liner installed shall be determined to the nearest square foot by measurement of the covered surface only, disregarding that for anchorage, seams, and overlap. Payment for items listed separately in the contract bid schedule shall be made at the contract price for those items. Such payment shall constitute full compensation for furnishing, shipping, and installing the liner including all pipe boots or shirts, mechanical attachments to pipes and structures, and other items necessary and incidental to the completion of the work.

Compensation for any item of work described in the contract, but not listed in the bid schedule, is included in the payment for the item of work to which it is made subsidiary. Such items and the items to which they are made subsidiary are identified in section 16 of this specification.

16. Items of work and construction details

Material Specification 594—Flexible Membrane Liner (continued)

Table 594.2 Requirements for textured HDPE liner

Property	Test methods	Requirements*		
		30 mil	40 mil	60 mil
Density, g/cc	ASTM D 1505	0.930	0.930	0.930
Tensile properties	ASTM D 6383 (Type IV at 3 min)			
yield stress, lb/in ²		63	84	120
break stress, lb/in ²		111	142	228
yield elongation, %		12	12	12
break elongation, %		100	100	100
Tear resistance, lb	ASTM D 1004	21	28	42
Puncture resistance, lb	ASTM D 4833	45	60	90
Carbon black content, %	ASTM D 1603	2.3	2.3	2.3
Carbon black dispersion	ASTM D 2066	Cat 1-2	Cat 1-2	Cat 1-2
Seam properties	ASTM D 6382			
shear strength, lb/in ²		60	80	120
peel strength, lb/in ² **		10/275	13/275	20/275

* All values, unless specified otherwise, are minimum average roll values as reported by the test method.
** This test is based on a failure of one of the bonded sheets by tearing prior to complete separation in the bonded area.

Hot air welding—Hot air welding shall be accomplished by a single- or double-track fusion welder. Welding equipment and accessories shall be in accordance with the liner manufacturer's recommendations. The welder shall be calibrated at least once per day at the beginning of each seaming period.

Chemical fusion welding—The chemical fusion agent shall be applied to both panels by a squeeze bottle or paintbrush. The width of application shall be a minimum of 2 inches. Pressure shall be applied to the seam in accordance with the liner manufacturer's recommendation to provide adequate contact between the panels. Excess adhesive extruded from the seam shall be immediately removed.

Adhesive—Adhesive shall be approved by the manufacturer and consist of material with a life expectancy similar to that of the liner material. The adhesive shall be applied to both panels by a paintbrush or other approved method. The adhesive shall cover the entire seam overlap. Pressure shall be applied to the seam in accordance with the liner manufacturer's recommendation to provide adequate contact between the panels. Excess adhesive extruded from the seam shall be immediately removed.

In seam tape—A primer shall be applied to both panels by a scrub pad or other approved method recommended by the manufacturer. The primer shall cover the entire seam overlap. As soon as the primer has flashed, install the tape on the bottom sheet, remove tape backing, lay the top sheet over the tape, and roll with sufficient pressure to provide adequate contact between the panels.

Cover strip—A primer shall be applied to both panels by a scrub pad or other approved method recommended by the manufacturer. The primer shall be lagged over the bottom sheet and rolled to provide contact between the panels. Additional primer shall be applied to cover the entire seam overlap. As soon as the primer has flashed, install the cover strip and roll it with sufficient pressure to provide adequate contact between the cover strip and the panels.

9. Seam testing
Field seams shall be nondestructively tested over their full length. Seam testing shall be performed as the work progresses.

Nondestructive seam testing—Air pressure tests shall be performed in accordance with ASTM D 5820 on all double-track fusion seams. The air pressure test equipment and procedures shall conform to this specification and the liner manufacturer's recommendations. Pressurize the air chamber to 25 to 30 pounds per square inch for HDPE, LLDPE, and PP liners, 15 to 25 pounds per square inch for 30 mil PVC liners, and 20 to 30 pounds per square inch for 40 mil PVC liners.

Monitor any pressure drops for 5 minutes. A loss of pressure in excess of 4 pounds per square inch for HDPE, LLDPE, and PP liners, 5 pounds per square inch for 30 mil PVC liners, 4 pounds per square inch for 40 mil PVC liners, or a continuous loss of pressure is an indication of a leak. The location of all defective seams shall be marked and repaired.

Air lance tests shall be performed in accordance with ASTM D 4457 on single-track fusion welds, chemical fusion welds, and on adhesive PVC seams and EPDM seams, and may be used on PP chemical fusion seams. The location of all defective seams shall be marked and repaired.

Destructive seam testing—If specified in section 16 of this specification, seam samples shall be cut at no more than one sample per 500 feet of work for destructive seam testing. All destructive seam samples shall be tested in shear and peel modes in accordance with ASTM D 6382 to verify seams meet the requirements of Material Specification 594.



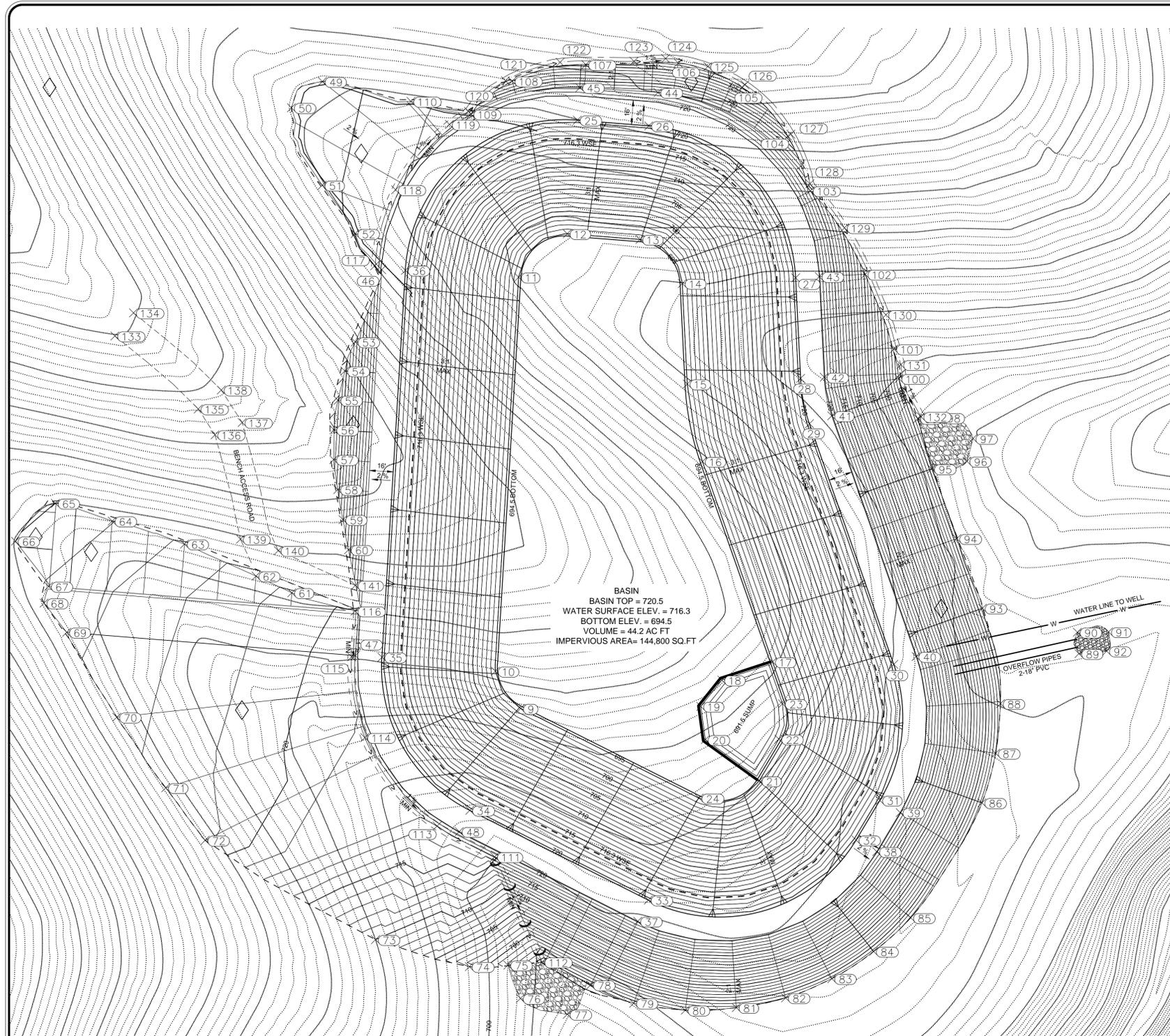
REVISIONS	
Number	Description

Project Number: _____
Project Location: Mission St & US Hwy 101
San Miguel CA 93451
APNs: 027-061-014, -021, -027-011-016, -034, -035, -036

Client: HDPE LINER SPECIFICATIONS IRRIGATION RESERVOIR VINO FARMS - SAN MIGUEL
Designer: SWG-PASO VINEYARDS, LLC 1337 E. LODI AVE LODI, CA 95240



Date: 5/21/2015
Scale: As Shown
Drawn by: T. Robinson
Checked by: B. Reely
Sheet: C 2.4



Point #	Elevation	Northing	Easting	Description
129	-	2476564.32	5756652.44	SWALE CL
130	-	2476505.73	5756680.51	SWALE CL
131	-	2476472.14	5756690.62	SWALE CL
132	-	2476437.13	5756704.18	SWALE CL
133	744.84	2476491.46	5756158.81	ACCESS ROAD
134	745.10	2476507.04	5756171.36	ACCESS ROAD
135	738.16	2476442.37	5756215.18	ACCESS ROAD
136	735.82	2476424.87	5756226.48	ACCESS ROAD
137	736.56	2476433.18	5756244.92	ACCESS ROAD
138	739.22	2476455.09	5756230.78	ACCESS ROAD
139	724.68	2476354.62	5756243.76	ACCESS ROAD
140	724.51	2476346.91	5756269.30	ACCESS ROAD
141	722.45	2476323.47	5756321.51	ACCESS ROAD

Point #	Elevation	Northing	Easting	Description
9	695.00	2476240.60	5756433.32	BOTTOM
73	709.99	2476084.87	5756335.09	MATCH EXISTING
17	695.00	2476271.96	5756603.83	BOTTOM
10	695.00	2476265.62	5756416.26	BOTTOM
11	695.00	2476531.06	5756431.97	BOTTOM
12	695.00	2476560.35	5756464.89	BOTTOM
13	695.00	2476556.47	5756514.00	BOTTOM
14	695.00	2476526.88	5756542.73	BOTTOM
15	695.00	2476459.11	5756546.09	BOTTOM
16	695.00	2476406.94	5756556.34	BOTTOM
18	694.00	2476259.72	5756569.47	BOTTOM
19	694.00	2476241.99	5756555.24	BOTTOM
20	694.00	2476219.61	5756558.30	BOTTOM
21	695.00	2476191.78	5756594.70	BOTTOM
22	694.00	2476219.88	5756608.08	BOTTOM
23	694.00	2476243.79	5756610.52	BOTTOM
24	695.00	2476180.16	5756554.08	BOTTOM
25	720.50	2476636.82	5756471.67	TOP OF BANK
26	720.50	2476632.99	5756520.06	TOP OF BANK
27	720.50	2476530.68	5756619.40	TOP OF BANK

Point #	Elevation	Northing	Easting	Description
48	720.18	2476157.85	5756391.80	TOP OF BANK
49	720.58	2476662.83	5756299.19	MATCH EXISTING
50	720.88	2476645.23	5756278.24	MATCH EXISTING
51	720.29	2476593.00	5756299.03	MATCH EXISTING
52	719.88	2476560.37	5756321.29	MATCH EXISTING
53	727.65	2476487.49	5756321.42	MATCH EXISTING
54	730.57	2476467.88	5756314.38	MATCH EXISTING
55	732.28	2476448.13	5756309.74	MATCH EXISTING
56	732.95	2476428.25	5756307.06	MATCH EXISTING
57	732.51	2476408.23	5756306.85	MATCH EXISTING
58	730.54	2476388.03	5756309.57	MATCH EXISTING
59	728.17	2476367.78	5756313.10	MATCH EXISTING
60	725.69	2476347.51	5756316.82	MATCH EXISTING
61	720.77	2476318.50	5756278.47	MATCH EXISTING
62	721.45	2476329.74	5756254.29	MATCH EXISTING
63	722.80	2476351.27	5756205.86	MATCH EXISTING
64	724.03	2476366.80	5756156.99	MATCH EXISTING
65	725.03	2476378.73	5756118.55	MATCH EXISTING
66	724.94	2476353.19	5756091.48	MATCH EXISTING
67	723.87	2476322.73	5756113.94	MATCH EXISTING

Point #	Elevation	Northing	Easting	Description
89	693.84	2476277.47	5756811.10	MATCH EXISTING
90	693.21	2476291.89	5756810.02	MATCH EXISTING
91	693.48	2476292.16	5756831.18	MATCH EXISTING
92	694.02	2476279.23	5756829.85	MATCH EXISTING
93	693.59	2476308.07	5756745.84	MATCH EXISTING
94	693.91	2476354.96	5756728.47	MATCH EXISTING
95	694.24	2476401.97	5756711.42	MATCH EXISTING
96	691.29	2476407.08	5756735.35	MATCH EXISTING
97	690.34	2476422.39	5756739.45	MATCH EXISTING
98	692.12	2476436.34	5756717.19	MATCH EXISTING
99	693.05	2476435.90	5756702.01	MATCH EXISTING
100	694.99	2476462.72	5756689.36	MATCH EXISTING
101	696.50	2476482.66	5756685.91	MATCH EX
102	704.60	2476533.02	5756666.50	MATCH EX
103	715.15	2476589.28	5756629.35	MATCH EX
104	721.61	2476626.08	5756614.06	MATCH EX
105	726.39	2476659.07	5756583.09	MATCH EX
106	727.72	2476675.33	5756539.98	MATCH EX
107	725.50	2476674.25	5756477.47	MATCH EX
108	722.93	2476663.17	5756427.60	MATCH EX

Point #	Elevation	Northing	Easting	Description
28	720.50	2476462.91	5756622.76	TOP OF BANK
29	720.50	2476432.42	5756628.75	TOP OF BANK
30	720.50	2476270.27	5756685.79	TOP OF BANK
31	720.50	2476178.73	5756676.44	TOP OF BANK
32	720.50	2476151.95	5756660.32	TOP OF BANK
33	720.50	2476111.52	5756519.73	TOP OF BANK
34	720.50	2476171.96	5756398.96	TOP OF BANK
35	720.50	2476275.09	5756339.50	TOP OF BANK
36	720.50	2476535.72	5756355.35	TOP OF BANK
37	720.18	2476097.21	5756512.57	TOP OF BANK
38	720.18	2476144.15	5756674.30	TOP OF BANK
39	720.18	2476170.47	5756690.15	TOP OF BANK
40	720.18	2476275.58	5756700.89	TOP OF BANK
41	720.18	2476437.73	5756643.84	TOP OF BANK
42	720.18	2476463.70	5756638.74	TOP OF BANK
43	720.18	2476531.47	5756635.38	TOP OF BANK
44	717.16	2476655.47	5756526.21	TOP OF BANK
45	717.68	2476658.76	5756473.41	TOP OF BANK
46	720.18	2476536.15	5756339.34	TOP OF BANK
47	719.38	2476276.19	5756321.43	TOP OF BANK

Point #	Elevation	Northing	Easting	Description
68	723.81	2476311.56	5756110.82	MATCH EXISTING
69	723.30	2476291.90	5756126.17	MATCH EXISTING
70	722.38	2476234.73	5756160.07	MATCH EXISTING
71	721.67	2476187.17	5756193.17	MATCH EXISTING
72	721.22	2476151.78	5756219.83	MATCH EXISTING
74	701.84	2476066.63	5756398.66	MATCH EXISTING
75	697.99	2476067.72	5756424.70	MATCH EXISTING
76	696.59	2476045.28	5756433.15	MATCH EXISTING
77	692.21	2476034.52	5756464.87	MATCH EXISTING
78	693.87	2476054.31	5756480.73	MATCH EXISTING
79	694.20	2476042.06	5756509.85	MATCH EXISTING
80	696.02	2476037.36	5756544.77	MATCH EXISTING
81	697.47	2476039.04	5756579.24	MATCH EXISTING
82	697.96	2476045.66	5756612.61	MATCH EXISTING
83	698.37	2476058.60	5756643.86	MATCH EXISTING
84	698.46	2476076.95	5756672.15	MATCH EXISTING
85	697.82	2476099.62	5756697.29	MATCH EXISTING
86	696.45	2476177.04	5756745.48	MATCH EXISTING
87	695.92	2476210.40	5756754.76	MATCH EXISTING
88	695.00	2476243.83	5756758.00	MATCH EXISTING

Point #	Elevation	Northing	Easting	Description
109	718.48	2476640.87	5756399.78	MATCH EX
110	719.31	2476649.49	5756359.09	MATCH EX
111	-	2476140.63	5756415.77	SWALE CL
112	-	2476069.74	5756447.83	SWALE CL
113	-	2476161.39	5756376.78	SWALE CL
114	-	2476220.96	5756327.93	SWALE CL
115	-	2476275.37	5756318.98	SWALE CL
116	-	2476306.15	5756321.33	SWALE CL
117	-	2476538.71	5756334.57	SWALE CL
118	-	2476589.90	5756348.70	SWALE CL
119	-	2476634.00	5756385.17	SWALE CL
120	-	2476642.75	5756398.06	SWALE CL
121	-	2476663.35	5756423.03	SWALE CL
122	-	2476675.87	5756460.03	SWALE CL
123	-	2476676.53	5756510.01	SWALE CL
124	-	2476678.37	5756531.44	SWALE CL
125	-	2476673.03	5756560.00	SWALE CL
126	-	2476660.73	5756585.08	SWALE CL
127	-	2476627.36	5756616.21	SWALE CL
128	-	2476593.96	5756629.12	SWALE CL



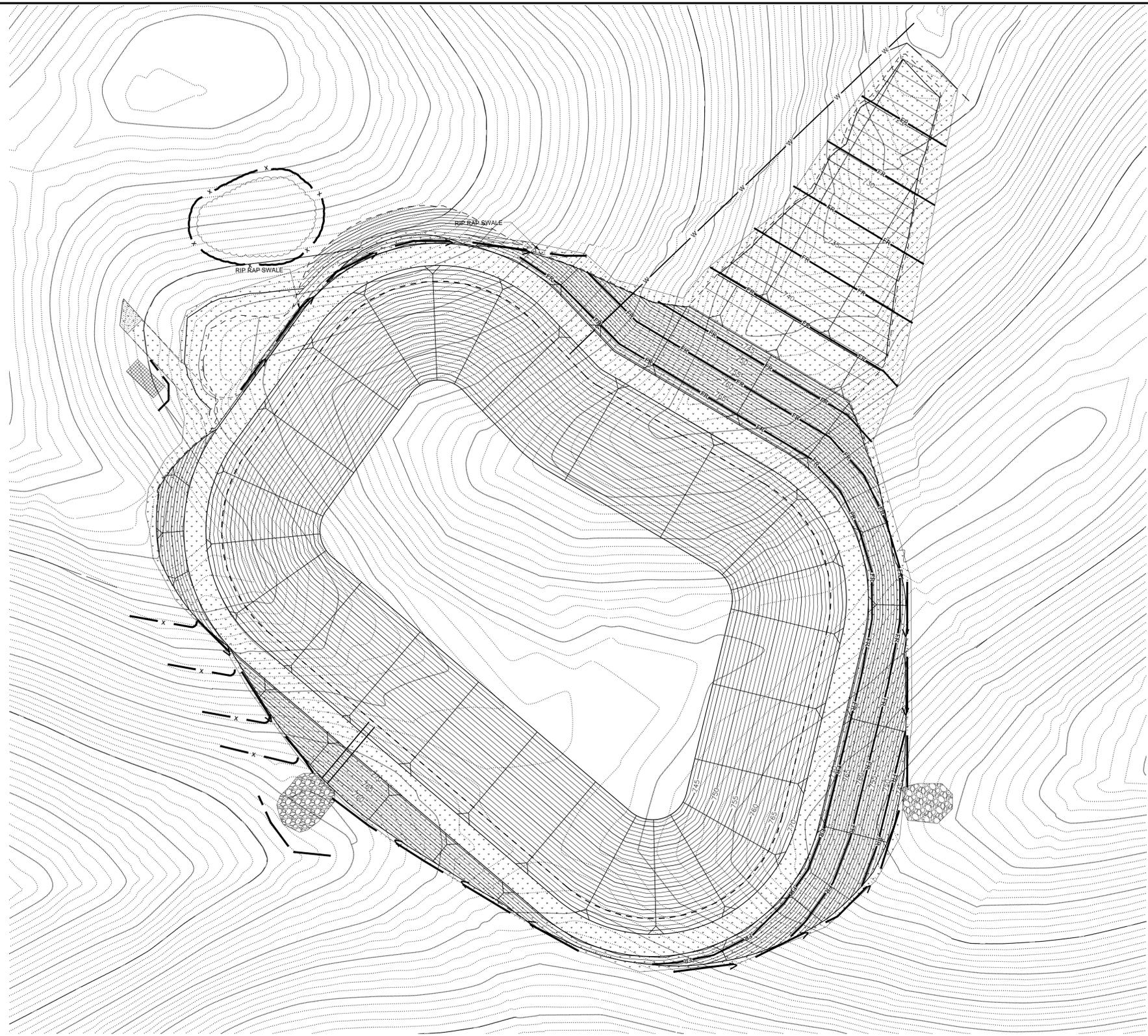
REVISIONS	Number	Date	Description

Project Number: Mission St & US Hwy 101
 Project Location: San Miguel CA 95451
 APNs: 027-061-014, -021, 027-011-016, -034, -035, -036

STAKING TABLE SITE #2
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL
 SWG-PASO VINEYARDS, LLC
 1337 E. LODI AVE
 LODI, CA 95240



Date: 5/21/2015
 Scale: As Shown
 Drawn by: T. Robinson
 Checked by: B. Reely
 Sheet: **C 2.7**



LEGEND PRE-CONSTRUCTION AND DURING CONSTRUCTION:

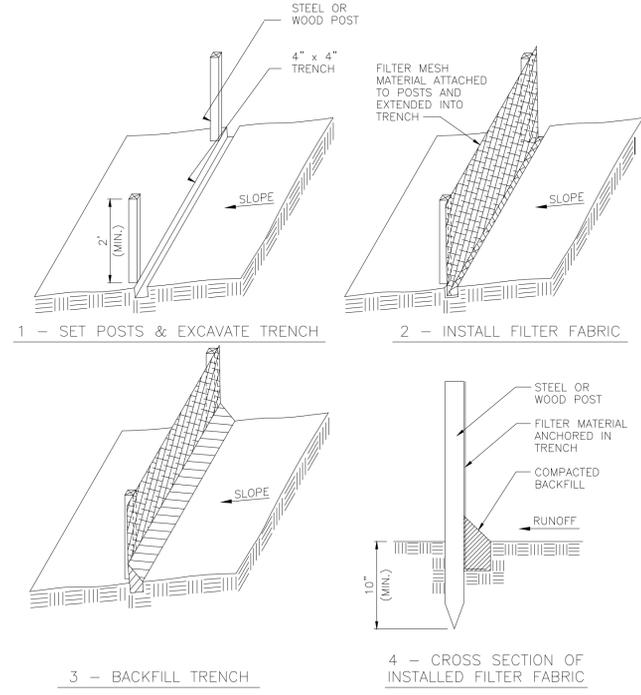
- FIBER ROLL PER BMP SC-5, SHEET C3.2
- SILT FENCE PER DETAIL, THIS SHEET
- CLEAN WATER DIVERSION DITCH (REFER TO DETAIL 4 SHEET C2.2 AND GRADING PLAN FOR CONSTRUCTION DETAILS)
- LIMITS OF GRADING
- ENTRANCE / OUTLET TIRE WASH PER BMP TC-3 SHEET C3.2
- TEMPORARY CONCRETE WASHOUT AREA SEE DETAIL SHEET C3.2
- APPROXIMATE STOCK PILE LOCATION
- ROCK BAG BARRIER PER DETAIL SHEET C3.
- RIP RAP FIELD (REFER TO GRADING PLAN FOR DETAILS)

LEGEND POST-CONSTRUCTION:

- FR FR FIBER ROLL PER BMP SC-5, SHEET C3.2
- SILT FENCE PER DETAIL SHEET C3.2
- SEEDING PER EROSION CONTROL NOTE 3.

EROSION, SEDIMENT, & ENVIRONMENTAL CONTROL NOTES:

1. LOCATION, MEANS AND METHODS OF BMP'S INDICATED HEREON ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO AMEND THIS PLAN BASED ON FIELD CONDITIONS.
2. CONTRACTOR SHALL DETERMINE IF ADDITIONAL BMP'S NOT SHOWN HEREON ARE APPLICABLE OR NECESSARY AND AMEND THIS PLAN ACCORDINGLY.
3. ALL DISTURBED SLOPES SHALL BE SEEDED IN ACCORDANCE WITH NCRS PRACTICES; SHALL BE WATERED AND MAINTAINED TO ESTABLISH GROWTH. HYDROSEEDING IS AN OPTION AT THE DISCRETION OF THE OWNER. (REFER TO SEED MATRIX BELOW)
4. CONCRETE CUTTING SLURRY, SAWCUTTING RESIDUE, AND ANY LEFT OVER PORTLAND CEMENT CONCRETE SHALL BE PROPERLY COLLECTED, DISPOSED OF, AND NOT ENTER ANY STORM DRAIN SYSTEM
5. ALL DISTURBED SURFACES SLOPED FOUR HORIZONTAL TO ONE VERTICAL (4:1) AND GREATER AND AREAS USED TO CONVEY CONCENTRATED DRAINAGE SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION BY EFFECTIVE PLANTING TO BE COMPLETED NO LATER THAN 30 DAYS PRIOR TO A REQUEST FOR FINAL INSPECTION APPROVAL.



SILT FENCE DETAIL

SEED MATRIX			
SLOPES LESS THAN 9% LBS/AC			
		DRILLED	BROADCAST
GRASS MIX:	"ZORRO" ANNUAL FESCUE	4	6
	BLANDO BROME	10	12
	DRYLAND LEGUME MIX	12	15
	NATIVE PERENNIAL GRASS MIX SUCH AS 2 OR 3 OF THE FOLLOWING VARIETIES: IDAHO FESCUE, CALIFORNIA MELIC, MEADOW BARLEY, OR BLUE WILDRYE.	15	20

EMERGENCY CONTACT INFORMATION

AN EMERGENCY CREW SHALL BE AVAILABLE 24 HOURS PER DAY TO PLACE AND MAINTAIN THE EROSION CONTROL DEVICES AND ENSURE THEIR PROPER FUNCTION. THE PERSON RESPONSIBLE FOR MAINTAINING EROSION CONTROL PROTECTION IS NAMED BELOW:

NAME: TAVO COSTA
PHONE: (805) 344-2390

NOTE:
THIS EROSION CONTROL PLAN INDICATES THE MINIMUM LEVEL OF EROSION CONTROL. THE CONTRACTOR SHALL AMEND, MODIFY AND SUPPLEMENT THIS PLAN IN A TIMELY MANNER, ACCORDINGLY AND CONSISTENT WITH THE CONTRACTOR'S MEANS AND METHODS USED TO CONSTRUCT THE PROJECT SITE AND IMPROVEMENTS.

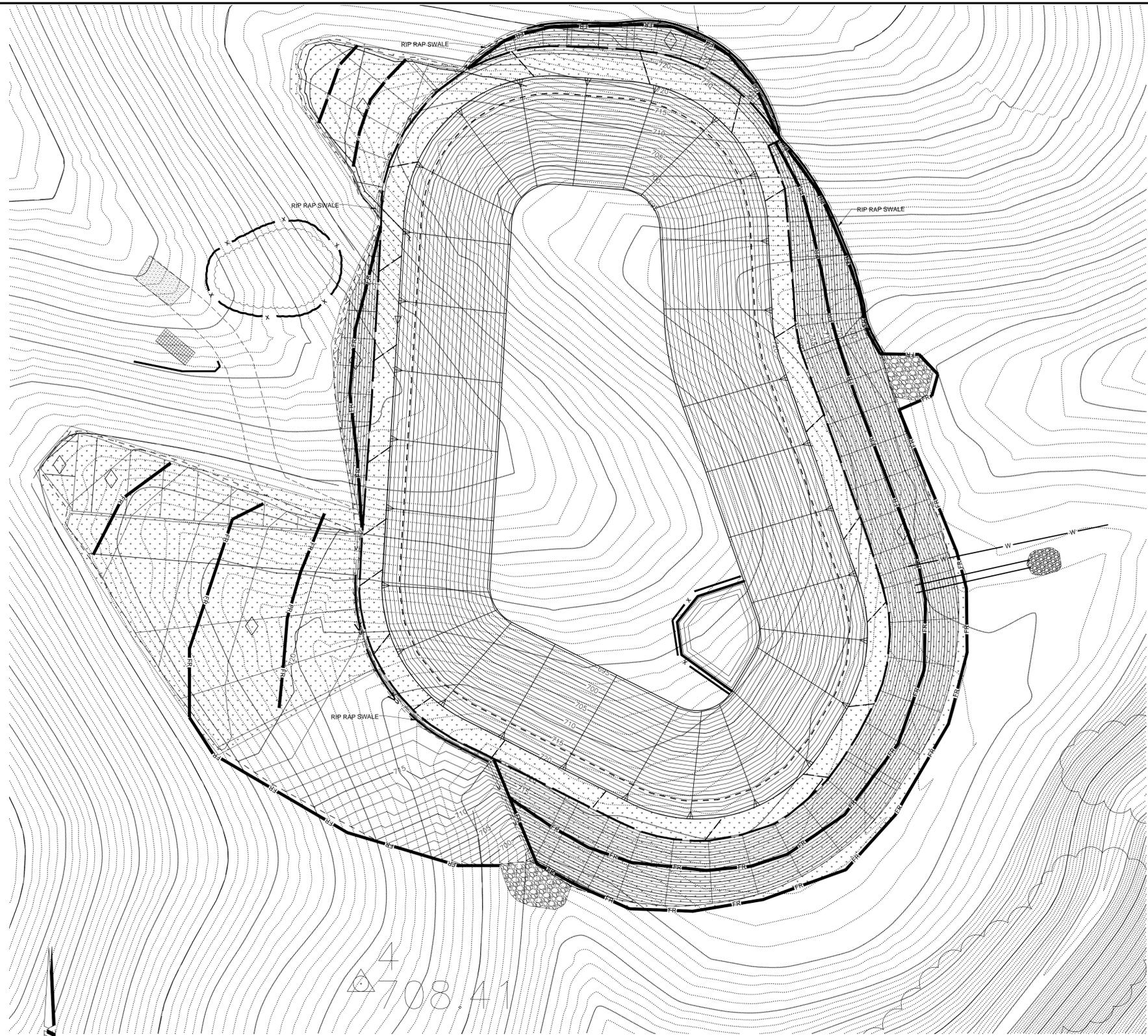
MONSOON
SAN LUIS OBISPO, CA 93406
P.O. BOX 151
520-560-5657 PH.
breely@monsoonconsulting.com

REVISIONS	Number	Date	Description

Project Number: **EROSION CONTROL PLAN SITE #1**
 IRRIGATION RESERVOIR
 VINO FARMS - SAN MIGUEL
 SWG-PASO VINEYARDS, LLC
 1337 E. LODI AVE
 LODI, CA 95240

Project Location: Mission St & US Hwy 101
 San Miguel CA 95451
 APNs: 027-061-014, -021,
 027-011-016, -034, -035, -036

Date: 5/21/2015
 Scale: As Shown
 Drawn by: T. Robinson
 Checked by: B. Reely
 Sheet: **C 3.0**



LEGEND PRE-CONSTRUCTION AND DURING CONSTRUCTION:

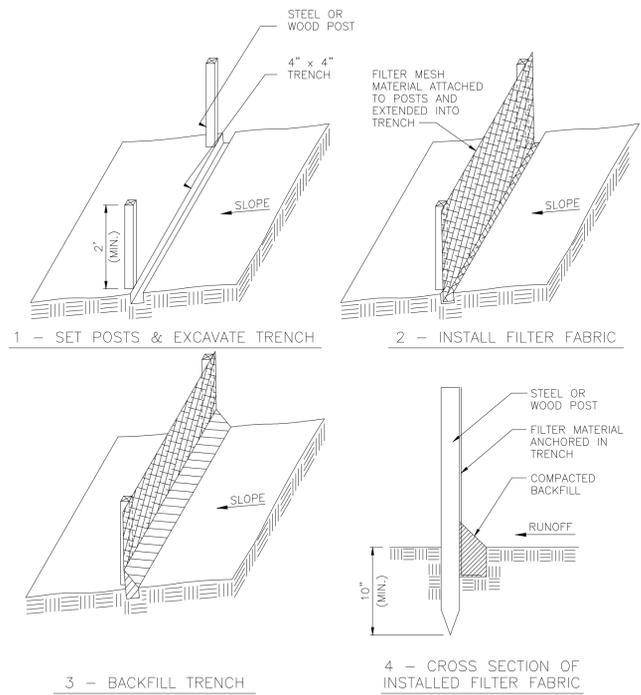
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SILT FENCE DETAIL

SEED MATRIX

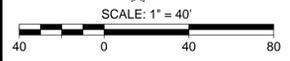
	SLOPES LESS THAN 9% LBS/AC	
	DRILLED	BROADCAST
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MONSOON
SAN LUIS OBISPO, CA 93406
P.O. BOX 151
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breely@monsoonconsulting.com

REVISIONS	Number	Date	Description

Project Number: **EROSION CONTROL PLAN SITE #2**
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL
 Developer: **SWG-PASO VINEYARDS, LLC**
 1337 E. LODI AVE
 LODI, CA 95240

Project Location: **Mission St & US Hwy 101**
San Miguel CA 95451
 APNs: 027-061-014, -021,
 027-011-016, -034, -035, -036

Date: 5/21/2015
 Scale: As Shown
 Drawn by: T. Robinson
 Checked by: B. Reely
 Sheet: **C 3.1**



- NOTES:**
- FILL ROCK BARRIER BAGS 3/4 FULL OF 3/4" ROCK.
 - PLACE BAGS SUCH THAT NO GAPS ARE EVIDENT IN A SINGLE OR DOUBLE LAYER. STAMP ENTIRE LAYER INTO PLACE PRIOR TO STARTING THE NEXT LAYER.

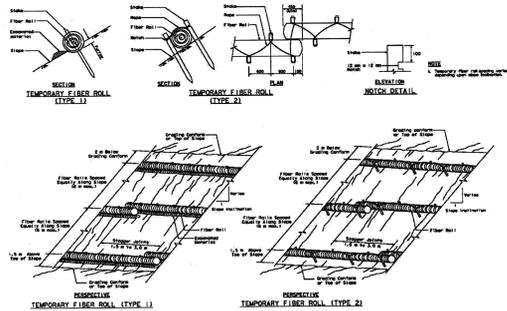
ROCK BARRIER BAG DETAIL



- NOTES:**
- ALL CONCRETE TRUCKS AND FINISHING TOOLS SHALL BE WASHED AT THE WASH OFF AREA.
 - ALL CONCRETE WASTE COLLECTED IN WASH OFF AREA SHALL BE RECYCLED OR APPROPRIATELY DISPOSED OF OFF-SITE.
 - LOCATION AND SIZE OF WASH-OFF AREA MAY BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS.

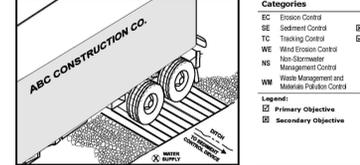
CONCRETE WASH-OUT DETAIL

Fiber Rolls



FIBER ROLL DETAIL

Entrance/Outlet Tire Wash TC-3



Description and Purpose
A tire wash is an area located at stabilized construction access points to remove sediment from tires and undercarriages and to prevent sediment from being transported onto public roadways.

Suitable Applications
Tire washes may be used on construction sites where dirt and mud tracking onto public roads by construction vehicles may occur.

Limitations

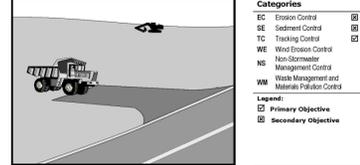
- The tire wash requires a supply of wash water.
- A turnout or doublewide exit is required to avoid having entering vehicles drive through the wash area.
- Do not use where wet tire trucks leaving the site leave the road dangerously slick.

Implementation

- Incorporate with a stabilized construction entrance/exit. See TC-1, Stabilized Construction Entrance/Exit.
- Construct on level ground when possible, on a pad of coarse aggregate greater than 3/4" in, but smaller than 6" in. A geotextile fabric should be placed below the aggregate.
- Wash rack should be designed and constructed/manufactured for anticipated traffic loads.

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Stabilized Construction Entrance/Exit TC-1



Description and Purpose
A stabilized construction access is defined by a point of entrance/exit to a construction site that is stabilized to reduce the tracking of mud and dirt onto public roads by construction vehicles.

Suitable Applications
Use at construction sites:

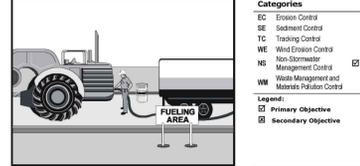
- Where dirt or mud can be tracked onto public roads.
- Adjacent to water bodies.
- Where poor soils are encountered.
- Where dust is a problem during dry weather conditions.

Limitations

- Entrances and exits require periodic top-dressing with additional stones.
- This BMP should be used in conjunction with street sweeping on adjacent public right of way.
- Entrances and exits should be constructed on level ground only.
- Stabilized construction entrances are rather expensive to construct and when a wash rack is included, a sediment trap of some kind must also be provided to collect wash water runoff.

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Vehicle and Equipment Fueling NS-9



Description and Purpose
Vehicle equipment fueling procedures and practices are designed to prevent fuel spills and leaks, and reduce or eliminate contamination of stormwater. This can be accomplished by using offsite facilities, fueling in designated areas only, enclosing or covering stored fuel, implementing spill controls, and training employees and subcontractors in proper fueling procedures.

Suitable Applications
These procedures are suitable on all construction sites where vehicle and equipment fueling takes place.

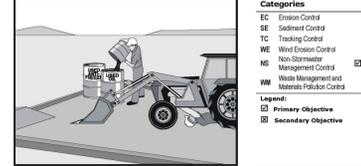
Limitations
Onsite vehicle and equipment fueling should only be used where it is impractical to send vehicles and equipment offsite for fueling. Sending vehicles and equipment offsite should be done in conjunction with TC-1, Stabilized Construction Entrance/Exit.

Implementation

- Use offsite fueling stations as much as possible. These businesses are better equipped to handle fuel and spills properly. Performing this work offsite can also be accomplished by eliminating the need for a separate fueling area at a site.
- Discourage "topping-off" of fuel tanks.
- Absorbent spill cleanup materials and spill kits should be available in fueling areas and on fueling trucks, and should

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Vehicle & Equipment Maintenance NS-10



Description and Purpose
Prevent or reduce the contamination of stormwater resulting from vehicle and equipment maintenance by creating a "dry and clean site". The best option would be to perform maintenance activities at an offsite facility. If this option is not available then work should be performed in designated areas only, while providing cover for materials stored outside, checking for leaks and spills, and containing and cleaning up spills immediately. Employees and subcontractors must be trained in proper procedures.

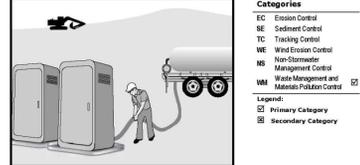
Suitable Applications
These procedures are suitable on all construction projects where an onsite yard area is necessary for storage and maintenance of heavy equipment and vehicles.

Limitations
Onsite vehicle and equipment maintenance should only be used where it is impractical to send vehicles and equipment offsite for maintenance and repair. Sending vehicles/equipment offsite should be done in conjunction with TC-1, Stabilized Construction Entrance/Exit.

Outdoor vehicle or equipment maintenance is a potentially significant source of stormwater pollution. Activities that can contaminate stormwater include engine repair and service, changing or replacement of fluids, and outdoor equipment storage and parking (engine fluid leaks). For further information on vehicle or equipment servicing, see NS-8, Vehicle and Equipment Cleaning, and NS-9, Vehicle and

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Sanitary/Septic Waste Management WM-9



Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Suitable Applications
Sanitary septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary and septic waste systems.

Limitations
None identified.

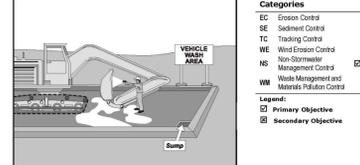
Implementation
Sanitary or septic wastes should be treated or disposed of in accordance with state and local requirements. In many cases, one contract with a local facility supplier will be all that it takes to make sure sanitary wastes are properly disposed.

Storage and Disposal Procedures

- Temporary sanitary facilities should be located away from drainage facilities, watercourses, and from traffic circulation. If site conditions allow, place portable facilities a minimum of 50 feet from drainage conveyances and traffic areas. When subjected to high winds or risk of high winds, temporary sanitary facilities should be secured to prevent overturning.

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Vehicle and Equipment Cleaning NS-8



Description and Purpose
Vehicle and equipment cleaning procedures and practices eliminate or reduce the discharge of pollutants to stormwater from vehicle and equipment cleaning operations. Procedures and practices include but are not limited to: using offsite facilities; washing in designated, contained areas only; eliminating discharges to the storm drain by infiltrating the wash water; and training employees and subcontractors in proper cleaning procedures.

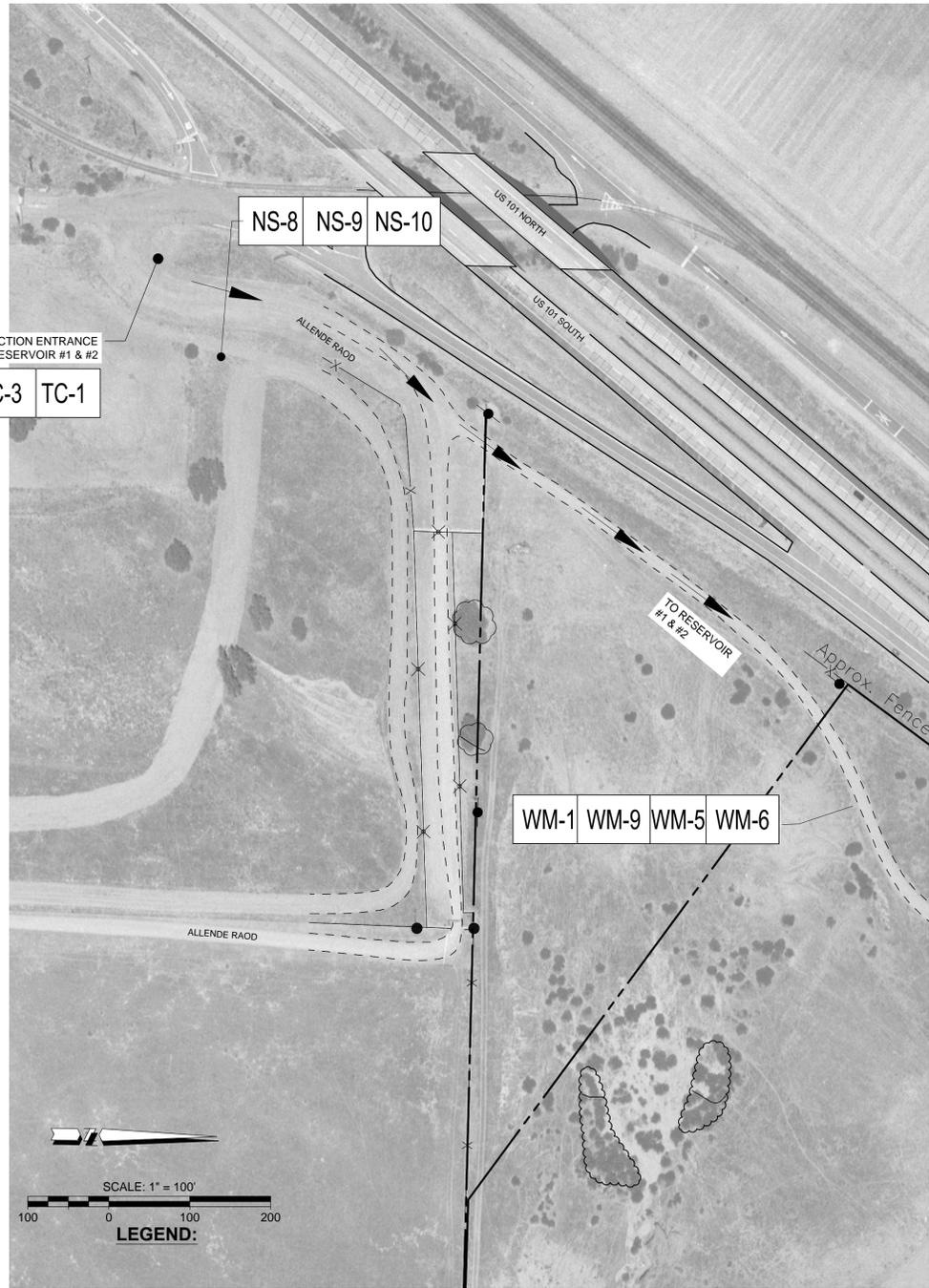
Suitable Applications
These procedures are suitable on all construction sites where vehicle and equipment cleaning is performed.

Limitations
Even phosphate-free, biodegradable soaps have been shown to be toxic to fish before the soap degrades. Sending vehicles/equipment offsite should be done in conjunction with TC-1, Stabilized Construction Entrance/Exit.

Implementation
Other options to washing equipment onsite include contracting with other an offsite or commercial washing business. These businesses may be better equipped to handle and dispose of the wash water properly. Performing this work offsite can also be economical by eliminating the need for a separate washing operation onsite.

If washing operations are to take place onsite, then:

January 2011 California Stormwater BMP Handbook Construction www.casqa.org 1 of 3



PROJECT SITE ENTRANCE EROSION SEDIMENT CONTROL PLAN

EROSION CONTROL NOTES:

- THE OWNER SHALL MONITOR THE WEATHER FORECAST ALL YEAR. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND WORKING PROPERLY FROM OCTOBER 15TH TO APRIL 15TH AND PRIOR TO ANY IMPENDING PROJECTED RAINSTORM OF A PROJECTED RAINFALL OF 1/4 INCH PER HOUR OR GREATER, PURSUANT TO THE APPROVED PLANS.
- WORK SHALL BE PERFORMED SO THAT IT CAN BE COMPLETED AT LEAST 48-HOURS PRIOR TO ANY FORECASTED RAIN EVENT. THE US-LT RCD RECOMMENDS THAT WORK BE STARTED AND COMPLETED AFTER THE RAINY SEASON HAS ENDED.
- PERMANENT EROSION CONTROL MEASURES SHALL BE APPLIED TO DENUDED AREAS WITHIN 5 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.
- ALL EARTH FILLS AND DENUDED AREAS THAT ARE NOT AT FINAL GRADE SHALL BE MULCHED, MAINTAINED OR EQUALLY PROTECTED AT THE END OF EACH DAY TO ENSURE SEDIMENT DOES NOT LEAVE THE CONSTRUCTION SITE.
- ALL MULCHING SHALL PROVIDE THE EQUIVALENT PROTECTION AS THAT RESULTING FROM THE APPLICATION OF AT LEAST 1,500 LB. OF STRAW MULCH PER ONE ACRE OF SURFACE AREA (OR AS OTHERWISE PROVIDED IN THE EROSION CONTROL PLAN).
- SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED AND DOCUMENTED AT ALL TIMES DURING CONSTRUCTION.
- THE OWNER, GRADING CONTRACTOR, MANAGER OR ENGINEER OF RECORD IS TO PROVIDE WRITTEN VERIFICATION TO THE US-LT RCD THAT THE EROSION AND SEDIMENTATION CONTROL DEVICES ARE PROPERLY INSTALLED AND ARE BEING MONITORED BEFORE AND AFTER EACH STORM, UNLESS OTHERWISE REQUIRED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE DISCRETION OF THE ENGINEER OF WORK OR THE US-LT RCD INSPECTOR.
- IN THE EVENT OF A FAILURE AND/OR LACK OF PERFORMANCE BY THE OWNER AND/OR CONTRACTOR TO CORRECT EROSION CONTROL RELATED PROBLEMS, THE US-LT RCD MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.



REVISIONS	Number	Date	Description

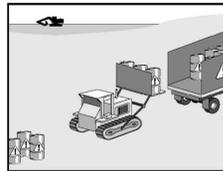
Project Number:
Project Location:
Mission St & US Hwy 101
San Miguel CA 93451
APNs: 027-061-014, -021,
027-011-016, -034, -035, -036

EROSION CONTROL DETAILS
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL
SWG-PASO VINEYARDS, LLC
1337 E. LODI AVE
LODI, CA 95240



Date: 5/21/2015
Scale: As Shown
Drawn by: T. Robinson
Checked by: B. Reely
Sheet: C 3.2

Hazardous Waste Management WM-6



- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - ND Non-Domestic Management Control
 - WM Waste Management and Material Pollution Control
- Legend:**
- Primary Objective
 - Secondary Objective

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Suitable Applications
This best management practice (BMP) applies to all construction projects. Hazardous waste management practices are implemented on construction projects that generate waste from the use of:

- Petroleum Products
- Asphalt Products
- Concrete Curing Compounds
- Pesticides
- Pollutives
- Acids
- Septic Wastes
- Paints
- Stains
- Solvents
- Wood Preservatives
- Roofing Tar

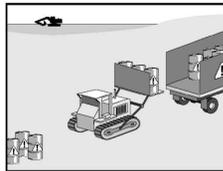
- Any materials deemed a hazardous waste in California, Title 22, Division 4.5, or listed in 40 CFR Parts 119, 117, 261, or 302

- Targeted Constituents**
- Solvent
 - Nuilets
 - Toxib
 - Metal
 - Bacteria
 - Oil and Grease
 - Organics

Potential Alternatives
None



Hazardous Waste Management WM-6



- Categories**
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 - ND Non-Domestic Management Control
 - WM Waste Management and Material Pollution Control
- Legend:**
- Primary Objective
 - Secondary Objective

Description and Purpose
Prevent or reduce the discharge of pollutants to stormwater from hazardous waste through proper material use, waste disposal, and training of employees and subcontractors.

Suitable Applications
This best management practice (BMP) applies to all construction projects. Hazardous waste management practices are implemented on construction projects that generate waste from the use of:

- Petroleum Products
- Asphalt Products
- Concrete Curing Compounds
- Pesticides
- Pollutives
- Acids
- Septic Wastes
- Paints
- Stains
- Solvents
- Wood Preservatives
- Roofing Tar

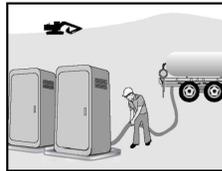
- Any materials deemed a hazardous waste in California, Title 22, Division 4.5, or listed in 40 CFR Parts 119, 117, 261, or 302

- Targeted Constituents**
- Solvent
 - Nuilets
 - Toxib
 - Metal
 - Bacteria
 - Oil and Grease
 - Organics

Potential Alternatives
None



Sanitary/Septic Waste Management WM-9



- Categories**
- EC Erosion Control
 - SE Sediment Control
 - TC Tracking Control
 - WE Wind Erosion Control
 - ND Non-Domestic Management Control
 - WM Waste Management and Material Pollution Control
- Legend:**
- Primary Category
 - Secondary Category

Description and Purpose
Proper sanitary and septic waste management prevent the discharge of pollutants to stormwater from sanitary and septic waste by providing convenient, well-maintained facilities, and arranging for regular service and disposal.

Suitable Applications
Sanitary septic waste management practices are suitable for use at all construction sites that use temporary or portable sanitary and septic waste systems.

Limitations
None identified.

Implementation
Sanitary or septic wastes should be treated or disposed of in accordance with state and local requirements. In many cases, one contract with a local facility supplier will be all that it takes to make sure sanitary wastes are properly disposed.

Storage and Disposal Procedures

- Temporary sanitary facilities should be located away from drainage facilities, watercourses, and from traffic circulation. If site conditions allow, place portable facilities a minimum of 50 feet from drainage conveyances and traffic areas. When subjected to high winds or risk of high winds, temporary sanitary facilities should be secured to prevent overturning.

- Targeted Constituents**
- Solvent
 - Nuilets
 - Toxib
 - Metal
 - Bacteria
 - Oil and Grease
 - Organics

Potential Alternatives
None



MONSOON
SAN LUIS OBISPO, CA 93406
P.O. BOX 151
520-560-5857 PH.
breely@monsoonconsulting.com

REVISIONS	Number	Date	Description

Sheet Title: **EROSION CONTROL DETAILS**
IRRIGATION RESERVOIR
VINO FARMS - SAN MIGUEL

Project Number: **SWG-PASO VINEYARDS, LLC**
1337 E. LODI AVE
LODI, CA 95240

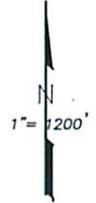
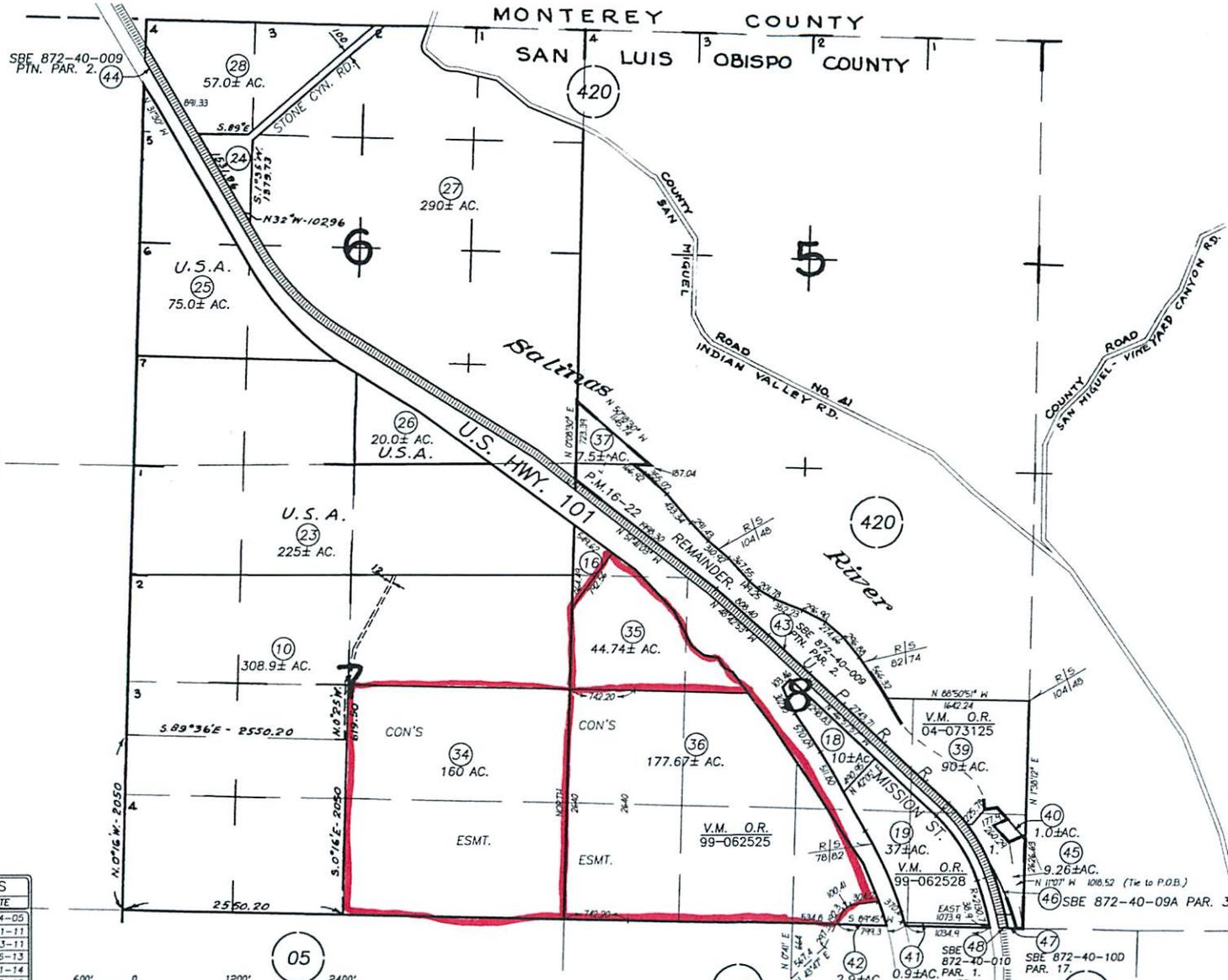
Project Location: **Mission St & US Hwy 101**
San Miguel CA 93451
APNs: 027-061-014, -021,
027-011-016, -034, -035, -036



Date: 5/21/2015
Scale: As Shown

Drawn by: T. Robinson
Checked by: B. Reely

Sheet: **C.3.3**



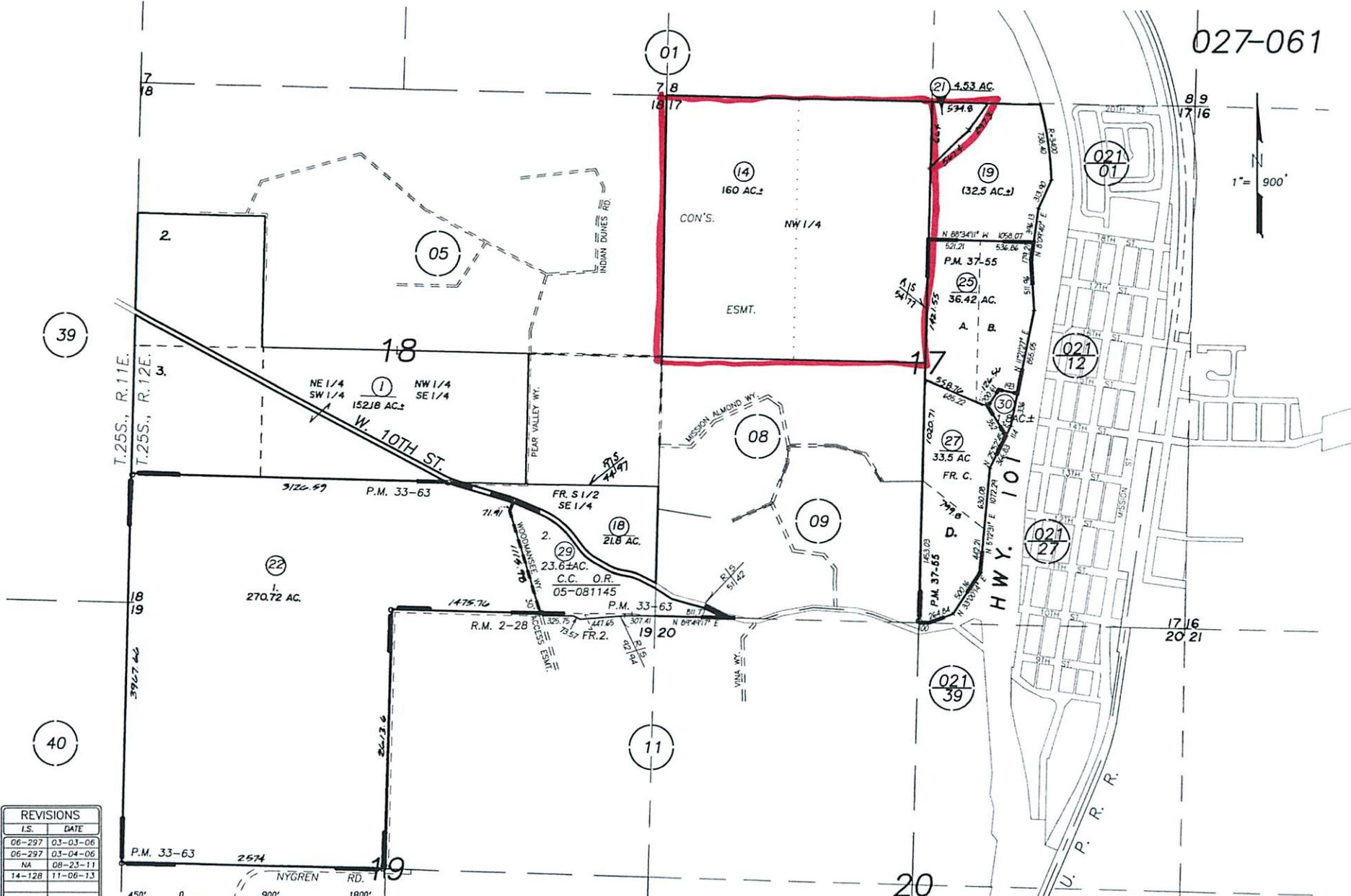
REVISIONS	
I.S.	DATE
05-285	01-24-05
NA	01-21-11
NA	08-23-11
14-128	11-06-13
15-058	08-21-14
NA	10-19-15

600' 0 1200' 2400'

GB 11-20-94 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

T. 25S.; R. 12E.; SECTIONS 5,6,7,8 PTNS. M.D.B.M.

SAN MIGUEL
ASSESSOR'S MAP, COUNTY OF
SAN LUIS OBISPO, CA.
BOOK 027 PAGE 011



REVISIONS	
I.S.	DATE
06-297	03-03-06
06-297	03-04-06
NA	08-23-11
14-128	11-06-13

152

JAW
03-09-01

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

MISSION ALMOND ORCHARDS SUB. NO. 2, R.M. Bk. 2, Pg. 28.
T. 25S.; R. 12E.; SECTIONS 16 TO 21; M.D.B. & M.

SAN MIGUEL
ASSESSOR'S MAP, COUNTY OF
SAN LUIS OBISPO, CA.
BOOK 027 PAGE 061



Parcel Summary Report For Parcel # 027-011-034

4/8/2016
11:18:07AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JOHN HANCOCK LIFE INSURANCE COMPANY
 1377 E LODI AVE LODI CA 95240-
OWN JOHN HANCOCK LIFE INSURANCE COMPANY

Address Information

Status Address

Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T25S	R12E	7P	North Cty. Plan	North County I AG				Y		
APV.C06-	020	0002	North Cty. Plan	North County I				N		

Parcel Information

Status Description

Active T25S R12E MDM PTN SEC 7 C ONS ESMT

Notes

Tax Districts

SAN MIGUEL
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
SAN MIGUEL
NO. 01



Parcel Summary Report For Parcel # 027-011-034

4/8/2016
11:18:07AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

SUB2005-00156 RDD Primary Parcel

Description:

PROP 6 CERTS OF COMPLIANCE; 4 APPROVED

LRP2004-00007 DEN Related Parcel

Description:

GENERAL PLAN AMENDMENT FROM AGRICULTURE TO ALLOW A 324 LOT SUBDIVISION CONSISTING OF MULTIPLE LOT SIZES, 32 % OPEN SPACE, AND TRAIL SYSTEM

PMT2013-00281 RVW Related Parcel

Description:

MAJOR GRADING FOR TWO IRRIGATION RESERVOIRS FOR VINO FARMS
SITE #1 83,564 CY (5.66 ACRES) AND SITE #2 106,533 CY (5.97 ACRES)
EXEMPT FROM SWPPP PER RWQCB

PRE2006-00092 REC Related Parcel

Description:

550 ACRES

S990027V RDD Related Parcel

Description:

VOL MERGER 4 LOTS TO 2



Parcel Summary Report For Parcel # 027-011-035

4/8/2016
11:19:58AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JOHN HANCOCK LIFE INSURANCE COMPANY
 1377 E LODI AVE LODI CA 95240-
OWN JOHN HANCOCK LIFE INSURANCE COMPANY

Address Information

Status Address

Lot Information:

<u>Tract / Townshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
APV.C06-	020	0003	North Cty. Plan	North County I				N		
T25S	R12E	8P	North Cty. Plan	North County I AG				Y		

Parcel Information

Status Description

Active T25S R12E MDM PTN SEC 8

Notes

Tax Districts

SAN MIGUEL

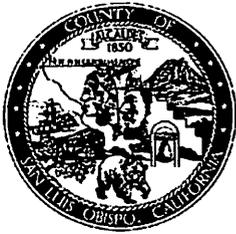
PASO ROBLES JT(27,40) (SB1537)

SAN LUIS OBISPO JT(27,40)

AREA NO. 21

SAN MIGUEL

NO. 01



Parcel Summary Report For Parcel # 027-011-035

4/8/2016
11:19:59AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

PMT2014-02260 FNL Primary Parcel

Description:

NATURAL GAS METER FOR (2) IRRIGATION WELLS AND (1) BOOSTER PUMP.

LRP2004-00007 DEN Related Parcel

Description:

GENERAL PLAN AMENDMENT FROM AGRICULTURE TO ALLOW A 324 LOT SUBDIVISION CONSISTING OF MULTIPLE LOT SIZES, 32 % OPEN SPACE, AND TRAIL SYSTEM

PMT2013-00281 RVW Related Parcel

Description:

MAJOR GRADING FOR TWO IRRIGATION RESERVOIRS FOR VINO FARMS
SITE #1 83,564 CY (5.66 ACRES) AND SITE #2 106,533 CY (5.97 ACRES)
EXEMPT FROM SWPPP PER RWQCB

PRE2006-00092 REC Related Parcel

Description:

550 ACRES

S990027V RDD Related Parcel

Description:

VOL MERGER 4 LOTS TO 2

SUB2005-00156 RDD Related Parcel

Description:

PROP 6 CERTS OF COMPLIANCE; 4 APPROVED



Parcel Summary Report For Parcel # 027-011-036

4/8/2016
11:37:07AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JOHN HANCOCK LIFE INSURANCE COMPANY
 1377 E LODI AVE LODI CA 95240-
OWN JOHN HANCOCK LIFE INSURANCE COMPANY

Address Information

Status Address

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
M99-	202	0002	North Cty. Plan	North County I AG				Y		

Parcel Information

Status Description

Active T25S R12E MDM PTN SEC 8 C ONS ESMT

Notes

Tax Districts

SAN MIGUEL
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
SAN MIGUEL
NO. 01



Parcel Summary Report For Parcel # 027-011-036

4/8/2016
11:37:07AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

COD2013-00119 CLD Primary Parcel

Description:

NEW VINEYARDS AFTER WATER ORD

PMT2014-03174 ISS Primary Parcel

Description:

INSTALL NEW 200 AMP SINGLE PHASE METER PANEL FOR SECURITY LIGHTING AND FUEL PUMP EXISTING AG ON SITE.

LRP2004-00007 DEN Related Parcel

Description:

GENERAL PLAN AMENDMENT FROM AGRICULTURE TO ALLOW A 324 LOT SUBDIVISION CONSISTING OF MULTIPLE LOT SIZES, 32 % OPEN SPACE, AND TRAIL SYSTEM

PMT2013-00281 RVW Related Parcel

Description:

MAJOR GRADING FOR TWO IRRIGATION RESERVOIRS FOR VINO FARMS
SITE #1 83,564 CY (5.66 ACRES) AND SITE #2 106,533 CY (5.97 ACRES)
EXEMPT FROM SWPPP PER RWQCB

PMT2014-02260 FNL Related Parcel

Description:

NATURAL GAS METER FOR (2) IRRIGATION WELLS AND (1) BOOSTER PUMP.

PRE2006-00092 REC Related Parcel

Description:

550 ACRES

S990027V RDD Related Parcel

Description:

VOL MERGER 4 LOTS TO 2



Parcel Summary Report For Parcel # 027-061-014

4/8/2016
11:37:40AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JOHN HANCOCK LIFE INSURANCE COMPANY
 1377 E LODI AVE LODI CA 95240-
OWN JOHN HANCOCK LIFE INSURANCE COMPANY

Address Information

Status Address

Lot Information:

<u>Tract / Twtnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
APV.C06-	020	0001	North Cty. Plan	North County I				N		
T25S	R12E	17P	North Cty. Plan	North County I AG				Y		

Parcel Information

Status Description

Active T25S R12E PTN SEC 17 LESS PTN MIN RTS CONS ESMT

Notes

Tax Districts

SAN MIGUEL
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
AREA NO. 21
SAN MIGUEL
NO. 01



Parcel Summary Report For Parcel # 027-061-014

4/8/2016
11:37:40AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

LRP2004-00007

DEN

Primary Parcel

Description:

GENERAL PLAN AMENDMENT FROM AGRICULTURE TO ALLOW A 324 LOT SUBDIVISION CONSISTING OF MULTIPLE LOT SIZES, 32 % OPEN SPACE, AND TRAIL SYSTEM

PMT2013-00281

RVW

Primary Parcel

Description:

MAJOR GRADING FOR TWO IRRIGATION RESERVOIRS FOR VINO FARMS
SITE #1 83,564 CY (5.66 ACRES) AND SITE #2 106,533 CY (5.97 ACRES)
EXEMPT FROM SWPPP PER RWQCB

PRE2006-00092

REC

Primary Parcel

Description:

550 ACRES

SUB2005-00156

RDD

Related Parcel

Description:

PROP 6 CERTS OF COMPLIANCE; 4 APPROVED



Parcel Summary Report For Parcel # 027-061-021

4/8/2016
11:38:34AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JOHN HANCOCK LIFE INSURANCE COMPANY
 1377 E LODI AVE LODI CA 95240-
OWN JOHN HANCOCK LIFE INSURANCE COMPANY

Address Information

Status Address
P 00000 WE 10TH ST NCSAL

Lot Information:

<u>Tract / Twncshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
T25S	R12E	17P	North Cty. Plan	North County I AG				Y		
APV.C77-	051	0004	North Cty. Plan	North County I				N		

Parcel Information

Status Description
Active T25S R12E PTN SEC 17 LESS PTN MIN RTS

Notes

Tax Districts

SAN MIGUEL
PASO ROBLES JT(27,40) (SB1537)
SAN LUIS OBISPO JT(27,40)
SAN MIGUEL
NO. 01
AREA NO. 21



Parcel Summary Report For Parcel # 027-061-021

4/8/2016
11:38:34AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

LRP2004-00007

DEN

Related Parcel

Description:

GENERAL PLAN AMENDMENT FROM AGRICULTURE TO ALLOW A 324 LOT SUBDIVISION CONSISTING OF MULTIPLE LOT SIZES, 32 % OPEN SPACE, AND TRAIL SYSTEM

PMT2013-00281

RVW

Related Parcel

Description:

MAJOR GRADING FOR TWO IRRIGATION RESERVOIRS FOR VINO FARMS
SITE #1 83,564 CY (5.66 ACRES) AND SITE #2 106,533 CY (5.97 ACRES)
EXEMPT FROM SWPPP PER RWQCB

PRE2006-00092

REC

Related Parcel

Description:

550 ACRES