



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

THIS IS A NEW PROJECT REFERRAL

DATE: 10/19/2015

TO: _____

FROM: MICHAEL CONGER, 805-781-5136, mconger@co.slo.ca.us
NORTH COUNTY Team / Development Review

PROJECT DESCRIPTION: PMT2015-00113 JUENGERMANN, PROPOSED MAJOR GRADING FOR SINGLE FAMILY DWELLING, SITE LOCATION IS 3990 SPIRAL DRIVE, CRESTON APN: 042-261-016

Return this letter with your comments attached no later than 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter.)
- NO (Please go on to PART III.)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone



CONSTRUCTION PER

SAN LUIS OBISPO COUNTY DEPARTMENT OF F
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO •

Promoting the Wise Use of Land • Helping to Build Great Communities

Case: PMT2015-00113
JUENGERMANN DEBORAH D
Project: APN: 042-261-016
Grading Major - over 10% slope or > 5000 cu yds
MAJOR GRADING FOR SFD - PMT
2014-02620)
03990 SPIRAL DR NCELPO

APPLICANT / AGENT / CONTRACTOR / ARCHITECT INFORMATION (Check box for contact person)

Landowner Name: ALLEN JUENGERMAN Daytime Phone: 805-794-9683
Mailing Address: 715 CORNWALL DR City: OXNARD Zip: 93035
 Agent: PALOMAR HOMES Daytime Phone: 805-238-5514
Mailing Address: 902 21ST STREET City: PASO ROBLES Zip: 93446
 Contractor: PALOMAR HOMES Daytime Phone: 805-238-5514
Mailing Address: 902 21ST STREET City: PASO ROBLES License Number: B382537
 Architect/Designer/Engineer: NRB DRAFTING Daytime Phone: 805-237-3746
Mailing Address: 2121 PINE ST #A City: PASO ROBLES License Number: N/A
E-mail address: Owner Agent Architect Engineer (check one)

PROPERTY INFORMATION

Assessor Parcel Number(s): 042-261-016 Total Size of Lot: 10 ACRES
Address of the project (if known): SUNBURST ROAD
Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.:
HWY 41 TOWARDS CRESTON YOSEMITE TO SUNBURST
Describe current uses, existing structures, and other improvements and vegetation on the property: EXISTING
UNLIMITED STRUCTURE TO BE REMOVED AT FINAL

TYPE OF PROJECT (check all that apply)

All New Addition Alteration Repair Demolish Moved Building Grading
 Single Family Dwelling Multi-Family Dwelling Mobile Home Barn Garage
 Commercial Industrial Sign
Describe the scope of work for this project: CONSTRUCT NEW SFD'S

SIZE OF PROJECT

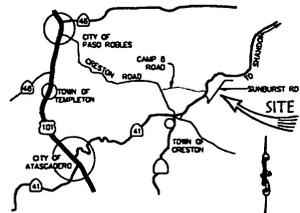
Size of: Residence 1384 sq. ft. Garage 648 sq. ft. Carport 1 sq. ft. Covered Porch 370 sq. ft.
Storage _____ sq. ft. Deck _____ sq. ft. Barn _____ sq. ft. Commercial _____ sq. ft.
Other _____ sq. ft.
Number of: Bedrooms 3 Bathrooms 2 Stories 1
Height of: Roof above average grade 19.6" Retaining/Garden Wall _____ Length of Wall _____
Occupancy Group: R-2/0.2 Construction Type: STACK
GRADING No Yes Maximum Depth of: Cut 3.4' Fill _____
Quantity in Cubic Yards: Cut 400 C.Y. Fill 390 C.Y. Total 690 C.Y. (cut plus fill)
Percent Slope of Natural Grade 10 % Total Area of Site Disturbance 28,000 sq. ft.

UTILITIES

Water: Well Public - agency or company responsible for water provision: _____
Fuel Gas: LPG Natural Gas Pool Heating: LPG Natural Gas
Sewage Disposal: Private Public - agency or company responsible for sewage disposal: _____
Fire Jurisdiction: CAL-FIRE Fire Severity Zone: _____

VICINITY MAP

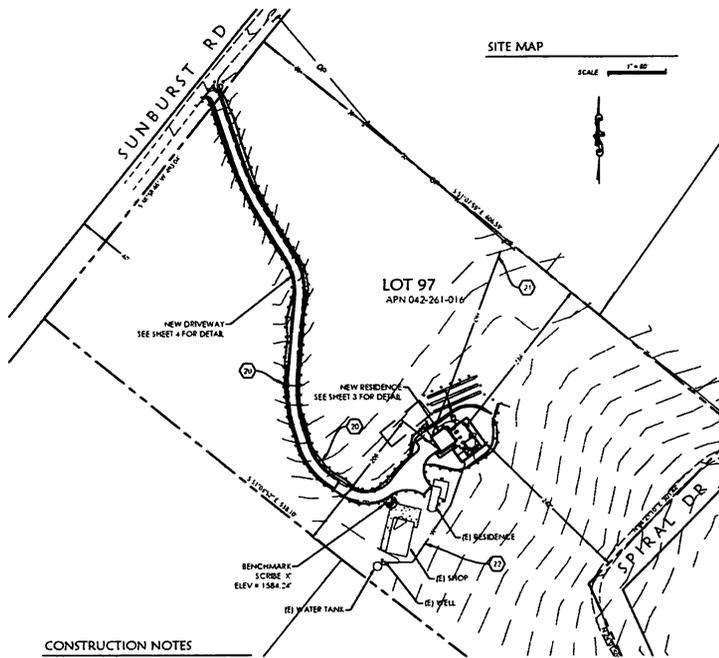
Not to Scale



Juengermann - Sunburst Road - Grading, Drainage & Erosion Control Plan

PROJECT DESCRIPTION: Single family residence

SITE MAP



LEGAL DESCRIPTION

LOT 97 OF ASSOCIATED ALMOND ORCHARDS SITUATED AS PLOD BY BOOK 2, PAGE 31, OF MAPS APN 042-261-014

BENCHMARK

BM = TOP OF A SCRIBED "X" (IC1871) AS SHOWN AT THE NORTH WEST CORNER OF THE CONCRETE PAD SURROUNDING THE SHOP BUILDING ELEVATION = 154.24 FEET (WGS84 - GROUND) ORTHOMETRIC HEIGHT PER GPS OBSERVATIONS

OWNER

ALLEN & DEBORAH JUENGERMANN
715 Cornwall Dr.
Oxnard, CA 93035

SURVEYOR

Ivan Ciles Surveying, Inc.
815 Main Street, Suite C
Tempehlan, CA 93465
TEL: 484-1864

CONSTRUCTION NOTES

- Limit of disturbance, top
- Approximate location of PG&E and telephone. Extend overhead to serve new residence
- Extend water service to serve new residence

APPLICABLE CODES

- 2013 Building Standards Codes
 - California Building Code, Title 1 & 2 (2013 IBC)
 - California Residential Code (2013 IRC)
 - California Mechanical Code (2013 IMC)
 - California Plumbing Code (2013 UPC)
 - California Electrical Code (2013 NEC)
 - California Energy Code, Title 24 (2013 EEC)
 - California Fire Code (2013 FRC)
 - California Green Building Code
 - California Fire Code (2013 FRC)
 - California Reference Standards Code
 - County Building and Construction Ordinance - Title 19
 - County Coastal Zone Land Use Ordinance - Title 23
 - County Fire Code Ordinance - Title 16
 - County Land Use Ordinance - Title 22

PROJECT STATISTICS

Cut 400 C.Y., Fill 290 C.Y., Total 690 C.Y.
Max. cut = 3.4 ft. Max. fill = 2.3 ft.
Average slope > 10 %
Area of site disturbance = 31,000 sq ft (0.71 ac)
Impervious area = 2550 sq ft
Porc of Area = 10.18 acs

ABBREVIATIONS

AC	Asphalt Concrete Paving
AP	Angle Point
CO	Clear-out
CL	Centerline
CDNC	Concrete
CONET	Construction
DA & S	Diameter
ELEV	Elevation
EXIST ()	Existing
FF	Finished Floor
FS	Finished Surface
FR	Fire Hydrant
FL	Flow Line
G	Gas
GR	Grade Break
GP	Finished Grade
HDPE	High Density Polyethylene
HP	High Point
INV	Invert Elevation
LF	Linear Feet
LP	Low Point
MH	Manhole
P	Power
PC	Point of Curvature
PL	Property Line
POC	Point of Curvature
POC/Tangency	Point of Curvature/Tangency
PUE	Public Utility Easement
PVC	Polyvinyl Chloride
R	Right
RT	Radius Point
RP	Radius Point
RW	Right-of-Way
S	Slope
SD	Storm Drain
SS	Sanitary Sewer
STA	Station
T	Telephone
TW	Top of Wall
TY	Typical
W	Water

LEGEND

---	Property Line
---	Existing Ground Contour
---	Finish Grade Contour
---	Concrete
---	Edge of Pavement
---	Water Line
---	Water Valve
---	Fire Hydrant
---	Sanitary Sewer Man
---	Electrical Line
---	Overhead Line
---	Utility Pole
---	City Arches
---	Elec. Vault / Federal / Pull Box
---	Telephone Line
---	Tele. Vault / Federal / Pull Box
---	Fence
---	Gas Main
---	Flowline
---	Proposed Grade & Direction
---	Construction Note Reference
---	Spot Elevation
---	Proposed Slope
---	Top of Wall
---	Typical
---	Water
---	Retaining Wall
---	SB Fence

GENERAL NOTES

- No construction shall be started without plans approved by the County Building Department. The Building Department shall be notified at least 24 hours prior to starting of construction and at the time location of the construction commences. Any construction performance approved plans or prior notification to the Building Department will be rejected and will be of the contractor's and/or owner's risk.
- For any construction performed that is not in compliance with plans or permits approved for the project the Building Department may revoke all active permits and recommend that County Code Enforcement provide a written notice to stop work order in accordance with Section 22.52.140 (2) (1) of the Land Use Ordinance.
- All construction work and installations shall conform to the most current County of San Luis Obispo Public Improvement Standards and all work shall be subject to the approval of the Building Department.
- The project owner and contractor shall be responsible for providing and/or maintaining all-weather access at all times to existing properties located in the vicinity of work. Additionally, they shall be responsible for maintaining all existing services, including utility, garbage collection, mail distribution, etc., to all existing properties located in the vicinity of work.
- On-site hazards to public safety shall be shielded by construction fencing. Fencing shall be maintained by the project owner and contractor until such time that the project is completed and occupied. Potential hazards have been mitigated or alternative protective measures have been installed.
- Soil tests shall be done in accordance with the County Public Improvement Standards, Section 3.2.3. All tests must be made within 15 days prior to the placing material. The test results shall clearly indicate the location and source of the material.
- Roadway construction tests shall be made on subgrade material, aggregate base material, and material as specified by the test material. Soil tests shall be made prior to the placement of the next material.
- Subgrade material shall be compacted to a relative compaction of 95% in the zone between finished subgrade elevation and a minimum of 1-foot below. All material in fill sections below the zone mentioned above shall be compacted to 90% relative compaction.
- A registered civil engineer shall certify that the improvements when completed are in accordance with the plans prior to the request for final inspection. Record Drawings shall be prepared after construction is completed. The civil engineer certifying the improvement and preparing record plans may be present when the final inspection is made by the County.
- An Engineer of Work Agreement and an Engineer Checking and Inspection Agreement are required prior to the start of construction. The Building Department shall be notified in writing of any changes to the Engineer of Work Agreement. Construction shall not proceed without an Engineer of Work.
- All utility companies shall be notified prior to the start of construction.
- A County Encroachment Permit is required for all work done within the County right-of-way. The Encroachment Permit may establish additional construction, utility and traffic control requirements.
- The County Inspector acting on behalf of the County Building Department may require rework in the plans to solve unforeseen problems that may arise in the field. All revisions shall be subject to the approval of the Developer's Engineer of Work.
- The structure section shall be based on soil test taken at the time of construction and using a traffic index of (or road name). The structure section shall be approved by the Building Department prior to road construction.
- Hydro-seeding or other permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces (other than paved or gravel surfaces) prior to the final inspection.
- For any public improvements to be maintained by the County, if environmental permits from the U.S. Army Corps of Engineers, the California Regional Water Quality Control Board/State Water Resources Control Board, or the California Department of Fish & Game are required, the Developer shall submit a copy of all such completed permits to the County Building Department. It is the responsibility of the Developer to ensure that all such permits are in compliance with the applicable laws and regulations. The County Building Department is not responsible for the maintenance and release of improvement security. Any mitigation monitoring required by said permits will remain the responsibility of the Developer.

17 When the project site earthwork is not intended to balance then a separate grading permit for the sending or receiving property may be required. A copy of the permit or evidence that no permit is required shall be submitted to the Department prior to commencing project earthwork.

GRADING NOTES

- All grading construction shall conform to the applicable codes as noted under "Applicable Codes" heading.
- The developer shall be responsible for scheduling a pre-construction meeting with the County and other affected agencies. The contractor shall notify the County Building Department at least 24 hours prior to any work being performed, and arrange for inspection.
- Grading shall comply with the recommendations of the preliminary soils report by Beacon Geotechnical Inc. dated December 29, 2014. Red with the County of San Luis Obispo.
- Estimated earth quantities
Cut: 400 C.Y. Fill: 290 C.Y.
Note: exact shrinkage, consolidation, and subsidence factors and losses due to clearing operations are not included. Estimated earthwork quantities are based upon the difference between existing ground surface and proposed finish grades, or sub grades as shown on the plan, and should vary according to these factors. The contractor shall be responsible for site inspection and quantity take off, and shall bid accordingly.
- Soil engineer to determine the soil is suitable to support the intended structure. Such report including geotechnical and/or contractor reports shall be submitted to the field inspector prior to final inspection when a soil report is obtained. The County policy regarding post construction shall be followed. When applicable the engineer shall observe the grading operation(s) and provide the field inspector with required construction reports and a report stating that the grading performed has been observed and is in conformance with the UEC and County ordinances.
- Mo cut or fill slopes will be constructed steeper than two horizontal to one vertical (2:1).
- Dust control is to be maintained at all times during construction.
- Areas of fill shall be scarified, benched and recompact prior to replacing fill and observed by a soil or civil engineer.
- Fill material will be recompact to 90% of maximum density.
- Remove any deleterious material encountered before placing fill.
- All disturbed areas shall be hydro seeded or planted with approved erosion control vegetation as soon as practical after construction is complete.
- Minimum setback to creeks and streams shall be maintained. Minimum setback of two feet from property lines will be maintained for all grading.
- Minimum slope away from buildings shall be 5% for the first ten feet around perimeter.
- The contractor shall be responsible for the protection of all existing survey markers during construction. All such monuments or markers disturbed shall be reset at the contractor's expense.
- All contractors and subcontractors working within the right of way shall have an appropriate contractor's license, a local business license, and shall obtain an encroachment permit.
- Engineering reports for cut or fill slope steeper than 2:1 shall be submitted to the field inspector.

UNDERGROUND UTILITY NOTES

- An effort has been made to define the location of underground facilities within the job site. However, all existing utility and other underground structures may not be shown on this plan and their location, where known, is approximate. The contractor/contractor agrees that he shall assume sole and complete responsibility for locating or having located all underground utilities and other facilities and for protecting them during construction.
- All utility companies must be notified prior to the start of construction. The contractor/contractor shall contact underground service alert (USA) at 811 two to ten days prior to the start of excavation and shall verify the location of any known utilities and whether or not a representative of each company will be present during excavation.

TABLE 3-7: PRI MANDATORY SITE DESIGN MEASURES *

MANDATORY SITE DESIGN MEASURES (SELECT AT LEAST ONE)	SELECTED	REASON, IF NOT SELECTING	HANDBOOK SECTION
a. Roof runoff directed into ditches or rain barrels for reuse?	optional	At owner's discretion	5.2.1
b. Roof runoff directed into vegetated areas (shale away from building foundations and footings)?	yes		5.2.2
c. Runoff from sidewalks, walkways, and/or patios directed onto vegetated areas (shale away from the building foundations and footings)?	yes		5.2.3
d. Runoff from driveways and/or uncovered parking lots onto vegetated areas (shale away from the building foundations and footings)?	yes		5.2.4
e. Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces?	N/A		5.2.5



Roberts Engineering, Inc.
Juengermann - Sunburst Road
Title Sheet, Notes & Details

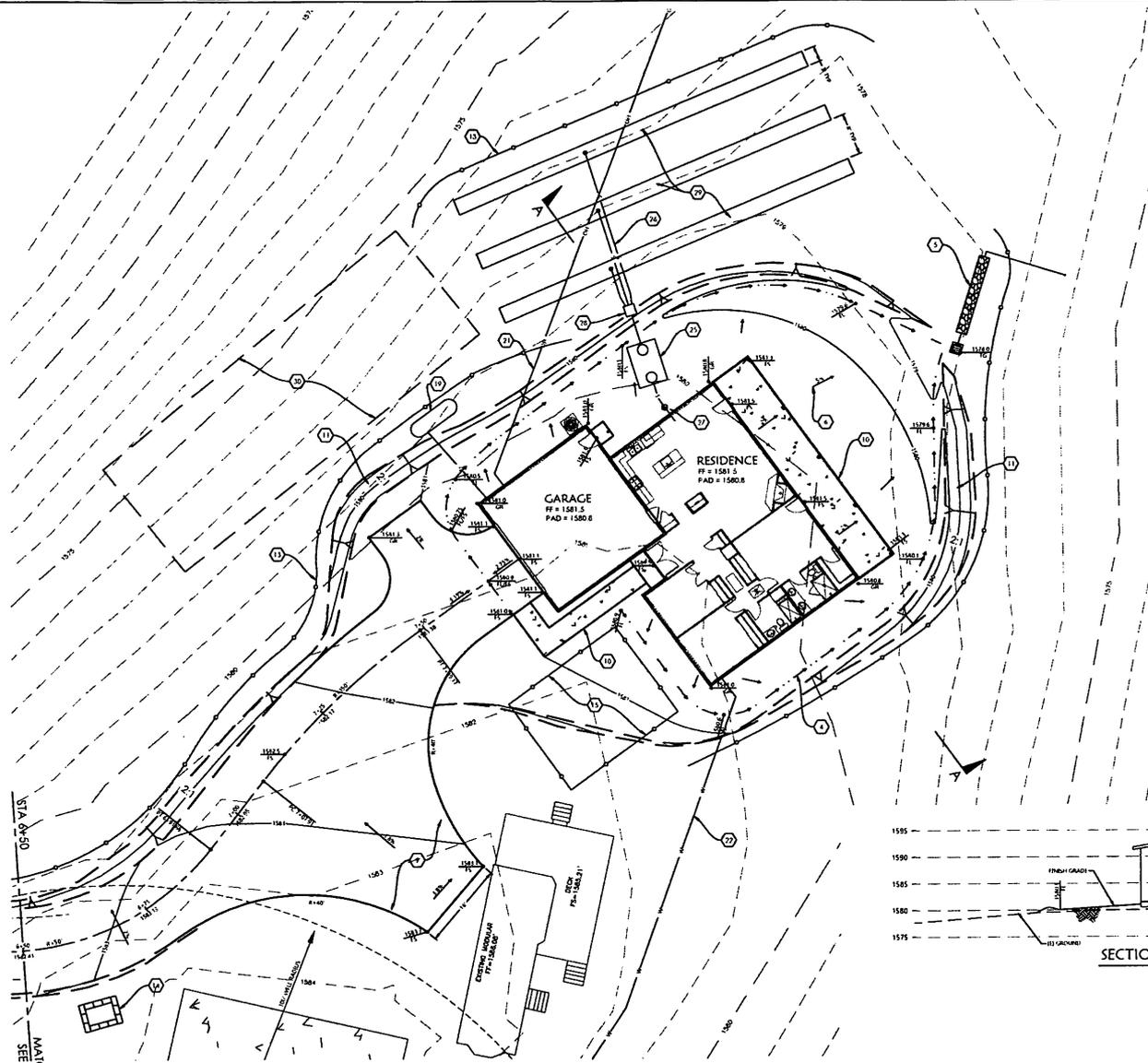


Roberts Engineering
Timothy P. Roberts
Civil Engineer - RCE 35366
2015 Vista de la Vina
Tempehlan, CA 93465
Phone (805) 239-0664
Fax (805) 239-6148
Email: info@robertsengineering.com

Record Drawings

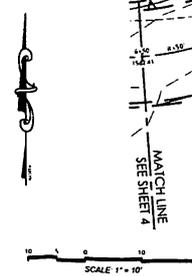
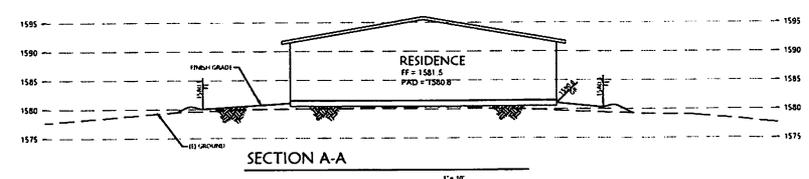
Project #	Juengermann - RCE 35366 - 08/2015	Date	
Sheet No.	15-036	County	San Luis Obispo
Scale		Project Engineer	Timothy P. Roberts, RCE 35366 - 08/2015
Client	Allen & Deborah Juengermann	County Seal	
Contract	N 2402900 E 5829770	County Seal #	1

Project	Juengermann - RCE 35366 - 08/2015	Date	
Sheet No.	15-036	County	San Luis Obispo
Scale		Project Engineer	Timothy P. Roberts, RCE 35366 - 08/2015
Client	Allen & Deborah Juengermann	County Seal	
Contract	N 2402900 E 5829770	County Seal #	1



CONSTRUCTION NOTES

- The footprint of the residence shown herein is based upon a graphic exhibit provided by the owner. While assumed accurate for purposes of this plan, it is not intended for precise building layout.
- 1 Construct 1/2" AC pavement driveway per typical section detail sheet 4.
 - 2 Construct 1/2" of weather Class II aggregate base driveway per typical section detail sheet 4.
 - 3 Construct County Std B-1c drive approach.
 - 4 Construct earth swale at 5 x 15' typical 1/2" wide by 4' deep.
 - 5 Construct level spreader per detail sheet 2, typical.
 - 6 Grade to drain away from proposed structure at 5 x 5% for 10 feet min. typical.
 - 7 Construct brow ditch at top of slope, typical.
 - 8 Edding at weather base way.
 - 9 Construct all weather Class II aggregate base CoFire luminaire.
 - 10 Install 4" PCC concrete flatwork, 5-2% typical. See architect's plans for details.
 - 11 Track straw into, or hydro seed all newly graded slopes with County approved native erosion control seed mix.
 - 12 Construct temporary construction entrance per CASQA detail sheet 2.
 - 13 Install biodegradable fiber rolls at toe of slope and as indicated. See CASQA detail sheet 2.
 - 14 Construct concrete washout structure per CASQA detail sheet 2.
 - 15 Construct temporary material storage area per CASQA detail sheet 2.
 - 16 Install rock filled fabric erosion control bags in "chew-on" formation at 100 foot intervals, typical.
 - 17 Install 1" CY rock rip rap slope protection over erosion control fabric, typical.
 - 18 Install temporary straw bale barrier per detail sheet 2.
 - 19 Install LPG tank. Extend LPG service to new residence.
 - 20 Limits of disturbance, typ.
 - 21 Approximate location of PG&E and telephone. Extend overhead to serve new residence.
 - 22 Extend water service to serve new residence.
 - 23 Install 6" Type A asphalt berm per County Std C-3.
 - 24 Construct asphalt overside drain per Caltrans Std D87D.
 - 25 Install 1,200-gallon septic tank.
 - 26 Install 4" PVC sewer pipe at 1/4% min.
 - 27 Install sanitary sewer clean out.
 - 28 Install distribution box.
 - 29 Install leach trenches: All 1" - Standard trench - 3' x 7' x 1' 5/8" All 2" - Infiltrator leach trenches, 3' x 10' x 1' (2) x 4' chambers (Standard trench shown). See design report for details and specifications.
 - 30 Provide adequate area for 100% expansion.



Roberts Engineering, Inc.			
Juengermann - Sunburst Road			
Grading, Drainage & Erosion Control Plan			
Design/Drawn	County File Number	Approved for County Requirement	
TR / JTM			
Reviewed/Checked	County A.D. No.	Development Services Engineer	Date
15-036		<i>[Signature]</i>	6/12/2015
California Coordinates (NAD83) (Feet)		County Access #	
N 2402900 E 5629770			
			3
			of 4

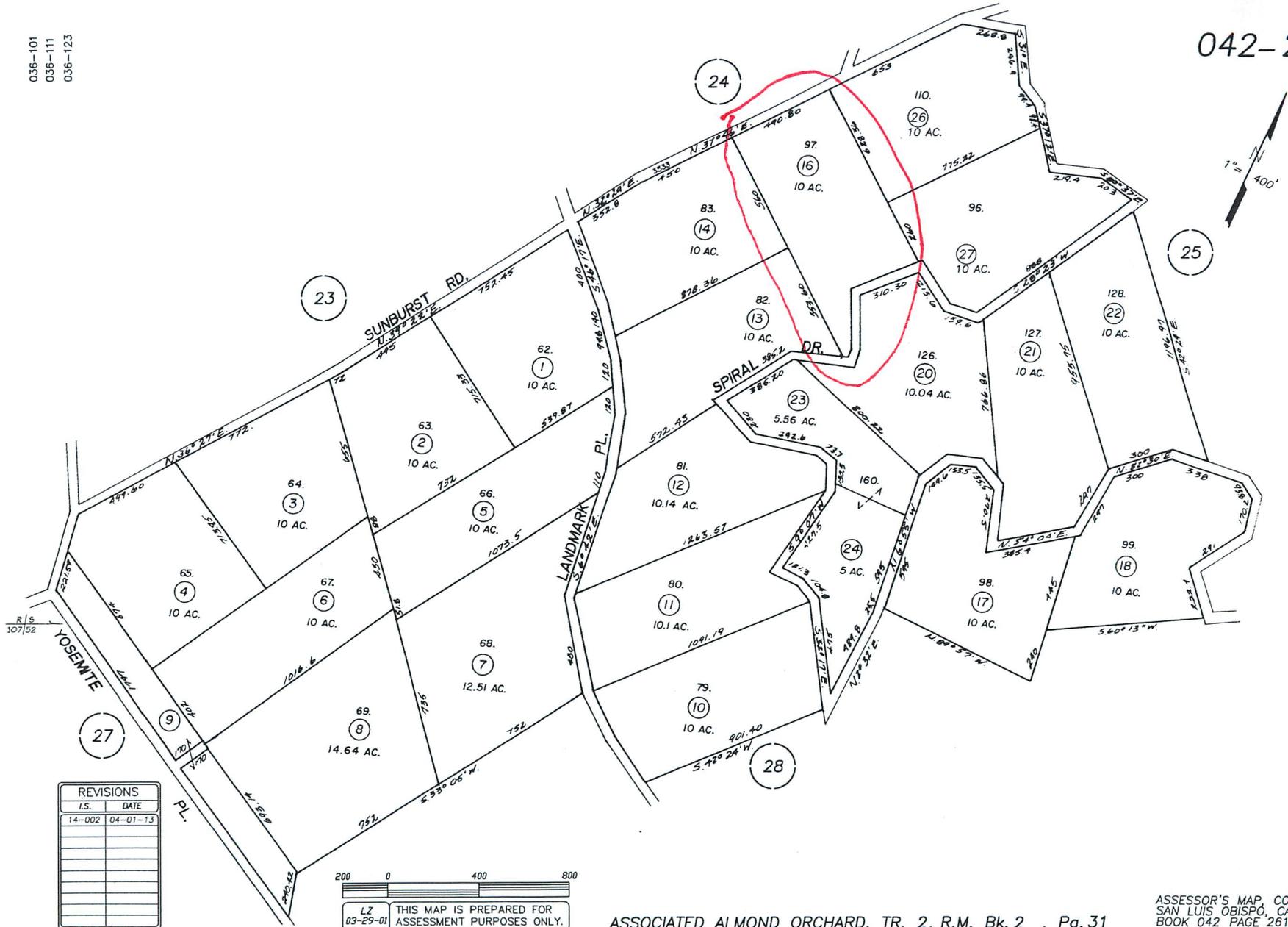
Roberts Engineering
 Timothy P. Roberts
 Civil Engineer - RCE 35366

2015 Vista de la Vina
 Turleyville, CA 93465
 Phone (805) 239-0664
 Fax (805) 235-6148
 Email: roberts@engrcharter.net

Record Drawings	
1. Timothy P. Roberts, RCE 35366 and TR/ JTM	Date
2. Review/Check	
3.	
4.	

036-101
036-111
036-123

042-261



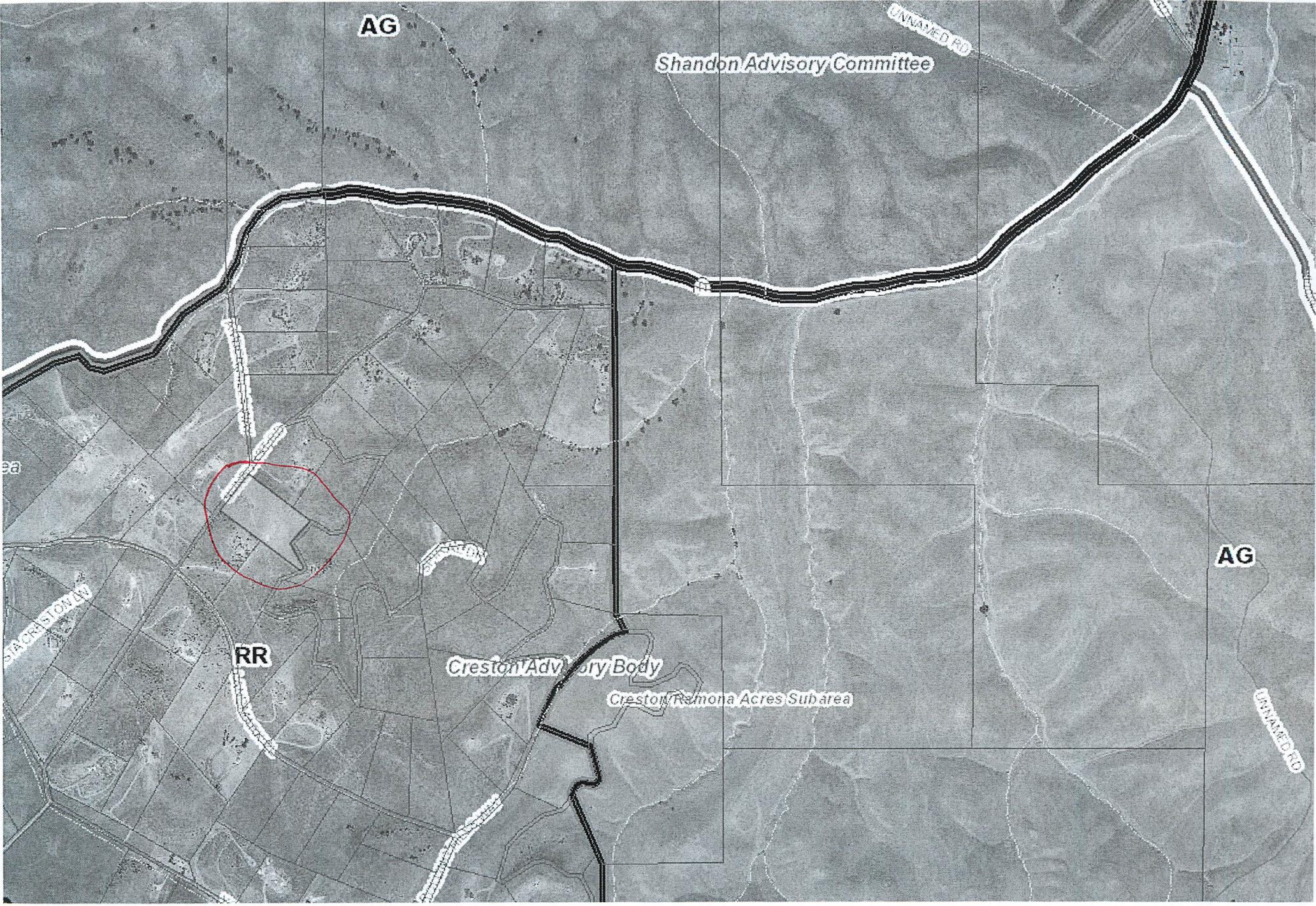
REVISIONS	
I.S.	DATE
14-002	04-01-73

200 0 400 800

LZ 03-29-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

ASSOCIATED ALMOND ORCHARD, TR. 2, R.M. Bk. 2 , Pg. 31

ASSESSOR'S MAP, COUNTY OF SAN LUIS OBISPO, CA. BOOK 042 PAGE 261



AG

Shandon Advisory Committee

UNNAMED RD

AG

RR

Creston Advisory Body

Creston Ramona Acres Subarea

ea

SIA CRISTOVLY

UNNAMED RD



Parcel Summary Report For Parcel # 042-261-016

10/19/2015
3:13:05PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN JUENGERMANN ALLEN
715 CORNWALL DR OXNARD CA 93035-1233
OWN JUENGERMANN DEBORAH D

Address Information

Status Address
P 03990 SPIRAL DR NCELPO

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
ALMORCH2	0000	0097	North Cty. Plan	North County I RR				Y	RI	

Parcel Information

Status Description
Active ALM ORCH 2 LT 97

Notes

Tax Districts

SHANDON JT(27,40)
SAN LUIS OBISPO JT(27,40)
SHANDON
NO. 01
AREA NO. 21

Case Information

Case Number: Case Status:



Parcel Summary Report For Parcel # 042-261-016

10/19/2015
3:13:05PM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

COD2014-00149 REC Primary Parcel

Description:

INVESTIGATION: POSSIBLE UNPERMITTED RES OR RV & EXPIRED GRADING PERMIT (PMT2014-02692 PENDING - TEMP TRAILER)

PMT2008-00016 EXT Primary Parcel

Description:

BARN METAL BY WEDGCOR (AISC APPROVED THRU 8/08)- 1500 SF - W/ ELECTRIC AND STUBS FOR FUTURE PLUMBING (MAJOR GRADING PMT2008-00228)

PMT2008-00098 FNL Primary Parcel

Description:

200 AMP ELECTRIC METER FOR AG WELL - 3 HP

PMT2008-00228 EXP Primary Parcel

Description:

EXPIRED - MAJOR GRADING FOR BARN METAL (METAL BARN PMT2008-00016) HOLDING FOR PLANS

PMT2014-02620 RVW Primary Parcel

Description:

SFD 1,384 SF W/ATTACHED GARAGE 648 SF W/370 SF COVERED PORCH (COD 2014-00149 - MH WITHOUT PERMIT, (NOW TRAILER PERMIT DURING CONSTRUCTION-(PMT2014-02620) WILL BE REMOVED PRIOR TO FINAL OF THIS SFD) EXPIRED GRADING PMT2008-00228 ABANDONED WITH THIS PERMIT (PMT2015-00669 - FIRESPRINKLERS)

PMT2014-02692 REC Primary Parcel

Description:

TEMPORARY TRAILER PERMIT FOR PMT2014-02620

PMT2015-00113 REC Primary Parcel

Description:

MAJOR GRADING FOR SFD (PMT2014-02620)

PMT2015-00669 REC Primary Parcel

Description:

FIRESPRINKLERS FOR SFD (PMT2014-02620)