



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A REVISED PROJECT REFERRAL

DATE: 10/07/2013

TO: Templeton Community Advisory Council

FROM: Xzandrea Fowler – North County Team

PROJECT DESCRIPTION: SUB2008-00019 TR 2992 BONESO - Conc. Tract map w/ CUP for a 10 lot subdivision and development of the 10 lots to include 42,400 square feet of commercial retail space, 62,700 square feet of office space, a 66,000 square foot -120 unit hotel and 2 single family residences. The site is 15 acres at the northwest corner of Las Tablas Rd. and Bennett Way in Templeton. APNs: 040-289-030, 040-331-020, 040-371-001 and 040-370-001.

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date

Name

Phone

SUB 2008-0018
Tract 2992

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

File No _____

APPLICATION TYPE - CHECK ALL THAT APPLY

- Public Lot
- Receiving Site
- Reversion to Acreage
- Lot Line Adjustment
- Sending Site
- Reconsideration
- Parcel Map
- Road Abandonment
- Condominium (new or conversion)
- Tract Map *& CUP*
- Road Name

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Filippone, Thomsen & Boneso Daytime Phone 227-4450
 Mailing Address P.O. Box 932 Paso Robles Zip Code 93447
 Email Address: _____

Applicant Name _____ Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Kirk Consulting-Jamie Kirk/Mandi Pickens Daytime Phone 805-461-5765
 Mailing Address 8830 Morro Road, Atascadero, CA 93422 Zip Code 93422
 Email Address: _____

PROPERTY INFORMATION

Total Size of Site: +/- 15 acres Assessor Parcel Number(s): 040-371-001,-070; 040-289-030,040-331-020

Legal Description: ptn. remainder lot of Tr.2559 Bk 25 pfs26-31; LotBB of Resubdivision of Lots 31-34,60-63 of Bk A pg166 and Parcel 2 of Tr. 611 Bk 9 pg 53

Address of the project (if known): NWcorner of Las Tablas Road and Bennet Way

Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: Take HWY 101 north, exit Las Tablas Road, make left toward hospital, site is at NE corner of Las Tablas Road/Bennet Way traffic signal

Describe current uses, existing structures, and other improvements and vegetation on the property:
vacant

PROPOSED PROJECT

Describe the proposed project (incl. size of all proposed parcels): 10 lot Vesting Tentative Tract Map for Commercial/Office Subdivision: Lot 1:10,360sf, lot 2:10,387sf; Lot 3:38,469sf, Lot 4:49,003sf; Lot 5:75,124sf; Lot 6:85,692sf; Lot 7:85,641sf; Lot 8:79,392sf; Lot 9:73,592sf; Lot 10: 142,362sf

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature [Signature] Date 9-2-11

FOR STAFF USE ONLY

Revised application 9/2/11

Minimum Parcel Size: _____ sq. feet acres by PAS? by Ordinance?

EDIB-044

RTB

LAND DIVISION APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Project Information:

What is the proposed density or parcel size?: Proposed Parcels range from +/-10,000sf to 150,000sf

Number of existing lots, parcels or certificates: 3 Existing parcel sizes: +?-130,000sf

What will the property be used for after division: Mixed Use Development: Commercial Retail, Office Professional and Residential

Is the property part of a previous subdivision that you filed? Yes No

If Yes, what was the map number: Tract No: _____ CO _____ COAL _____

Have you reviewed county records to determine if the subject property has ever been the subject of:

A recorded certificate of compliance or a recorded map? Yes No

Building permits or other approval? Yes No

If you answered Yes to either question, please provide copies of all applicable materials.

Off-Site Improvements: Will off-site road or drainage improvements be required? Yes No

Surrounding parcel ownership: Do you own adjacent property? Yes No

If yes, what is the acreage of all property you own that surrounds the project site? _____

Describe existing and future access to the proposed project site: Access will be provided from two main points of ingress/egress

One will be located in the middle of the site's property frontage on Las Tablas Road and on Bennet Way

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Single Family Residential South: Offices

East: Vacant West: Offices, Twin Cities Hospital

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes (If yes, please submit copy) No

Proposed sewage disposal: Individual on-site system Other _____

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes (If yes, please submit copy) No

Fire Agency: List the agency responsible for fire protection: Templeton Fire Department

List available or proposed utilities: Gas Telephone Electricity Cable TV

Adjustments: Are you requesting any adjustments? Yes No If Yes, please complete:

Parcel & site design (21.03.010(c)) Access & circulation design (21.03.010(d))

Flood hazard & drainage (21.03.010(e)) Water supply (21.03.010(f))

Sewage Disposal (21.03.010(g)) Public Utilities (21.03.010(h))

Road Exception (21.03.010(d))

Briefly describe the reasons for the request _____

Quimby Ordinance (Section 21.09.010, et seq., of Title 21):

How are you proposing to meet the requirements of the Quimby Ordinance:

- Dedicate property for park & recreation purposes Pay the in-lieu fee
- Request credit for common open space (if you are choosing this option, please complete below)

Acreage of open space: _____ Average slope of open space: _____

Describe the on-site recreational amenities being proposed and their location on the open space:

Specify the proposed ownership and method of maintenance of the open space: _____

Affordable Housing - Coastal Zone ONLY (Government Code Section 65590 - Section 23.04.092 of Title 23):

Is your project a:

- New housing project containing 11 or more dwelling units or parcels; OR
- Demolition or conversion of one or more dwellings (includes mobile homes), where the proposed demolition or conversion involves three or more dwelling units in one structure, or 11 or more dwellings units in two or more structures AND any such units were occupied by persons or families of low or moderate income in the 12 months prior to filing the land use or division application.
- Demolition or conversion of one or more dwellings (includes mobile homes) to a non-residential use which is not "coastal dependent".

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- Answer **ALL** of the questions as accurately and completely as possible.
- Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

- Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 1 _____ acres
Moderate slopes of 10-30%: 14 _____ acres
Steep slopes over 30%: _____ acres
- Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: _____
- Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
- Has a drainage plan been prepared? Yes No
If yes, please include with application.
- Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: _____
- Has a grading plan been prepared? Yes No
If yes, please include with application.
- Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
- Is a railroad or highway within 300 feet of your project site? Yes No
- Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: _____

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain Mixed Use: Commercial Retail, Offices, Hotel
 Industrial – Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? _____
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach. _____
7. Does water meet the Health Agency's quality requirements? Yes No
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health.
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test _____ Hours _____ G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No *(a waste discharge permit is typically needed when you exceed 2,500 gallons per day)*

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: Mid State Solid Waste & Recycling,
- 3. Where is the waste disposal storage in relation to buildings? Rear or side, varies with each building refer to site plan
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials? Yes No

Community Service Information

- 1. Name of School District: Templeton Unified School District
- 2. Location of nearest police station: County Sheriff station, Templeton
- 3. Location of nearest fire station: Templeton Fire Department
- 4. Location of nearest public transit stop: Twin Cities Hospital & Las Tablas Park and Ride
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? less than 1 mile to Main Street feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property: vacant
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Agricultural Information

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

- 1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
- 2. If yes, is the site currently under land conservation contract? Yes No
- 3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

- 1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): _____
- 2. Will the development occur in phases? Yes No
 If yes describe: _____
- 3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
- 4. Are there any proposed or existing deed restrictions? Yes No

If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: tbd

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:

Providing neighborhood path connections, sound wall buffer between residential development and project, shared parking and access and a mixed use development that provides smart growth and will contribute to jobs/housing balance, in addition the project is close to downtown and is within walking distance to the Las Tablas Park & Ride and transit stops near Twin Cities Hospital and adjacent residential development.

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property? Yes No

If yes, please describe and provide "ED" number(s): _____

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): _____

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

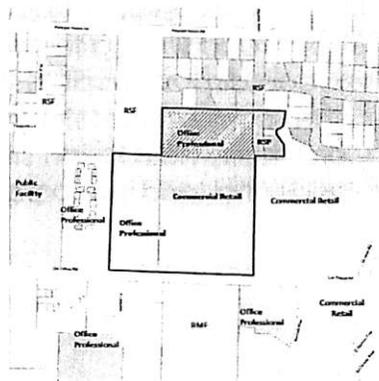
Las Tablas Village

SUPPLEMENTAL DEVELOPMENT STATEMENT

Tentative Tract Map 2992/Conditional Use Permit

Project Setting:

The applicant is submitting a request for approval of a phased vesting tentative tract map and concurrent phased Conditional Use Permit to allow the subdivision and mixed-use development of a vacant, +/- 15 acre property, at the northwest corner of Las Tablas Road and Bennett Way (APN 040-370-001, 040-289-030, 040-331-020, 040-371-070). The property is multi-zoned as follows: Office Professional (APN 040-371-001, 040-331-020), Commercial Retail (APN 040-289-030 and Residential Single Family (APN 040-371-070). The property is within the Salinas River Planning Area and Templeton Urban Reserve Line. The site is bordered by single family residential use to the north, medical office and office professional use to the south, vacant commercial to the east and medical office and hospital uses to the west. The site is bordered by Las Tablas Road at the southern property line and Bennett Way to the immediate east (the RSF portion of the site is on the east side of Bennett Way). The topography of the site has gentle to moderate slopes, is currently undeveloped and consists of mostly annual grassland habitat.



Project Description:
Vesting Tentative Tract Map/Conditional Use Permit

Vesting Tentative Tract Map 2992: The proposed project will subdivide an existing +/- 15 acre property consisting of the following assessor parcel numbers (APN 040-370-001, 040-289-030, 040-331-020 and 040-371-070). The proposed tract map will subdivide the three existing parcels creating a total of eight commercial lots which will encompass each proposed commercial / office building and two lots which will divide the pocket of the RSF property on the east side of Bennett Way into two lots.

Commercial and office development are identified as lots 3-10 on the Vesting Tentative Tract Map, lots 1 & 2 are proposed for future single family development. Access to the property will be provided from Las Tablas Road and Bennett Way. Utilities will be relocated underground. Proposed reciprocal easements over all of the commercial parcels (except under buildings) include: access, public utilities, water, sewer, drainage and parking.

Subdivision Standards:

The County Land Use Ordinance Section 22.22.090 establishes the minimum parcel sizes for the Office and Professional, Commercial Retail land use categories. The required area is based community services as follows:

Type of Sewage Disposal System	Minimum Parcel Size	
	Community Water	Individual Well
Community Sewer	6,000 Sq. Ft.	1 Acre
Septic Tank Leaching Capacity: 0-5 Minutes/Inch	20,000 Sq. Ft.	2.5 Acres
5+ Minutes/Inch	1 Acre	2.5 Acres

The proposed parcels will utilize community sewer and meet the minimum 6,000sf parcel size requirement and have will serve letters from TCSD for 34 water units and 34 sewer units.

The minimum parcel size for Residential Single Family zoned lots are set forth in Section 22.22.080, which states that the minimum parcel size for parcels in the Residential Single Family is based upon the type of public road serving the property proposed for division, terrain features, and the type of sewage disposal facilities to be used for the parcels to be created. This project meets the countywide standards for a 6,000 sq. ft. lot subdivision; however, Templeton Community has design standards requiring a minimum of 7,500 sq. ft. in the Single Family Residential land use category.

[LAS TABLAS VILLAGE]

- A. **Lot access test.** The lot size test considers both the type of public roadway providing vehicular access to the site and roads to be constructed with the land division. If more than one public street would serve a proposed parcel, this access standard shall be applied only to the street that actually provides vehicular access.

Road Type (1)	Minimum Parcel Size
Arterial	20,000 sf
Collector	10,000 sf
Local	6,000 sf

Notes:

- (1) As identified by the Land Use Element (Part II).

- B. **Slope test.** Site slope shall be measured as an average for each proposed parcel, as defined in Article 8 (Definitions - Slope).

Average Slope	Minimum Parcel Size	
	Outside GSA	Inside GSA (1)
Over 30%	20,000 Sq. Ft.	1 Acre
16-30%	8,500 Sq. Ft.	15,000 Sq. Ft.
0-15%	6,000 Sq. Ft.	6,000 Sq. Ft.

Notes:

1. Geologic Study Area combining designation.

- C. **Sewer test.** The sewer test considers the type of sewage treatment facilities that will serve the proposed parcels.

Sewage Facility	Minimum Parcel Size
Community Sewer	6,000 Sq. Ft.
Septic Tank Leaching Capacity: 0-5 Minutes/Inch 3+ Minutes/Inch	20,000 Sq. Ft. 1 Acre

Conditional Use Permit: This project requires a conditional use permit because it proposes Commercial Office/Retail development that exceeds 20,000sf. The +/- 181,900sf development is proposed as a village-type setting. Eight of the lots (lots 3-10) are proposed for development consisting of free standing Commercial Office and Retail structures and a 120-unit hotel.

Lot	Lot Zoning	Bldg Type	Bldg ID	Proposed Bldg Sf	# Stories
1	Residential		none		
2	Residential		none		
3	Commercial Retail	Retail/Commercial	C.3	10,800	1
4	Commercial Retail	Retail/Commercial	C.4	7,800	1
5	Commercial Retail	Retail/Commercial	C.1	18,800	1
6	Commercial Retail	Retail/Commercial	C.2	15,800	1
7	Office Professional	Office	O.1	24,000	2
8	Office Professional	Office	O.2	24,000	2
9	Office Professional	Office	O.3	14,700	1
10	Office Professional	Hotel	H.1	66,000	3

Conceptual building floor plans and elevations, guided by the Templeton Community Design Plan standards, have been provided with this application. The owners' vision is to create a shopping and working environment which will provide regional and local services. The site is immersed within the Las Tablas medical corridor and Petersen Ranch's residential community. The proposed project uses will enhance the commercial vitality of the community and provide additional jobs and walkable services to the immediate residential neighborhood. Foreseen uses include a balanced combination of general retail, office professional, hotel and restaurant(s). No tenants are locked into the development at this time.

Phasing

Tentative Map Phasing

For purposes of tract map 2992 final map recordation the phasing plan is as follows:

Phase I: Lots 1 & 2

Phase II: Lots 3-10

Please refer to Tentative Map Phasing Plan, sheet TM-2 for further reference.

Conditional Use Permit Phasing

For purposes of the Conditional Use Permit, phasing includes the following:

Phase I: Residential Development- Lot 1

Phase II: Residential Development- Lot 2

Phase III: Commercial Retail Development- Lots 3-6

Phase IV: Office Professional Development- Lots 7-9

Phase V: Hotel Development- Lot 10

Conditional Use Permit phasing shall be processed consistent with LUO Section 22.64.080. Please refer to phasing plan, sheet A1.1.

Preliminary Grading, Drainage and Utilities

The proposed project plans to disturb approximately 90% of the site. It is roughly estimated that the project will require 80,000 cubic yards cut and 35,000 fill with a net export of 45,000 cubic yards. Excess cut material(s) will be required to be transported to an approved site.

Step block walls (vary from 4'-6') will border the western and northwestern property lines as well as the southeastern corner and other locations on the project's east side. These walls will act as a retaining walls and sound barriers between the proposed development and adjacent commercial and residential uses.

Storm water will be collected from the parking lot surface from various storm drain manholes and inlets throughout the site and detained in underground storage basins. There are three underground detention basins proposed (totaling ability to hold +/- 60,000 cubic feet in volume). The project also incorporates Low Impact Development design (rain gardens and bio-swales for additional storm water infiltration). These design

features will allow the project's runoff to be detained and mitigated to release at the 2-year pre-development discharge rate. Please refer to Storm water Memo from RRM, 'Pre-existing peak flow and detention basin sizing' dated August 16, 2012 and updated Grading and Drainage Plan- sheet C-1 (8/15/12) for further information. As designed these basins will achieve County standards and will not contribute to downstream deficiencies.

The project will be served by a public water line to be extended through the project. Future fire water and domestic service meter connection locations will be reviewed and approved by Templeton Community Services District and the TCSD Fire Chief with the development of construction documents.

In addition to the County's Environmental Health preliminary evidence of water letter, the Templeton Community Services District has also issued a Conditional Will Serve Letter (10/28/08) indicating that they are willing to provide 34 water units and 34 sewer units to the site. Water demand calculations have been provided by RRM Design Group and yielded a project demand of 81-units, leaving the remainder of 49 units needed (81 units total project demand – 34 units obtained= 49 units still needed). The owners are first on the District's water allocation list and have the ability to purchase the remaining 49 units when the project is at the building permit phase.

The proposed project will be provided electricity service by PG&E and telephone services by AT&T via existing lines which serve surrounding commercial and residential development. Southern California Gas will provide gas service to the project via an existing gas main on Las Tablas Road.

Environmental Documents:

Traffic/Circulation:

Traffic Impact Analysis- prepared by Associated Traffic Engineering (ATE)- The traffic report analyzed the existing plus project impacts and cumulative impacts in order to come up with its conclusion. The existing level of service at the Las Tablas Road/Bennet Way signal operates at a LOS C. The County accepts LOS D or better. The study analyzed project impacts for a mixed use development: 53,200sf commercial retail, 62,700sf office center, 120-hotel (66,000sf), and two single family residences. Primary trips for this mixed-use development was estimated at 5,397 ADT, average daily trips (508 pm peak trips and 332 am peak trips). These numbers were added to the existing traffic trips and came to the conclusion that existing plus project traffic trips would still maintain the an acceptable operation above LOS D. Project trips at peak hours will also maintain a LOS B at the Las Tablas/Bennet Way traffic intersection. In addition, the study accounted for cumulative impacts (considered recently approved projects, projects in pipeline) and this also met acceptable County level of service levels. Therefore, it was concluded that project impacts will not significantly impact peak hour operations existing signals, nor decrease the level of service (LOS) to an unacceptable level by County standards.

In addition, this project is within the Templeton Area Road Improvement Fees (Area A), which is subject to contribute into a fair share program that helps fund both regional and urban improvements. Road improvement fees are based on trip generation rates, determined by ITE manual, which are based on individual uses. The fees will be determined at the time construction permits are filed and will be based on amount of square footage allotted with each use.

In addition to the ITE traffic trip calculations, the project also has transportation amenities that will contribute to a transit-friendly environment which include: Las Tablas Park & Ride, transit stops at Twin Cities Hospital and the project itself will provide walkable services to the Peterson Ranch neighborhood as well as the adjacent multifamily developments..

Noise

Acoustical Analysis- prepared by David Dubbink Associates- Noise impacts from the proposed project were requested to be analyzed given the project's proximity to nearby residential land uses. Potential project noise levels were measured within the project site along with the present noise environment.

The study evaluated potential project noise related to truck delivery, parking lot navigation, doors closing, occasional alarms/horns, and general uses of the site. The study recognizes that there is background noise generated from a nearby helicopter pad, hospital emergency services and other commercial and residential uses. In addition a retaining/sound wall is proposed along the western and northwestern perimeter which will also aid in noise reduction heard on and off-site.

Trash and loading areas are located at the nearest 40'-60' away from the nearest residence. The project provides a 4-6" retaining, sound wall and landscape buffer to alleviate noise impacts.

The results of the acoustical analysis determined that the proposed project uses and projected noise generated will not exceed County noise standards except for the northwest trash enclosure near building O.3. This trash enclosure re-location is being addressed by the design team to be re-located further away from the adjacent apartment complex. The acoustical engineer also recommended additional mitigation implementation be provided to further reduce noise such as: limit construction activity time to avoid nuisance with nearby residences, provide disclosure to future tenants of the office buildings of helicopter noise, reduce helicopter noise impacts by constructing roofs, which will filter noise, at office buildings 2 and 3. All of these items can be addressed when construction documents are submitted.

Applicable Planning Standards:

The project is located within the Salinas River Planning Area and within the Templeton Urban Reserve Line Area. The site is designated as a Commercial Retail, Office Professional and Residential land categories and is also subject to requirements set forth in the County Land Use Ordinance. Since the site is located within Templeton's Urban Reserve Line Area, it is also subject to guidelines set forth in the Templeton Community Design Plan.

Salinas River Planning Area Standards:

The Salinas River Area plan recognizes the need for commercial development and creation of jobs. The Salinas Area Plan simply states that Templeton has a lack of local employment opportunities and retail services. The intention of the plan is to create a self-contained community and in order to do so the community encourages commercial and office development which can house needed jobs in the community as well as provide necessary services. This project exceeds these goals for the community as it not only creates a live/work environment but also does so in a smart growth fashion since it is an infill project that will allow employees to reside in a walkable employment climate.

The Las Tablas Road area is specifically designated for commercial and office professional development. The Salinas River plan understands the need to expand medical office related uses as well as general employment opportunities. In addition, Las Tablas Road is also called out as a Commercial Retail node that should provide for visitor services such as lodging, entertainment and other services. The Las Tablas area is also intended for neighborhood daily shopping needs for nearby residences and employees. The Las Tablas Village project proposal provides a quality project that intends to fulfill the Salinas Area Plan's specific goals by providing a hotel, commercial retail structures available for the opportunity of a pharmacy, restaurant, market and other office / medical buildings to support the local job market.

Applicable Salinas River Planning Area Commercial Retail Design Standards apply to fencing, curb, gutter and sidewalk improvements. Retaining walls and curb, gutter and sidewalk improvements have been incorporated to the site design as required below.

H. Commercial Retail (CR). The following standards apply within the Commercial Retail category.

1. Fence and wall requirement. This standard applies to solid fences and walls that are proposed along public roads and will be visible from the public road. Fences and walls shall be constructed of durable and high quality materials including but not limited to: masonry, river cobblestone, stucco or a combination of wood with stone or stucco columns. Solid wood fences are not allowed unless they are continuously screened with landscaping and maintained. Refer to the Templeton Community Design Plan, page V-16 through V-18, for criteria on fence and wall materials and detailing.
[Amended 2003, Ord. 3010]

2. Las Tablas Road and Vineyard Drive areas.

a. Streetside improvements. Curbs, gutters, sidewalks and street paving are required with all projects.

Land Use Ordinance Consistency:

The project site is within multiple land use categories: Commercial Retail, Office and Professional and Residential Single Family. Each proposed lot is zoned differently and its subsequent uses are all compatible with allowable uses set forth in Table 2-2 of the County LUO.

Commercial Retail

Types of Commercial Retail tenants are unknown at this time; however it is assumed that uses such as: a pharmacy, a restaurant and other retail anchors, such as a market, that may occur at this development.

Office Professional

Tenants for the office buildings are also not determined at this time. However, it is likely that medical related uses will occupy those buildings given the existing medical corridor provided alongside Twin Cities Community hospital. It is possible that the proposed buildings could potentially house a small outpatient clinic similar to the center in Arroyo Grande. Both medical related offices/suites, other offices and outpatient clinics are all allowed uses in the Office Professional land use category.

A 120 unit hotel is proposed for both conventional and extended stay guests. A hotel is an allowed use in the Office Professional land use category subject to a Conditional Use Permit, as is true in most land use categories.

Residential Single Family

Two lots are currently zoned Residential Single Family (lots 1 & 2 on Vesting Tentative Tract Map 2992). The project recognizes that they will remain as a future residential use, and will likely be developed individually at a later date.

Parking Calculation & Design

Tenants are unknown at this stage; however, parking calculations were provided to accommodate allowed, and desired commercial retail/office uses set forth in Chapter 18 of the County Land Use Ordinance. The anticipation of development uses is to include a balanced combination of general retail, office professional (medical related), a restaurant and hotel.

In the assumed scenario on the following page, the site would expect to be over parked by 88 parking spaces (*utilizing a shared parking reduction and use of compact car spaces). In addition, most of the uses have a high to medium parking lot turnover which would allow parking spaces' vacancy to be available more frequently.

Table 14
Zoning Ordinance Parking Requirements

Land-Use	Size	Parking Rate	Spaces Required	Spaces Provided
Retail/Commercial				
Bldg C.1 - Sales Area	14,288 SF	1 Space/300 SF	48 Spaces	
Bldg C.1 - Storage	4,512 SF	1 Space/600 SF	8 Spaces	
Bldg C.2 - Sales Area	12,008 SF	1 Space/300 SF	40 Spaces	
Bldg C.2 - Storage	3,792 SF	1 Space/600 SF	6 Spaces	
Bldg C.3 - Sales Area	8,208 SF	1 Space/300 SF	27 Spaces	
Bldg C.3 - Storage	2,592 SF	1 Space/600 SF	4 Spaces	
Bldg C.4 - Restaurant Customers(a)	6,825 SF	1 Space/60 SF	114 Spaces	
Bldg C.4 - Restaurant Employees(a)	6,825 SF	1 Space/360 SF	19 Spaces	
Bldg C.4 - Restaurant Employees(a)	975 SF	1 Space/100 SF	10 Spaces	
<i>Commercial Sub-Total</i>			<i>276 Spaces</i>	<i>231 Spaces</i>
Hotel				
Bldg H.1	120 Units	2 Spaces + 1 Space/Unit + 1 Space 10 Units	2 Spaces 120 Spaces 12 Spaces	
<i>Hotel Sub-Total</i>			<i>134 Spaces</i>	<i>134 Spaces</i>
Medical				
Bldg O.1 - Outpatient Surgery	30 Beds	1 Space/Bed	30 Spaces	
Bldg O.1 - Outpatient Surgery	50 Offices	1 Space/Office	50 Spaces	
Bldg O.1 - Medical Offices	12,000 SF	1 Space/200 SF	60 Spaces	
Bldg O.2 - Medical Offices	24,000 SF	1 Space/200 SF	120 Spaces	
Bldg O.3 - Medical Offices	14,700 SF	1 Space/200 SF	74 Spaces	
<i>Medical Subtotal</i>			<i>334 Spaces</i>	<i>320 Spaces</i>
Subtotal All			744 Spaces	
Less 20% Shared Parking Reduction			-149 Spaces	
Total Parking Required per Zoning Ordinance			595 Spaces	683 Spaces

(a) Pursuant to Zoning Ordinance, customer parking based 1 space per 60 SF of floor area devoted to patrons + employee parking based on 1 space per 360 SF of floor area devoted to patrons + employee parking based on 1 space per 100 SF of floor area devoted to kitchen area.

The community has expressed concern with parking issues in recent commercial developments. In order to provide comfort to this issue, the proposed design provides for a variety of uses, high parking lot turnover, 30' wide drive aisles and more parking spaces than is required. Additionally the project includes the following attributes:

- Adjacent to regional transit hub with bus stops and ride sharing parking lot
- Site plan integrates an internal circulation system for pedestrians and bicycles
- Commercial tenants are within the walking/biking distance to several existing residential and office developments
- Proposed development will create shared parking easements between parcels

Loading bay intensity was also analyzed in the traffic analysis. Two loading bay areas are provided in the center of development (for Buildings C.1 and C.2) and near project entrance. These larger loading bays were found to be sufficient and further discussed in the traffic study. The remainder of the site will be serviced by small loading trucks during off-peak hours, in the evening or early morning to avoid traffic conflict during normal business hours.

Templeton Community Design Plan: Non-Residential Site Planning –Outside of Downtown

The Templeton Community Design Plan identifies this property within the 'non-residential site planning- outside of downtown' area. The Las Tablas Road area is further described as a commercial/ office node that encourages development which attracts regional visitors and provides local employment and neighborhood daily needs. This site complies with Templeton Community Design Plan standards since the design will cluster its structures, preserve the natural topography and provide architectural interest that replicates Templeton's history.

Las Tablas Road: Quiet office corridor surrounded by single-family residential tracts. Large office complexes and sites with internal drives and commanding views.

Development should consolidate buildings into campus-like clusters that are also linked to other sites. The development should fit and blend comfortably into the landscape, deferring to prominent open spaces and existing natural features.

The project proposal has been designed to incorporate many features of the design plan including the following:

Guideline V.E.1: Setbacks. Front and street side setbacks for non-residential building shall be 10 feet minimum, and parking drives and areas should setback 20 feet minimum. The site contains Commercial Retail and Office Professional structures. All structures have a 10' setback. Office buildings closest to adjacent residential development include setbacks ranging from 20' to 80' and sound walls as buffers. Parking areas located near front setbacks and public road frontages are setback at least 20' from the property line.

Where development is located next to a residence or a residential land use category, provide a sound attenuation wall and landscaping within the setback that is required by the Land Use Ordinance, regardless if the area is fenced from view, as a buffer from non-residential activity.

Guideline V.E.2: Building Locations. Periodically locate buildings adjacent to the major road frontage of sites, with at least one public building entrance facing the street. Locate buildings on adjacent site to orient and relate to each other. Avoid double blank walls facing one another at the property line. The property is bounded by Las Tablas Road and Bennett Way. Each building is related to one another. The buildings have been designed with four-sided architecture so that no side appears as a 'blank wall'. The buildings are street oriented through its incorporation of architectural dimension, large windows, decorative features, and its walkways that are inviting for pedestrian traffic.

Guideline V.E.3: Site Alteration and Coverage. Minimize grading and coverage with buildings and parking to 70% or less of each site exclusive of setbacks, leaving the remainder in open area, landscaped in native-type plants, incorporated within parking areas and the project's design. The project is a clustered, campus-like design. Building

Coverage is limited to +/- 18% of the site. The remainder of the site is populated by native landscape, pathways, and parking.

Guideline V.E.4: Building Footprint. Articulate building footprints with a variety of insets, corners, and jogs in the facade that emphasize interesting entries, outdoor spaces, and circulation paths where visible from the public road. The buildings have been designed to provide architectural interest with a variety of elements that create visual interest. Each building has its unique personality and all coincide together to illustrate Templeton's small-town character. Varied rooflines, recessed entrances and windows, decorative balconies, trellises, decks, different materials for siding and colors all provide superior architectural articulation. There are also small pocket courtyards with landscaped tree wells in between buildings to provide public gathering areas.

Guideline V.E.5: Service Areas. Locate structures to conceal all service areas and storage areas from public street view. Incorporate these areas into the main building whenever possible

No storage areas or service areas are visible from public street view. They will be screened with walls and landscape.

Parking

Guideline V.E.6: Inter-site Connection. Parking lot design should provide for pedestrian and vehicular connection to adjacent parcels where uses are compatible and such connection is practical. Parking lot design provides for pedestrian connectivity with surrounding land uses. Residential development and additional offices and commercial retail make up adjacent land uses. Site design includes sidewalk connection at front and side locations, along public roads, to encourage pedestrian traffic, from nearby the nearby medical establishments homes, other commercial/office developments. Vehicular access is provided from Las Tablas Road and Bennett Way, both of which provide connection to Templeton's residential areas and downtown.

Guideline V.E.7: Parking Lot Design. Small parking lot areas of 30 spaces or less are encouraged. When parking requirements exceed 30 spaces, separate the lot into smaller lots interrupted by planted areas and sidewalks. There are several parking areas incorporated in the site design. Each area supports different buildings and their uses. All parking areas are heavily landscaped with a variety of trees, shrubs, native grasses and textured pedestrian pathways.

Guideline V.E.8: Parking Lot – Building Transition Space. Maintain a distance of at least 5 feet between a building and parking area. Except where walkways are provided, plant this transition space with groundcover, shrubs, and trees. Buildings are located more than 5 feet from parking areas. These transition areas will provide walkways, seating areas and landscape.

Guideline V.E.9: Parking Lot Landscaping. To provide a tree canopy, one of the following methods is recommended:

1. A planted island or break at least 5 feet wide should be provided at an interval of at least every 6 parking spaces in a row. At least 2 trees of minimum 15 gallon size should be provided in each required break.
2. One tree planted at an interval of at least every 3 parking spaces. Under this method, a continuous row of up to 12 spaces may be used. If over 12 spaces, provide a planted break.

Whether using method 1 or 2, provide a planted area with at least 2 trees at the end of each row of spaces. Parking lots have been designed to meet methods 1 and 2 by incorporating several islands and tree wells to achieve and most likely exceed the 60% shade requirement. Ornamental deciduous and evergreen trees will be located in tree wells and island areas, saturating the parking lot areas.

Entry Location / Design

Guideline V.E.10: Entry Location and Design. Where a corner location is being developed, locate parking lot entries on side streets (or the less busy street). Where this is not possible (mid-block location), design the major street site entries with an appropriately patterned concrete or pavers to differentiate it from the sidewalks. Pavers are not allowed within the right-of-way (ROW).

Access roads and/or parking lot entries for commercial developments should be located at least 200' apart unless a joint/shared driveway is designed. Also, separate private property driveway entries should be located a minimum of 10 feet from property lines.

Driveway entries should be at least 25 feet wide and preferably 30 to 35 feet wide so that an entering vehicle does not interfere with an exiting vehicle.

This project is located at the northwest corner of the Las Tablas Road and Bennett Way intersection. The entry location/design standard is met since the only access is off is provided off of both roads. Las Tablas Road entrance is approximately 40' wide with decorative paving and landscaped median. It includes a one lane entrance and two lane exiting (left and right turning queues) onto Las Tablas Road. The entrance from Bennett Way is 30' wide with two lanes. Both driveways are distinguished with landscape and monument signage.

Guideline V.E.11: Pedestrian Movements. Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for the pedestrian to cross parking aisles. Design the parking lot so that drive aisles are perpendicular to the buildings or major tenant.

The parking areas should be designed in a manner which physically links the building to the street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways, trellis structures, and/or landscaping features. The parking areas have been designed so that pedestrians walk parallel to the moving cars. Drive aisles have been designed perpendicular to the

buildings. There are integrated pathways and landscape that encourage pedestrian activity throughout the site.

Guideline V.E.12: Queuing Setback. *The first parking aisle which is perpendicular to a driveway or first aisle juncture, shall be set back at least 40 feet from the curb. With larger centers, significantly more setback area may be required. Without this provision, vehicles will queue into the street.* Queuing setback is well over 40' from the curb. The design has a main access road through the site where queuing can occur. The queuing area/main access road provides plenty of space for site egress and turning movements.

Guideline V.E.13: Parking Area Screening. *Provide three feet of screening (berms, fence, walls, lower grade, etc.) between street and parking. This will aid in obscuring views of automobiles while promoting views of building signs.* The project is designed so that parking is surrounded by structures and landscaped corridors, thus obscuring views of parking from public streets. In addition perimeter walls and landscape are proposed to screen views from nearby adjacent residential development in compliance with Section 22.18.070G.

Standard V.F.1: Lighting. *All lighting shall be shielded so that neither the lamp nor the related reflector interior surface is visible from any location off site. All lighting, poles, fixtures and hoods shall be dark colored. No exterior lighting shall be installed or operated in a manner that would throw light, either reflected directly, in an upward direction except for flags or other objects as specified below. Lighting shall further be designed to meet the following specific criteria.*

Light trespass at property line. Illumination from light fixtures on residential zoned property shall not exceed 0.1 foot candles, or on business and commercial property shall not exceed 0.5 candles. Illuminated flags or other objects. Fixtures shall use a narrow cone beam of light that will not exceed 5.0 candles nor extend beyond illuminated object.

Architectural and decorative lighting. Upward directed decorative lighting shall not be visible above the building roofline.

Externally illuminated building identification signs. Signs shall only use shielded light fixtures mounted on top of the sign structure and will not exceed 1 footcandle reflected at 10 feet.

Outdoor light fixtures. Shall be directed so that there will be no objectionable direct light emissions. Light fixtures near adjacent property may need shielding to prevent light trespass.

Building exterior lighting will not exceed light trespass requirements since they are all planned to be under 1 footcandle. Decorative site and building downward shielded lighting will be used. Refer to the Conceptual Lighting Plan included with this package.

Standard V.F.2: Signs. Commercial Signs. All signs shall be shown on land use permit applications for any commercial projects. A sign plan that specifies location, types and size of signs shall be approved as part of any land use permit application for commercial projects. Development signage is currently being designed to comply with commercial development sign requirements set forth in Section 22.20.060 in County Land Use Ordinance. As part of the Conditional Use permit the project is requesting the following signage program for this mixed-use development

Location	# of Signs					Signage Subtotal (SF)
	10sf Suspended Sign	Up to 80sf Wall Sign	Monument Sign (60sf)	Entry Sign (60sf)	Directional Sign (60sf)	
Overall Site			1	1	7	580
O.1						
O.2						
O.3	2	2				180
C.1	1	1				90
C.2	4	7				600
C.3	4	7				600
C.4		1				80
H.1		2				160
Total Signage Requested (SF)						2,290

Standard V.F.3: Hours of Operation. The conduct of retail business within the Templeton Urban Reserve Line, except for essential medical services, is limited to the hours between 5:00am and 2:00 am daily, and between 5:00am and 11:00 pm daily for any business within 500 feet of any residential land use category, unless alternative hours are approved as part of any land use permit.

Retail businesses associated with the project, with the exception of a potential drive-through associated with a pharmacy, will comply with allowed hours 5am to 11pm,. The hours of operation for a pharmacy with drive-through facilities would be 24 hours a day.

Standard V.F.3: Drive-In and Drive Facilities. Retail trade or service uses which conduct business while customers remain in their vehicles, such as drive-through facilities that are accessory to a principal building, where business is conducted inside or businesses that conduct all business by means of drive-through facilities; shall be limited to areas that are more than 500 feet from any residential land use category unless specifically approved through a minor use permit.

Building C.2 on lot 6 is designed to have the capability for a drive-through commercial retail building. A specific tenant has not been chosen; however the idea for this building is for a use similar to a drive through pharmacy. As stated above the Conditional use Permit application includes a request to allow 24 hour operation for a pharmacy with drive-through facilities tenant.

Guideline V1.C.1: Desirable Elements: Commercial buildings should include: richness of surface, wall articulation, wide roof overhangs, distinctive entries, distinctive massing, multi-planed pitched roof. This project has rich and different surfaces (wood, stone, columns and trellises) using a variety of complimentary materials and colors. Walls are varied with decorative overhangs and balconies. Each building is shaped differently in regards to its massing and height. Roofs also vary in style.

Guideline V1.C.3. Materials: Stucco and horizontal wood siding have traditionally been the primary wall surface materials utilized throughout Templeton. Particular attention should be given to selecting an appropriate accent material.

Appropriate materials listed in this section, are utilized for project development. Including stucco, wood and stone siding.

Guideline V1.C.4: Height and scale of new development should be compatible with the surrounding development and should "transition" from the height of adjacent development. Maximum height of proposed buildings is 35 feet, extra height may be allowed for architectural emphasis.

All buildings are indicative of the medical and commercial development along Las Tablas Road. All buildings are under 35' except for one building, C.2 which has an entrance with architectural emphasis at 39'.

Guideline V1.C.5 Bulk: Large square buildings are unattractive and detract from the scale of Templeton. The following elements are recommended to minimize the bulk of large buildings: vary the planes of exterior walls, vary height, use color to articulate different parts of the building, use landscaping and architectural details at the base of building, utilize windows wall articulation, change in materials and architectural elements that transition the bulk from street level to roof.

This project incorporates all of the recommended elements to minimize bulk.

Guideline V1.C.6 Scale: Buildings should be scaled in relationship with pedestrians and other buildings in the area. Larger buildings should be broken up with structural features, colors, and landscape materials.

Buildings are broken up for architectural interest through varied rooflines and trellises, balconies, wood posts and columns and other elements that provide pedestrian scale. Other surrounding buildings are like in mass.

Guideline v1.C.7 Color: Large white areas should be avoided, use subdued colors and minimize contrasting colors.

The colors of the buildings are subdued earthtone colors that will blend well with the surrounding area.

Guideline V1.C.8 Accent Colors: Accent colors should complement the façade and promote visual interest and harmonize with the overall environment.

The accent colors are also earthtones but will add visual interest and harmonize with the wall color of the buildings.

Guideline V1.C.9 Solid to Void: Blank solid walls should be avoided. All front entries should be a minimum of 30% transparent.

Blank walls are avoided. Each building has large storefronts, with decorative architectural surfaces accents, different windows, and textured rooflines.

Guideline V1.C.10 Roofs: The roof form should be consistent with the mass and form of the building. Visible roofing shall be sheathed with a roofing material having texture at a pedestrian scale. Roof should screen rooftop equipment.

Metal seemed roofs and fabric and wood roof awnings all varying to provide pedestrian scale and texture. Rooftop equipment will be screened.

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DISTRICT ENGINEER

TEMPLETON COMMUNITY SERVICES DISTRICT

P.O. BOX 780 • 420 CROCKER STREET • TEMPLETON, CA 93465 • (805) 434-4900 • FAX: (805) 434-4820

November 5, 2012

Ms. Xzandrea Fowler
San Luis Obispo County
Planning Dept
County Government Center,
San Luis Obispo, CA 93408

Subject: Re-Referral for County Project SUB2008-00019 Tract 2992 Boneso, dated 10/23/2012

Dear Ms. Fowler,

Before TCSD can provide full water and sewer service to this project, the applicant must purchase additional water and sewer units of use. The project as proposed requires 88 water units of use. At this time, the total number of water units available to this project is limited to 34 water units, far less than what is required by the proposed project.

The District agrees in concept that the phasing plan as presented by the applicant be used as a guideline for planning. Note, however, that there is no guarantee that additional water and sewer service will be available from the District beyond the current 34 water units of use. The District will make every attempt to identify potential problems associated with making water and sewer services available to a project or parcel, however, additional items may arise once a more fully developed plan is provided. The District's main concerns are as follows:

1. The project as proposed requires 88 water units of use. That is 54 additional water units of use that are not currently available. At this time the District is unable to serve the project more than 34 water units of use. The District released a number of units for sale earlier this year and those units have been sold. There is no timeframe available regarding potential additional water units of use for sale at this time.
2. Given the density of the proposed project, the water and sewer infrastructure serving the parcels needs to be evaluated. The District anticipates that water and sewer main lines will need to be extended and/or upgraded in order to adequately serve this project.
 - a. The District anticipates that as a minimum, the main water line in Bennett way shall be extended to Las Tablas Road and a new water line looped through the project interior road.
 - b. The District shall also require that the wastewater be directed to the West Side Lift Station and the sewer main lines be evaluated and upgraded as required.

3. Since there are only 34 water units available now, the District requested that the applicant determine how those water units would be allocated to each lot in the event that no additional water units become available. The applicant proposed assigning the existing water units as follows:

Lot	Use and Bldg Type	Assigned Water Unit Allocation per Kirk Consulting dated 10-2-12
1	Single Family Residential	1
2	Single Family Residential	1
3	Commercial/Retail C.3, General (10,800 sf)	4
4	Commercial/Retail C.4, Restaurant (7,800 sf)	4
5	Commercial/Retail C.1, Grocery (18,800 sf)	4
6	Commercial/Retail C.2, Pharmacy (15,800 sf)	4
7	Office O.1, Medical (24,000 sf)	4
8	Office O.2, Medical (24,000 sf)	4
9	Office O.3, Medical (14,700 sf)	4
10	Hotel H.1, Hotel (61,500 sf)	4
	TOTAL	34

The applicant also provided a breakdown of proposed future water and sewer needs for each lot 1-10. Water demand calculations were provided for each proposed building use by RRM Design group, and After reviewing the project proposal and water demand information provided by RRM Design Group, the District suggests modifying the allocation of water units of use so that the water demand needs for the earliest proposed buildings may be met without the purchase of additional water units:

Lot	Use and Bldg Type	Suggested Water Unit Allocation (aa)	Irrigation (bb)	Water Units required for proposed project (cc)	TOTAL WATER UNITS REQ'D	Deficit number of Water Units by lot (dd)
Phase 1						
1	Single Family Residential	1		1	1	0
2	Single Family Residential	1		1	1	0
Phase 2						
3	Commercial/Retail C.3 General (10,800 sf)	3	1	2	3	0
4	Commercial/Retail C.4 Restaurant (7,800 sf)	6	1	5	6	0
5	Commercial/Retail C.1 Grocery (18,800 sf)	5	1	5	6	1
6	Commercial/Retail C.2 Pharmacy (15,800 sf)	3	1	2	3	0
Phase 3						
7	Office O.1 Medical (24,000 sf)	4	1	7	8	4
8	Office O.2 Medical (24,000 sf)	4	1	7	8	4
9	Office O.3	4	1	3	4	0

	Medical (14,700 sf)					
Phase 4						
10	Hotel H.1 Hotel (61,500 sf)	4	1	47	4 8	44
	TOTALS	34			8 8	54

Notes for table:

aa. Assigned allocation of water units modified in consideration of RRM Design Group water demand calculations dated August 15, 2012. Each lot will be limited to this predetermined number of water units unless additional approval is provided by TCSD.

bb. One unit of water is assigned to each building for irrigation purposes, except single family residential.

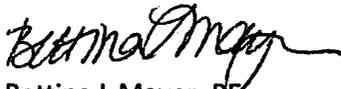
cc. Water use is calculated for each individual building, so number of units required are rounded up to the next whole unit.

dd. Additional Water Units required prior to planning approval for individual lots and subsequent building permit issuance. (NOTE: This is not a guarantee that water will be available from the District, but rather serves as a guideline for planning.) Each lot will be limited to a predetermined number of water units unless additional approval is provided by TCSD.

4. It is the District's understanding that the applicant will address the stormwater with owner designed and maintained stormwater detention on site. The District will not accept or maintain these drainage facilities. The applicant is required to evaluate downstream impacts of this project per County requirements.
5. The Fire Chief will be providing project comments under separate cover.

Please feel free to contact me at (805) 434-4915 should you have any questions or concerns.

Sincerely,



Bettina L Mayer, PE
District Engineer
t1m@templetoncsd.org

cc: Jeff Hodge, General Manager
Jay Short, Utilities Supervisor
Jim Langborg, Fire Chief

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TEMPLETON COMMUNITY SERVICES DISTRICT

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October 12, 2011

Kirk Consulting
c/o Jamie Kirk
8830 Morro Road
Atascadero, CA 93422

RE: Status of Water – San Luis Obispo County Tract #2992

Templeton Community Services District declares that it fully intends to, upon the availability of units, provide water and sewer service to San Luis Obispo County Tract #2992, owned by Boneso/Filipponi Group within the parameters stated below and upon availability of resources. To clarify per Templeton Assessor's Map, County of San Luis Obispo, CA, Book 040 Page 289 and 371, Tract #2992 incorporates approximately 14 acres made up of Lot "BB" (APN 040-289-030), Lot 2 of Tract #611 (APN 040-331-020), and a "Remainder Parcel" of Tract #2559 (APN 040-371-001).

To date, the District has issued a Water Will Serve Letter for 34 units to Lot "BB" (APN 040-289-030). At this time, these 34 units are strictly for use on Lot "BB" (APN 040-289-030) and are readily available for service. These units are non-transferable to any other parcel unless the parcel is legally merged with one or more adjacent parcels.

In addition to these 34 acquired units, Boneso/Filipponi Group are also first in order on the District's Water Waiting List for an additional 170 water and sewer units. The parcels specified on the Waiting List for these additional units are Lot "BB" (APN 040-289-030) and APN 040-289-037, the latter of which is not included in Tract #2992. Upon the availability of the requested water units, the owner may submit an application for a Water Will Serve letter for up to 170 units for either of these parcels or split between the two per the owner's request.

In the event that a legal merger were to take place between parcels with water units and parcels without water units, the water units would then be available to the entire merged area. Furthermore, if a legal subdivision was conducted, it would be the responsibility of the owner to notify TCSD in writing via a notarized letter stating their reassignments of water units to the newly subdivided parcels. Once this has been received and recorded by the District, the District will provide a Conditional Will Serve Letter to said parcels with said units.

It should be noted that all parcels within the District boundaries are subject to all District ordinances, regulations and processes. Any proposed projects for these parcels will be required to submit a Fire Safety and Water Will Serve Application for plan review and service acquisition prior to obtaining a Water Will Serve Letter.

Sincerely,

Jeffrey W. Hodge, General Manager

JWH:ajp

WATER DEMAND CALCUALTIONS

					TCSD		
					gpd/ person	gpd	Water Units (575gpd)
					AFY	9.4	
Office							
Building 1	Medical	24,000	200	120	30	3,600	6.3
Building 2	Medical	24,000	200	120	30	3,600	6.3
Building 3	Medical	14,700	200	74	16	1,184	2.1
<i>Subtotal</i>						<u>8,384</u>	
Retail							
					AFY	5.1	
Building 4	Pharmacy	15,800	200	79	13	1,027	1.8
Building 5	Grocery	18,800	200	94	30	2,820	4.9
Building 6	General	10,800	200	54	13	702	1.2
<i>Subtotal</i>						<u>4,549</u>	
Resturant							
					AFY	2.9	
Building 7							
	Dining Floor	5,800	30	194	10	1,940	
	Kitchen/Support	2,000	30	67	10	670	
		<u>7,800</u>				<u>2,610</u>	4.5
Hotel							
					AFY	30.2	
Building 8							
Hotel							
	Guest		120	2.5	300	75	22,500
	Employee		20%		60	15	900
	Restaurant/Conf	4,500	15	300	12	3,600	
<i>Subtotal</i>				<u>660</u>		<u>27,000</u>	47.0
Sub-Total (indoor use)							
					AFY	47.7	74.0
						<u>42,543</u>	

	Project Area (AC)	Coverage	Landscape (AC)	Demand (AF/AC)	AFY	gpd	Water Units
Site Irrigation							
Site	14.5	15%	2.2	2	2	3,900	6.8

	TCSD AFY	Water Units
TOTAL	52.0	81
	<i>GPD</i>	
	46,443	
Water Units Purchased (4 @ 300 & 30 @ 575)	18,450	
Water Units Still Needed (@ 575 gpd)	27,993	49

If you are a Priority Project, please supply the following information and submit this information with your land use permit / building permit application package.

Stormwater Quality Plan Application for Priority Projects

Applicant Information: Check the box for the contact person assigned to this project

<input type="checkbox"/>	Landowner Name	Filipponi Family Trust; Steven Boneso Family Trust
	Mailing Address	Robert and Regina Family Trust, Ned M and
	Email Address	Connie G. Thompson Trust
	Phone	
<input type="checkbox"/>	Applicant Name	SAME AS ABOVE
	Mailing Address	
	Email Address	
	Phone	
<input checked="" type="checkbox"/>	Agent Name	RRM Design Group
	Mailing Address	3765 S Higuera St.
	Email Address	
	Phone	San Luis Obispo, Ca. 93401

Attachments: Include the following attachments (as applicable)

	Attachment	Completed	N/A
A	Project Location Map (drawn to scale)	X	
B	Site Map (drawn to scale) with easements and rights-of-way depicted.	X	
C	Stormwater Quality Plan (this package)	X	
D	Treatment BMP Location Map	X	
E	Operation and Maintenance Plan for Treatment BMPs		X

Stormwater Quality Plan Checklist

The following checklists are intended to aid the design engineer in preparing a stormwater quality plan. Prior to design of your project, the following information should be identified and used to compliment the design of your project.

Exhibits: This information should be provided as part of the Stormwater Quality Plan Application for priority projects.

Existing natural hydrologic features (depressions, watercourses, relatively undisturbed areas) and significant natural resources with drain areas and sub-areas (if applicable) delineated and with arrows showing flow direction of stormwater. If applicable, show the 100-year flood elevations.

The soil types and depth to groundwater. If applicable, show monitoring well locations, soil boring locations.

Existing and proposed site drainage network and connections to offsite drainage.

Proposed design features and surface treatments used to minimize imperviousness.

Entire site divided into separate drainage areas, with each area identified as self-retaining (zero discharge), self-treating, or draining to a treatment/flow control facility.

For each drainage area, the types of materials proposed for impervious surface areas (roof, plaza/sidewalk, and streets/parking) and the required area of each.

The proposed locations and sizes of infiltration, treatment, or flow-control facilities. Include tributary area and basins for sizing (rational C, NRCS CN value, Tc, etc.).

Potential pollutant source areas, including but not limited to loading docks, food service areas, refuse areas, outdoor processes and storage, vehicle cleaning, repair or maintenance, fuel dispensing, equipment washing, etc.

Report:

Project and applicant name, location (address and APN), and description (type of project).

List of permits requested and other permits required (401, 404, Caltrans Encroachment, etc).

List of water bodies that will receive runoff from the site. Identify if any of the water bodies are impaired for sediment (using the most current 303d list).

Demonstration of compliance with the requirements in Section 22.10.155 (Stormwater Management).

Narrative analysis or description of site features and conditions that constrain, or provide opportunities for, stormwater control.

Narrative description of the site design characteristics that protect natural resources.

Narrative description and/or tabulation of the site design characteristics, building features, and pavement selections that reduce imperviousness of the site.

A table of identified pollutant sources and for each source, the source control measure(s) used to reduce pollutants to the maximum extent practicable.

Applicable flowcharts for determining minimum requirements with decision path clearly marked.

Identification of any conflicts with codes or requirements or other anticipated obstacles to implementing the Stormwater Quality Plan (e.g. conflict with public improvement specifications, etc.).

Tabulation of proposed pervious and impervious area, showing self-treating areas, self-retaining areas, and areas tributary to each infiltration, treatment, or flow-control facility.

Preliminary designs, including calculations, for each infiltration, treatment, or flow-control facility. Elevations should show sufficient hydraulic head for each.

General maintenance requirements for infiltration, treatment, and flow-control facilities.

Means by which the facility maintenance will be financed and implemented.

Statement accepting responsibility for operation & maintenance of the facilities.

Certification by a civil engineer, architect, and/or landscape architect.

Checklist for Source Controls

Please complete the following checklist for Source Control BMPs. Source control BMPs control the pollutant at the source and minimize other treatment requirements. If the BMP is not applicable for this project, then check N/A only at the main category.

Note: Attach additional sheets if an explanation is necessary.

BMP		Yes	No	N/A
1.	Provide Storm Drain System Marking	x		
	a. All storm drain inlets and catch basins within the project area shall have prohibitive language (such as: "NO DUMPING – DRAINS TO WATERBODY") and graphical icons to discourage illegal dumping.	x		
2.	Design Outdoors Material Storage Areas to Reduce Pollution Introduction			
	a. This is a detached single-family residential project. Therefore, personal storage areas are exempt from this requirement.			x
	b. Outdoor equipment and materials storages areas are either: (1) placed in an enclosure such as, but not limited to, a cabinet, shed, or similar structure that prevents contact with runoff or spillage to the stormwater conveyance system; or (2) protected by secondary containment structures such as berms, dikes, or curbs.			x
	c. Non hazardous storage areas are paved and sufficiently impervious to contain leaks and spills.	x		
	d. The storage areas have a roof or awning to minimize direct contact with precipitation within the secondary containment area.			x
3.	Design Trash Storage Areas to Reduce Pollution Introduction			
	a. Paved with an impervious surface, designed not to allow run-on from adjoining areas, screened or walled to prevent off-site transport of trash; or,	x		
	b. Provide roofing on all trash enclosures and lids on all trash containers that exclude rain, or roof or awning to minimize direct contact with precipitation.	x		
4.	Use Efficient Irrigation Systems & Landscape Design			
	a. Irrigation system has a rain shutoff device to prevent irrigation after precipitation.	x		
	b. Irrigation system is programmed for each landscape area's specific water requirements.	x		

	c.	Irrigation system utilizes flow reducers or shutoff valves triggered by a pressure drop to control water loss in the event of broken sprinkler heads or lines.	x		
	d.	Plant material selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plan iterations.	x		
	e.	Existing native trees, shrubs and ground cover are retained and incorporated in the landscape plan.		x	
	f.	Proper maintenance and landscaping is the responsibility of the owner.	x		
5.	Private Roads				N/A
	a.	Rural swale system: street sheet flows to vegetated swale or gravel shoulder, curbs at street corners, culverts under driveways and street crossings.			
	b.	Urban curb/swale system: street slopes to curb, periodic swale inlets drain to vegetated swale/biofilter.			
	c.	Dual drainage system: First flush captured in street catch basins and discharged to adjacent vegetated swale or gravel shoulder, high flows connect directly to stormwater conveyance system.			
6.	Residential Driveways & Guest Parking				N/A
	a.	Design driveways with shared access, flared (single lane at street) or wheelstrips (paving only under tires); and drain into landscaping prior to discharging to the stormwater conveyance system.			
	b.	Uncovered temporary or guest parking on private residential lots paved with a permeable surface; or, designed to drain into landscaping prior to discharging to the stormwater conveyance system.			
7.	Dock Areas				
	a.	Loading dock areas are covered and/or graded to minimize run-on and runoff from the loading area.	x		
	b.	Loading docks use for the loading and unloading of liquids in containers shall be provided with an inlet with a shutoff valve and have enough capacity to hold a spill while the valve is closed.			x
		Direct connections to storm drains from depressed loading docks (truck wells) are prohibited.	x		
8.	Maintenance Bays				N/A
	a.	Repair/maintenance bays shall be indoors; or, designed to preclude stormwater run-on and runoff.			
	b.	Design a repair/maintenance bay drainage system to capture all wash water, leaks and spills. Connect drains to a sump for collection and disposal. Direct connection of			

		the repair/maintenance bays to the storm drain system is prohibited.			
9.	Vehicle Wash Areas				N/A
	a.	Wastewater from vehicle washing operations is not discharged to a storm drain system (without a permit).			
	b.	Commercial/industrial facilities wash areas are self-contained; or covered with a roof or overhang, be equipped with a clarifier, grease trap or other pretreatment facility, as appropriate and properly connected to a sanitary sewer (with a permit).			
10.	Outdoor Processing Areas				N/A
	a.	Cover or enclose areas that would be the most significant source of pollutants; or, slope the area toward a dead-end sump; or, discharge to the sanitary sewer system following appropriate treatment in accordance with conditions established by the applicable sewer agency.			
	b.	Grade or berm processing areas to prevent run-on from surrounding areas.			
	c.	Installation of storm drains in areas of equipment repair is prohibited. Drains must be connected to a sanitary sewer.			
11.	Equipment Wash Areas				N/A
	a.	Be self-contained; or covered with a roof or overhang.			
	b.	Sink and cleaning areas are equipped with a clarifier, grease trap or other pretreatment facility, prior to discharge to the sanitary sewer.			
	c.	Interior floor drains shall be properly connected to a sanitary sewer.			
	d.	Food service facilities, including restaurants and grocery stores, have a sink or other area for cleaning floor mats, containers, and equipment. The cleaning area is located on a paved surface and has secondary containment, and is large enough to clean the largest mat or piece of equipment that needs cleaning.			
12.	Parking Areas				
	a.	Where landscaping is proposed in parking areas, incorporate landscape areas into the drainage design.	x		
	b.	Overflow parking (parking stalls provided in excess of the minimum parking requirement) are constructed with permeable paving materials.	x		
	c.	Interior level parking garage floor drains shall be connected to a water treatment device approved by the County prior to discharging to the sanitary sewer system.			x
	d.	Parking lots are swept regularly to prevent the accumulation of litter and debris.	x		

13.	Fueling Area				N/A
	a.	Fuel dispensing areas have an overhanging roof structure or canopy that extends a minimum of ten feet in each direction from each pump. The cover's minimum dimensions are equal to or greater than the area within the grade break. The cover does not drain onto the fuel dispensing area and the downspouts are routed to prevent drainage across the fueling area. The fueling area drains to the project's treatment control BMP(s) prior to discharging to the stormwater conveyance system.			
	b.	Fuel dispensing areas are paved with Portland cement concrete (or equivalent smooth impervious surface) and graded at the minimum slope to prevent ponding. Fueling areas are separated from the rest of the site by a grade break that prevents run-on of stormwater.			
	c.	Have an appropriate slope to prevent ponding, and must be separated from the rest of the site by a grade break that prevents run-on of stormwater.			
	d.	At a minimum, the concrete fuel dispensing area must extend 6.5 feet from the corner of each fuel dispenser, or the length at which the hose and nozzle assembly may be operated plus 1 foot, whichever is less.			
14.	Pool / Spa / Fountain Discharge				N/A
	a.	Swimming pool, hot tub, spa and fountain discharge drains.			
15.	Miscellaneous Drain/Wash water				
	a.	Building roof drains discharge away from the building to an unpaved or vegetated area.	X		

Please consider these questions when designing your project for the purpose of avoiding and minimizing impacts to water quality.

Checklist for Site Design Controls

Commonly Needed Site Information

For all Priority Projects, consider the following site design measures or justify why they are not needed.

Item	Site Design Options	Yes	No	N/A
1.	Can the project be relocated or realigned to avoid/reduce impacts to receiving waters or to increase the preservation of critical (or problematic) areas such as floodplains, steep slopes, wetlands, and areas with erosive or unstable soil conditions?		X	
2.	Can the project be designed to minimize impervious footprint?	X		
3.	Are natural areas conserved where feasible?	X		
4.	Where landscape is proposed, can rooftops, impervious sidewalks, walkways, trails and patios be drained into adjacent landscaping?	X		
5.	For roadway projects, can structures and bridges be designed or located to reduce work in live streams and minimized construction impacts?			X
6.	Can any of the following methods be utilized to minimize erosion from slopes?			X
	a. Minimize slope disturbance?			
	b. Shorten slope length or steepness with retaining walls?			
	c. Provide benches or terraces on high cut and fill slopes to reduce concentration of flows?			
	d. Can the slopes be rounded to reduce concentration of flows?			
	e. Can concentrated flows be collected and conveyed in stabilized drains and channels?			
7.	Are stormwater facilities located outside of streams and wetlands?	X		

For projects that include work in a water channel or will increase downstream flows from project related improvements, consider the following site design measures or justify why they are not needed.

Channel Site Design Impact Table

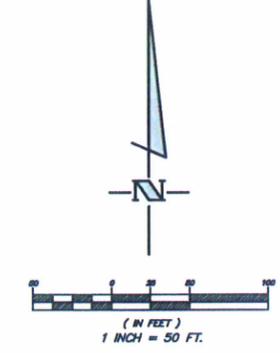
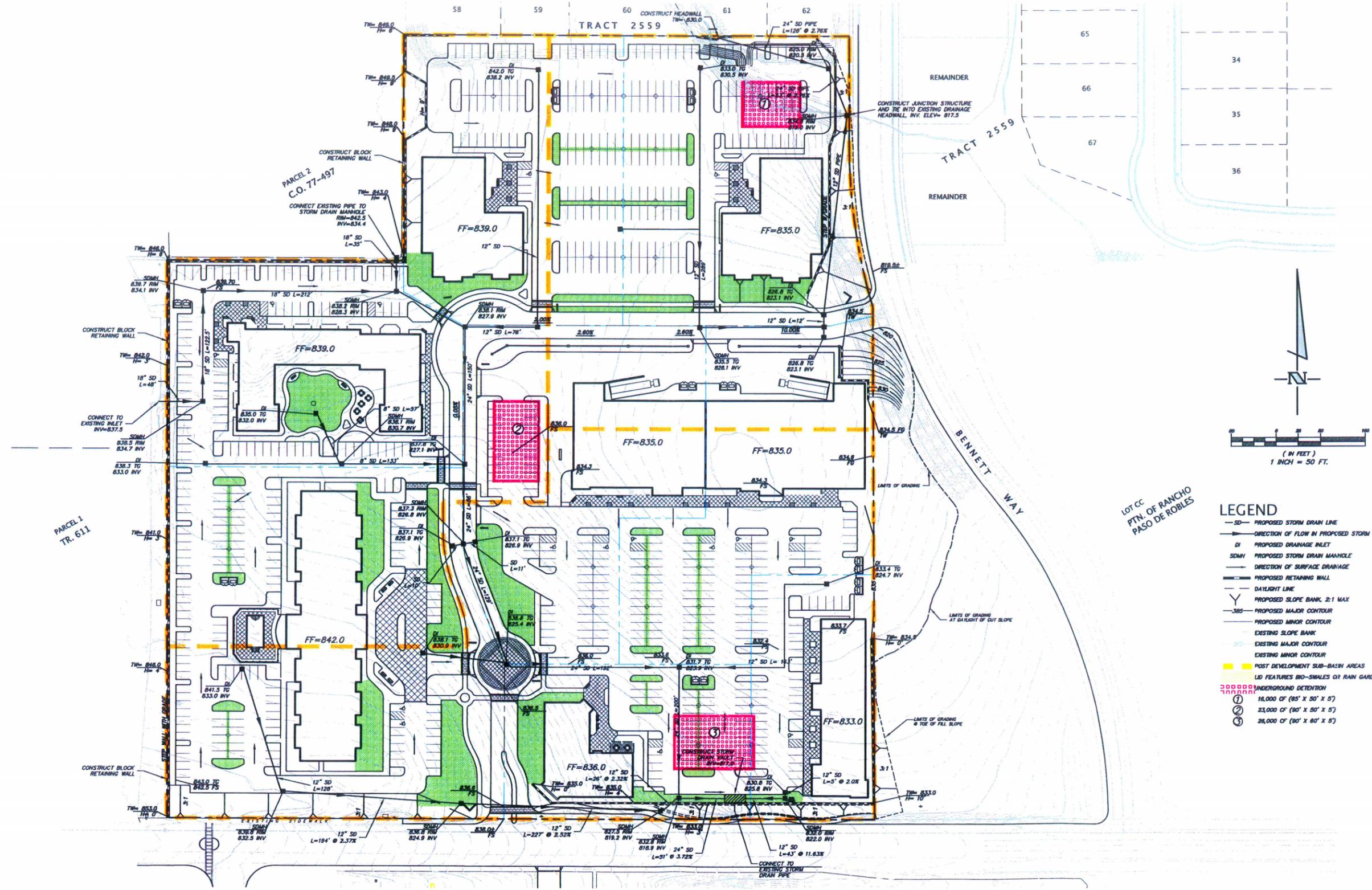
Item	Criteria	Yes	No	N/A	Comments
1.	Will the project increase velocity or volume of downstream flow?		X		If YES, go to 5.
2.	Will the project discharge to unlined channels?		X		If YES, go to 5.
3.	Will the project increase potential sediment load or downstream flow?		X		If YES, go to 5.
4.	Will the project encroach, cross, realign, or cause other hydraulic changes to a stream or affect upstream and/or downstream stability?		X		If YES, go to 7.
5.	Review channel lining materials and design for streambank erosion.			X	Continue to 6.
6.	Consider channel erosion control measures within the project limits as well as downstream. Consider scour velocity.			X	Continue to 7.
7.	Include, where appropriate, energy dissipation devices at culverts.	X			Continue to 8.
8.	Ensure all transitions between culvert outlets/headwalls/wingwalls and channels are smooth to reduce turbulence and scour.			X	Continue to 9.
9.	Include, if appropriate, detention facilities to reduce peak discharges.			X	
10.	"Hardening" natural downstream areas to prevent erosion is not an acceptable technique for protecting channel slopes, unless pre-development conditions are determined to be such that that hardening would be required even in the absence of the proposed development.			X	Continue to 11.
11.	Provide other design principles that are comparable and equally effective.			X	

Treatment Control Feasibility Checklist

If your project has the potential to result in the release of contaminants in stormwater, identify appropriate treatment control measures to minimize the identified impacts unless the pollutants can be treated at the source with appropriate source control measures. Other treatment control BMPs may be appropriate based on the potential contaminants associated with your project.

TREATMENT CONTROL BMP	CONSIDERED FOR USE	REJECTED BASED ON
Infiltration Trench (TC-10) *	YES	
Constructed Wetland (TC-21) *	NO	NOT PRACTICLE
Retention Basin (TC-11) *	NO	NOT ENOUGH AREA
Detention Basin (TC-22) *	YES	
Vegetated Swale (TC-30) *	YES	
Vegetated Filter Strip (TC-31) *	YES	
Bioretention (TC-32) *	YES	
Surface Sand Filter	NO	OTHER BMP TO BE USED
Media Filter (TC-40) *	YES	
Oil & Water Separator (TC-50) *	YES	
Catch Basin Insert	YES	
Proprietary System	YES	

* CASQA BMP reference numbers



- LEGEND**
- SD PROPOSED STORM DRAIN LINE
 - DIRECTION OF FLOW IN PROPOSED STORM DRAIN LINE
 - DI PROPOSED DRAINAGE INLET
 - SMH PROPOSED STORM DRAIN MANHOLE
 - DIRECTION OF SURFACE DRAINAGE
 - PROPOSED RETAINING WALL
 - DAYLIGHT LINE
 - Y PROPOSED SLOPE BANK 2:1 MAX
 - 385— PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING SLOPE BANK
 - 385— EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - POST DEVELOPMENT SUB-BASIN AREAS
 - LID FEATURES BIO-SWALES OR RAIN GARDENS
 - UNDERGROUND DETENTION
 - 1 16,000 CF (85' X 50' X 5')
 - 2 23,000 CF (90' X 50' X 5')
 - 3 26,000 CF (90' X 80' X 5')

Conditional Use Permit & Vesting Tentative Tract Map # 2992 Las Tablas Village

Templeton, California

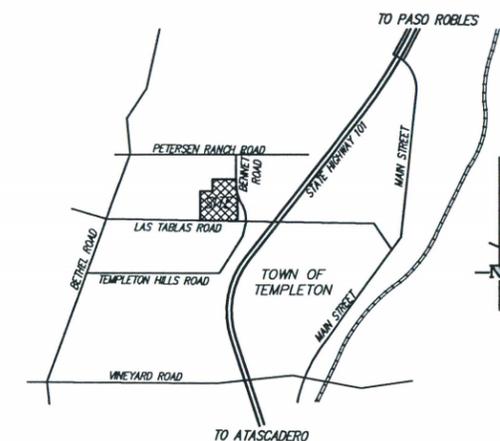


Sheet Index

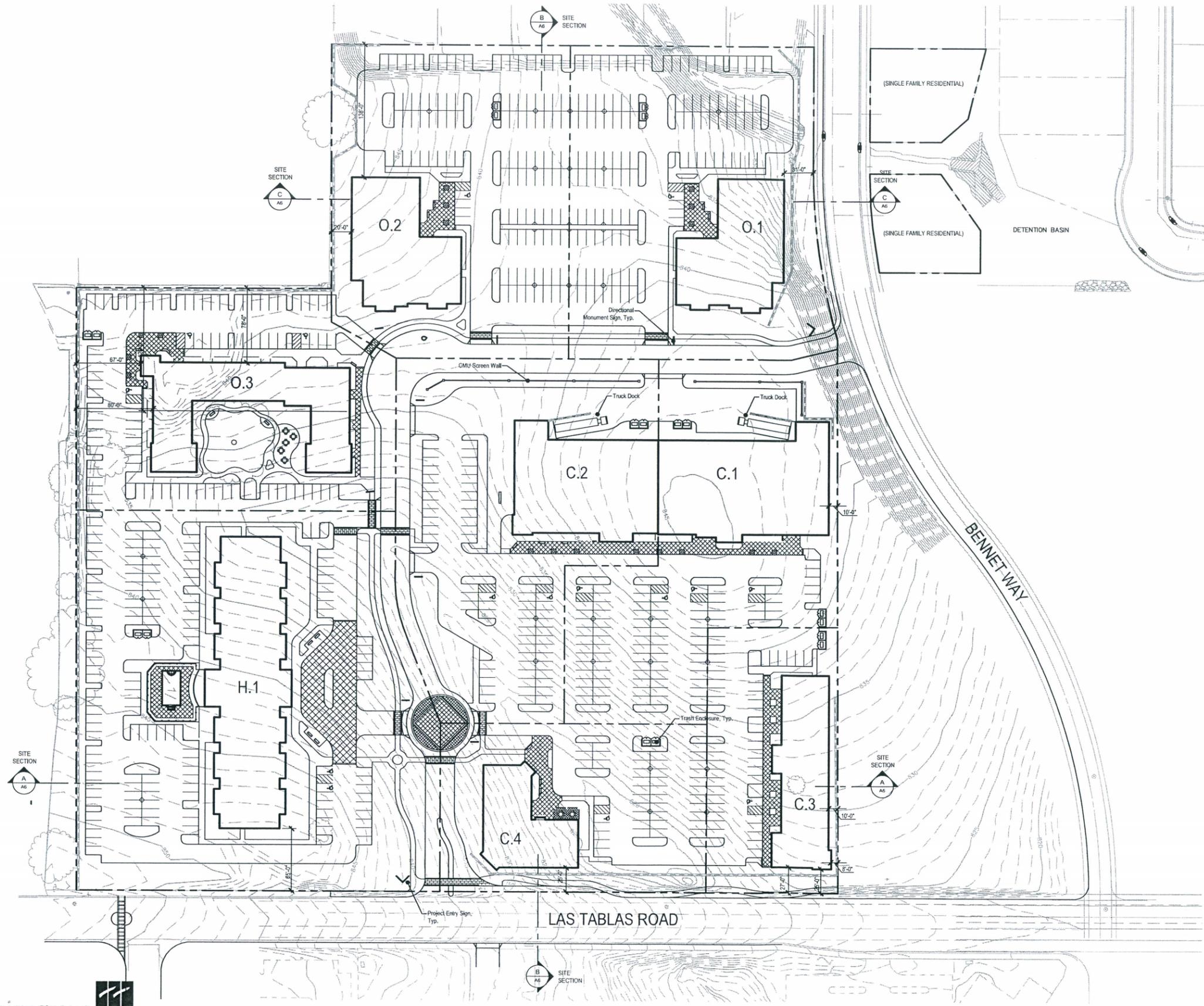
Number	Title
T1	Title Sheet
A1	Site Plan
A1.1	C.U.P. Phasing Plan
A2	Building Elevations - Retail
A3	Building Elevations - Retail
A4	Building Elevations - Office
A5	Building Elevations - Hotel
A6	Site Sections
TM1	Vesting Tentative Tract Map
TM2	Tentative Tract Map Phasing Plan
C1	Grading & Drainage Plan
C2	Site Utility Plan
L1	Landscape Plan
E-1.0	Conceptual Lighting Plan

Project Summary

Owner	Boneso Family Trust
	Contact: Steve Boneso Phone: 227-4450
Architect	RRM Design Group, 3765 S. Higuera St., SLO, CA 93401
	Contact: Pat Blote Phone: 543-1794
Civil Engineer	RRM Design Group, 3765 S. Higuera St., SLO, CA 93401
	Contact: Robert Montoya Phone: 543-1794
Landscape Architect	RRM Design Group, 3765 S. Higuera St., SLO, CA 93401
	Contact: Chris Dufour Phone: 543-1794
APN Number	040-371-001, 040-289-030, 040-331-020
Project Address	n/a (undeveloped), cross-street: Las Tablas Road, Bennet Way
Project Description	Mixed-use development including retail/commercial, medical offices, and senior housing.
Zoning	Refer to Site Plan Statistics on Sheet A1
Site Area	Refer to Site Plan Statistics on Sheet A1
Building Area	Refer to Site Plan Statistics on Sheet A1



Vicinity Map
NTS



Notes

- A. Existing and Proposed Property Boundaries: Refer to C1, Grading and Drainage Plan.
- B. Planting and pedestrian pathways: Refer to L1, Conceptual Landscape Plan.
- C. Site lighting: Refer to Exhibit E1.0, Conceptual Lighting Plan.
- D. Site/Building Signage: Developer shall submit a comprehensive "sign program" to specify size, location, and type of signage proposed.

Legend

- C.1** Retail/Commercial Building
- O.1** Office Building
- H.1** Hotel Building
- Enclosure for Trash and Recycling
- Accessible Parking
- Project Entry Sign
- Directional Monument Sign

Project Statistics

Current Zoning Designation:	Area	
APN 040-371-001 - Office Professional	128,736 sf	2.96 acres
APN 040-289-030 - Commercial Retail	333,526 sf	7.66 acres
APN 040-331-020 - Office Professional	166,951 sf	3.83 acres
APN 040-371-070 - Residential	20,747 sf	0.48 acres

Proposed Land Use:	Mixed Use	
Site Area: (Based on proposed parcel reconfiguration)		
Retail/Commercial	248,396 sf	5.70 acres
Office	238,601 sf	5.48 acres
Hotel	142,257 sf	3.27 acres
Single Family Future	20,747 sf	0.48 acres
Total Site Area	650,001 sf	14.92 acres

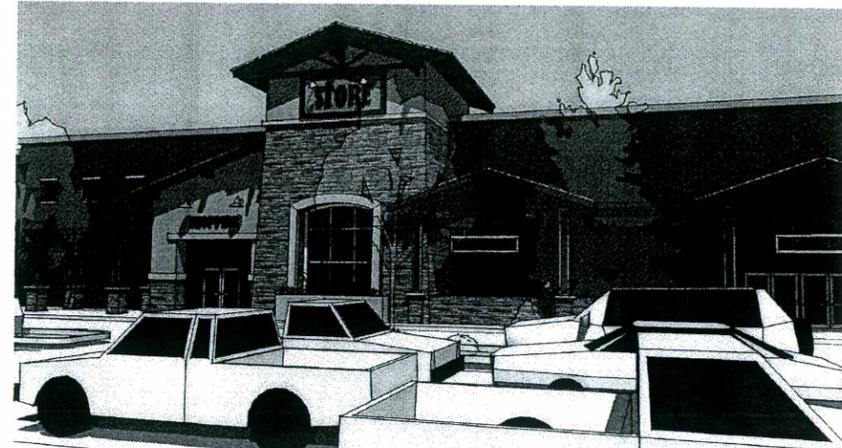
Building Area:	
Retail/Commercial	
C.1 - 1 Story	18,800 sf
C.2 - 1 Story	15,800 sf
C.3 - 1 Story	10,800 sf
C.4 - 1 Story	7,800 sf
Sub Total	53,200 sf
Office	
O.1 - 2 Story	24,000 sf
O.2 - 2 Story	24,000 sf
O.3 - 1 Story	14,700 sf
Sub Total	62,700 sf
Hotel (120 Units)	
H.1 - 3 Story	66,000 sf
Sub Total	66,000 sf
Total Building Area	181,900 sf

Site Coverage (Building Footprint):	
Retail/Commercial	53,200 sf
Office	38,700 sf
Hotel	22,000 sf
Total	113,900 sf 17.5%

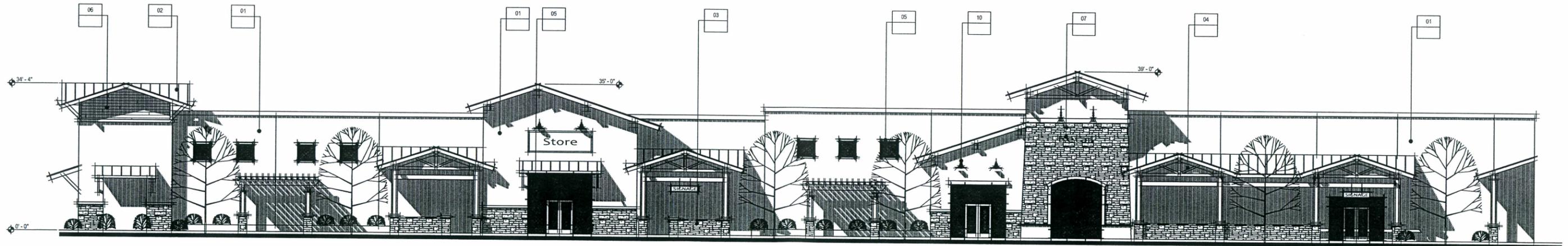
Parking Provided:	
Retail/Commercial	231 sf
Office	318 sf
Hotel	134 sf
Total Parking Provided	683 sf



South Perspective-Building C.2
NTS



South Perspective-Building C.1
NTS



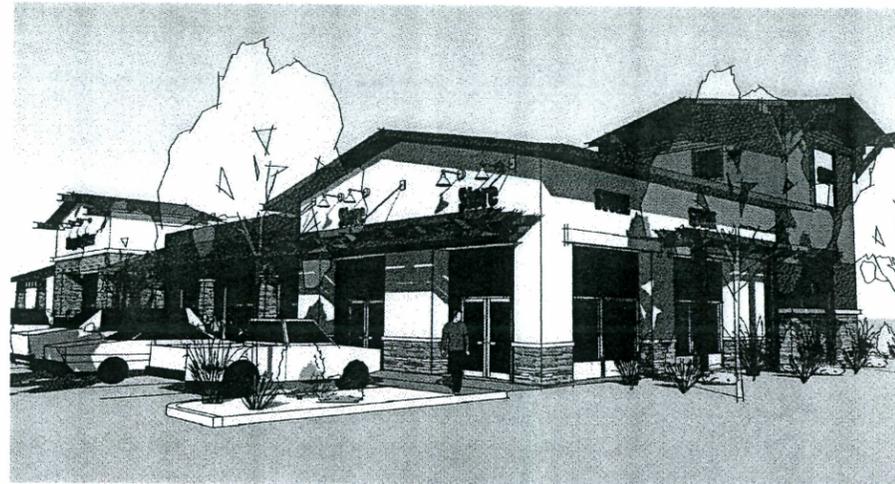
South Elevation-Buildings C.1 and C.2
3/32" = 1'-0"

Material

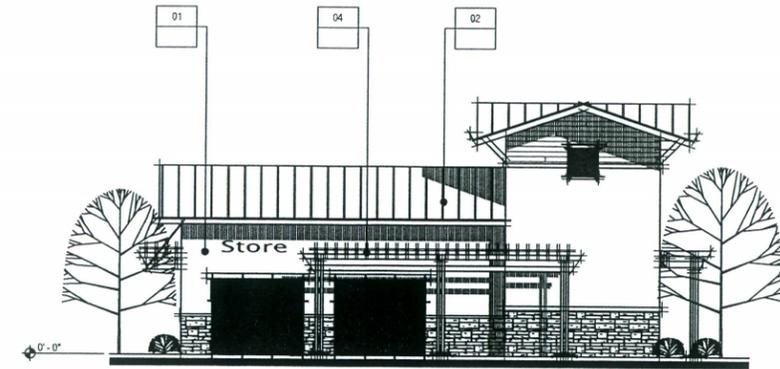
01	Cement Plaster Stucco	05	Aluminum Storefront System	10	Building Lighting
02	Standing Metal Seam Roof	06	Wood Siding		
03	Stone Veneer	07	Building Signage		
04	Exposed Timber	08	Fabric Awning		

Notes

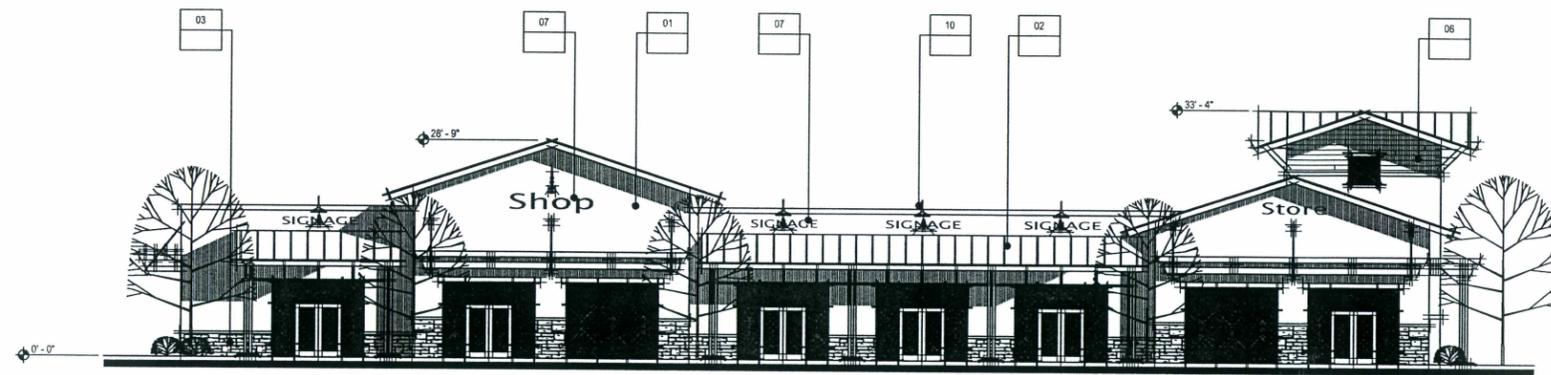
- A. Building lighting: Building mounted lights shall be shielded with light source not to exceed 1 footcandle.
- B. Site/Building Signage: Developer shall submit a comprehensive "sign program" to specify size, location, and type of signage proposed.



Southwest Perspective-Building C.3
NTS



South Elevation-Building C.3
3/32" = 1'-0"



East Elevation-Building C.3
3/32" = 1'-0"



Northeast Perspective-Building C.4
NTS



North Elevation-Building C.4
3/32" = 1'-0"

Material

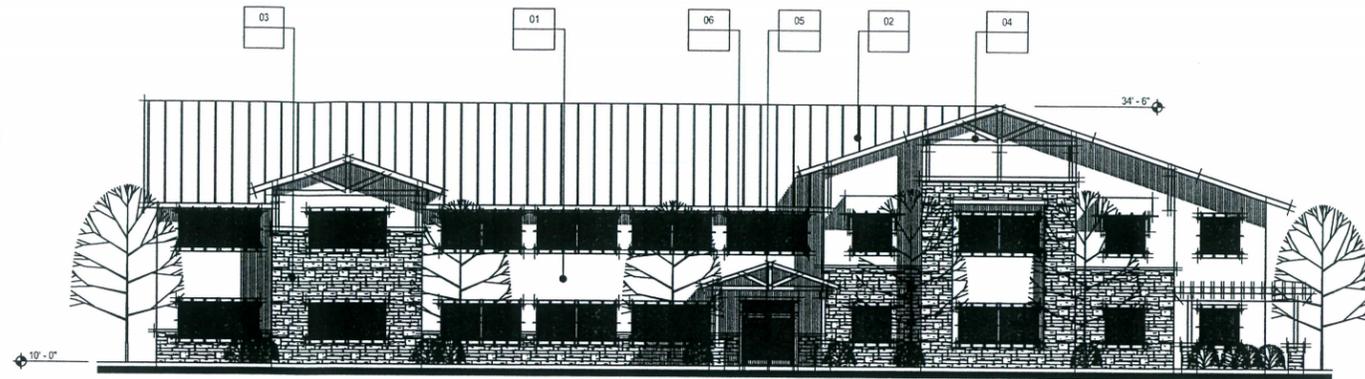
01 Cement Plaster Stucco	05 Aluminum Storefront System	10 Building Lighting
02 Standing Metal Seam Roof	06 Wood Siding	
03 Stone Veneer	07 Building Signage	
04 Exposed Timber	08 Fabric Awning	

Notes

- A. Building lighting: Building mounted lights shall be shielded with light source not to exceed 1 footcandle.
- B. Site/Building Signage: Developer shall submit a comprehensive "sign program" to specify size, location, and type of signage proposed.



South Perspective-Building O.2
NTS



South Elevation-Buildings O.1 / O.2
3/32" = 1'-0"



West Elevation-Building O.3
3/32" = 1'-0"



Southwest Perspective-Building O.3
NTS

Material

- | | |
|-----------------------------|-------------------------------|
| 01 Cement Plaster Stucco | 05 Aluminum Storefront System |
| 02 Standing Metal Seam Roof | 06 Vinyl Windows |
| 03 Stone Veneer | 07 Building Signage |
| 04 Exposed Timber | |

Notes

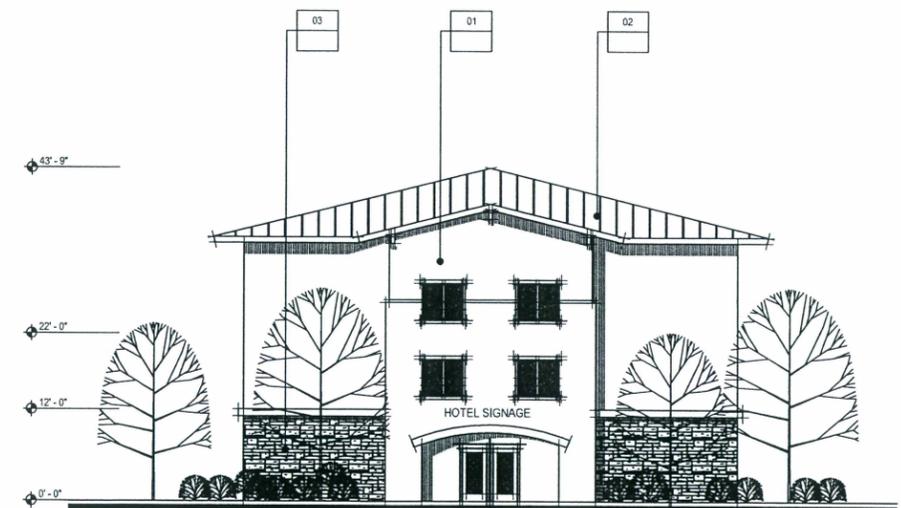
- A. Building lighting: Building mounted lights shall be shielded with light source not to exceed 1 footcandle.
- B. Site/Building Signage: Developer shall submit a comprehensive "sign program" to specify size, location, and type of signage proposed.



East Elevation-Building H.1
3/32" = 1'-0"



Southeast Perspective-Building H.1
NTS



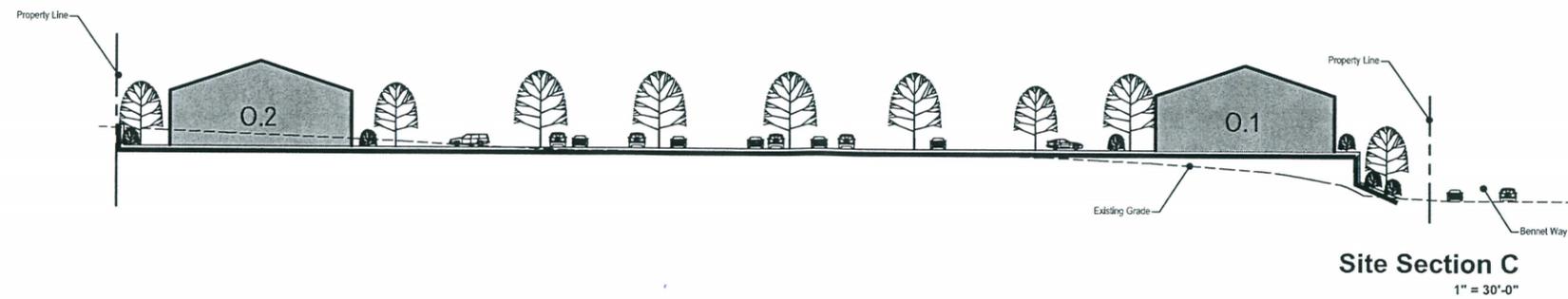
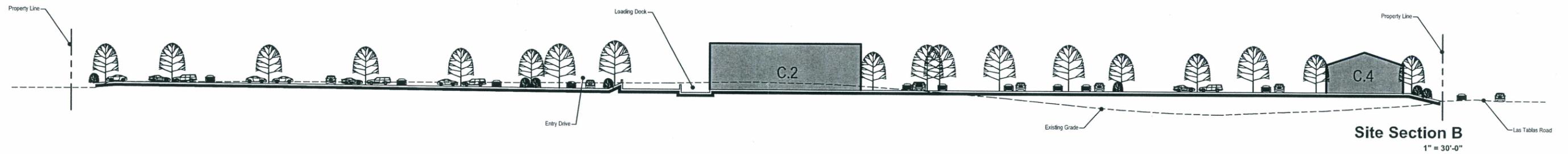
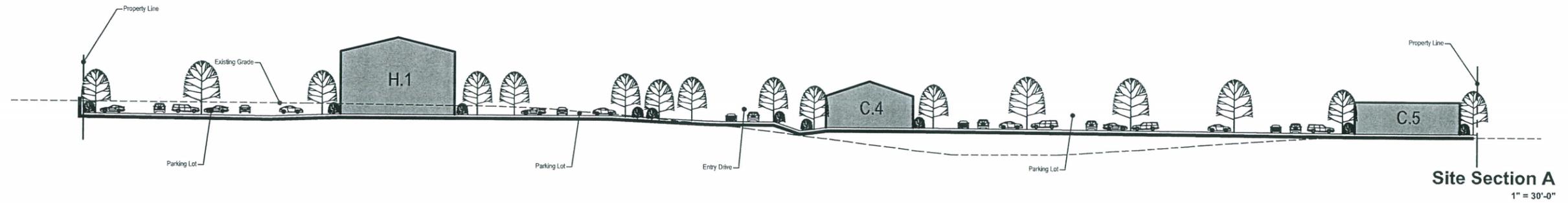
South Elevation-Building H.1
3/32" = 1'-0"

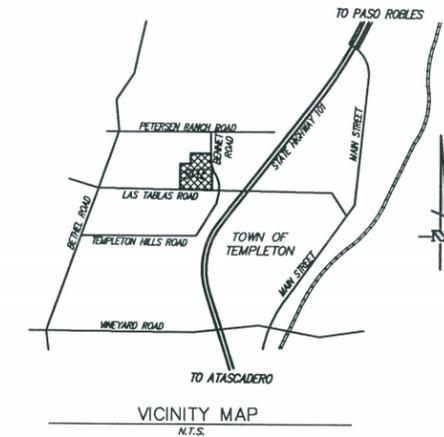
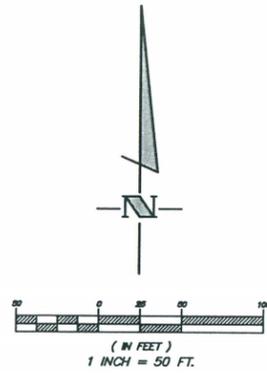
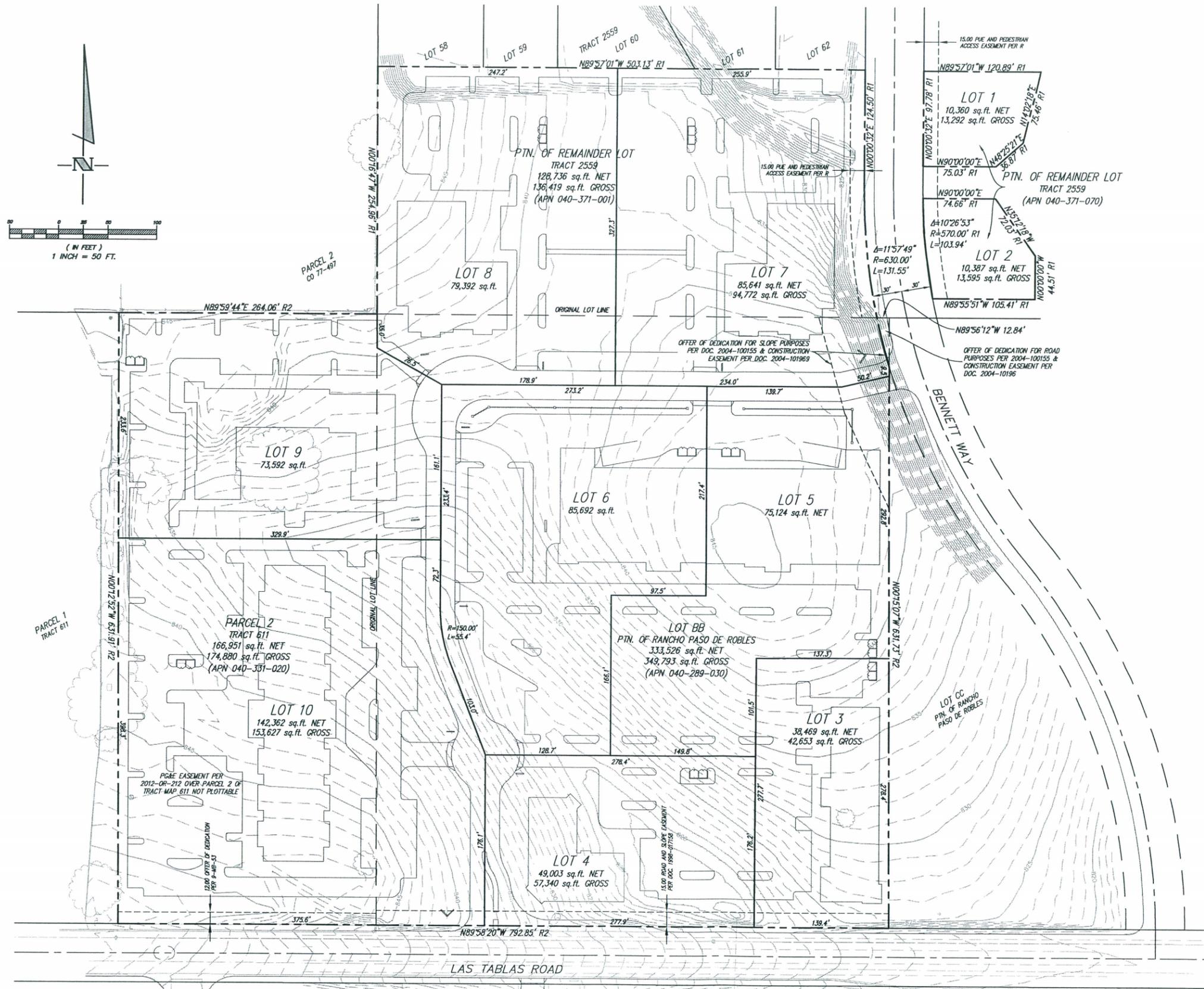
Material

01 Cement Plaster Stucco	05 Aluminum Storefront System	10 Building Lighting
02 Standing Metal Seam Roof	06 Wood Siding	
03 Stone Veneer	07 Building Signage	
04 Exposed Timber	08 Fabric Awning	

Notes

- A. Building lighting: Building mounted lights shall be shielded with light source not to exceed 1 foot-candle.
- B. Site/Building Signage: Developer shall submit a comprehensive "sign program" to specify size, location, and type of signage proposed.





EASEMENT NOTE

PROPOSED EASEMENT FOR THE PURPOSE OF PRIVATE ACCESS, PARKING, DRAINAGE, SEWER, & WATER EASEMENTS AND PUBLIC UTILITIES EASEMENT OVER ALL OF TRACT 2992 EXCLUDING BUILDING LOCATIONS.

PROJECT DATA

ADDRESS: PETERSEN RANCH RD, TEMPLETON CA 93465
 ASSESSOR'S PARCEL NO: 040-371-001, 040-289-030, 040-331-020
 ZONING: APN 040-371-001 - OFFICE AND PROFESSIONAL
 APN 040-371-070 - RESIDENTIAL SINGLE FAMILY
 APN 040-289-030 - COMMERCIAL RETAIL
 APN 040-331-020 - OFFICE AND PROFESSIONAL

WATER: TEMPLETON CSD
 SEWER: TEMPLETON CSD
 GAS: SO. CAL GAS CO.
 ELECTRICAL: PG&E
 PHONE: AT&T
 CABLE: CHARTER
 FIRE: TEMPLETON CSD
 R1: 25 MS 26-31
 R2: 88 LS 75

PREPARED FOR:

Owners/Applicant:
 FLIPPON FAMILY TRUST
 THOMPSON FAMILY TRUST
 BONESO FAMILY TRUST
 ROBERT & REGINA BONESO 2002 TRUST
 P.O. BOX 932
 PASO ROBLES CA 93447
 (805) 227-4480
 STEVE BONESO (CONTACT PERSON)

PREPARED BY:

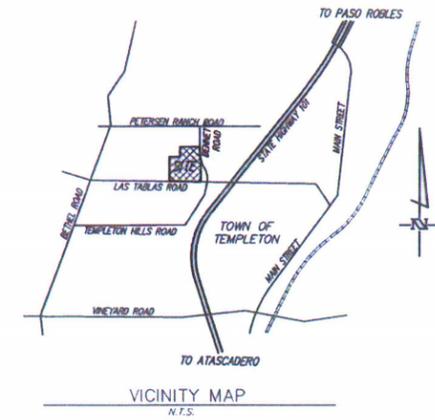
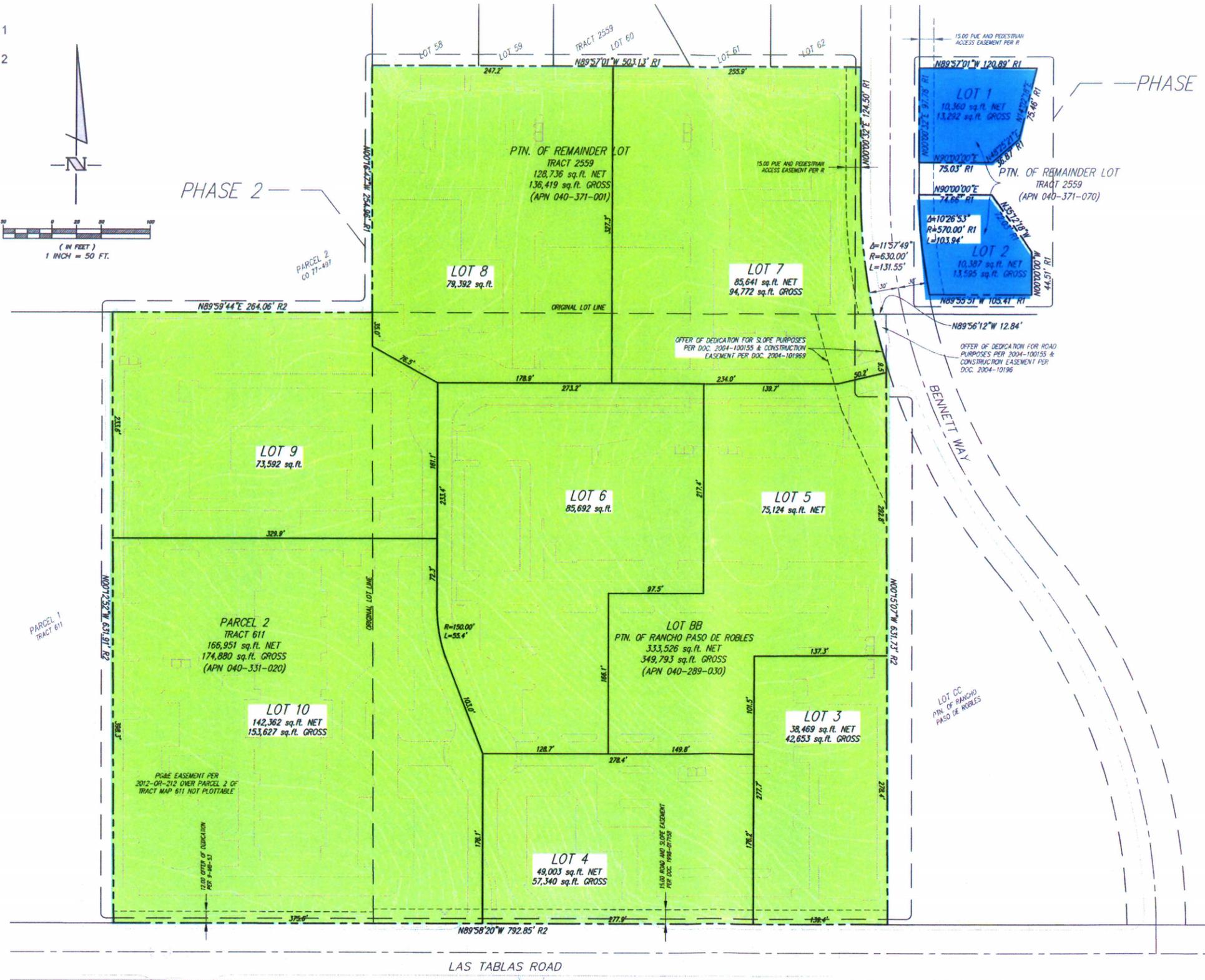
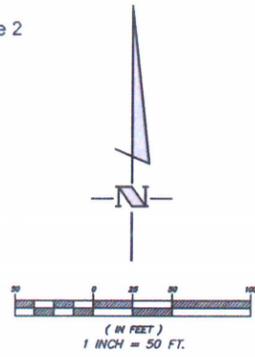
Engineer:
 FRM DESIGN GROUP
 3765 SOUTH HIGUERA, SUITE 102
 SAN LUIS OBISPO, CA 93401
 (805) 543-1794
 PAT BLOTE (CONTACT PERSON)

LEGAL DESCRIPTION

PORTION OF THE REMAINDER LOT OF TRACT 2559 FILED IN BOOK 25 OF MAPS AT PAGES 26-31, LOT BB OF THE RESUBDIVISION OF LOTS 31, 32, 33, 34, 60, 61, 62 AND 63 OF RANCHO PASO DE ROBLES FILED IN BOOK A OF MAPS AT PAGE 166 AND PARCEL 2 OF TRACT 611 FILED IN BOOK 9 OF MAPS AT PAGES 3 IN THE COUNTY RECORDERS OFFICE, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

1"=50'
VESTING TENTATIVE TRACT MAP **TM-1**

- Phase 1
- Phase 2



EASEMENT NOTE

PROPOSED EASEMENT FOR THE PURPOSE OF PRIVATE ACCESS, PARKING, DRAINAGE, SEWER, & WATER EASEMENTS AND PUBLIC UTILITIES EASEMENT OVER ALL OF TRACT 2892 EXCLUDING BUILDING LOCATIONS.

PROJECT DATA

ADDRESS:	PETERSEN RANCH RD, TEMPLETON CA 93465
ASSESSOR'S PARCEL NO.:	040-371-001, 040-289-030, 040-331-020
ZONING:	APN 040-371-001 - OFFICE AND PROFESSIONAL APN 040-371-070 - RESIDENTIAL SINGLE FAMILY APN 040-289-030 - COMMERCIAL RETAIL APN 040-331-020 - OFFICE AND PROFESSIONAL
WATER:	TEMPLETON CSD
SEWER:	TEMPLETON CSD
GAS:	SO. CAL GAS CO.
ELECTRICAL:	PG&E
PHONE:	AT&T
CABLE:	CHARTER
FIRE:	TEMPLETON CSD
R1:	25 MB 26-31
R2:	88 LS 75

PREPARED FOR:

Owners/Applicant:
FILIPPON FAMILY TRUST
THOMPSON FAMILY TRUST
BONESO FAMILY TRUST
ROBERT & REGINA BONESO 2002 TRUST
P.O. BOX 932
PASO ROBLES CA 93447
(805) 227-4450
STEVE BONESO (CONTACT PERSON)

PREPARED BY:

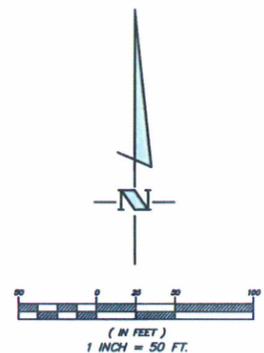
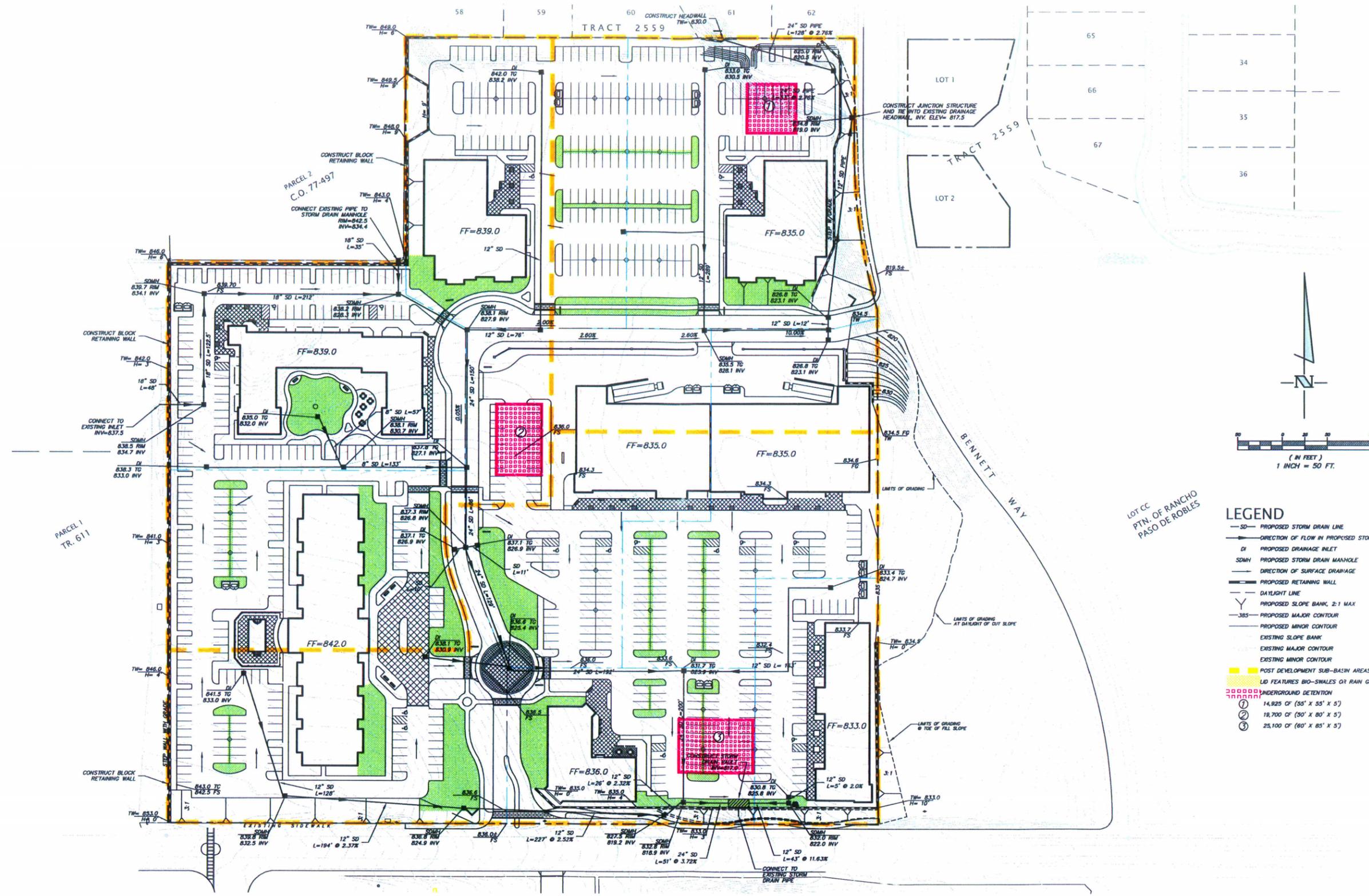
Engineer:
RBM DESIGN GROUP
3765 SOUTH HIGUERA, SUITE 102
SAN LUIS OBISPO, CA 93401
(805) 543-1794
PAT BLOTE (CONTACT PERSON)

LEGAL DESCRIPTION

PORTION OF THE REMAINDER LOT OF TRACT 2559 FILED IN BOOK 25 OF MAPS AT PAGES 26-31, LOT 89 OF THE RESUBDIVISION OF LOTS 31, 32, 33, 34, 60, 61, 62 AND 63 OF RANCHO PASO DE ROBLES FILED IN BOOK A OF MAPS AT PAGE 166 AND PARCEL 2 OF TRACT 611 FILED IN BOOK 9 OF MAPS AT PAGE 33 IN THE COUNTY RECORDERS OFFICE, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

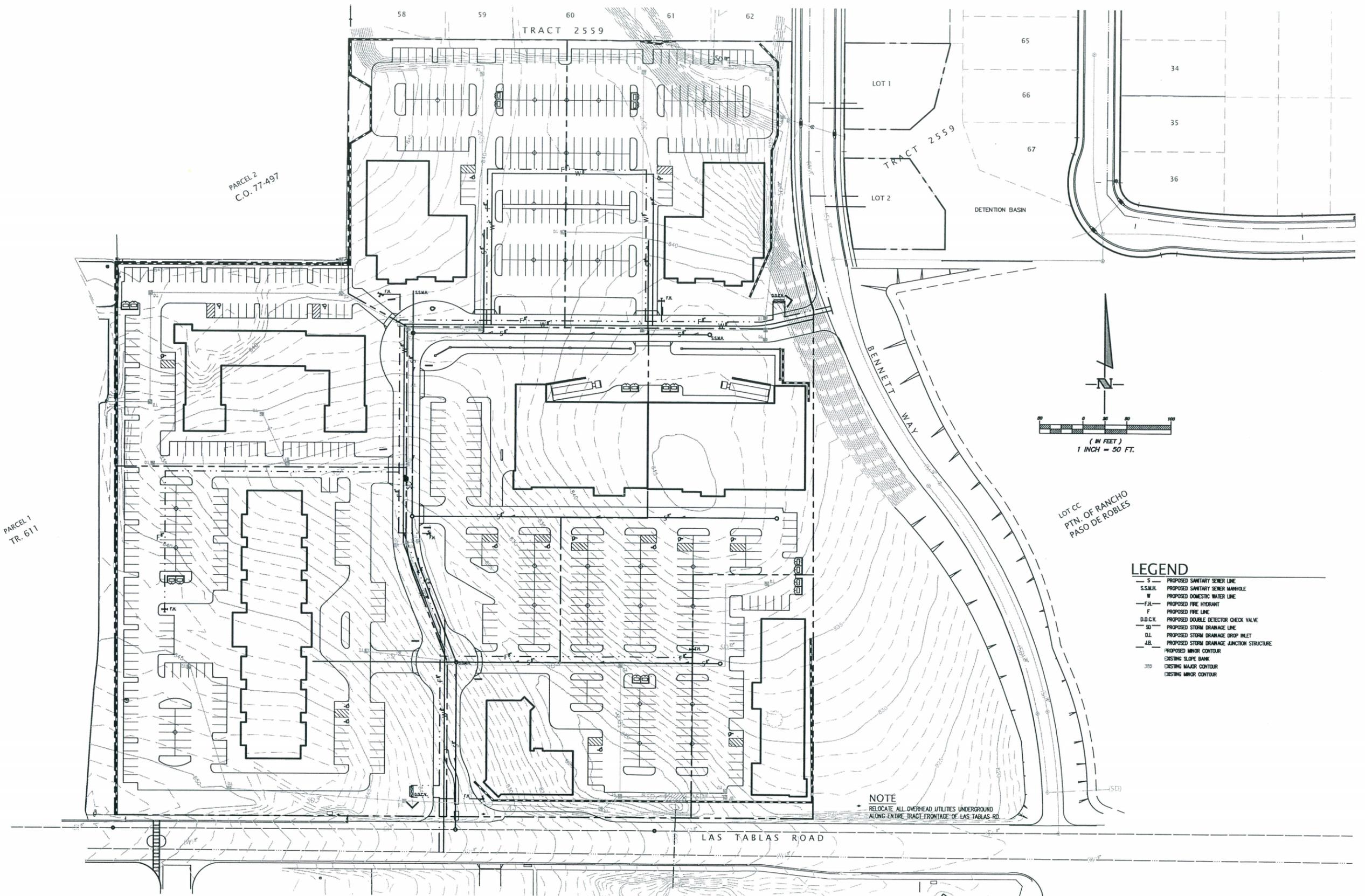
TENTATIVE TRACT PHASING MAP 1"=50'

TM-2



LEGEND

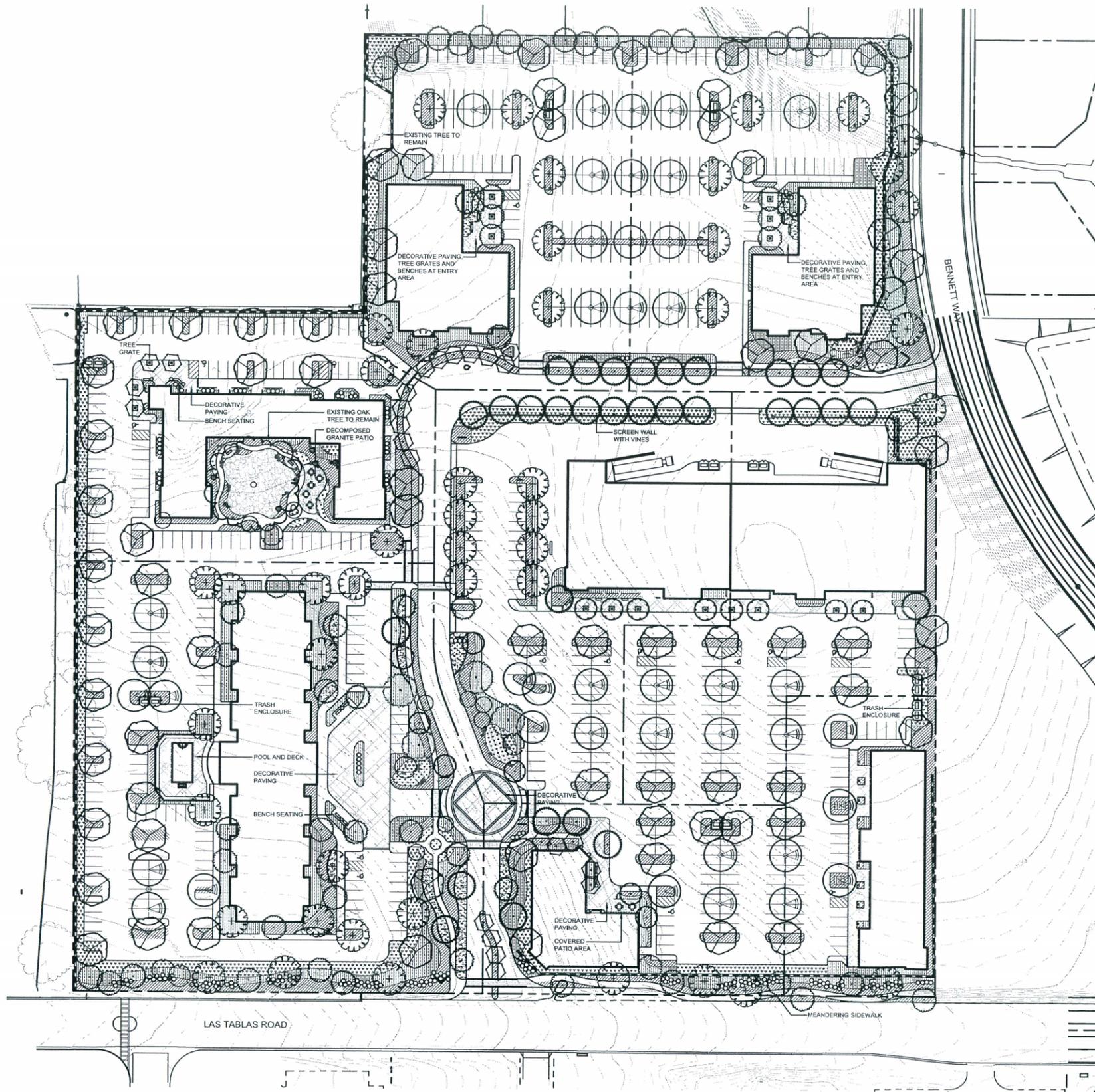
- SD — PROPOSED STORM DRAIN LINE
- — DIRECTION OF FLOW IN PROPOSED STORM DRAIN LINE
- DI — PROPOSED DRAINAGE INLET
- SDMH — PROPOSED STORM DRAIN MANHOLE
- — DIRECTION OF SURFACE DRAINAGE
- — PROPOSED RETAINING WALL
- — DAYLIGHT LINE
- Y — PROPOSED SLOPE BANK, 2:1 MAX
- — PROPOSED MAJOR CONTOUR
- — PROPOSED MINOR CONTOUR
- — EXISTING MAJOR CONTOUR
- — EXISTING MINOR CONTOUR
- — EXISTING SLOPE BANK
- — EXISTING MAJOR CONTOUR
- — EXISTING MINOR CONTOUR
- — POST DEVELOPMENT SUB-BASIN AREAS
- — LID FEATURES BIO-SWALES OR RAIN GARDENS
- — UNDERGROUND DETENTION
 - ① 14,925 CF (55' X 55' X 5')
 - ② 18,700 CF (90' X 80' X 5')
 - ③ 25,100 CF (60' X 85' X 5')



LEGEND

- S — PROPOSED SANITARY SEWER LINE
- S.S.M.H. PROPOSED SANITARY SEWER MANHOLE
- W PROPOSED DOMESTIC WATER LINE
- F.H. — PROPOSED FIRE HYDRANT
- F PROPOSED FIRE LINE
- D.D.C.V. PROPOSED DOUBLE DETECTOR CHECK VALVE
- SD — PROPOSED STORM DRAINAGE LINE
- D.I. PROPOSED STORM DRAINAGE DROP INLET
- J.B. PROPOSED STORM DRAINAGE JUNCTION STRUCTURE
- — PROPOSED MINOR CONTOUR
- — EXISTING SLOPE BANK
- — EXISTING MAJOR CONTOUR
- — EXISTING MINOR CONTOUR

NOTE
 RELOCATE ALL OVERHEAD UTILITIES UNDERGROUND
 ALONG ENTIRE TRACT FRONTAGE OF LAS TABLAS RD.



PLANT LEGEND

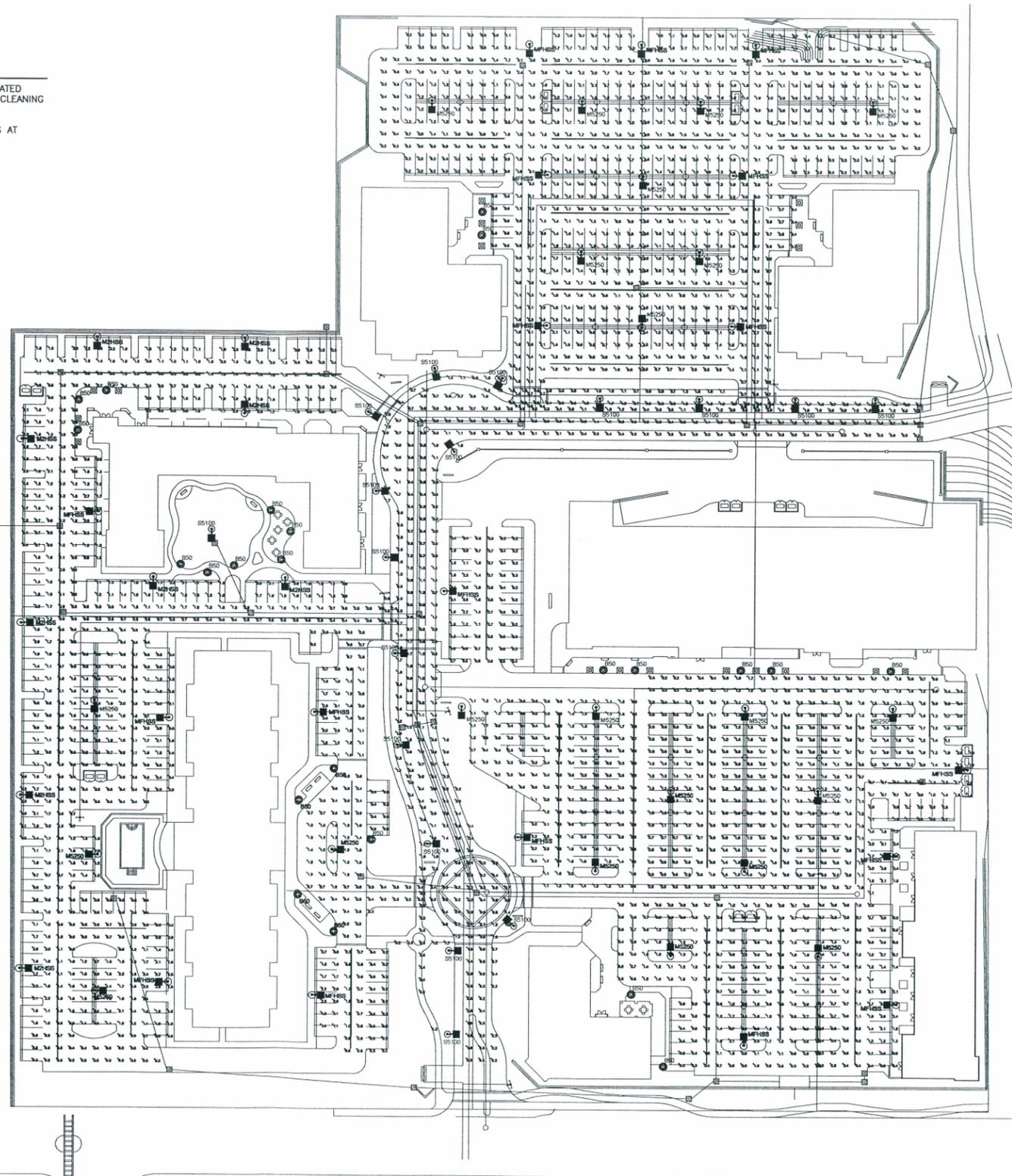
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
EVERGREEN TREES			
	<i>Arbutus unedo</i>	Strawberry Tree	15 Gal.
	<i>Quercus agrifolia</i>	Coast Live Oak	15 Gal.
	<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	15 Gal.
DECIDUOUS TREES			
	<i>Chilopsis linearis</i> 'Monhews'	Timeless Beauty Desert Willow	15 Gal.
	<i>Gleditsia triacanthos inermis</i>	Thornless Honey Locust	15 Gal.
	<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.
	<i>Platanus acerifolia</i>	London Plane Tree	15 Gal.
	<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	15 Gal.
ACCENT TREES			
	<i>Cornus x rutgersensis</i> 'Stellar Pink'	Pink Flowering Stellar Dogwood	15 Gal.
	<i>Lagerstroemia indica</i> 'Tuskegee'	Tuskegee Crape Myrtle	15 Gal.
	<i>Prunus cerasifera</i> 'Thunder Cloud'	Thunder Cloud Purple Leaf Plum	15 Gal.
SHRUBS - LARGE			
	<i>Abelia grandiflora</i>	Glossy Abelia	5 Gal.
	<i>Ceanothus x Joyce Coulter</i>	Ceanothus Joyce Coulter	1 Gal.
	<i>Cercis occidentalis</i>	Western Redbud	1 Gal.
	<i>Dodonaea viscosa</i> 'Purpurea'	Purple Hopseed Bush	1 Gal.
	<i>Heteromeles arbutifolia</i>	Toyon	1 Gal.
	<i>Nerium oleander</i>	Oleander	1 Gal.
	<i>Pittisporum tobira</i> 'Variegata'	Variegated Mock Orange	1 Gal.
	<i>Prunus caroliniana</i> 'Monus'	Bright 'n Tight™ Carolina Laurel	1 Gal.
SHRUBS - MEDIUM/SMALL			
	<i>Achillea millefolium</i> 'Paprika'	Paprika Common Yarrow	5 Gal.
	<i>Berberis thunbergii</i> 'Rose Glow'	Rose Glow Barberry	1 Gal.
	<i>Buxus microphylla japonica</i> 'Green Beauty'	Pyramid Green Beauty Boxwood	1 Gal.
	<i>Cistus ladanifer maculatus</i>	Brown Eyed Rock Rose	1 Gal.
	<i>Escallonia x exoniensis</i> 'Fradesii'	Pink Princess Escallonia	1 Gal.
	<i>Gaura lindheimeri</i>	Gaura	1 Gal.
	<i>Rhampholepis indica</i> 'Conor'	Eleanor Taber Indian Hawthorn	1 Gal.
	<i>Rosa x 'Noaschnee'</i>	Flower Carpet White Groundcover Rose	1 Gal.
	<i>Salvia leucophylla</i>	Purple Sage	1 Gal.
	<i>Viburnum dilatatum</i> 'Henneke'	Cardinal Candy Viburnum	1 Gal.
ACCENT PLANTS			
	<i>Hemerocallis x 'Mond'</i>	Starburst Red Evergreen Daylily	5 Gal.
	<i>Hemerocallis x 'Monold'</i>	Starburst Double Gold Evergreen Daylily	1 Gal.
	<i>Hesperaloe parviflora</i>	Red Yucca	1 Gal.
	<i>Lagerstroemia indica</i> 'Moned'	Chica Red Dwarf Crape Myrtle	1 Gal.
	<i>Leptospermum scoparium</i> 'Ruby Glow'	Ruby Glow Patio Tea Tree	1 Gal.
	<i>Phormium x 'Margaret Jones'</i>	Margaret Jones Flax	1 Gal.
	<i>Phormium 'Platt's Black'</i>	Platt's Black New Zealand Flax	1 Gal.
	<i>Phormium tenax</i> 'Yellow Wave'	Yellow Wave New Zealand Flax	1 Gal.
GROUND COVER			
	<i>Arctostaphylos edmundsii</i> 'Carmel Sur'	Little Sur Manzanita	5 Gal.
	<i>Cotoneaster dammeri</i> 'Coral Beauty'	Bearberry Cotoneaster	1 Gal.
	<i>Gazania rigens leucolaena</i>	Trailing Gazania	1 Gal.
	<i>Rosmarinus officinalis</i> 'Huntington Carpet'	Huntington Carpet Rosemary	1 Gal.
GRASSES			
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	5 Gal.
	<i>Muhlenbergia capillaris</i> 'Regal Mist' TM	Pink Muhly	1 Gal.
	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.
	<i>Stipa tenuissima</i>	Mexican Feather Grass	1 Gal.
VINES			
	<i>Ficus pumila</i>	Creeping Fig	5 Gal.
	<i>Parthenocissus tricuspidata</i> 'Veitchii'	Boston Ivy	5 Gal.
	<i>Rosa x 'Cecile Brunner'</i> (Climbing Type)	Cecile Brunner Climbing Rose	5 Gal.
TURF			
	<i>Festuca rubra</i>	Red Fesue	1 Gal.
OTHER			
	Decomposed Granite		
	Cobble		
	Landscape Boulders		
	Potted Planters		

GENERAL NOTES

1. LIGHT LOSS FACTOR (LLF) HAS BEEN CALCULATED ASSUMING A CLEAN ENVIRONMENT, 6 MONTH CLEANING CYCLE AND ELECTRONIC BALLAST.
2. STATISTICS REFLECT MAINTAINED LIGHT LEVELS AT GRADE.

Symbol	Label	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	MS250	LSI_LM-250-PSMH-5-F	LIFESTYLE MEDIUM - TYPE 5	1- 250W CLEAR PSMV BU (287)	LM-320-PSMH-5-F.JES	23750	0.62	295
○	SS100	LS-100-MH-5-F	LIFESTYLE SMALL - TYPE 5	1- 100W CLEAR PSMV BU (455)	LS-175-MH-5-F.JES	9500	0.62	122
○	M2HSS	LM-250-MHR-2-HSS	LIFESTYLES MEDIUM - TYPE 2 WITH HOUSE SIDE SHIELD	1- 250W CLEAR MHR BU (124)	LM-400-MHR-2-HSS.JES	23750	0.62	295
○	MFHSS	LM-250-MHR-PP-F-HSS	LIFESTYLES MEDIUM - FORWARD THROW PARMETER	1- 250W CLEAR MHR BU (124)	LM-400-MHR-PP-F-HSS.JES	23750	0.62	295
○	B50	ABR-50-MH-EL	ABR SERIES WITH EXTERNAL LOUVER	(1) 50 WATT CLEAR METAL HALIDE LAMP	ABR-100-MPS-EL.JES	4000	0.62	68

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
C.1 PARKING - SOUTH (AT GRADE)	+	0.9 fc	2.4 fc	0.2 fc	12.0:1	4.5:1
C.2 PARKING - SOUTH (AT GRADE)	+	0.9 fc	3.0 fc	0.2 fc	15.0:1	4.5:1
C.2 PARKING - WEST (AT GRADE)	+	0.9 fc	3.0 fc	0.2 fc	15.0:1	4.5:1
C.3 PARKING (AT GRADE)	+	1.2 fc	3.1 fc	0.2 fc	15.5:1	6.0:1
C.4 PARKING (AT GRADE)	+	0.9 fc	3.3 fc	0.2 fc	16.5:1	4.5:1
DRIVE (AT GRADE)	+	0.7 fc	2.0 fc	0.1 fc	20.0:1	7.0:1
H.1 PARKING - EAST (AT GRADE)	+	1.0 fc	3.1 fc	0.2 fc	15.5:1	5.0:1
H.1 PARKING - WEST (AT GRADE)	+	1.1 fc	3.0 fc	0.2 fc	15.0:1	5.5:1
O.1 PARKING (AT GRADE)	+	1.2 fc	3.2 fc	0.2 fc	16.0:1	6.0:1
O.2 PARKING (AT GRADE)	+	1.2 fc	3.3 fc	0.2 fc	16.5:1	6.0:1
O.3 PARKING (AT GRADE)	+	1.2 fc	2.9 fc	0.2 fc	14.5:1	6.0:1
PEDESTRIAN WALKWAY	+	1.0 fc	2.6 fc	0.2 fc	13.0:1	5.0:1



Thoma
ENGINEERING
THOMA ELECTRIC, INC.
P.O. Box 11167 - 3562 Empleno St.
San Luis Obispo, CA 93406
Phone: (805) 543-3850
Fax: (805) 543-3829
cod@thomaelec.com



EXPIRES: 06/30/13
THOMA #08-8141.01

rrmdesigngroup
creating environments people enjoy

3765 South Higuera Street, Suite 102 | San Luis Obispo, California 93401
P: (805) 543-1794 | F: (805) 543-4809 | www.rrmdesign.com
www.thomaelec.com | www.rrmdesign.com | www.thomaelec.com

1"=50'-0"
CONCEPTUAL LIGHTING PLAN
Las Tablas Village - Tract 2992 (E-1.0)

2007048

August 30, 2011