



DEPARTMENT OF PLANNING AND BUILDING

THIS IS A NEW PROJECT REFERRAL

DATE: 3/31/2015

TO: _____

FROM: Stephanie Fuhs (805-781-5721 or sfuhs@co.slo.ca.us)
South County Team / Development Review

PROJECT DESCRIPTION: DRC2014-00115 BUCKLEY – Proposed site plan for improvements for an approved subdivision (SUB2012-00043). Site location is south side of Buckley Rd, west of Highway 227. APN: 076-063-003

Return this letter with your comments attached no later than: 14 days from receipt of this referral. CACs please respond within 60 days. Thank you.

PART 1 - IS THE ATTACHED INFORMATION ADEQUATE TO COMPLETE YOUR REVIEW?

- YES (Please go on to PART II.)
- NO (Call me ASAP to discuss what else you need. We have only 10 days in which we must obtain comments from outside agencies.)

PART II - ARE THERE SIGNIFICANT CONCERNS, PROBLEMS OR IMPACTS IN YOUR AREA OF REVIEW?

- YES (Please describe impacts, along with recommended mitigation measures to reduce the impacts to less-than-significant levels, and attach to this letter)
- NO (Please go on to PART III)

PART III - INDICATE YOUR RECOMMENDATION FOR FINAL ACTION.

Please attach any conditions of approval you recommend to be incorporated into the project's approval, or state reasons for recommending denial.

IF YOU HAVE "NO COMMENT," PLEASE SO INDICATE, OR CALL.

Date _____ Name _____ Phone _____

GENERAL APPLICATION FORM

San Luis Obispo County Department of Planning and Building

SITE PLAN

SITE PLAN

IMPROVEMENTS-(SUB)2012-00043)15,756 SF
SLOSLO/ SLOC

AR CS

APPLICATION TYPE - CHECK ALL THAT APPLY

- Emergency Permit
- Site Plan
- Conditional Use Permit/Development Plan
- Curb, Gutter & Sidewalk Waiver
- Tree Permit
- Minor Use Permit
- Plot Plan
- Variance
- Surface Mining/Reclamation Plan
- Zoning Clearance
- Other
- Amendment to approved land use permit

APPLICANT INFORMATION Check box for contact person assigned to this project

Landowner Name Buckley Pacific, LLC. Daytime Phone 805-543-1706
 Mailing Address 645 Clarion Court, San Luis Obispo, CA Zip Code 93401
 Email Address: rbachmann@specialtyconstruction.com

Applicant Name same as owner Daytime Phone _____
 Mailing Address _____ Zip Code _____
 Email Address: _____

Agent Name Oasis Associates, Inc. Daytime Phone 805-541-4509
 Mailing Address 3427 Miguelito Court, San Luis Obispo, CA Zip Code 93401
 Email Address: CMF@oasisassoc.com

PROPERTY INFORMATION

Total Size of Site: 6.1 Acres Assessor Parcel Number(s): 076-063-003
 Legal Description: Parcel 3, Map CO87-164
 Address of the project (if known): n/a
 Directions to the site (including gate codes) - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.: South side of Buckley Road, West of Highway 227, East of Hoover Avenue

Describe current uses, existing structures, and other improvements and vegetation on the property:
Site improvements for approved subdivision (SUB2012-00043) currently under construction (PMT2014-00885, PMT2013-01779, PMT2014-01908)

PROPOSED PROJECT

Describe the proposed project (inc. sq. ft. of all buildings): 15,756 SF one-story shell warehouse building and 2,586 SF fenced yard.
 Subject property is under construction for approved subdivision site improvements (SUB2012-00043). This application limited to review of shell building only.

LEGAL DECLARATION

I, the owner of record of this property, have completed this form accurately and declare that all statements here are true. I do hereby grant official representatives of the county authorization to inspect the subject property.

Property owner signature 

Date 23 March 15

FOR STAFF USE ONLY

Reason for Land Use Permit: _____

LAND USE PERMIT APPLICATION

San Luis Obispo County Department of Planning and Building

File No _____

Type of project: Commercial Industrial Residential Recreational Other

Describe any modifications/adjustments from ordinance needed and the reason for the request (if applicable): N/A

Describe existing and future access to the proposed project site: Access from Buckley Road
(under construction as part of approved subdivision site improvements, PMT2013-01779)

Surrounding parcel ownership: Do you own adjacent property? Yes No
If yes, what is the acreage of all property you own that surrounds the project site? _____

Surrounding land use: What are the uses of the land surrounding your property (when applicable, please specify all agricultural uses):

North: Airport (Public Facility) South: Dry Farm (Agriculture)
East: Vacant (Industrial) West: Vacant (Commercial Services)

For all projects, answer the following:

Square footage and percentage of the total site (approximately) that will be used for the following:

Buildings: 15,756 sq. feet 5 % Landscaping: _____ sq. feet _____ %
Paving: 23,821 sq. feet 9 % Other (specify) _____

Total area of all paving and structures: 39,577 sq. feet acres

Total area of grading or removal of ground cover: n/a (issued grading permit) sq. feet acres

Number of parking spaces proposed: 25 Height of tallest structure: 30' 8"

Number of trees to be removed: 0 Type: _____

Setbacks: Front 99' Right 107' Left 166' Back 399'

Proposed water source: On-site well Shared well Other _____

Community System - List the agency or company responsible for provision: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Proposed sewage disposal: Individual on-site system Other Shared septic system (PMT2014-01908)

Community System - List the agency or company responsible for sewage disposal: _____

Do you have a valid will-serve letter? Yes No (If yes, please submit copy)

Fire Agency: List the agency responsible for fire protection: Cal Fire

For commercial/industrial projects answer the following:

Total outdoor use area: 2,586 sq. feet acres

Total floor area of all structures including upper stories: 15756 sq. feet

For residential projects, answer the following:

Number of residential units: _____ Number of bedrooms per unit: _____

Total floor area of all structures including upper stories, but not garages and carports: _____

Total of area of the lot(s) minus building footprint and parking spaces: _____

ENVIRONMENTAL DESCRIPTION FORM

San Luis Obispo County Department of Planning and Building

File No _____

The California Environmental Quality Act (CEQA) requires all state and local agencies to consider and mitigate environmental impacts for their own actions and when permitting private projects. The Act also requires that an environmental impact report (EIR) be prepared for all actions that may significantly affect the quality of the environment. The information you provide on this form will help the Department of Planning and Building determine whether or not your project will significantly affect the quality of the environment.

To ensure that your environmental review is completed as quickly as possible, please remember to:

- a. Answer **ALL** of the questions as accurately and completely as possible.
- b. Include any additional information or explanations where you believe it would be helpful or where required. Include additional pages if needed.
- c. If you are requesting a land division or a re-zoning, be sure to include complete information about future development that may result from the proposed land division or rezoning.
- d. Include references to any reports or studies you are aware of that might be relevant to the questions asked or the answers you provide.

Should a determination be made that the information is inaccurate or insufficient, you will be required to submit additional information upon request.

Physical Site Characteristic Information

Your site plan will also need to show the information requested here:

1. Describe the topography of the site:
Level to gently rolling, 0-10% slopes: 6 acres
Moderate slopes of 10-30%: _____ acres
Steep slopes over 30%: _____ acres
2. Are there any springs, streams, lakes or marshes on or near the site? Yes No
If yes, please describe: Seasonal drainage swale
3. Are there any flooding problems on the site or in the surrounding area? Yes No
If yes, please describe: _____
4. Has a drainage plan been prepared? Yes No
If yes, please include with application. Site grading is approved
5. Has there been any grading or earthwork on the project site? Yes No
If yes, please explain: Grading permit is issued for site improvements PMT2013-01779
6. Has a grading plan been prepared? Site grading is approved Yes No
If yes, please include with application.
7. Are there any sewer ponds/waste disposal sites on/adjacent to the project? Yes No
8. Is a railroad or highway within 300 feet of your project site? Yes No
9. Can the proposed project be seen from surrounding public roads? Yes No
If yes, please list: Buckley Road

Water Supply Information

1. What type of water supply is proposed?
 Individual well Shared well Community water system
2. What is the proposed use of the water?
 Residential Agricultural - Explain _____
 Commercial/Office - Explain Warehouse/low-density commercial uses
 Industrial - Explain _____
3. What is the expected daily water demand associated with the project? _____
4. How many service connections will be required? One (1)
5. Do operable water facilities exist on the site?
 Yes No If yes, please describe: _____
6. Has there been a sustained yield test on proposed or existing wells?
 Yes No If yes, please attach. _____
7. Does water meet the Health Agency's quality requirements? reviewed as part of subdivision (SUB2012-00043)
Bacteriological? Yes No
Chemical? Yes No
Physical Yes No
Water analysis report submitted? Yes No
8. Please check if any of the following have been completed on the subject property and/or submitted to County Environmental Health. reviewed as part of subdivision (SUB2012-00043)
 Well Driller's Letter Water Quality Analysis OK or Problems
 Will Serve Letter Pump Test 17 Hours 10 G.P.M.
 Surrounding Well Logs Hydrologic Study Other _____

Please attach any letters or documents to verify that water is available for the proposed project.

Sewage Disposal Information**Septic System under separate permit, see PMT2014-01908

If an on-site (individual) subsurface sewage disposal system will be used:

1. Has an engineered percolation test been accomplished?
 Yes No If yes, please attach a copy.
2. What is the distance from proposed leach field to any neighboring water wells? _____ feet
3. Will subsurface drainage result in the possibility of effluent reappearing in surface water or on adjacent lands, due to steep slopes, impervious soil layers or other existing conditions?
 Yes No
4. Has a piezometer test been completed?
 Yes No
5. Will a Waste Discharge Permit from the Regional Water Quality Control Board be required?
 Yes No (*a waste discharge permit is typically needed when you exceed 2,500 gallons per day*)

If a community sewage disposal system is to be used:

1. Is this project to be connected to an existing sewer line? Yes No
Distance to nearest sewer line: _____ Location of connection: _____
2. What is the amount of proposed flow? _____ G.P.D.
3. Does the existing collection treatment and disposal system have adequate additional capacity to accept the proposed flow? Yes No

Solid Waste Information

- 1. What type of solid waste will be generated by the project?
 Domestic Industrial Agricultural Other, please explain? _____
- 2. Name of Solid Waste Disposal Company: San Luis Garbage Company
- 3. Where is the waste disposal storage in relation to buildings? North, in parking lot
- 4. Does your project design include an area for collecting recyclable materials and/or composting materials?
 Yes No

Community Service Information

- 1. Name of School District: San Luis Coastal Unified School District (SLCUSD)
- 2. Location of nearest police station: California Highway Patrol (CHP), 4115 Broad Street, San Luis Obispo, CA 93401
- 3. Location of nearest fire station: Cal Fire Station 21 (as SLO Regional Airport), 4671 Broad Street, San Luis Obispo, CA 93401
- 4. Location of nearest public transit stop: Marigold Center
- 5. Are services (grocery/other shopping) within walking distance of the project? Yes No
 If yes, what is the distance? _____ feet/miles

Historic and Archeological Information

- 1. Please describe the historic use of the property:
Dry Farming; currently, site grading and improvements are under construction
- 2. Are you aware of the presence of any historic, cultural or archaeological materials on the project site or in the vicinity? Yes No
 If yes, please describe: _____
- 3. Has an archaeological surface survey been done for the project site? Yes No
 If yes, please include two copies of the report with the application.

Commercial/Industrial Project Information

Only complete this section if you are proposing a commercial or industrial project or zoning change.

**Review is for shell building, specific business operations have not yet been determined.

- 1. Days of Operation: _____ Hours of Operation: _____
- 2. How many people will this project employ? _____
- 3. Will employees work in shifts? Yes No
 If yes, please identify the shift times and number of employees for each shift _____
- 4. Will this project produce any emissions (i.e., gasses, smoke, dust, odors, fumes, vapors)?
 Yes No If yes, please explain: _____
- 5. Will this project increase the noise level in the immediate vicinity? Yes No
 If yes, please explain: _____
 (If loud equipment is proposed, please submit manufacturers estimate on noise output.)
- 6. What type of industrial waste materials will result from the project? Explain in detail: _____
- 7. Will hazardous products be used or stored on-site? Yes No
 If yes, please describe in detail: _____
- 8. Has a traffic study been prepared? Yes No If yes, please attach a copy.

9. Please estimate the number of employees, customers and other project-related traffic trips to or from the project: Between 7:00 - 9:00 a.m. _____ Between 4:00 to 6:00 p.m. _____
10. Are you proposing any special measures (carpooling, public transit, telecommuting) to reduce automobile trips by employees Yes No
If yes, please specify what you are proposing: _____
11. Are you aware of any potentially problematic roadway conditions that may exist or result from the proposed project, such as poor sight distance at access points, connecting with the public road?
 Yes No If yes, please describe: _____

Agricultural Information N/A

Only complete this section if your site is: 1) Within the Agricultural land use category, or 2) currently in agricultural production.

1. Is the site currently in Agricultural Preserve (Williamson Act)? Yes No
2. If yes, is the site currently under land conservation contract? Yes No
3. If your land is currently vacant or in agricultural production, are there any restrictions on the crop productivity of the land? That is, are there any reasons (i.e., poor soil, steep slopes) the land cannot support a profitable agricultural crop? Please explain in detail: _____

Special Project Information

1. Describe any amenities included in the project, such as park areas, open spaces, common recreation facilities, etc.(these also need to be shown on your site plan): N/A
2. Will the development occur in phases? Yes No
If yes describe: _____
3. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? Yes No If yes, explain: _____
4. Are there any proposed or existing deed restrictions? Yes No
If yes, please describe: _____

Energy Conservation Information

1. Describe any special energy conservation measures or building materials that will be incorporated into your project *: Building will comply with California Green Code building standards.

*The county's Building Energy Efficient Structures (BEES) program can reduce your construction permit fees. Your building must exceed the California State Energy Standards (Title 24) in order to qualify for this program. If you are interested in more information, please contact the Building Services Division of the Department of Planning and Building at (805) 781-5600.

Environmental Information

1. List any mitigation measures that you propose to lessen the impacts associated with your project:
n/a

2. Are you aware of any unique, rare or endangered species (vegetation or wildlife) associated with the project site? Yes No

If yes, please list: _____

3. Are you aware of any previous environmental determinations for all or portions of this property?

Yes No

If yes, please describe and provide "ED" number(s): Mitigated Negative Declaration (ED12-207)

Other Related Permits

1. List all permits, licenses or government approvals that will be required for your project (federal, state and local): County building permit

(If you are unsure if additional permits are required from other agencies, please ask a member of the Planning Department staff currently assigned in either Current Planning or the Environmental Division.)

A SHELL BUILDING FOR: BUCKLEY PACIFIC, LLC SAN LUIS OBISPO, CALIF



ARCHITECTS:
MICHAEL C. PEACHEY
WAYNE R. STUART
225 PRADO ROAD, SUITE G
SAN LUIS OBISPO, CA 93401
TEL: (805) 544-4334
FAX: (805) 544-4330
EMAIL: MWARCH@GMAIL.COM

A SHELL BUILDING FOR:
BUCKLEY PACIFIC, LLC
795 BUCKLEY ROAD
SAN LUIS OBISPO, CALIF

TITLE SHEET

BY ANY ARCHITECT, ALL COMMON LAW COPYRIGHT AND OTHER RIGHTS RESERVED TO ARCHITECT AS AN ORIGINAL AND UNPUBLISHED WORK PRODUCT OF ANY ARCHITECT AND THE WORK SHALL NOT BE REPRODUCED, COPIED, DISCLOSED, OR USED IN CONNECTION WITH ANY OTHER PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THIS DESIGN PROFESSIONAL ASSOCIATE OR ARCHITECT PARTNER HAS BEEN PROVIDED AS ASSOCIATE TO ANY FIRM PARTNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF ANY ARCHITECT. VISUAL CONTACT WITH THE DOCUMENT SHALL CONSTITUTE CONVICTION. EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB. UPON DISCOVERY OF ANY VIOLATION OF THESE RESTRICTIONS, CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND PRIOR TO PROCEEDING WITH RELATED WORK OBTAIN WRITTEN RESOLUTION FROM MW ARCHITECTS.

REVISIONS

NO.	DATE	DESCRIPTION

DATE: **A0.00**
APPL. NO.:

ARCHITECTURAL ABBREVIATIONS

AT	ANGLE	FJ	FLOOR JOIST	PVC	POLYVINYL CHLORIDE
CL	CENTERLINE	FL	FLOOR	PRFAB	PREFABRICATED
DM	DIAMETER	FR	FLOOR FINISH	R	ROOF DRAIN
AB	ANCHOR BOLT	FND	FOUNDATION	RDWD	REDWOOD
AC	AIR CONDITIONING	FTG	FOOTING	REFR	REFRIGERATOR
AD	ADJACENT	FMS	FLOOR FINISH	REIN	REINFORCEMENT
ADU	ADJACENT ABOVE FINISH FLOOR	FURK	FURRED	REQD	REQUIRED
ALUM	ALUMINUM	GA	GARAGE	RM	ROOM
BO	BOARD	GD	GARAGE DISPOSAL	RO	ROUGH OPENING
BLDG	BUILDING	GLB	GALVANIZED STEEL	RS	ROUGH SAWN REDWOOD
BK	BLOCK	GS	GALVANIZED STEEL	RWD	REDWOOD
BLDG	BUILDING	OP	OPENING	SF	SQUARE FEET
BM	BEAM	OS	OSYUM BOARD	SHF	SHELF
BO	BOTTOM OF	HB	HOSE BIBB	SHV	SHIELDING
BOF	BOTTOM OF FRAMING	HOK	HEAD	SS	STAINLESS STEEL
BOB	BOTTOM OF BEAM	HOT	HOT WATER	SSP	SHIELD AND POLE
CB	CABINET	HTR	HEATER	SEL	SELECT
CB	CATCH BASIN	HTR	HEATER	SH	SINGLE HUNG
CB	CONTROL JOINT	HTR	HEATER	SHT	SHEET
CLG	CEILING	HTR	HEATER	SHTG	SHIELDING
CLR	CLEAR	HTR	HEATER	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT	HTR	HEATER	SM	SMULAR
CO	COLD	HTR	HEATER	SKL	SKYLIGHT
COL	COLUMN	HTR	HEATER	SL	SLIDER WINDOW
COMP	COMPOSITE	HTR	HEATER	SLSG	SLIDING
CONC	CONCRETE	HTR	HEATER	SO	SQUARE
CONST	CONSTRUCTION	HTR	HEATER	STL	STEEL
CONT	CONTINUOUS	HTR	HEATER	STOR	STORAGE
CSK	COUNTER SINK	HTR	HEATER	STRUC	STRUCTURAL
CSMT	CASEMENT	HTR	HEATER	T	TREAD
CT	CERAMIC TILE	HTR	HEATER	T&B	TOP & BOTTOM
CTK	COUNTERSINK CENTER	HTR	HEATER	T&G	TONGUE AND GROOVE
CV	COLD WATER	HTR	HEATER	TC	TRASH COMPACTOR
DS	DOWNSPOUT	HTR	HEATER	TO	TOP OF
DBL	DOUBLE	HTR	HEATER	TOB	TOP OF BEAM
DA	DIAMETER	HTR	HEATER	TOF	TOP OF MASONRY
DA	DIAGONAL	HTR	HEATER	TOP	TOP OF PARAPET
DM	DIMENSION	HTR	HEATER	TOP	TOP OF PLATE
DN	DOWN	HTR	HEATER	TOP	TOP OF SHEATHING
DR	DOOR	HTR	HEATER	TRK	THICK
DW	DISHWASHER	HTR	HEATER	TRMR	TEMPERED GLASS
EA	EACH	HTR	HEATER	TV	TELEVISION
EJ	EXPANSION JOINT	HTR	HEATER	UNO	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL	HTR	HEATER	VF	VERIFY IN FIELD
ENCL	ENCLOSURE	HTR	HEATER	W	WITH
EQ	EQUAL	HTR	HEATER	W/O	WITHOUT
EW	EACH WAY	HTR	HEATER	WC	WATER CLOSET
EX	EXISTING	HTR	HEATER	WD	WOOD
EXT	EXTENSION	HTR	HEATER	WH	WATER HEATER
FAU	FORCED AIR UNIT	HTR	HEATER	WI	WROUGHT IRON
FF	FINISH FLOOR	HTR	HEATER	VN	WINDOW
FO	FIXED GLASS	HTR	HEATER	VP	WATERPROOF
FMS	FLOOR FINISH	HTR	HEATER	WR	WATER RESISTANT
FR	FINISH	HTR	HEATER	WYF	WELDED WIRE FABRIC
		HTR	HEATER	WWM	WELDED WIRE MESH

SYMBOL LEGEND

X	MATERIAL NUMBER	X	DETAIL NUMBER
X	COLOR DESIGNATION	X	DRAWING SHEET
X	NOTE NUMBER	X	GRID NUMBER
X	DOOR NUMBER	X	ELEVATION
X	WINDOW NUMBER	X	ROOM NAME
X	SECTION LETTER	X	CLG HGT
X	DRAWING SHEET		

BUILDING CODE DATA

CBC CHAPTER 3	CBC CHAPTER 3	CBC CHAPTER 3
OCCUPANCY GROUPS	B & S-2 (FUTURE)	
CBC CHAPTER 4	CBC CHAPTER 4	CBC CHAPTER 4
NA	NA	NA
CBC CHAPTER 5	CBC CHAPTER 5	CBC CHAPTER 5
ALLOWABLE STORIES, CBC 504:	2 + 1 (ALLOWED PER 504.2) = 3	
BLDG ALLOWABLE HGT, CBC 504:	40 FT + 20FT (ALLOWED PER 504.2) = 60FT	
SLG USE OCCUPANCY:	NO FACTOR	
ALLOWABLE BUILDING AREA:	NO FACTOR, WE ARE UNDER THE TABULAR AREA OF 8,000 SF	
UNLIMITED AREA ALLOWED, CBC 507:	NO	
MIXED OCCUPANCY, CBC 508	NO	
INCIDENTAL USE AREAS CBC 508.2:	NO FACTOR, BLDG IS SPRINKLERED	
CBC CHAPTER 5 CONTINUED	CBC CHAPTER 5 CONTINUED	CBC CHAPTER 5 CONTINUED
NON-SEPARATED OCCUPANCIES, CBC 508.3.2	YES	
SEPARATED OCCUPANCIES, CBC 508.3.3	NO	
CBC CHAPTER 6	CBC CHAPTER 6	CBC CHAPTER 6
CONSTRUCTION TYPE:	VB	
FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours), CBC TABLE 601		
STRUCTURAL FRAME:	0	
BEARING WALLS:	0	
INTERIOR BEARING WALLS:	0	
NON-BEARING WALLS & PARTITIONS-INTERIOR:	0	
FLOOR CONSTRUCTION:	NA	
ROOF CONSTRUCTION:	0	
FIRE-RESISTANCE RATING REQMTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE, CBC TABLE 602		
X < SFT	1 HR	
5 <= X < 10	1 HR	
10 <= X < 30	0	
X >= 30	0	
CBC CHAPTER 7	CBC CHAPTER 7	CBC CHAPTER 7
PROJECTIONS INTO SETBACK, CBC 705.2:	NA, NO PROJECTIONS INTO AREAS REQ'D PROTECTION	
BUILDING ON SAME PROPERTY, CBC 705.3	NA	
ALLOWABLE AREA OF OPENINGS, CBC 705.6.1	PER BUILDING FACE/WALL: NORTH: UNLIMITED EAST: 70% - 23% PROPOSED SOUTH: UNLIMITED WEST: 70% - 23% PROPOSED	
PARAPET REQUIRED CBC 705.11:	NA, NO EXTERIOR WALLS REQUIRED TO BE PROTECTED	
ELEVATOR LOBBY, CBC 708.14.1:	NA	
ATTIC DRAFT STOPS CBC 717.4:	NA, PER EXCEPTION 717.4.3 BLDG IS SPRINKLERED	
FLOOR DRAFT STOPS CBC 717.3:	NA, PER EXCEPTION 717.4.3 BLDG IS SPRINKLERED	
CBC CHAPTER 7A	CBC CHAPTER 7A	CBC CHAPTER 7A
FIRE AREA:	MODERATE FIRE ZONE - STATE RESPONSIBILITY AREA	
CBC CHAPTER 8	CBC CHAPTER 8	CBC CHAPTER 8
WALL AND CEILING FINISHES, CBC 803	NA - SHELL BUILDING ONLY	
CBC CHAPTER 9	CBC CHAPTER 9	CBC CHAPTER 9
SPRINKLERS REQD:	YES - CALIFIRE REQUIRES ALL COMMERCIAL BUILDINGS	
CBC CHAPTER 10	CBC CHAPTER 10	CBC CHAPTER 10
OCCUPANCY LOAD, CBC 1004:	REFER TO EXISTING PLAN	
EXIT WIDTH, CBC 1009:	NO FACTOR	
AREA OF REFUGE, CBC 1007.6	NOT REQUIRED PER EXCEPTION 2	
DOORS AND GATES, CBC 1008	REFER TO DOOR SCHEDULE	
STAIRWAYS, CBC 1009	REFER TO STAIR DETAILS	
RAMP, CBC 1010	REFER TO RAMP DETAILS	
EXIT SIGNS, CBC 1011	REFER TO DOOR SCHEDULE	
TRAVEL DISTANCE, CBC 1016	MAX ALLOWED: PROVIDED	
RATED CORRIDORS, CBC 1018:	NOT REQUIRED, BLDG IS SPRINKLERED	
ONE EXIT, CBC 1020:	NA	

GENERAL NOTES

- ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES; AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24.
- ALL CODES REFERENCED SHALL BE CALIFORNIA EDITIONS. THE CODES REFERENCED IN THESE PLANS ARE AS FOLLOWS:
 - 2013 CALIFORNIA BUILDING CODE (CBC)
 - 2013 CALIFORNIA MECHANICAL CODE (CMC)
 - 2013 CALIFORNIA PLUMBING CODE (CPC)
 - 2013 CALIFORNIA FIRE CODE (FC)
 - 2013 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2013 CALIFORNIA GREEN CODE (CGC)
 - CALIFORNIA STATE ENERGY CONSERVATION STDS. (TITLE 24)
 - COUNTY LAND USE ORDINANCE (TITLE 22)
 - COUNTY BUILDING AND CONSTRUCTION ORDINANCE (TITLE 19).
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEED AT HIS OWN RISK.
- OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL APPLICABLE INDUSTRIAL SAFETY REGULATIONS, THE LOCAL GOVERNING AGENCY, THE ARCHITECT, AND THE OWNER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. 2013 CBC APPENDIX CHAPTER 107.3.4
- ALL PIPING IN PUBLIC SPACES, EXCEPT FOR THE FIRE RISERS, SHALL BE CONCEALED THROUGHOUT.
- APPROVED NUMBERS OR ADDRESSES (MINIMUM 6" HIGH) SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND 10 FEET FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCATION WITH THE ARCHITECT AND FIRE DEPARTMENT.
- NO HAZARDOUS MATERIALS SHALL BE STORED AND / OR USED WITHIN THE BUILDING, WHICH EXCEED THE QUANTITIES LISTED IN CHAPTER 27 OF THE 2013 CPC.
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC CHAPTER 8.
- MECHANICAL EQUIPMENT SHALL BE SCREENED WITH PAINT OR BUILDING MATERIALS AND COLORS COMPLEMENTARY TO THE BUILDING.
- PERMIT APPLIED FOR IS FOR THE "SHELL" CONSTRUCTION ONLY. INTERIOR PARTITIONS, FINISHES, LIGHTING, POWER, MECHANICAL SYSTEMS AND DUCT WORK, PLUMBING (SOME ROUGH-IN AND FINISH) ETC. IS TO BE CONSTRUCTED UNDER TENANT IMPROVEMENTS PHASE AND REQUIRED SEPARATE PLANS AND PERMITS.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING SHALL BE PROTECTED AS REQUIRED IN THE 2013 CBC CHAPTER 7 SECTIONS 713
- CONTRACTOR TO NOTIFY OWNER PRIOR TO COMMENCING WITH ANY WORK. CONTRACTOR SHALL CONFORM TO ANY REQUIREMENTS FOR NOISE AND DUST CONTROL, TRASH, STORAGE, WORK HOURS, SITE ACCESS, SIGNAGE, ETC. AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS BY THE BUILDING DEPT. AND OTHER AGENCIES AS REQUIRED.
- PROVIDE ENTRANCE AND / OR EQUIPMENT ROOM KEYS (S) FOR KEY BOX UPON FINAL INSPECTION.
- SIGNAGE SHALL BE UNDER A SEPARATE PERMIT. SIGNAGE AND SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE OWNER AND ARCHITECT AND THE CITY OF SLO PRIOR TO FABRICATION.
- THE APPROVED PROJECT ALLOWED TO BE CONSTRUCTED BY THE BUILDING PERMIT SHALL CONFORM TO THE FIRE SAFETY PLAN REQMTS, AS DEEMED NECESSARY BY THE FIRE DEPT HAVING JURISDICTION FOR THE BLDG PERMIT. PRIOR TO BEGINNING CONSTRUCTION THE PROPERTY OWNER SHALL READ THE FIRE SAFETY PLAN ISSUED BY THE FIRE DEPT AND BECOME FULLY AWARE OF ALL NECESSARY FIRE PROTECTION REQMTS AS MANY OF THESE FIRE PROTECTION REQMTS MAY REQUIRE THE INSTALLATION OF FIRE SPRINKLERS / SPECIAL SAFETY GLAZED WINDOWS / SPECIAL DRIVEWAY-ROADWAY REQMTS AND OTHER SPECIAL CONSTRUCTION
- BEFORE AN OCCUPANCY PERMIT IS GRANTED THE BUILDING MUST BE INSPECTED BY AN APPROVED INSPECTOR ASSURING THE BUILDING MEETS CALIF ENERGY STANDARDS PER FORM MECH-1-C OF THE TITLE 24 CALCULATIONS
- BEFORE AN OCCUPANCY PERMIT IS GRANTED THE BUILDING MUST BE INSPECTED BY THE INSTALLED PER PLAN

SEPARATE PERMITS REQ'D.

- FIRE SPRINKLERS

PRE-CONSTRUCTION MEETING

A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE COMMENCEMENT OF WORK. CALL 781-6922 TO SCHEDULE WITH INSPECTOR.

COMPLIANCE STATEMENT

TO THE BEST OF OUR KNOWLEDGE, THIS PROJECT HAS BEEN DESIGNED TO BE IN SUBSTANTIAL CONFORMANCE WITH ALL SAN LUIS OBISPO COUNTY ADOPTED CODE AND ORDINANCE REQUIREMENTS INCLUDING, BUT NOT LIMITED TO THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND I / WE WILL BE RESPONSIBLE FOR ALL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION.

WAYNE STUART C31 427
PROJECT ARCHITECT LICENSE NO.

SITE SUMMARY

LEGAL DESCRIPTION: PARCEL 3 OF PARCEL MAP CO 87-164, IN THE COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED ON APRIL 7, 1989 IN BOOK 45, PAGE 77 OF PARCEL MAPS.

APN: 076-063-003

LOCAL ZONING: AG

OVERLAY ZONING: AR

ADJACENT USE: NORTH AGRICULTURE
SOUTH AGRICULTURE
EAST BUCKLEY ROAD AGRICULTURE
WEST AGRICULTURE

PROPOSED USE: NEW SHELL BUILDING OFFICE / WAREHOUSE

GROSS LOT AREA: 6.16 ACRES (1, 2 & 3)

LOT COVERAGE (LOT 2): 123,450 SQ.FT. / 40,019 SQ.FT. = 12%

PARKING REQUIREMENTS:

- VEHICLE SPACES REQUIRED: 1 SPACE / 400 SQ.FT. OF GROSS FLOOR AREA = 14/37 SPACES
- OFFICE (5,807 SF) 1 SPACE / 2000 SQ.FT. OF GROSS FLOOR AREA = 4/30 SPACES
- WAREHOUSE (6,776 SF) 1 SPACE / 15,000 SQ.FT. ABOVE THREAT = 0 SPACES

TOTAL SPACES REQUIRED: 20 SPACES

ACCESSIBLE SPACES REQUIRED: 2 (PER CBC TABLE 11B-B)
1 (PER TITLE 22, L.U.O.)

PARKING PROVIDED:

- TRACT IMPROVEMENT 0013-0026
- REGULAR PROVIDED: 15 SPACES (VA)
- ACCESSIBLE SPACES: 1 SPACES (VA)

BUILDING 2 SUBMITTAL

REGULAR PROVIDED: 10 SPACES
ACCESSIBLE SPACES: 1 SPACES

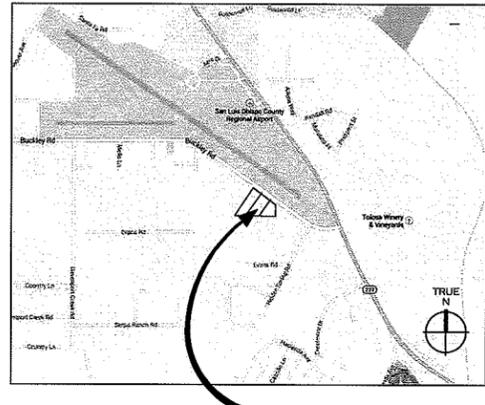
TOTAL PARKING PROVIDED:

REGULAR PROVIDED: 25 SPACES
ACCESSIBLE SPACES: 2 SPACES (1 VAN)

PROJECT DESCRIPTION

THIS SUBMITTAL IS FOR A NEW 15,756 SQ.FT. SHELL BUILDING IS DESIGNED TO FACILITATE FUTURE OFFICE AND WAREHOUSE LEASE SPACES. THE PROJECT INCLUDES THE CONSTRUCTION OF A PRE-ENGINEERED METAL BUILDING AND SITE IMPROVEMENTS.

VICINITY MAP



AGENCIES

COUNTY BUILDING DEPARTMENT ADMINISTRATION 1087 SANTA ROSA SAN LUIS OBISPO, CA 93401 (805) 781-5200	COUNTY SHERIFF 1546 KANSAS AVE SAN LUIS OBISPO, CA (805) 781-4540	CHARTER COMMUNICATIONS 270 BRIDGE STREET SAN LUIS OBISPO, CA 93401 (805) 544-1994
COUNTY FIRE DEPARTMENT 625 N. SANTA ROSA SAN LUIS OBISPO, CA 93401 (805) 543-4244	UNDERGROUND SERVICES 800-462-2644 PACIFIC GAS & ELECTRIC 406 S. HIGUERA STREET SAN LUIS OBISPO, CA 93401 800-143-5200	THE GAS COMPANY 750 INDUSTRIAL WAY SAN LUIS OBISPO, CA 93401 800-427-2000
COUNTY HEALTH DEPARTMENT 2191 JOHNSDALE SAN LUIS OBISPO, CA 93401 (805) 781-5500	AT&T 165 BURBANK RD. SAN LUIS OBISPO, CA 93401 (805) 545-7315	

BUILDING SUMMARY

PROPOSED USE: OFFICES / WAREHOUSE

CONSTRUCTION TYPE: TYPE VB, FIRE SPRINKLERED (DESIGN BY OTHERS)

NUMBER OF STORIES: 1 STORY

BUILDING HGT CALCS: MAX. ALLOWABLE BLDG. HEIGHT 35'
(PER COUNTY LAND USE ORDINANCES)

OCCUPANCY GROUP(S): B / S-2

TOTAL BUILDING AREA: 15,756 SQ.FT.

DIRECTORY

OWNER: BUCKLEY PACIFIC LLC
645 CLARION COURT
SAN LUIS OBISPO, CA 93401
TEL: 805.778.1758
REP: RUDY BACHMANN
EMAIL: RBACHMANN@BUCKLEYPACIFIC.COM

ARCHITECT: MW ARCHITECTS, INC
225 PRADO ROAD, SUITE G
SAN LUIS OBISPO, CA 93401
TEL: (805) 544-4334
FAX: (805) 544-4330
REP: WAYNE STUART
EMAIL: wayne@mwarch.com

CIVIL ENGINEER: OMNI DESIGN GROUP
711 TANK FARM ROAD
SAN LUIS OBISPO, CA 93401
TEL: (805) 544-9790
REP: STEVE HANBING
EMAIL: SHANBING@ODGSL.COM

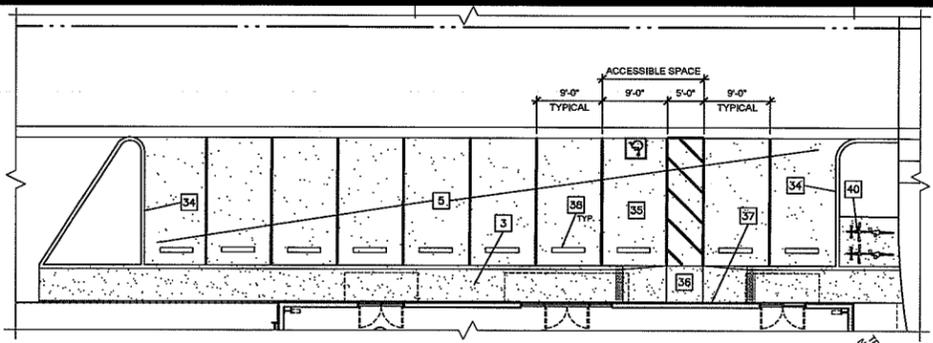
LANDSCAPE ARCHITECT: OASIS ASSOCIATES
3427 MIGUELITO COURT
SAN LUIS OBISPO, CA 93401
TEL: (805) 541-6009
REP: CAROL FLORENCE
EMAIL: CMF@OASISASSOC.COM

STRUCTURAL ENGINEER: SMITH STRUCTURAL GROUP, LLP
811 EL CAPITAN WAY, STE. 240
SAN LUIS OBISPO, CA 93401
TEL: (805) 438-2110
REP: JOSEPH KLIMCZYK, P.E.
EMAIL: JOE@SMITHSTRUCTURAL.COM

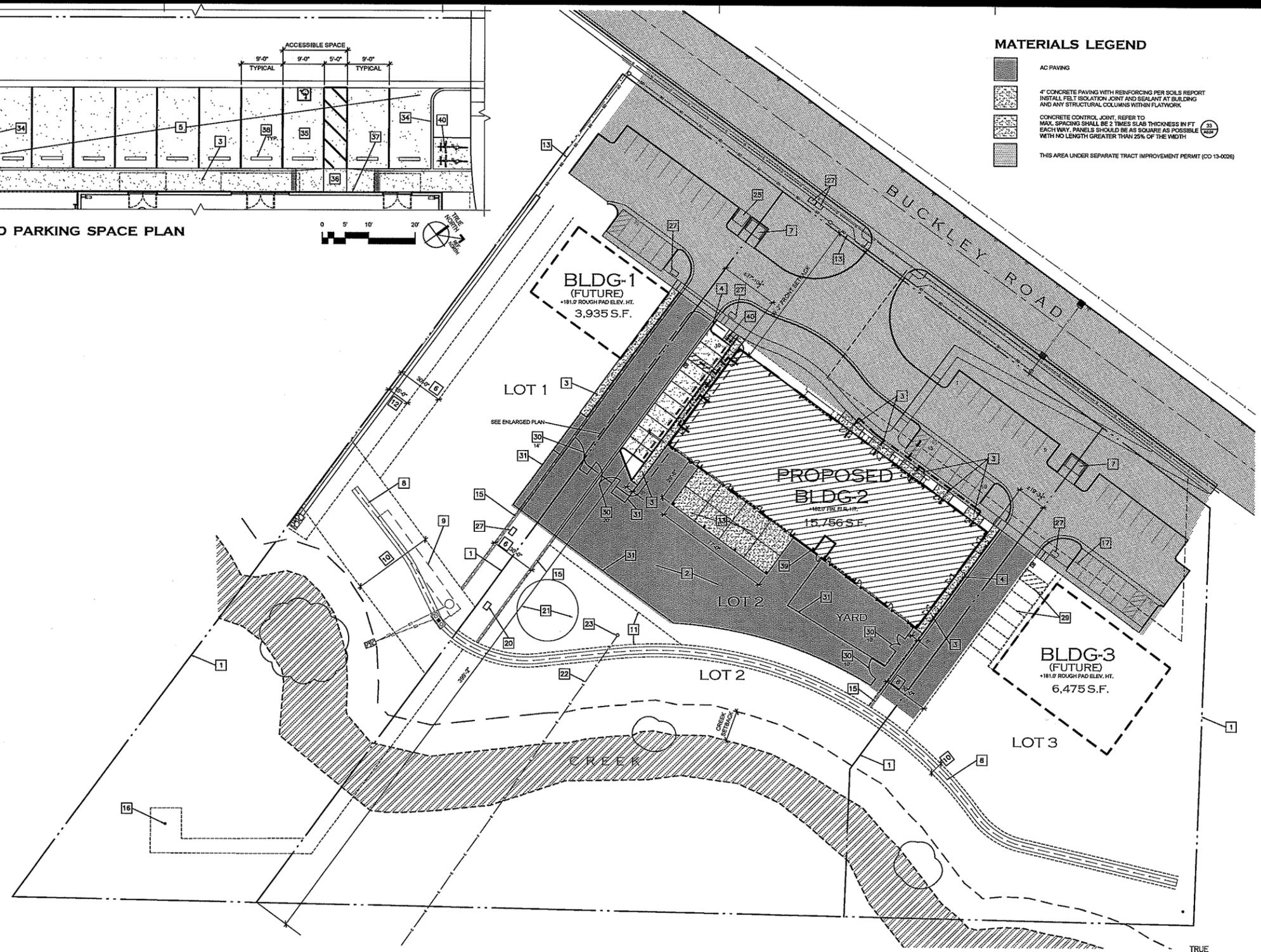
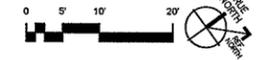
METAL BUILDING: CBC STEEL BUILDINGS
P.O. BOX 1009
LATHROP, CA 95330
TEL: (209) 583.0910

SHEET INDEX

A0.00	ARCHITECTURAL TITLE SHEET
A0.01	ARCHITECTURAL NOTES
A0.04	SITE AND SIGNAGE DETAILS AND NOTES
A1.00	SITE PLAN
A2.00	FLOOR PLAN
A3.00	ROOF PLAN
A5.00	BUILDING PERSPECTIVES
A5.01	BUILDING ELEVATIONS
A6.00	BUILDING SECTIONS
A6.00	DOOR AND WINDOW SCHEDULES
A6.00	ARCHITECTURAL DETAILS
B0.1	NOTES-LEGEND
B0.2	FOUNDATION PLAN
B0.3	STRUCTURAL DETAILS
B1.0	XXX
B2.0	XXX
B3.0	XXX
B4.0	XXX
B5.0	XXX
B6.0	XXX
B7.0	XXX
B8.0	XXX
B9.0	XXX
TOTAL: XX SHEETS	



ENLARGED PARKING SPACE PLAN



SITE PLAN

- ### MATERIALS LEGEND
- AC PAVING
 - 4" CONCRETE PAVING WITH REINFORCING PER SOILS REPORT. INSTALL FELT ISOLATION JOINT AND SEALANT AT BUILDING AND ANY STRUCTURAL COLUMNS WITHIN FLATWORK.
 - CONCRETE CONTROL JOINT. REFER TO MAX. SPACING SHALL BE 2 TIMES SLAB THICKNESS IN FT. EACH WAY. PANELS SHOULD BE AS SQUARE AS POSSIBLE WITH NO LENGTH GREATER THAN 25% OF THE WIDTH.
 - THIS AREA UNDER SEPARATE TRACT IMPROVEMENT PERMIT (CO 13-0026)

REFERENCE NOTES

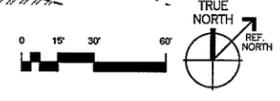
1. PROPERTY LINE LOCATION
2. NEW AC PAVING. REFER TO CIVIL DRAWINGS.
3. NEW CONCRETE WALKWAY. PROVIDE 4" CONCRETE OVER 4" CLASS II AGGREGATE BASE PER SLO COUNTY STANDARDS.
4. NEW CONCRETE CURB AND GUTTER. REFER TO CIVIL DRAWINGS.
5. NEW PERMEABLE CONCRETE PAVING. REFER TO CIVIL DRAWINGS.
6. 30" ACCESS DRAINAGE AND UTILITY EASEMENT PER CO 13-0026 TRACT IMPROVEMENTS.
7. TRASH ENCLOSURE, INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS.
8. CONCRETE DRAINAGE SWALE, INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS, ROUGH GRADING.
9. EXISTING UNDERGROUND DETENTION BASIN INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS, ROUGH GRADING.
10. DRAINAGE EASEMENT PER CO 13-0026 TRACT IMPROVEMENTS.
11. UTILITY EASEMENT PER CO 13-0026 TRACT IMPROVEMENTS.
12. 15' WIDE PUBLIC DRAINAGE EASEMENT.
13. 18" Ø STORM DRAIN PER CO 13-0026 TRACT IMPROVEMENTS.
14. NOT USED
15. EARTHEN SWALE INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS.
16. EXISTING WELL TO REMAIN.
17. APPROXIMATE EXTENTS OF LEACH FIELD. SEE PLANS PREPARED BY WALLACE GROUP.
18. NOT USED
19. NOT USED
20. NEW ELECTRICAL PANEL AND WELL CONTROLS. REFER TO ELECTRICAL DRAWINGS.
21. NEW WATER STORAGE TANK. REFER TO CIVIL DRAWINGS.
22. OVERHEAD ELECTRICAL SERVICE PER CO 13-0026 TRACT IMPROVEMENTS.
23. UTILITY POLE PER CO 13-0026 TRACT IMPROVEMENTS.
24. NOT USED
25. TRANSFORMER PAD INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS.
26. NOT USED
27. PULL BOX INSTALLED PER CO 13-0026 TRACT IMPROVEMENTS.
28. NOT USED
29. FUTURE PARKING DESIGNATION FOR FUTURE BUILDING 3.
30. NEW 6" TALL CHAIN LINK GATE.
31. NEW 6" TALL CHAIN LINK FENCE, SEE DETAIL.
32. PROTECTIVE BOLLARD, SEE DETAIL.
33. NEW CONCRETE PAVING IN DRIVEWAY.
34. NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS.
35. ACCESSIBLE PARKING SPACE, SEE DETAIL.
36. ACCESSIBLE RAMP, SEE DETAIL.
37. ACCESSIBLE PARKING SIGN, SEE DETAIL.
38. NEW CONCRETE WHEEL STOP. FASTEN WITH STEEL DRIVEN 18" INTO SURFACE.
39. FIRE RISER LOCATION.
40. (2) BICYCLE RACKS AS REQUIRED PER 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, SECTION 5.106.4.

ACCESSIBLE PATH OF TRAVEL NOTES

- SHOWN ON SITE PLAN AS
- A. THIS PATH SHALL BE PROVIDED FROM THE ACCESSIBLE PARKING LOADING/UNLOADING ZONE TO THE MAIN ENTRANCE WITH A MAX. SLOPE OF 1:20 UNLESS AN APPROVED RAMP IS INSTALLED.
 - B. THIS PATH SHALL BE A MIN. OF 48" WIDE WITH A NON-SLIP SURFACE (AC PAVING).
 - C. THIS PATH SHALL BE AT THE SAME LEVEL AS THE FINISH FLOOR OF THE MAIN ENTRANCE WITH A MAX. THRESHOLD HEIGHT OF 1/2". REFER TO DETAIL IN THIS SET OF PLANS.
 - D. WALK AND SIDEWALK SURFACES CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT EXCEPT WHEN THE ENFORCING AGENCY FINDS THAT DUE TO LOCAL CONDITIONS IT CREATES AN UNREASONABLE HARDSHIP. THE CROSS SLOPE CAN BE INCREASED TO A MAX. 1/2" PER FOOT FOR DISTANCES NOT TO EXCEED 20'.
 - E. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2", AND SHALL BE A MIN. OF 48" IN WIDTH.
 - F. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 11238.5 AS A PEDESTRIAN RAMP.
 - G. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHERE POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
 - H. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS. SEC 11278.3 & 11278.3

GENERAL NOTES

- A. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN. REFER TO CO 13-0026 TRACT IMPROVEMENTS.
- C. COORDINATE ALL DOWNSPOUTS TO SITE DRAINAGE.
- D. CURB, GUTTER, AND SIDEWALK UNDER CO 13-0026 TRACT IMPROVEMENT PERMIT.
- E. MAILBOXES PROVIDED BY THE LOCAL POSTAL AGENCY. CONTRACTOR SHALL COORDINATE INSTALLATION LOCATION AND APPROVALS WITH LOCAL POSTMASTER. CONTRACTOR TO COORDINATE WITH OWNER LABELING AND KEYING OF BOXES.
- F. A CONCRETE LANDING SHALL BE INSTALLED AT EACH EXIT/ENTRANCE. SEE DETAIL.



MW ARCHITECTS



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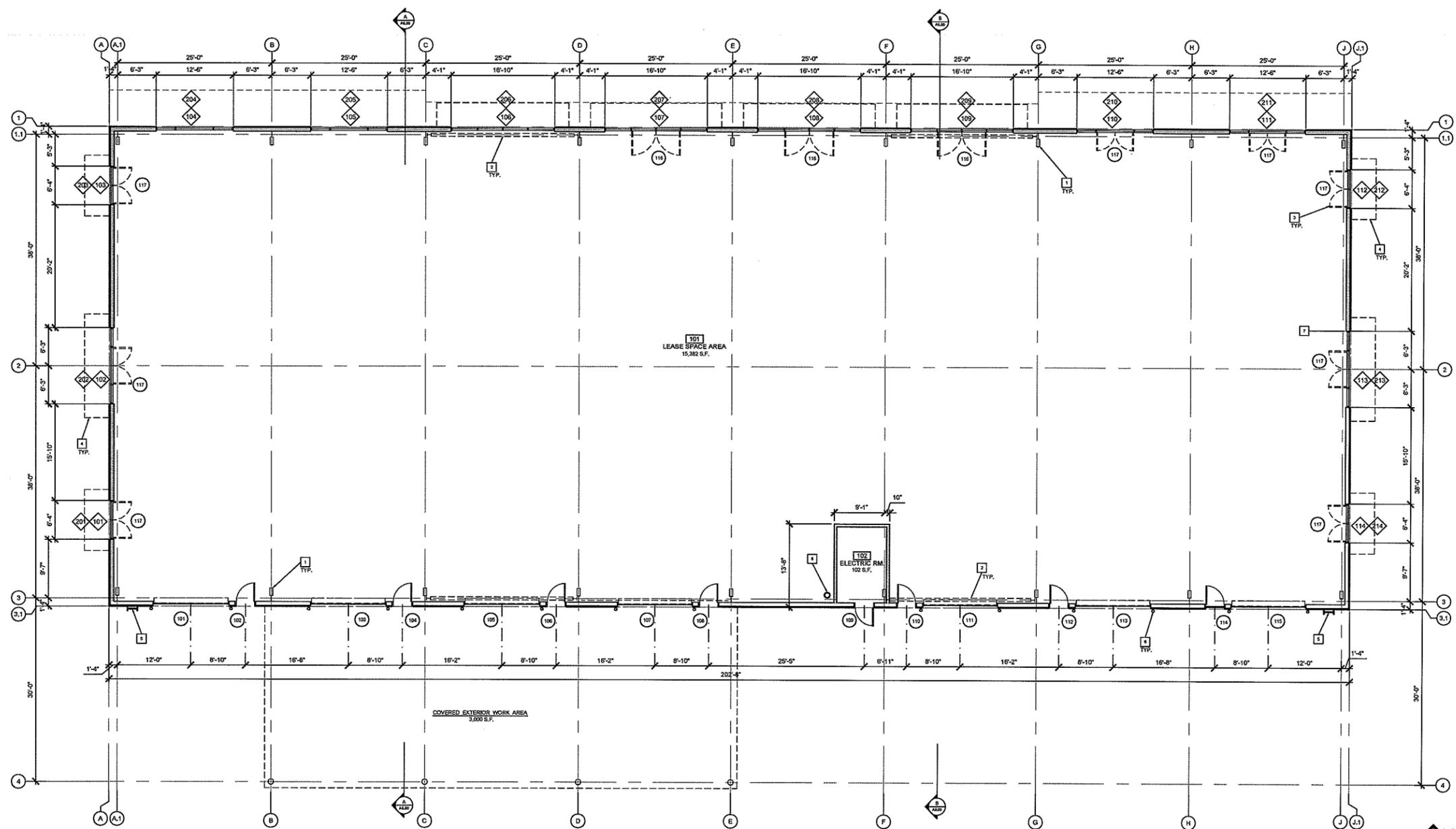
A SHELL BUILDING FOR:
BUCKLEY PACIFIC, LLC
795 BUCKLEY ROAD
SAN LUIS OBISPO, CALIF

SITE PLAN

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NO.	REVISIONS

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DATE	
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FLOOR PLAN

- WALL LEGEND**
- 2x8 WOOD STUDS @ 16" O.C. UP TO 13' A.F.F. (NOTE: MTL. BLDG. HORIZ. GIRTS ABOVE 13' HT.) WITH METAL PANELS AT EXTERIOR
 - METAL BUILDING ASSEMBLY PER P.E.M.B. DRAWINGS WITH METAL PANELS AT EXTERIOR
 - 2x6 STUDS @ 16" O.C.

REFERENCE NOTES

1. STEEL COLUMNS, PER P.E.M.B. DRAWINGS.
2. PORTAL FRAME LOCATION, PER P.E.M.B. DRAWINGS.
3. FUTURE STOREFRONT DOOR LOCATIONS, SEE DOOR SCHEDULE. (ACTUAL LOCATIONS TO BE DETERMINED DURING TENANT IMPROVEMENT SUBMITTALS/PERMITS.)
4. OUTLINE OF AWNING ABOVE, SEE EXTERIOR ELEVATIONS.
5. ROOF ACCESS LADDER, SEE DETAILS.
6. PROTECTIVE BOLLARD, SEE DETAIL.
7. END OF WOOD STUD WALL FRAMING, SEE STRUCTURAL DRAWINGS.
8. FIRE RISER LOCATION.

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- B. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALLS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, AND SLIP-RESISTANT.
- C. ALL DOORS SHALL HAVE LANDINGS AND CLEARANCES AS SHOWN ON



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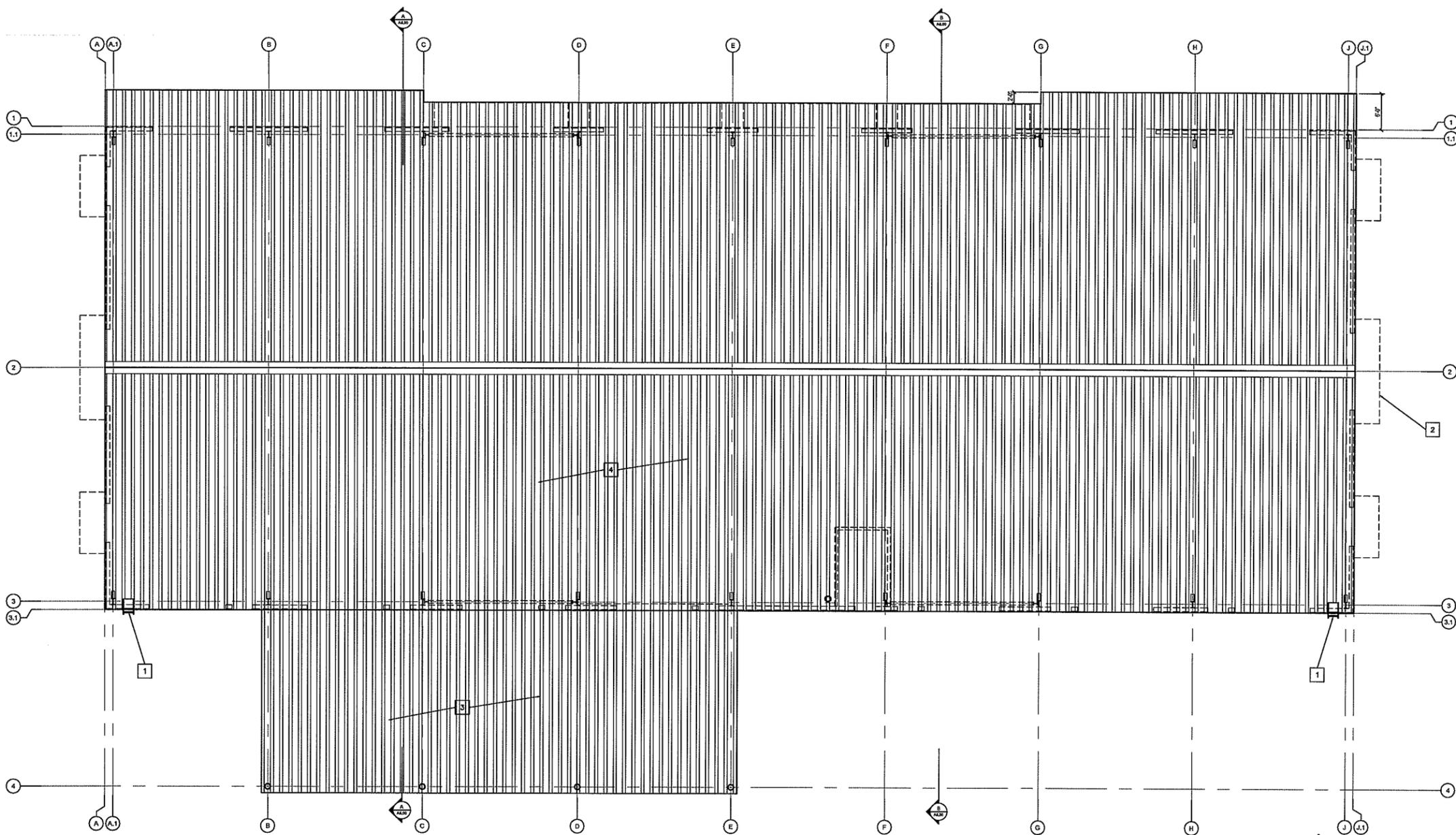
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FLOOR PLAN

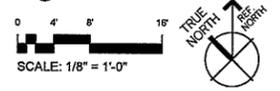
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REVISIONS	

JOB NUMBER 15479	SHEET NUMBER 32
DATE	AREA A2.00
APPL. NO.	



ROOF PLAN



- REFERENCE NOTES**
- 1 ROOF ACCESS LADDER BEYOND. SEE DETAIL.
 - 2 LOWER AWNING ROOFS BELOW.
 - 3 LOWER "LEAN-TO" ROOF BELOW.
 - 4 CORRUGATED METAL ROOF PANELS, SEE P.E.M.B. DRAWINGS.



MW ARCHITECTS



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A SHELL BUILDING FOR:
BUCKLEY PACIFIC, LLC
 795 BUCKLEY ROAD
 SAN LUIS OBISPO, CALIF

ROOF PLAN

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REVISIONS

JOB NUMBER 15479	SHEET NUMBER A4.00
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NORTH/WEST - PERSPECTIVE FROM BUCKLEY ROAD



NORTH - PERSPECTIVE FROM DRIVEWAY



NORTH/EAST - PERSPECTIVE FROM DRIVEWAY



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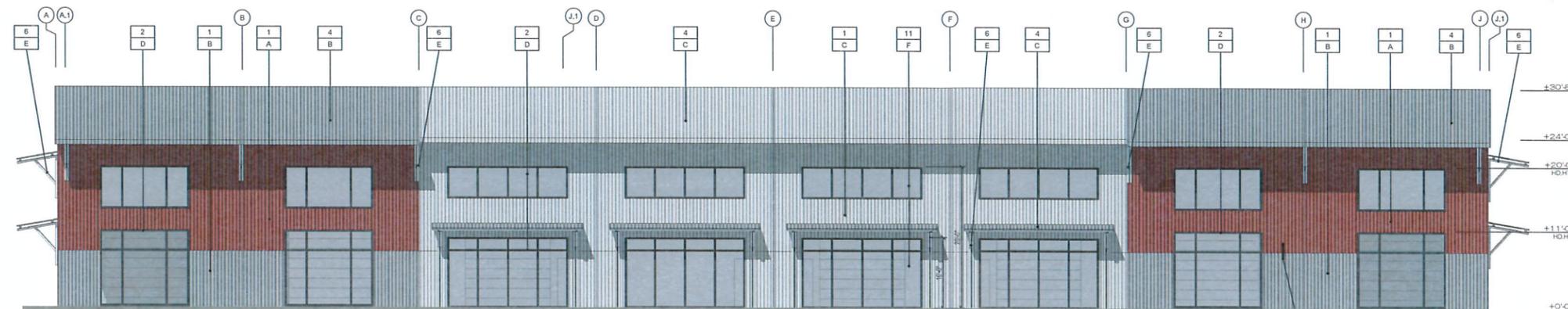
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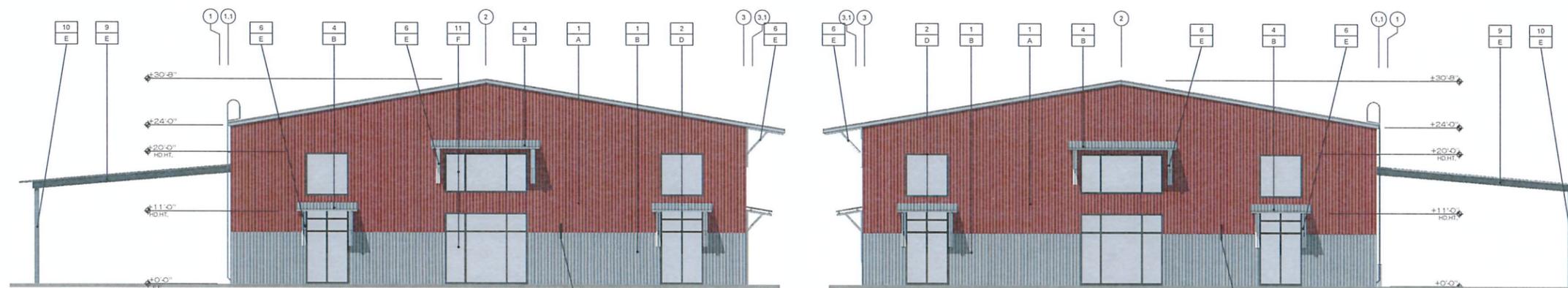
REVISIONS

NO.	DATE	DESCRIPTION

JOB NUMBER	SHEET NUMBER
15479	A5.00
DATE	
APPL. NO.	

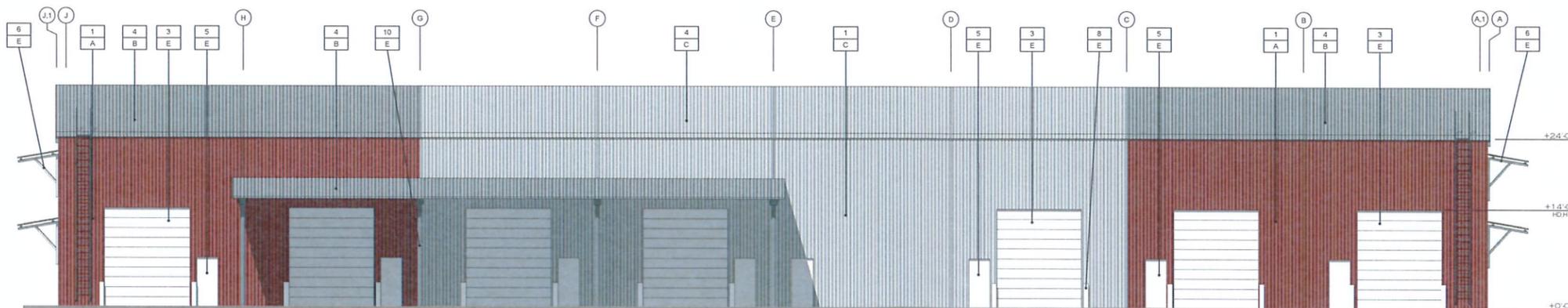


NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION



SOUTH ELEVATION

BUILDING ELEVATIONS



ELEVATION NOTES

1. CORRUGATED METAL WALL SIDING
2. ALUMINUM STOREFRONT SYSTEM, REFER TO DOOR/WINDOW SCHEDULES
3. OVERHEAD ROLL-UP DOOR, REFER TO DOOR SCHEDULE
4. CORRUGATED METAL ROOFING
5. HOLLOW METAL DOOR, SEE DOOR SCHEDULE
6. TUBE STEEL AWNING SUPPORT / "KICKER", COORDINATE WITH P.E.M.B. DRAWINGS.
7. ROOF ACCESS LADDER, SEE DETAIL (51, 52, 51)
8. PROTECTIVE BOLLARD AT OVERHEAD SECTIONAL DOORS, SEE DETAIL (41)
9. "LEAN-TO" STRUCTURE, PER P.E.M.B. DRAWINGS.
10. STEEL COLUMN, PER P.E.M.B. DRAWINGS.
11. GLAZING AT STOREFRONT SYSTEMS, SEE DOOR / WINDOW SCHEDULES.

COLOR DESIGNATIONS

- A. CORRUGATED METAL SIDING - "RUSTIC RED", COORDINATE COLOR WITH OWNER.
- B. CORRUGATED METAL SIDING - "GRAY", COORDINATE COLOR WITH OWNER.
- C. CORRUGATED METAL SIDING - "LIGHT GRAY", COORDINATE COLOR WITH OWNER.
- D. BLACK ALUMINUM STOREFRONT.
- E. PAINTED, COORDINATE COLOR WITH OWNER.
- F. SOLAR GRAY (LIGHT GRAY) WINDOW TINT, COORDINATE WITH OWNER.



MW ARCHITECTS



ARCHITECTS:
MICHAEL C. PEACHEY
WAYNE R. STUART
225 PRADO ROAD, SUITE G
SAN LUIS OBISPO, CA 93401
TEL: (805) 544-4334
FAX: (805) 544-4330
EMAIL: MW@MWABZ

JOB TITLE
A SHELL BUILDING FOR:
BUCKLEY PACIFIC, LLC
795 BUCKLEY ROAD
SAN LUIS OBISPO, CALIF

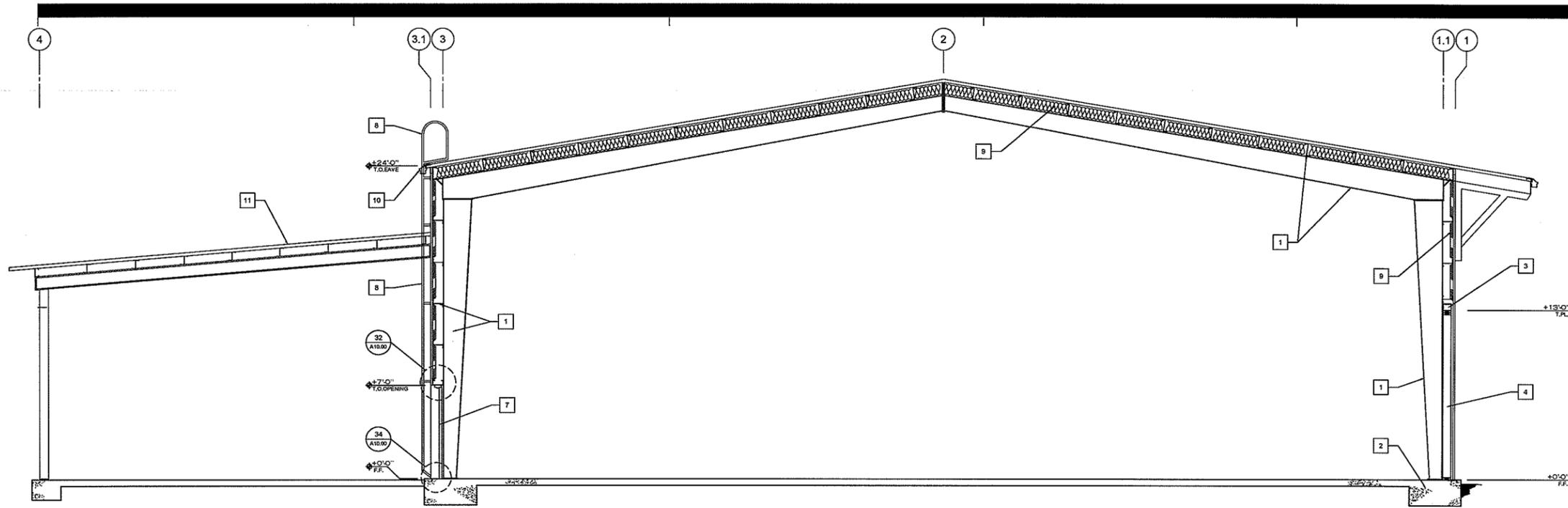
SHEET TITLE
BUILDING ELEVATIONS

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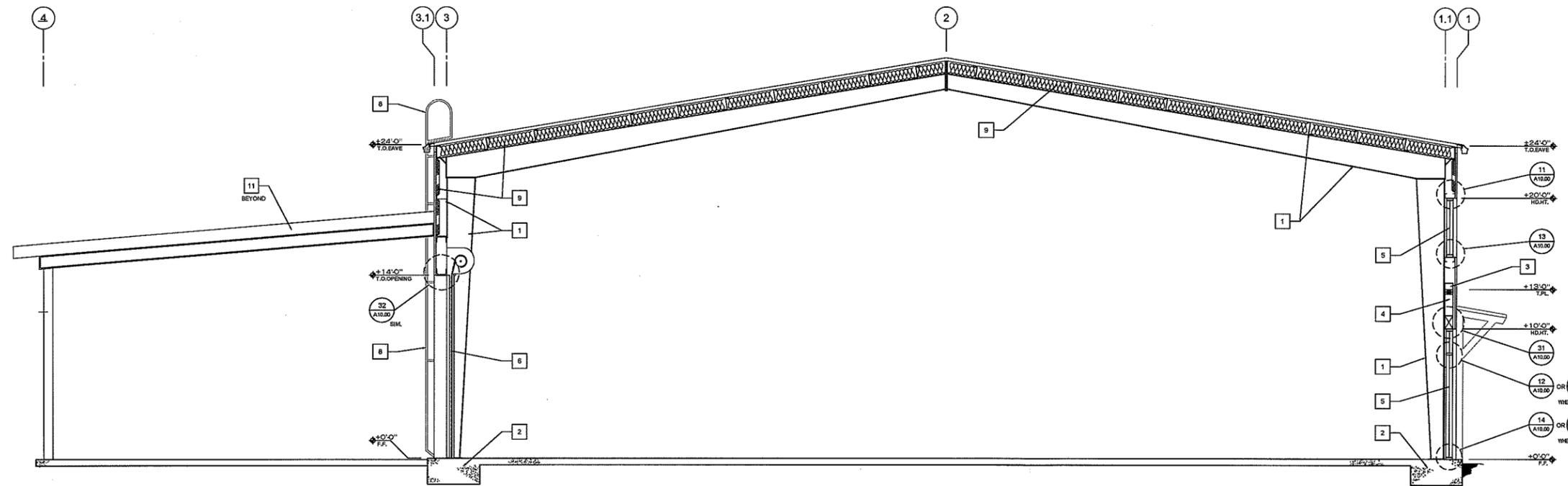
REVISIONS

NO.	DATE	DESCRIPTION

JOB NUMBER	SHEET NUMBER
15479	A5.01
DATE	
APPL. NO.	

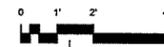


SECTION 'A-A'



SECTION 'B-B'

BUILDING SECTIONS

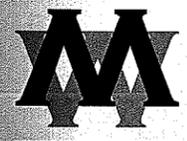


REFERENCE NOTES

1. PREFABRICATED METAL BUILDING SYSTEM. REFER TO PEMB DRAWINGS.
2. FOUNDATION SHOWN DIAGRAMATIC ONLY. REFER TO STRUCTURAL DRAWINGS.
3. CONTINUOUS STEEL "WIND" SUPPORT BEAM AT WOOD STUD WALL FRAMING.
4. 2X WOOD STUD WALL FRAMING (2X8 @16" O.C.)
5. ALUMINUM STOREFRONT SYSTEM, SEE DOOR / WINDOW SCHEDULES.
6. OVERHEAD ROLL-UP DOOR, SEE DOOR SCHEDULE.
7. STEEL MAN DOOR & JAMB, REFER TO FLOOR PLAN & DOOR SCHEDULE.
8. ROOF ACCESS LADDER BEYOND. SEE DETAIL: (31) (32) (33) (34)
9. ROOF / WALL INSULATION. REFER TO T-24 SHEETS FOR R-VALUE.
10. METAL GUTTERS PER PEMB DRAWINGS.
11. LEAN-TO STRUCTURE, SEE P.E.M.B. DRAWINGS.

GENERAL NOTES

- A. CONCRETE SLAB AND FOOTINGS ARE SHOWN DIAGRAMATIC AND SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO FOUNDATION PLAN AND FOUNDATION DETAILS FOR EXACT SIZE, LOCATION AND OTHER REQUIREMENTS.
- B. PROVIDE 26 GA. GS FLASHING AT ALL WALL AND ROOF PENETRATIONS, VALLEYS AND BUILT-UP CRICKETS IN ACCORDANCE WITH 2013 CBC 1508 & 1509.



MW ARCHITECTS



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A SHELL BUILDING FOR:
BUCKLEY PACIFIC, LLC
795 BUCKLEY ROAD
SAN LUIS OBISPO, CALIF

BUILDING SECTIONS

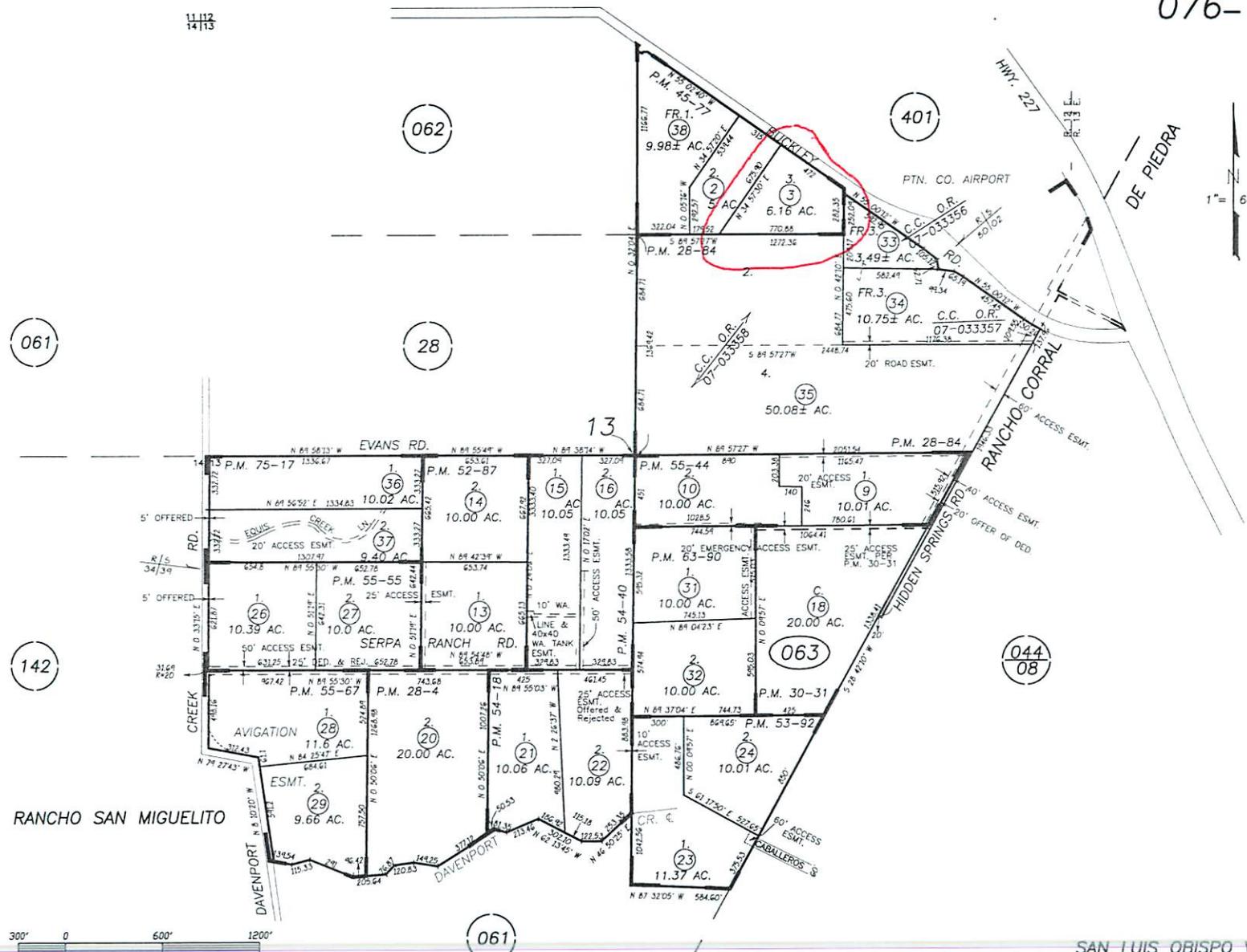
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ICD 5478
DATE
APPROV
SHEET NUMBER
A6.00

1413



076-061



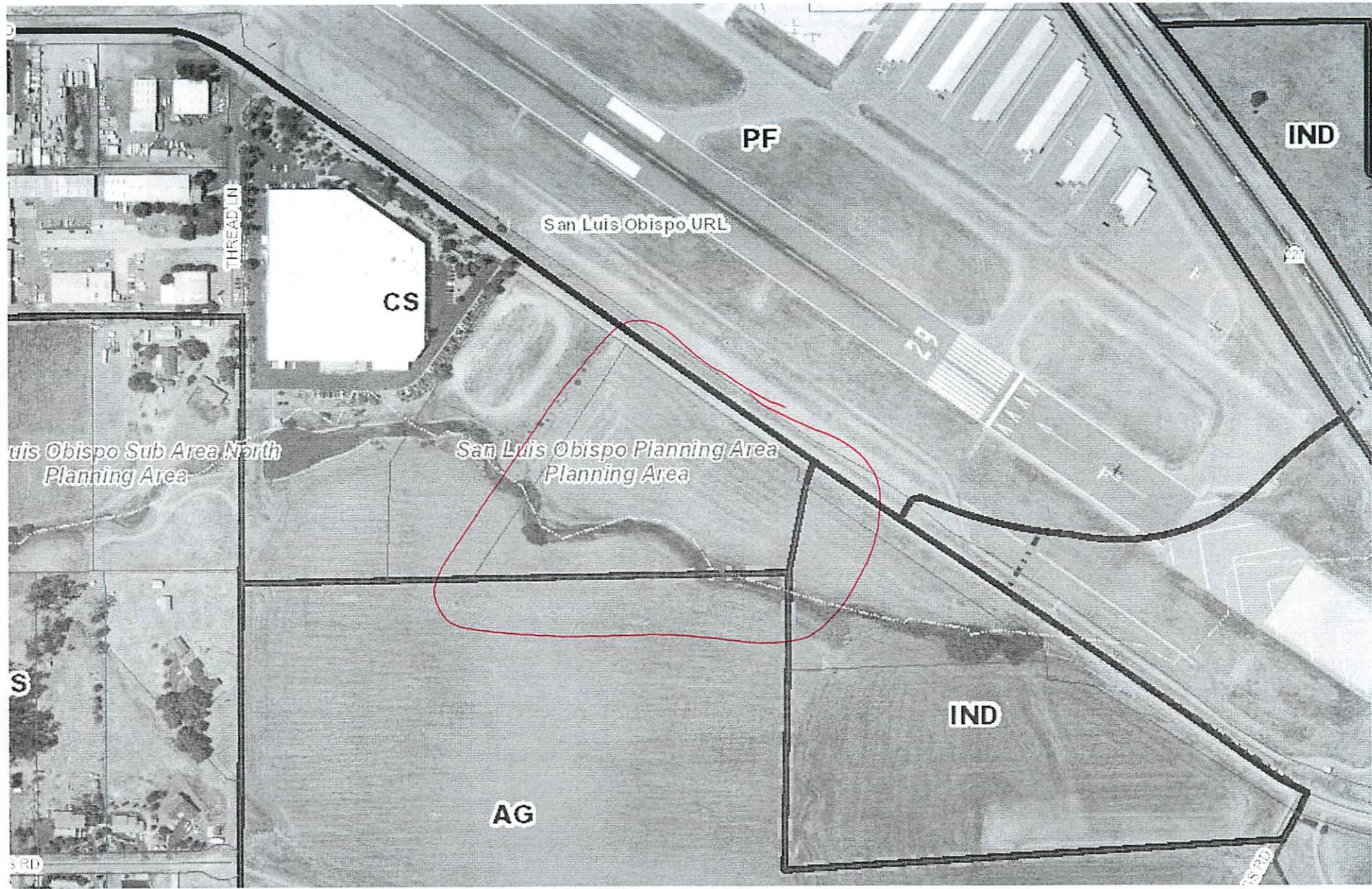
REVISIONS	
I.S.	DATE
06-099	09-12-05
NA	09-07-06
08-144	08-13-07
12-131	02-28-12
15-025	04-07-14

300' 0 600' 1200'

LZ 04-16-01 THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

T. 31 S; R. 12 E SECTION 13. M.D.B. & M.

SAN LUIS OBISPO VICINITY
 ASSESSOR'S MAP, COUNTY OF
 SAN LUIS OBISPO, CA.
 BOOK 076 PAGE 063



THREAD LN

CS

PF

IND

San Luis Obispo URL

San Luis Obispo Sub Area North
Planning Area

San Luis Obispo Planning Area
Planning Area

29

S

IND

AG

SRD

SRD



Parcel Summary Report For Parcel # 076-063-003

3/24/2015
10:54:10AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

People Information

Role Name and Address

OWN BUCKLEY PACIFIC LLC
 645 CLARION CT SLO CA 93401-8177
OWN BUCKLEY PACIFIC LLC A CA LLC

Address Information

Status Address
P 00000 BUCKLEY RD SLOC

Lot Information:

<u>Tract / Twnshp</u>	<u>Block / Range</u>	<u>Section</u>	<u>Community:</u>	<u>Plan/Area:</u>	<u>Lue 1:</u>	<u>Lue 2:</u>	<u>Lue 3:</u>	<u>Lot:</u>	<u>Flags:</u>	<u>Misc</u>
CO87-	164	0003	San Luis Obisp	San Luis Obis	CS	AR		Y		D870084D

Parcel Information

Status Description
Active PM 45-77 PAR 3

Notes

Tax Districts

SAN LUIS COASTAL
SAN LUIS OBISPO JT(27,40)
COUNTY-ZONE NO. 09
AREA NO. 21
SAN LUIS
NO. 04
AREA NO. 22 (AIRPORT AREA SPECIFIC PLAN)



Parcel Summary Report For Parcel # 076-063-003

3/24/2015
10:54:10AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Case Information

Case Number:

Case Status:

DRC2014-00115 REC Primary Parcel

Description:

SITE PLAN IMPROVEMENTS-(SUB)2012-00043)15,756 SF ONE-STORY SHELL WAREHOUSE BUILDING AND 2,586 SF FENCED YARD.

PMT2013-01779 FNL Primary Parcel

Description:

STOCKPILE OF IMPORTED SOIL ONLY, NO PLACEMENT OF SOILS IS ALLOWED UNDER THIS PERMIT. FOR PARCEL MAP GRADING & IMPROVEMENTS SEE PUBLIC WORKS- SUB2012-00043, W. WILKES. DURATION: SINCE THE PARCEL MAP GRADING HAS BEEN SUBMITTED TO PUBLIC WORKS WHEN THIS PROCESS IS COMPLETED IS WHEN THE PLACEMENT OF THE STOCKPILE WILL OCCUR.

PMT2013-01780 WIT Primary Parcel

Description:

WITHDRAWN - GRADING FOR PLACEMENT OF STOCKPILE (PMT2013-01779) FOR PARCEL MAP - SUB2012-00043

PMT2014-00885 ISS Primary Parcel

Description:

INSTALL 100 AMP SINGLE PHASE ELECTRICAL SERVICE FOR AG WELL. 1/2 HP PUMP.

PMT2014-01908 ISS Primary Parcel

Description:

SEPTIC SYSTEM FOR 4 COMMERCIAL BUILDINGS

PRE2006-00152 REC Primary Parcel

Description:

25,000SF

PRE2012-00003 REC Primary Parcel

Description:

SUB2012-00043 APV Primary Parcel

Description:

PARCEL MAP-SUBDIVIDE 6.1 ACRE SITE INTO FOUR LOTS OF 1.9, 1.6, 1.3 AND 1.3 ACRES.

A2731 EXP Related Parcel

Description:

FOOT BRIDGE

A2732 EXP Related Parcel

Description:

GRADING FOR PARKING LOT EXPANSION



Parcel Summary Report For Parcel # 076-063-003

3/24/2015
10:54:10AM

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

D870084D CMP Related Parcel

Description:

MANUFACTURING OF MACHINERY

D960349D EXP Related Parcel

Description:

NEW ACCESS ROAD AND PARKING AREA

D980294D APP Related Parcel

Description:

MANUFACTURING BLDG W/PARKING SPACES

PMT2002-25836 EXP Related Parcel

Description:

ELECTRICAL FOR PARKING LOT